

THE STATE OF CONNECTICUT
DEPARTMENT OF HOUSING (DOH)
COMMUNITY DEVELOPMENT BLOCK GRANT DISASTER RECOVERY PROGRAM (CDBG-DR)

**CONSTRUCTION OF NEW RESIDENCE
TREZ RESIDENCE
20 COOPER AVE.
MILFORD, CONNECTICUT 06460**

ADDENDUM NO. 5076-2

Date: June 24, 2016

Application No. 5076
LAA Project No. 1524-27

This Addendum forms part of the Contract Documents and amends the original Bidding Documents dated June 6, 2016, only in the following particulars. Original provisions of the Contract Documents shall remain in effect except as specifically amended by this Addendum.

Bidders shall consider amendments and the resulting cost differences shall be included in all bids.

Acknowledge receipt of this Addendum in the space provided on the Bid Proposal Form. Failure to do so may subject the bidder to disqualification.

A. GENERAL

1. The list of questions from Banton Construction Company, dated June 20, 2016, and sent to potential bidders shall be considered unofficial. This Addendum will address only bid relevant and technical issues contained therein.
2. The "Pre-Demolition Hazardous Material Inspection Report" by Fuss & O'Neill, dated June, 2016, has been posted with the bid documents on the Department of Housing website. This report is not part of any Addendum and is posted for reference only.

B. SPECIFICATIONS

1. Section I-Bid Form, P. 7: Allowance # 7, revise \$122.00 to **\$1200.00**.
2. Section 010100- Summary, P.010100-1, Article 1.3-B, add the following:
5. All required permits and municipal approvals in connection with the Owner's Work-
3. Section 061000-Rough Carpentry, P.06100-1, Article 1.2-A, add the following:
3. Include product data and details for metal framing anchors and brackets.

4. Section 064300-Interior Wood Stairs and Railings, P.064300-2, Article 2.2, add the following:
 - E. **Wood for stair assemblies below the first floor: Southern Pine, pressure treated, in accordance with Section 062013.**

C. DRAWINGS

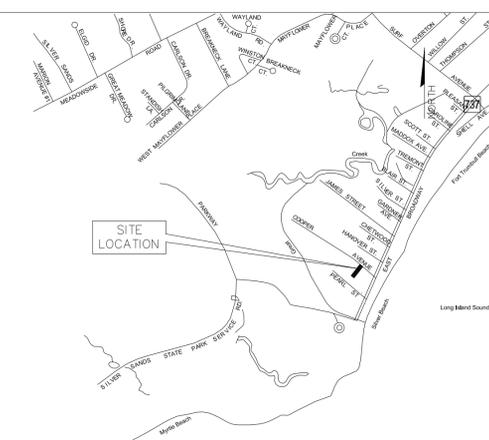
1. Revised drawings listed below are issued with this Addendum:

- G-001 COVER SHEET**
- G-002 SITE PLANS AND ZONING DATA**
- A-101 LOWER LEVEL, FIRST AND SECOND FLOOR PLANS**
- A-102 ATTIC FLOOR PLAN AND EXTERIOR ELEVATIONS**
- A-103 BUILDING SECTIONS, DOOR SCHEDULE AND DETAILS**
- S-101 FOUNDATION, FIRST FLOOR AND SECOND FLOOR FRAMING PLANS**
- S-102 ATTIC AND ROOF FRAMING, STRUCTURAL WALL SECTION**
- S-103 SHEAR WALL PLAN & TYPICAL DETAILS**
- S-104 DETAILS AND SECTIONS**
- S-105 STRUCTURAL NOTES AND SOIL BORING LOGS**

All dated revised 6.23.16- General Revision Addendum #5076-2.

END OF ADDENDUM 5076-2

Attachments: 10 drawings as listed above.



LOCATION MAP

NOT TO SCALE

NOTES

INFORMATION SHOWN ON THIS SITE PLAN HAS BEEN TAKEN FROM SURVEY AS PREPARED BY BY FREEMAN COMPANIES, L.L.C.

THE TYPE OF SURVEY IS A BOUNDARY AND TOPOGRAPHIC SURVEY. IT IS DEPENDENT IN NATURE AND BASED UPON MAP REFERENCE NUMBER ONE. HORIZONTAL CONTROL AND MAP BEARINGS ARE BASED ON NAD83 DATUM. VERTICAL CONTROL AND ELEVATIONS ARE BASED ON NAVD88 DATUM.

THE SUBJECT PROPERTY IS CURRENTLY OWNED BY GAIL AND JACK TREZ, SEE MILFORD LAND RECORDS VOLUME 3565 AT PAGE 60, AND IS LOCATED IN AN R5 ZONE.

THE EXISTING LOT IS NON CONFORMING TO THE CURRENT ZONING REGULATIONS FOR LOT AREA, WIDTH AND FRONTAGE. ITS USE IS DECLARED TO BE NONCONFORMING BUT NOT IN VIOLATION SINCE THE LOT EXISTED OF RECORD PRIOR TO MARCH 15, 1997. SEE SECTION 8-13a OF THE CONNECTICUT GENERAL STATUTES LISTED HERE FOR REFERENCE.

THE PROPERTY DEPICTED HEREON IS LOCATED IN FLOOD ZONE AE [BASE FLOOD ELEVATIONS DETERMINED] (ELEVATION 11') AND FLOOD ZONE VE [COASTAL FLOOD ZONE WITH VELOCITY HAZARD (WAVE ACTION)].

2 NOTE: GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL UNDERGROUND/OVERHEAD UTILITIES. THE GENERAL CONTRACTOR SHALL INSTALL A NEW WATER METER PIT, EXTEND AND RECONNECT ALL UTILITIES TO NEW STRUCTURE INCLUDING BUT NOT LIMITED TO SANITARY, STORM, ELECTRIC, GAS, ETC. COORDINATE ALL WITH UTILITY COMPANIES AND ALL AGENCIES HAVE JURISDICTION. ELECTRIC ITEMS SHOWN BELOW FLOOD LEVEL TO BE SURFACE MOUNTED. ALL WIRING SHALL BE IN SURFACE MOUNTED CONDUIT. SHOULD THE CONTRACTOR ENCOUNTER EXISTING PILES DURING EXCAVATION, GENERAL CONTRACTOR SHALL CUT THE PILES A MINIMUM OF 4" BELOW BOTTOM OF NEW GRADE BEAMS.

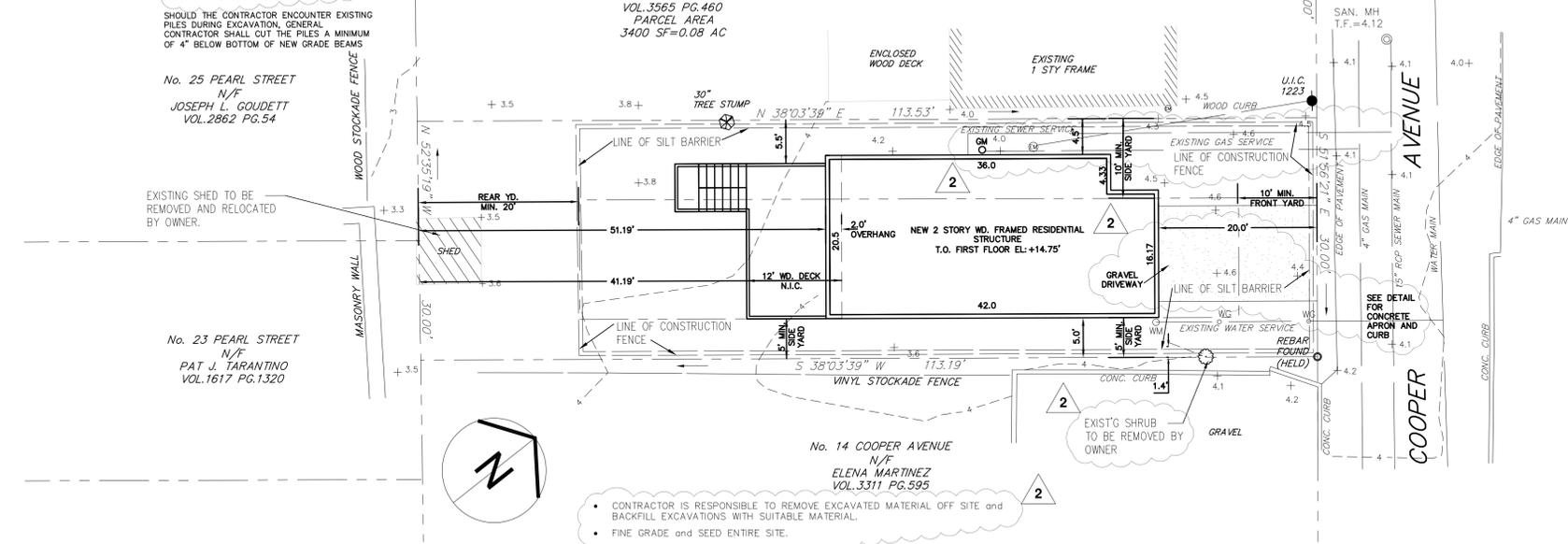
No. 25 PEARL STREET
N/F
JOSEPH L. GOUDET
VOL.2862 PG.54

No. 23 PEARL STREET
N/F
PAT J. TARANTINO
VOL.1617 PG.1320

No. 20 COOPER AVENUE
N/F
GAIL & JACK TREZ
VOL.3565 PG.460
PARCEL AREA
3400 SF=0.08 AC

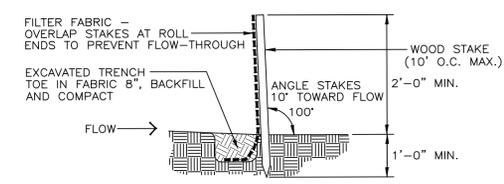
No. 22 COOPER AVENUE
N/F
JOAN & ROBERT PERUGINI
VOL.3602 PG.480

No. 14 COOPER AVENUE
N/F
ELENA MARTINEZ
VOL.3311 PG.595



- CONTRACTOR IS RESPONSIBLE TO REMOVE EXCAVATED MATERIAL OFF SITE and BACKFILL EXCAVATIONS WITH SUITABLE MATERIAL.
- FINE GRADE and SEED ENTIRE SITE.

2 PROPOSED SITE PLAN
1"=10'

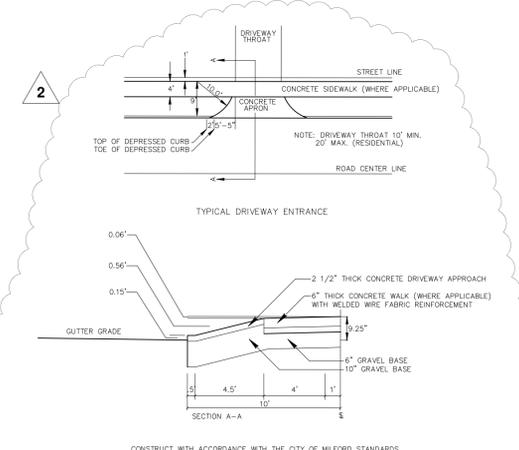


- INSPECT BARRIER AFTER EACH STORM EVENT AND DAILY DURING PROLONGED RAINFALL.
- REMOVE SEDIMENT WHEN IT REACHES APPROXIMATELY ONE-HALF THE BARRIER HEIGHT.

3 SILT BARRIER DETAIL
N.T.S.

	MINIMUM REQUIREMENTS R-5 ZONING		COMMENTS
	REQUIRED		
LOT AREA (square feet)	5,000 s.f.	3,500 s.f.***	*** Pre-Existing Non Conforming
LOT WIDTH (Feet)	50 feet	30 feet***	*** Pre-Existing Non Conforming
LOT DEPTH (Feet)	70 feet	113.4 feet	
FRONT YARD (Feet)	*	20 feet	
EACH SIDE YARD (Feet)	**	5+4.5 feet	*** Pre-Existing Non Conforming
REAR YARD (Feet)	20 feet	51.19 feet	
BUILDING HEIGHT STORIES	3	2	
FEET (in height)	35 feet	32 feet 9 inches	
BUILDING AREA AS % OF LOT	45%	23%	
LOT COVERAGE	65%	27%	

*Ten feet or the actual front yard setback, whichever is greater; except that the maximum required front yard shall not be required to exceed 20 feet
** One side yard (10) feet; other side (5) feet



4 CONCRETE DRIVEWAY APRON
N.T.S.

LEGEND

---	PROPERTY LINE
---	CHAIN LINK FENCE
W	WATER LINE
S	SANITARY LINE
G	GAS LINE
M.P.	METAL POST
+	UTILITY POLE
□	PROPERTY CORNER IRON PIN
○	CATCH BASIN
•	SANITARY MANHOLE
○	MAILBOX
○	DECIDUOUS TREE
○	BORING LOCATION

2 ADD ALTERNATE NO.1 REFER TO SPECIFICATIONS
DEMOLITION OF THE EXISTING RESIDENCE IS NOT PART OF THE CONTRACT. OWNER IS RESPONSIBLE FOR ALL DEMOLITION INCLUDING BUT NOT LIMITED TO REQUIRED PERMITS AND APPROVALS, REMOVAL OF EXISTING FOUNDATIONS, FOOTINGS, ABATEMENT OF HAZARDOUS MATERIALS, UTILITY DISCONNECTS, SITE CLEARING & REMOVAL OF ALL DEMOLITION DEBRIS OFF-SITE. CONTRACTOR SHALL ASSUME SITE WILL BE LEFT, ROUGH GRADED AND REASONABLY FLAT.

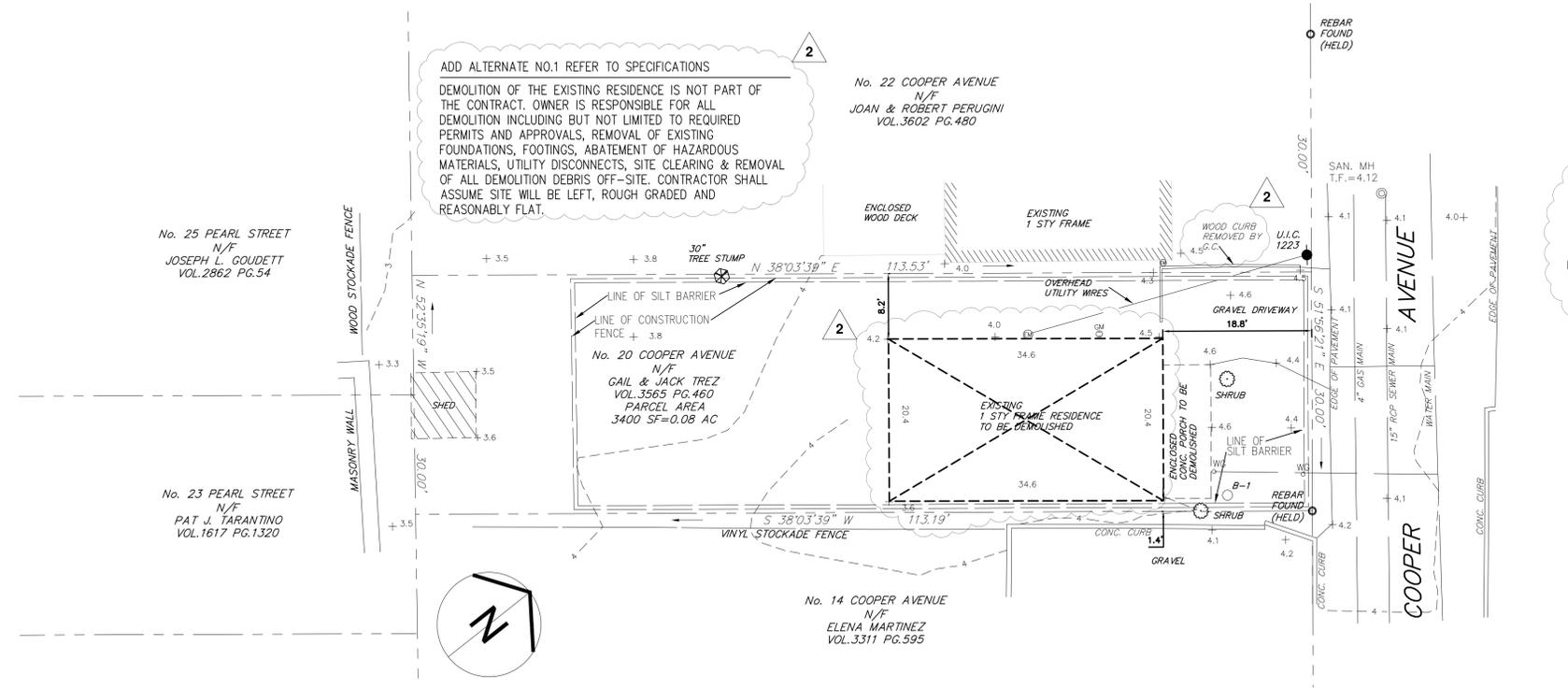
No. 22 COOPER AVENUE
N/F
JOAN & ROBERT PERUGINI
VOL.3602 PG.480

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PARCEL AREA
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ELENA MARTINEZ
VOL.3311 PG.595



1 EXISTING SITE PLAN
1"=10'

State Of Connecticut
Department Of Housing
505 Hudson Street
Hartford, Connecticut 06106

Construction of New Residence
for
Mr. & Mrs. Trez
Application No. 5076
20 Cooper Avenue
Milford, Connecticut 06460

2 SITE PLANS AND ZONING DATA

PROJECT NO.: 1524-27 SCALE AS NOTED

DRAWING NO.:
G-002

STRUCTURAL ENGINEER:



SURVEYOR:



Freeman Companies LLC
 100 Walk Street, Suite 204
 Hartford, Connecticut
 06103

ENVIRONMENTAL ENGINEER:



FUSS & O'NEILL
 Environmental Science, LLC
 100 WATER STREET, SUITE 1000
 HARTFORD, CONNECTICUT 06103

ISSUE NO.	ISSUE DATE	DESCRIPTION
2	06-23-16	GENERAL REVISION ADDENDUM #5076-2
1	06-06-16	ISSUED FOR BID

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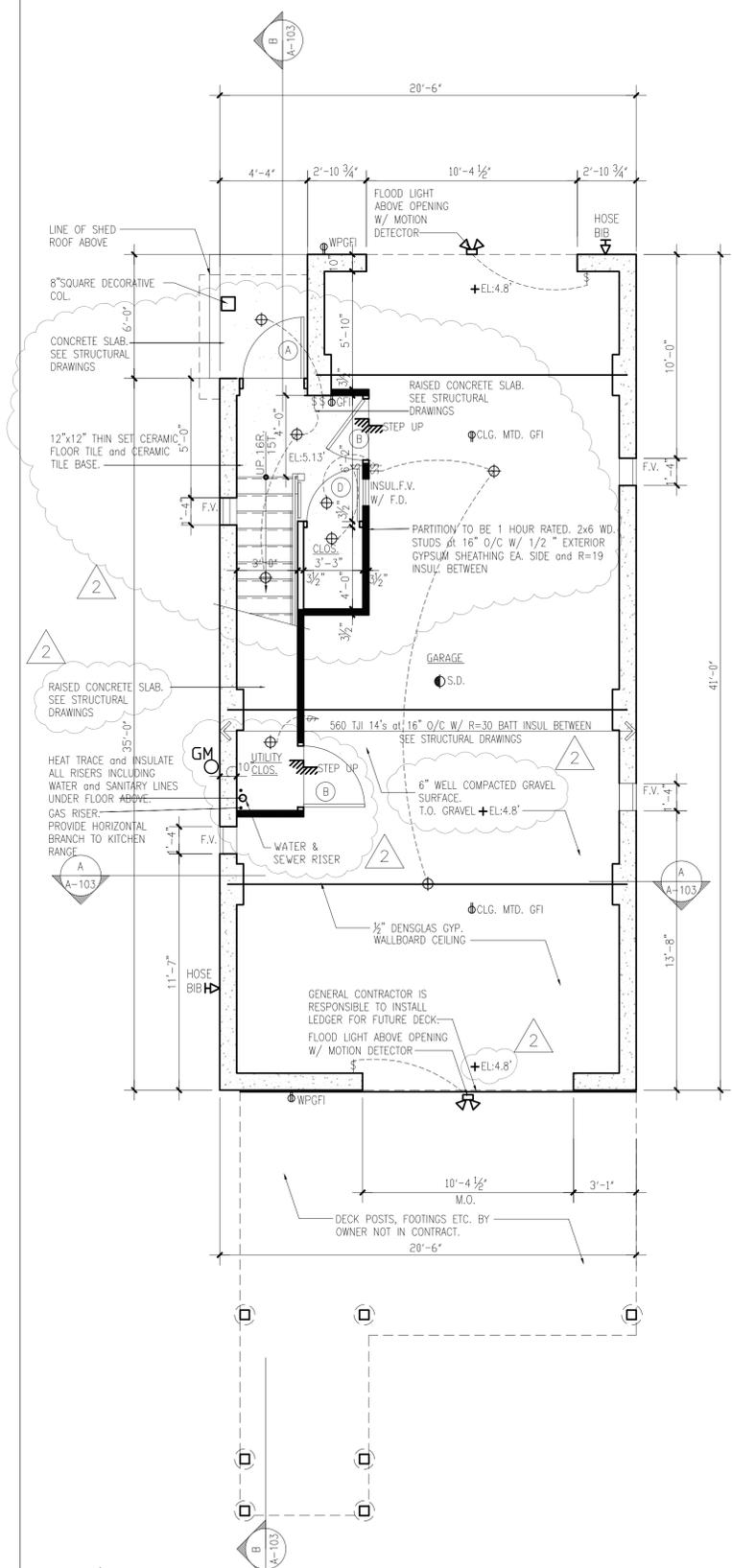
State Of Connecticut
 Department Of Housing
 505 Hudson Street
 Hartford, Connecticut 06106

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 for
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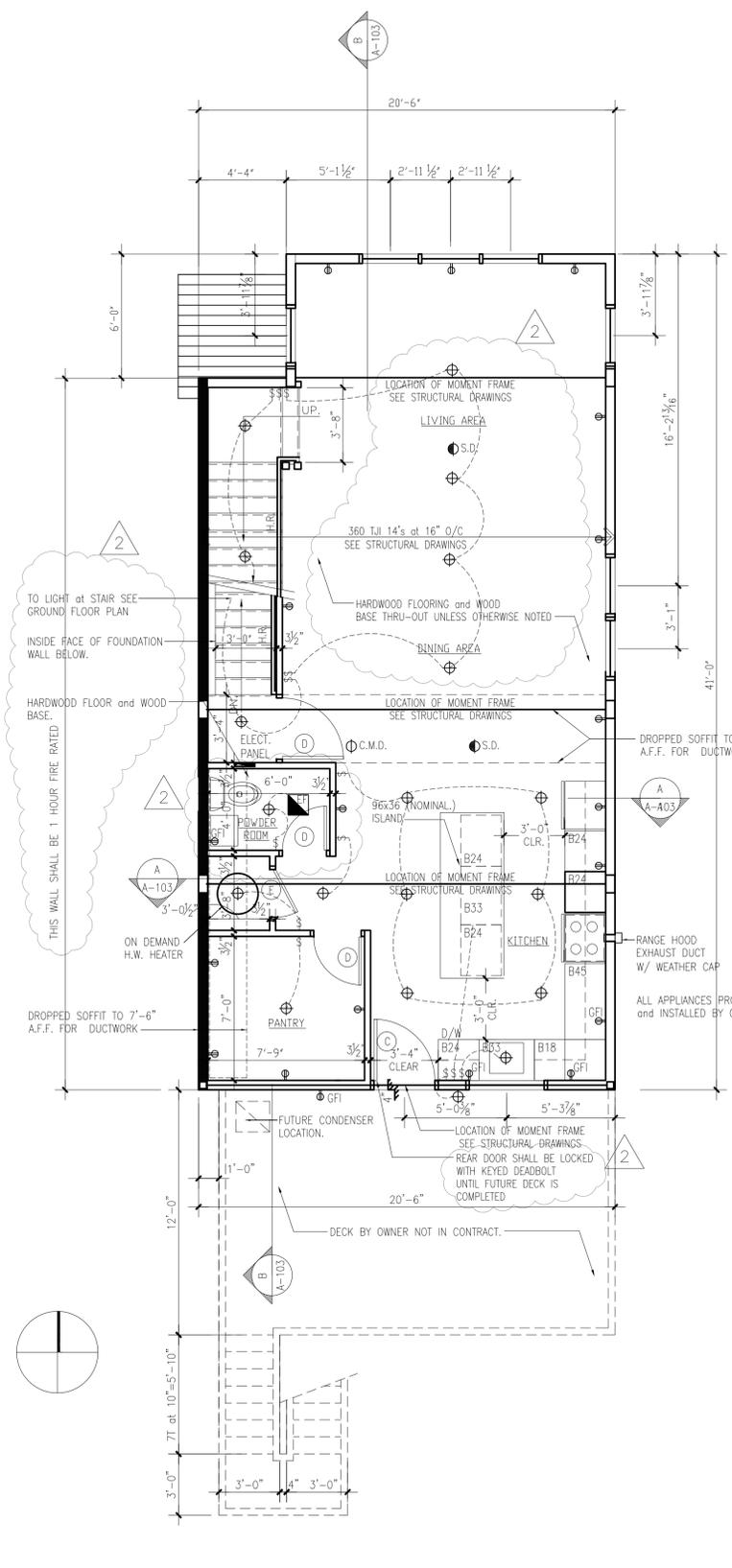
LOWER LEVEL, FIRST
 AND SECOND FLOOR
 PLANS

PROJECT NO.: 1524-27 SCALE AS NOTED

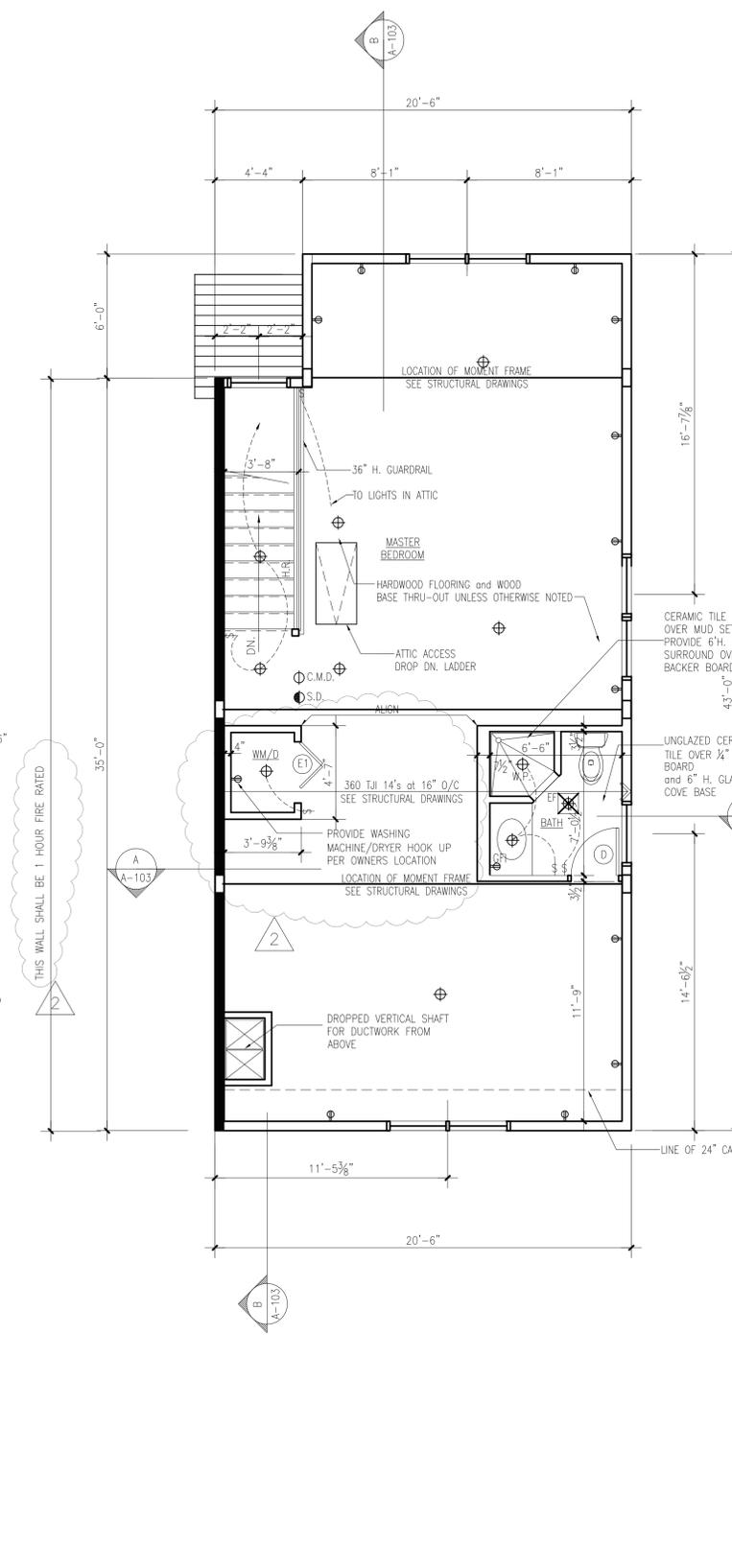
DRAWING NO.:
A-101



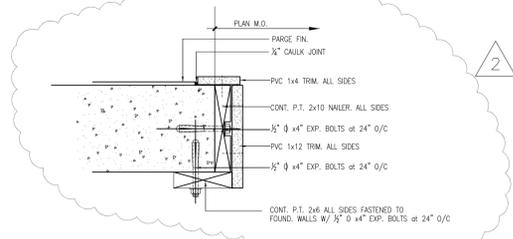
1 LOWER LEVEL FLOOR PLAN
 1/4" = 1'-0"



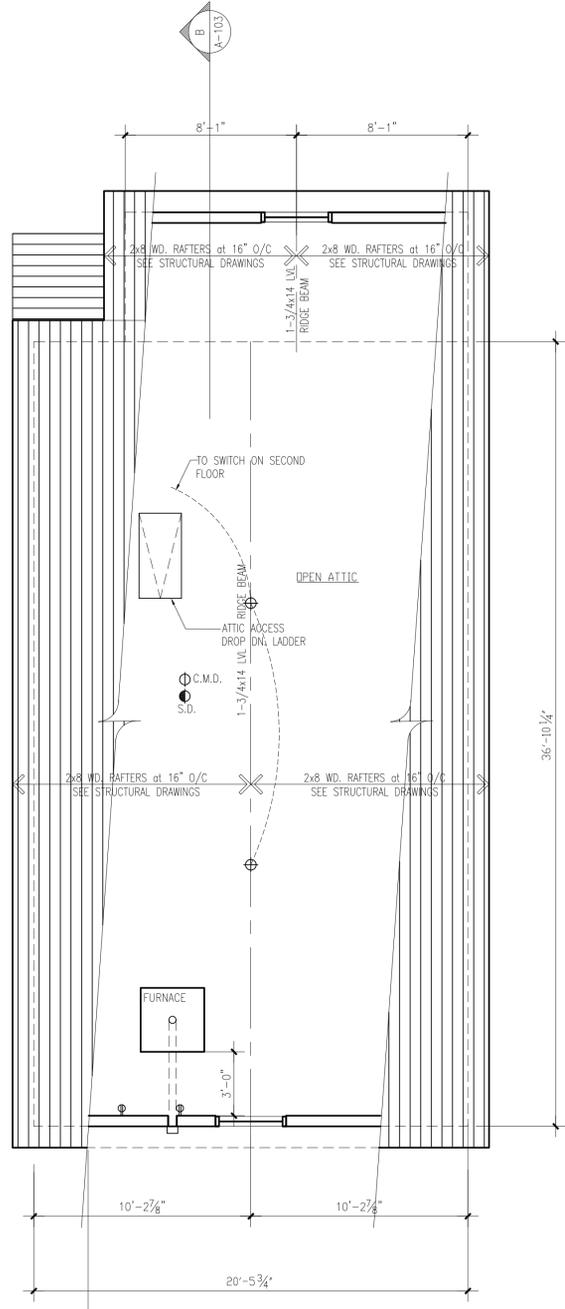
2 FIRST FLOOR PLAN
 1/4" = 1'-0"



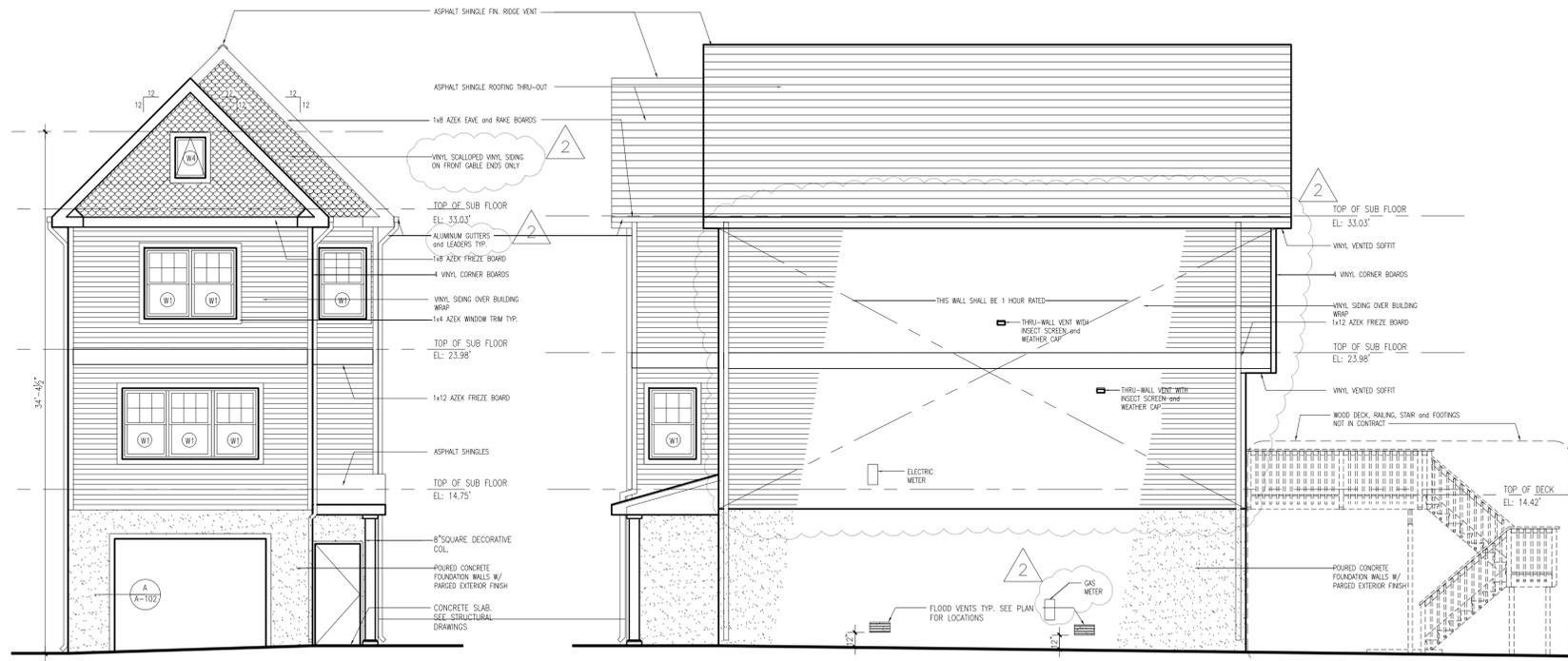
3 SECOND FLOOR PLAN
 1/4" = 1'-0"



A JAMB DETAIL
1-1/2" = 1'-0"

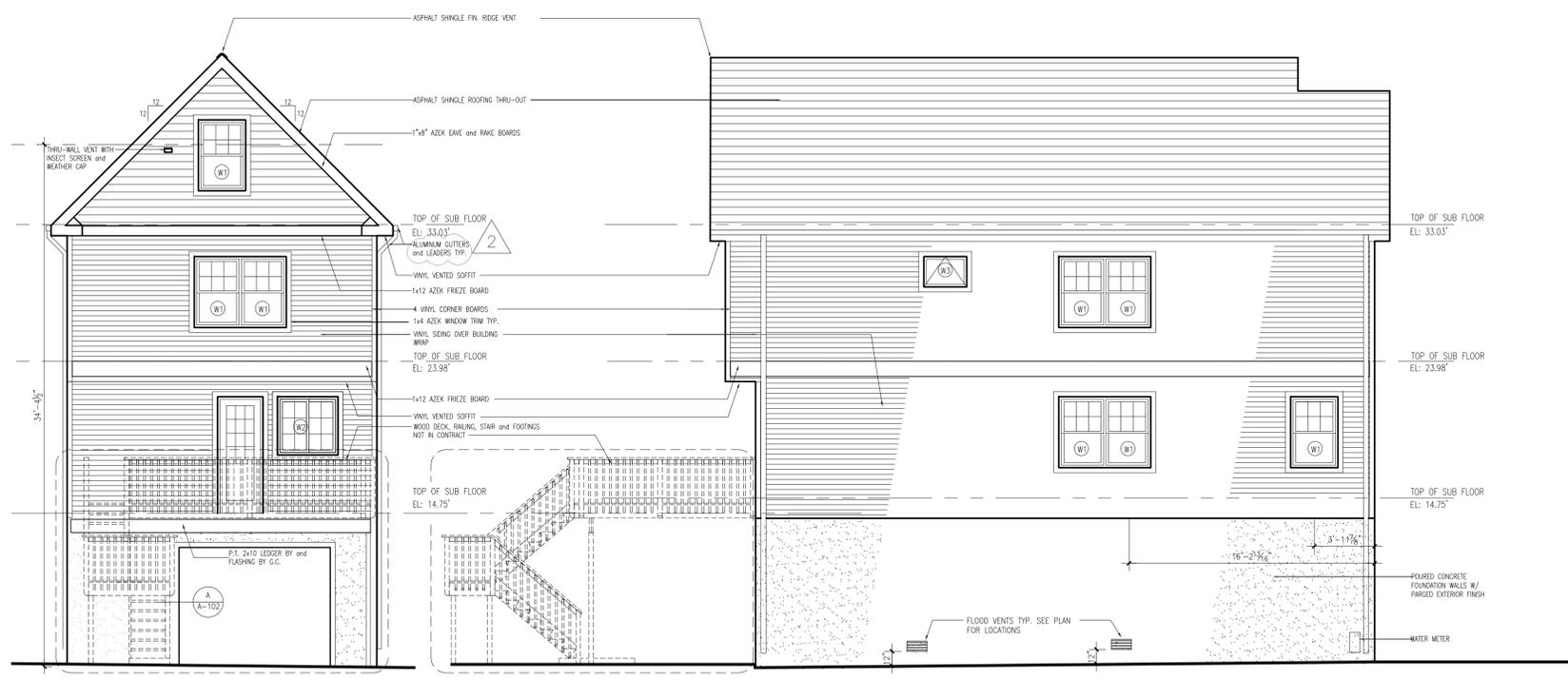


1 ATTIC FLOOR PLAN
1/4" = 1'-0"



2 NORTH ELEVATION
3/16" = 1'-0"

3 WEST ELEVATION
3/16" = 1'-0"



4 SOUTH ELEVATION
3/16" = 1'-0"

5 EAST ELEVATION
3/16" = 1'-0"

STRUCTURAL ENGINEER:



SURVEYOR:



ENVIRONMENTAL ENGINEER:



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Hartford, Connecticut 06106

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Milford, Connecticut 06460

ATTIC FLOOR PLAN AND EXTERIOR ELEVATIONS

PROJECT NO.: 1524-27 SCALE AS NOTED

DRAWING NO.: **A-102**

STRUCTURAL ENGINEER:



SURVEYOR:



Freeman Companies LLC
Burrhill on the Park, 100
Walk Street, Suite 2H,
Hartford, Connecticut
06103

ENVIRONMENTAL ENGINEER:



FUSS & O'NEILL
EnvironScience, LLC
140 HARTFORD ROAD
MILFORD, CONNECTICUT 06460
www.fussandoneill.com

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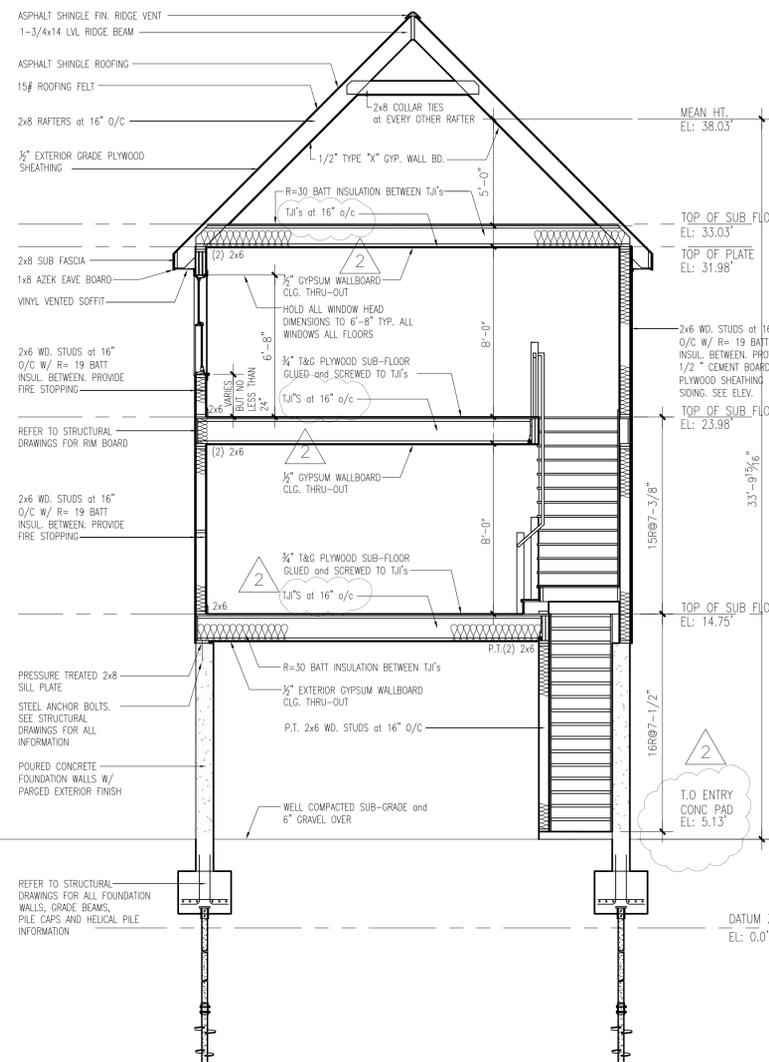
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BUILDING SECTIONS, DOOR SCHEDULE AND DETAILS

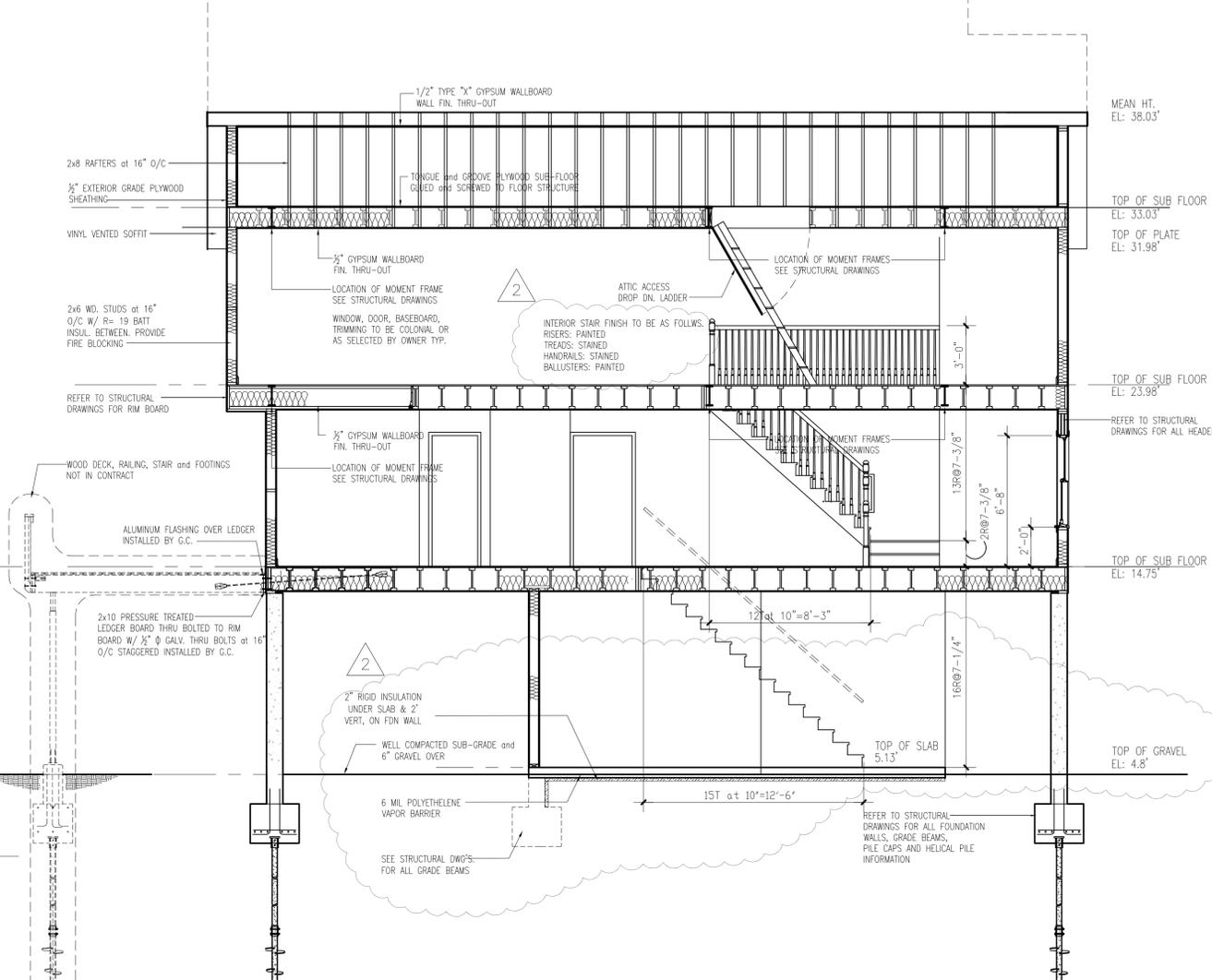
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DRAWING NO.:

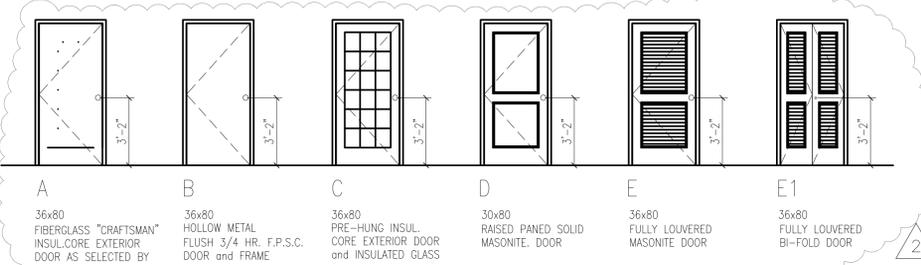
A-103



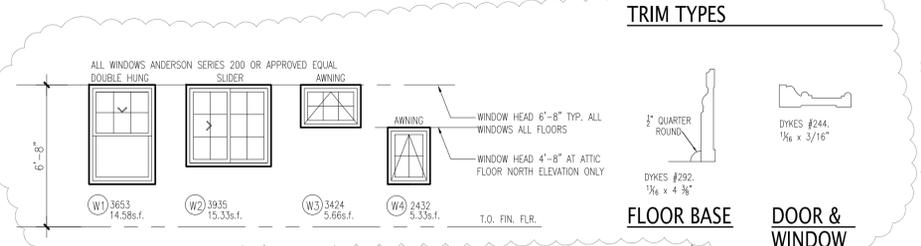
A CROSS SECTION
1/4" = 1'-0"



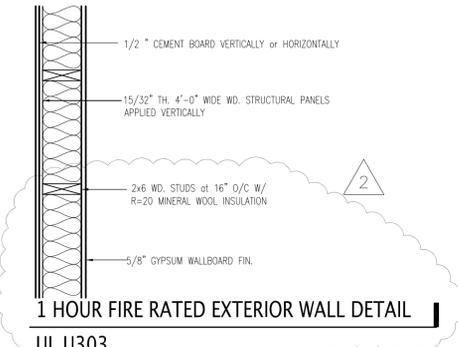
B LONGITUDINAL SECTION
1/4" = 1'-0"



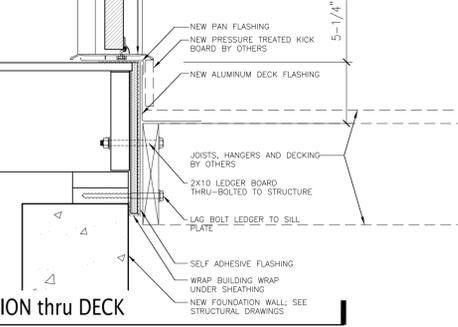
DOOR SCHEDULE



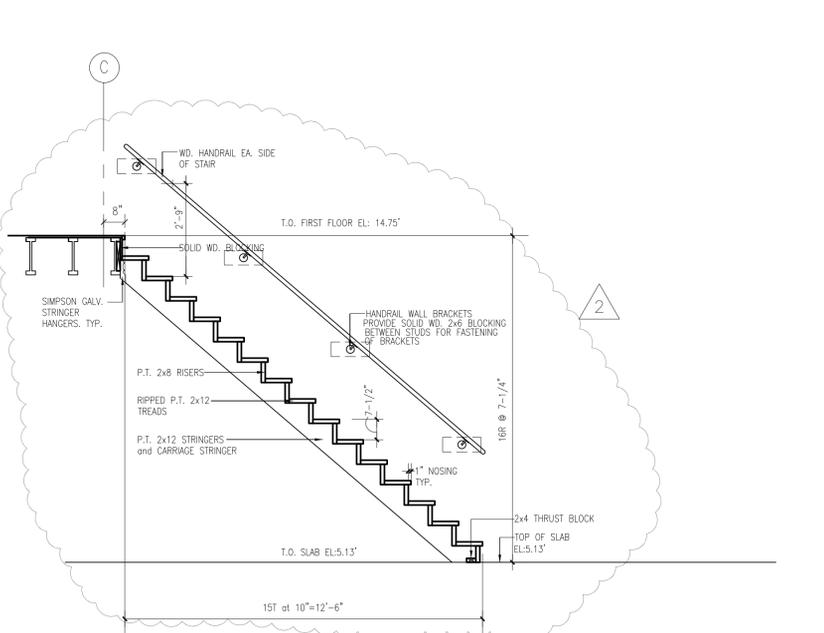
WINDOW SCHEDULE



1 HOUR FIRE RATED EXTERIOR WALL DETAIL
UL U303



**SECTION thru DECK
LEDGER BOARD**



SECTION thru STAIR

STRUCTURAL ENGINEER:



SURVEYOR:



ENVIRONMENTAL ENGINEER:



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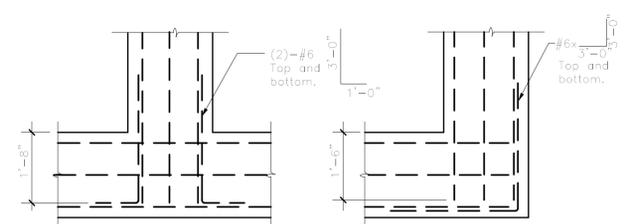
FOUNDATION, FIRST FLOOR AND SECOND FLOOR FRAMING PLANS

PROJECT NO.: 1524-27 SCALE AS NOTED

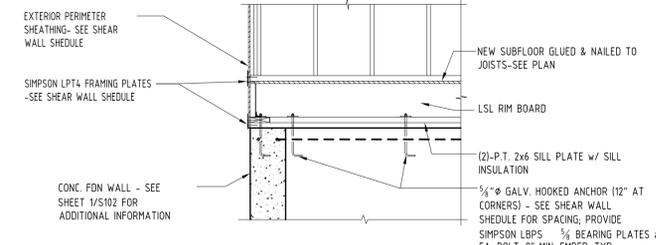
DRAWING NO. S-101

HEADER SCHEDULE				
MARK	HEADER	JACK'S	KING'S	REMARKS
H-1	(3) 2x10	(2) 2x6	(2) 2x6	
H-2	(3) 2x10	(2) 2x6	(2) 2x6	NON-BEARING

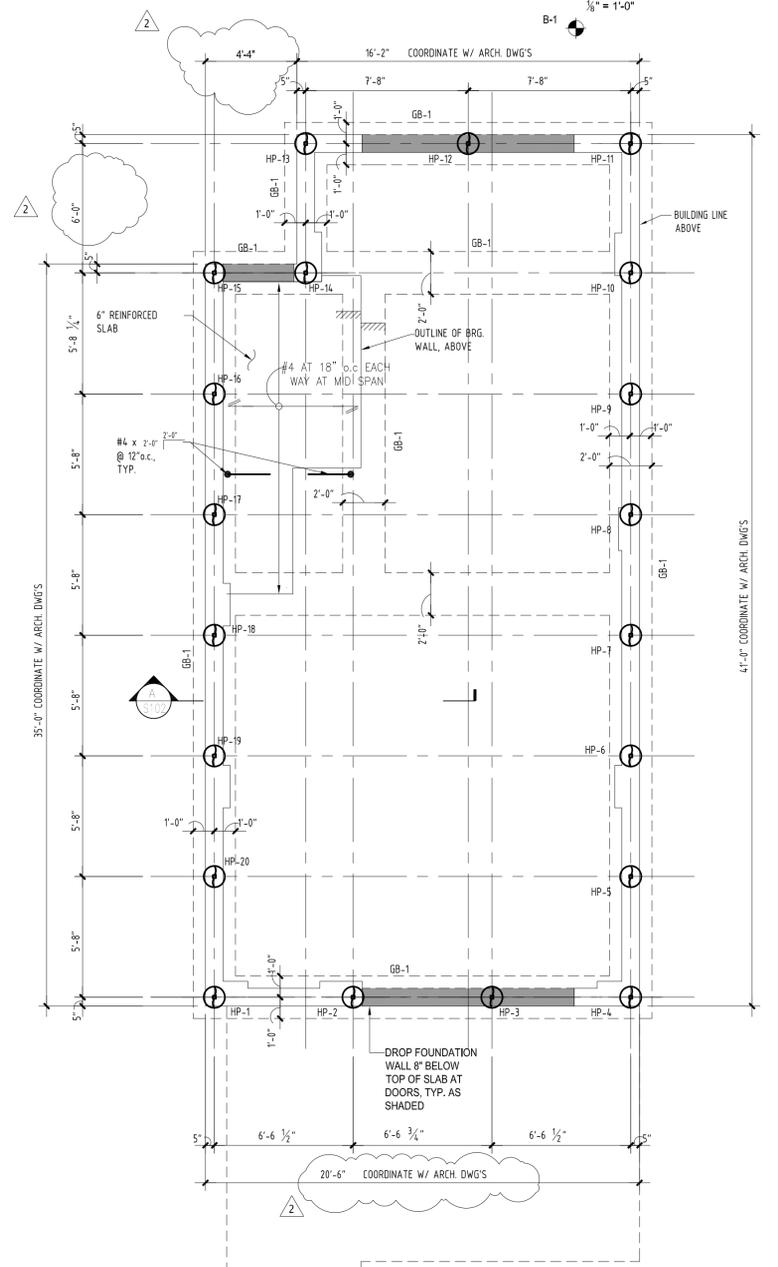
NOTES:
1. FOR EACH EXTERIOR HEADER CONNECTION REFER TO TYPICAL HEADER ANCHORAGE DETAIL ON SHEET S103



TYPICAL GRADE BEAM
CORNER REINFORCING
3/4" = 1'-0"

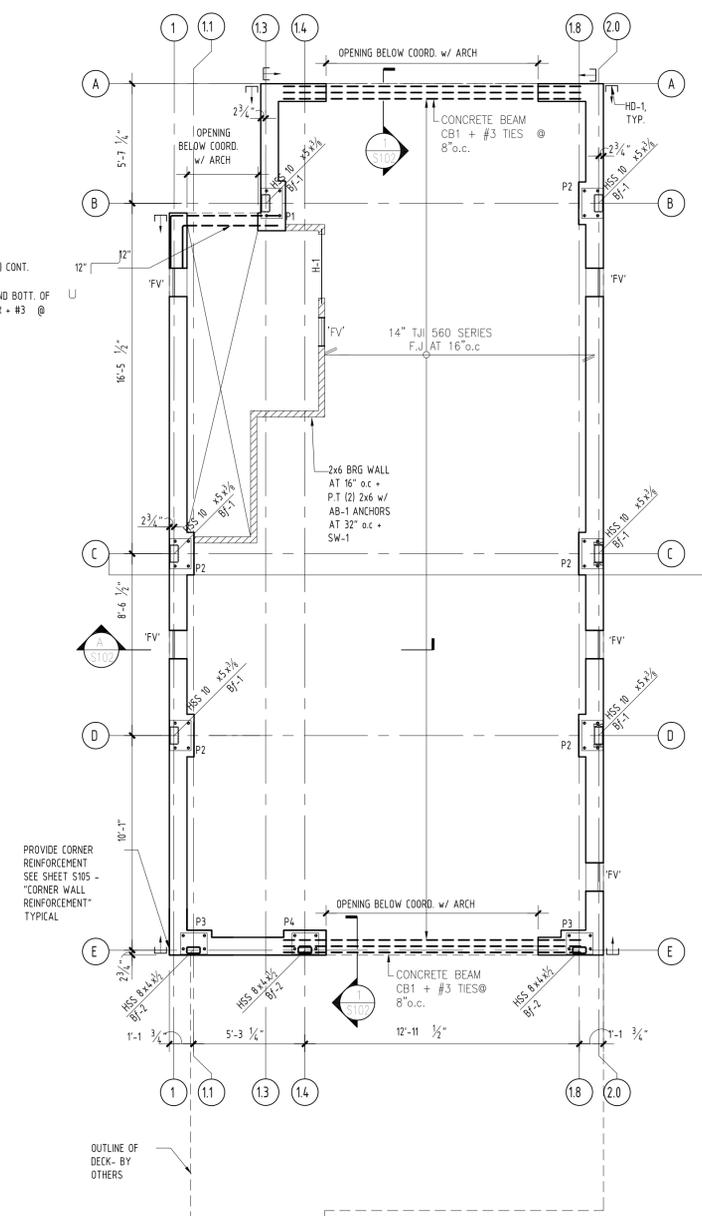


FOUNDATION ANCHORAGE
DETAIL
N.T.S.



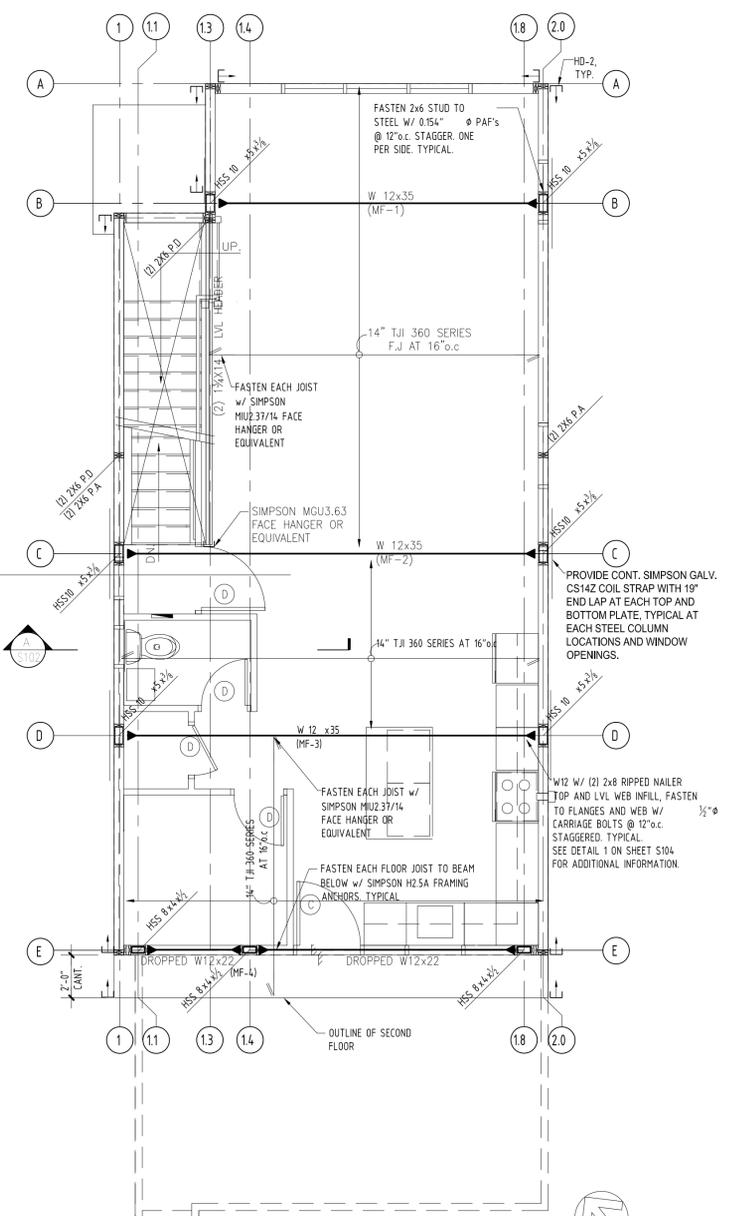
FOUNDATION PLAN
3/4" = 1'-0"

- NOTES:
- HP-1-10 DESIGNATES 40,000# ALLOWABLE COMPRESSION LOAD HELICAL PILE AND 10,000# ALLOWABLE TENSION.
 - B-1 DESIGNATES SOIL BORING LOCATION, REFER TO SOIL BORING LOG, DRAWING S-105.
 - COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS AND SITE CONDITIONS.
 - GB1 DENOTES 2'-0"x2'-0" GRADE BEAM REINFORCED WITH (3)-#6 TOP AND BOTTOM CONTINUOUS- SEE DETAIL DECK FRAME AND SUPPORTS BY OTHERS.



FIRST FLOOR FRAMING
3/4" = 1'-0"

- NOTE:
- WOOD-FRAME FLOOR CONSTRUCTION: 3/4" T&G PLYWOOD SUBFLOOR GLUED AND NAILED TO FLOOR FRAMING WITH 100 COMMON NAILS (0 1/4" x 3 1/2") @ 6" o.c.
 - "B/H" DENOTES STEEL COLUMN BASE PLATE- SEE DETAILS ON DRAWING S104.
 - "P-B" DENOTES CONCRETE PIERS- SEE DETAILS ON DRAWING S104.
 - "HD-x" DENOTES HOLDDOWN. SEE DRAWING S103 FOR LOCATION AND SHEET S105 FOR ADDITIONAL INFORMATION.
 - CONCRETE BEAM (CB)-REINFORCE WITH (3)-#5 TOP AND BOTTOM- EXTEND BARS 2'-0" BEYOND FACE OF OPENING. SEE DETAIL.



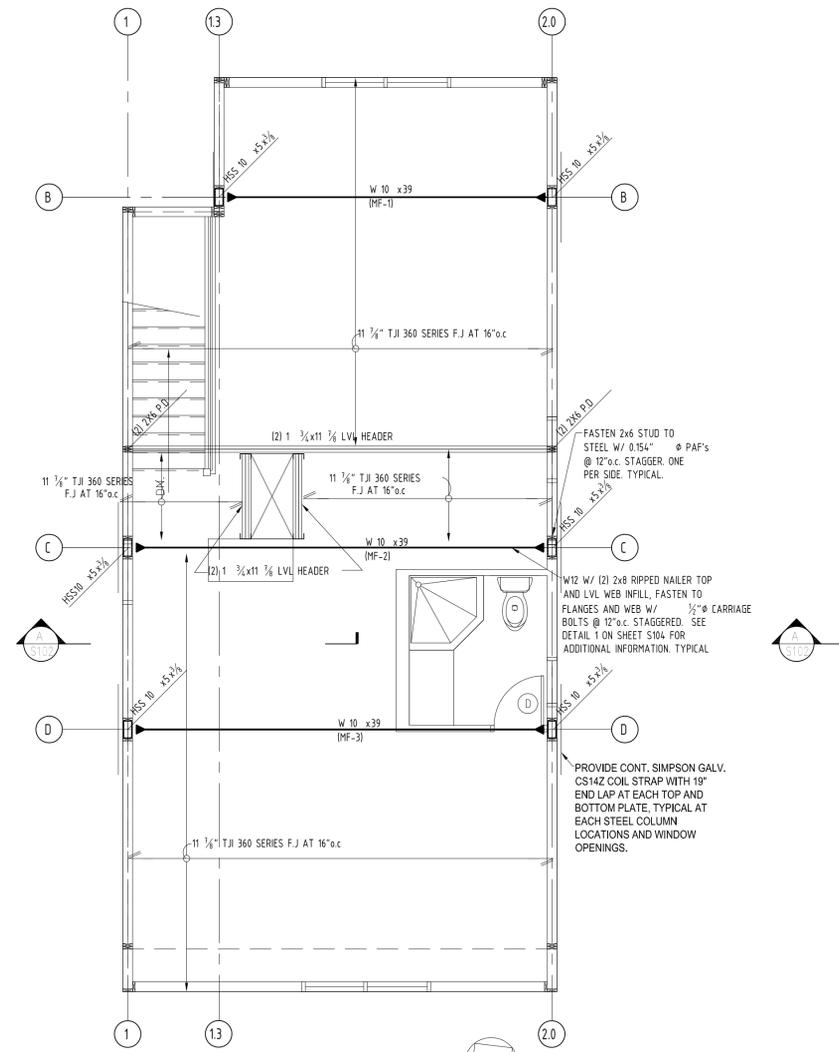
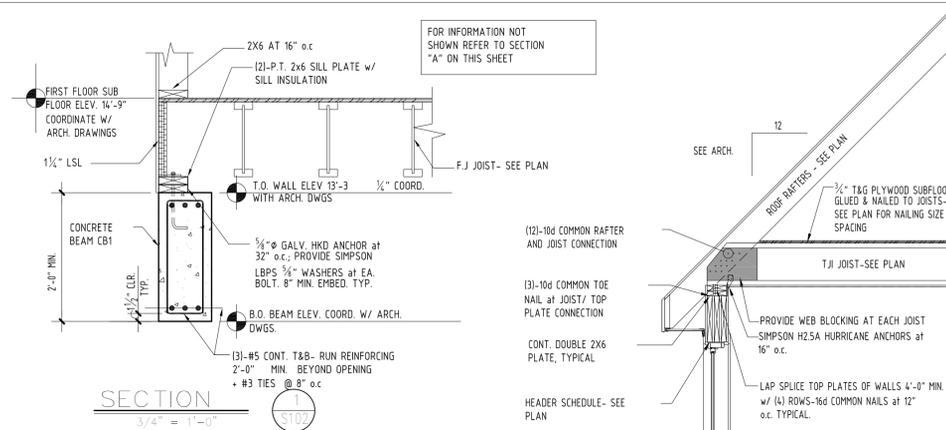
SECOND FLOOR FRAMING
3/4" = 1'-0"

- NOTE:
- WOOD-FRAME FLOOR CONSTRUCTION: 3/4" T&G PLYWOOD SUBFLOOR GLUED AND NAILED TO FLOOR FRAMING WITH 100 COMMON NAILS (0 1/4" x 3 1/2") @ 4" o.c. PROVIDE BLOCKING BETWEEN PLYWOOD JOINTS.
 - "HD-x" DENOTES HOLDDOWN. SEE DRAWING S103 FOR LOCATION AND SHEET S105 FOR ADDITIONAL INFORMATION.
 - "M-M" DENOTES MOMENT CONNECTION- SEE DETAIL ON DRAWING S103.

FLOOD VENT NOTES: "FV"
1. OVERALL FOOTPRINT = 816± SQUARE FEET
2. "SMARTVENT" (8"x16") ALLOWABLE AREA RATING = 200 SF/VENT
3. 816/200 = 4.08 USE (5) "SMARTVENTS"

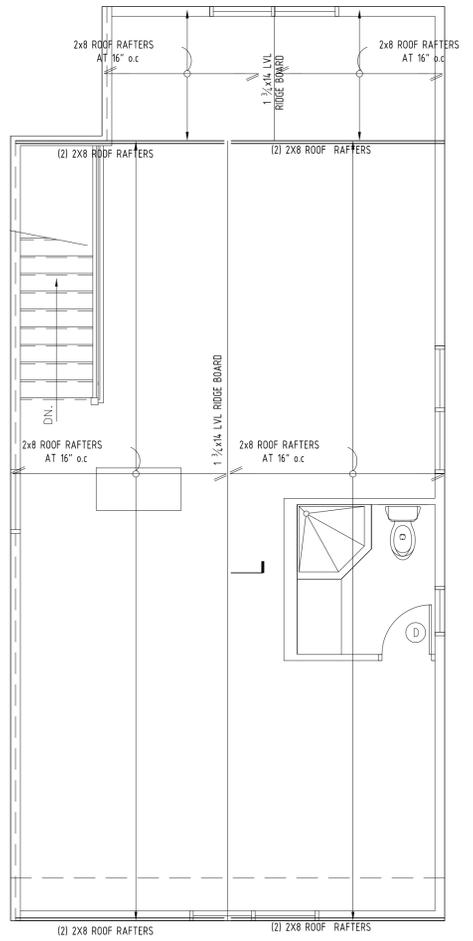
MARK	HEADER	JAMB		REMARKS
		JACK'S	KING'S	
H-1 OPENING = 6'-0"	(3) 2x10	(2) 2x6	(2) 2x6	
H-2 OPENING = 9'-0"	(3) 2x10	(2) 2x6	(2) 2x6	NON-BEARING

NOTES:
1. FOR EACH EXTERIOR HEADER CONNECTION REFER TO TYPICAL HEADER ANCHORAGE DETAIL ON SHEET S103



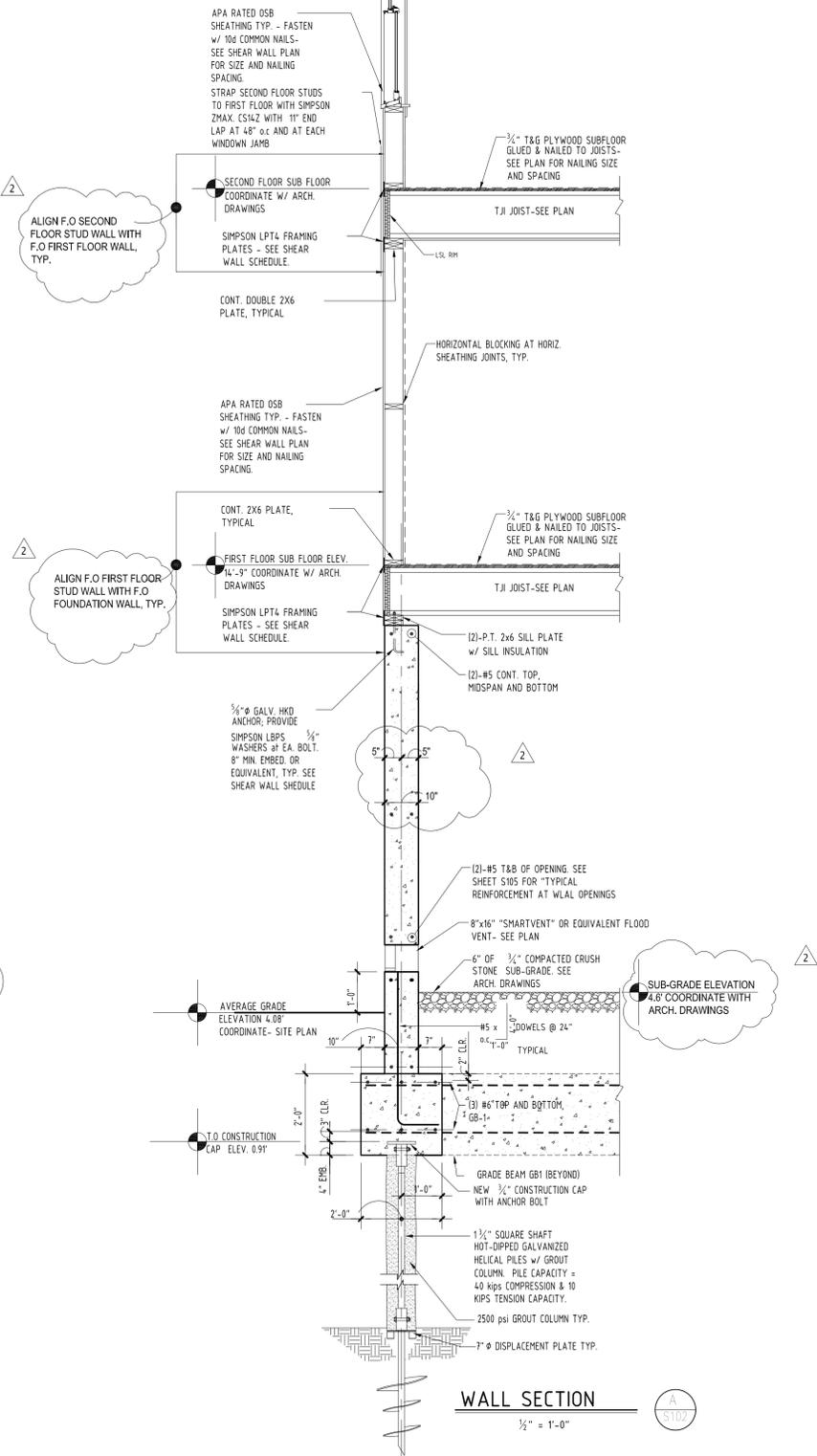
ATTIC FLOOR FRAMING
1/4" = 1'-0"

NOTE:
1. WOOD-FRAME FLOOR CONSTRUCTION: 3/4" T&G PLYWOOD SUBFLOOR GLUED AND NAILED TO FLOOR FRAMING WITH 10d COMMON NAILS (0.148" x 3 1/2") @ 4" o.c.
2. "HD-X" DENOTES HOLDOWN. SEE DRAWING SXX FOR SHEARWALL PLANS AND HOLDOWN SCHEDULE, AND DWG. S10 FOR SHEARWALL DETAILS.
3. — DENOTES MOMENT CONNECTION- SEE DETAIL ON DRAWING S103.

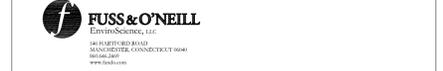


ROOF FRAMING
1/4" = 1'-0"

NOTE:
1. ROOF SHEATHING: 3/4" APA PLYWOOD NAILED TO ROOF FRAMING @ 6" o.c. AT PANEL EDGES, 10d COMMON NAILS (0.148" x 3 1/2") @ 12" o.c. IN PANEL FIELD.
2. ROOF FRAMING: ROOF RAFTER TO RIDGE & CEILING JOIST FASTEN TO TOP PLATE CONNECTION W/ SIMPSON H25A HURRICANE ANCHORS OR EQUIVALENT.
3. RAFTER AND CEILING JOIST CONNECTION W/ (12) 10d COMMON NAILS (0.148" x 3 1/2").



WALL SECTION
1/2" = 1'-0"



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ATTIC AND ROOF FRAMING, STRUCTURAL WALL SECTION

PROJECT NO.: 1524-27 SCALE AS NOTED

DRAWING NO.:

STRUCTURAL ENGINEER:



SURVEYOR:



ENVIRONMENTAL ENGINEER:



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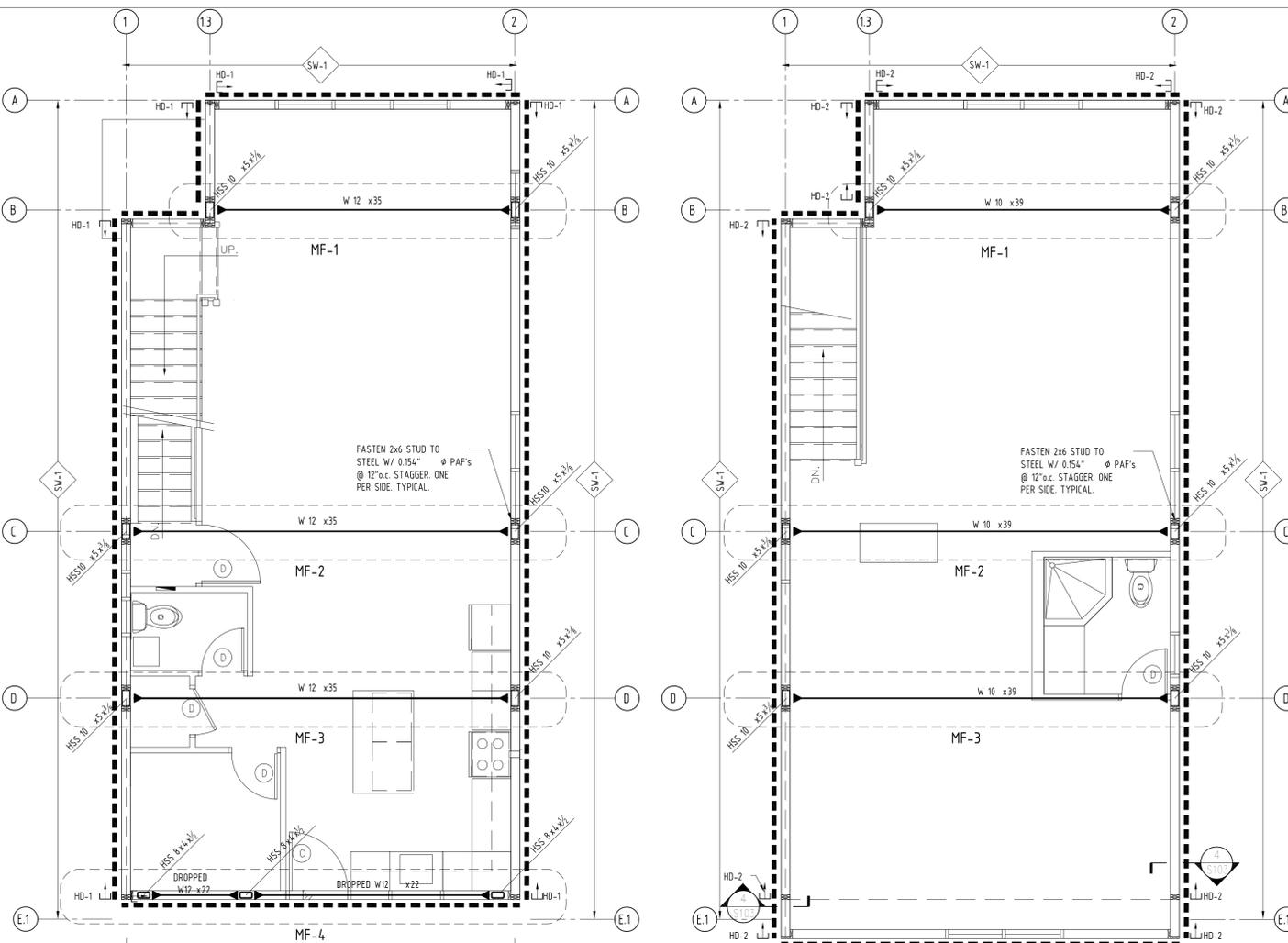
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SHEAR WALL PLAN & TYPICAL DETAILS

PROJECT NO.: 1524-27 SCALE AS NOTED

DRAWING NO.:

S-103

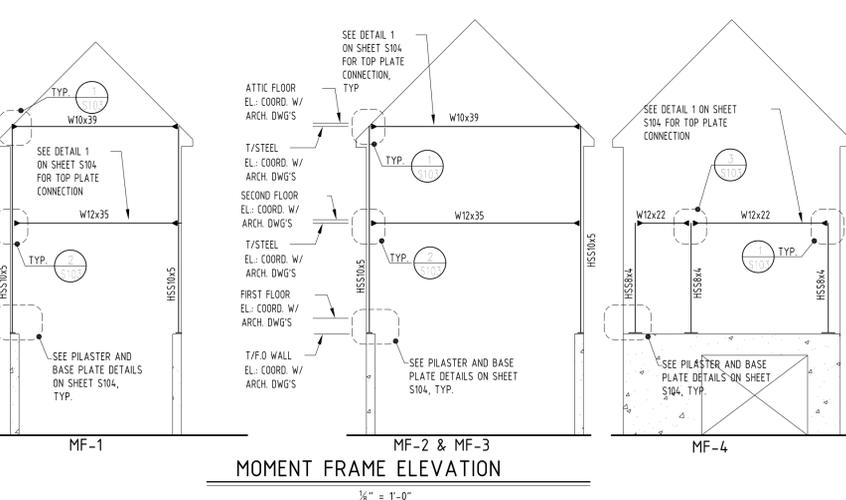


FIRST FLOOR SHEAR WALL PLAN
3/4" = 1'-0"

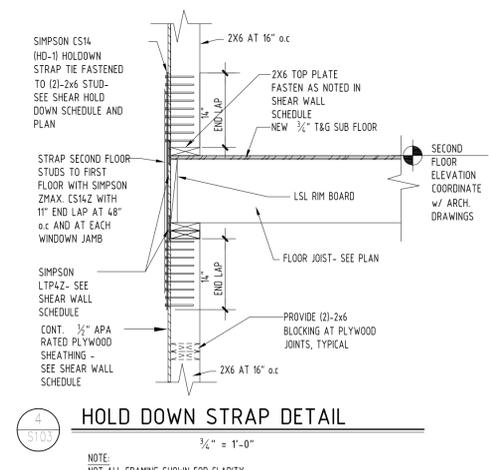
- NOTES:
1. SHEAR WALLS TO BE SHEATHED ON OUTSIDE FACE OF WALL.
 2. PROVIDE HORIZONTAL BLOCKING AT ALL HORIZONTAL SHEATHING JOINTS.
 3. SHEAR WALLS LOCATED AT PLUMBING WALLS SHALL BE SHEATHED AND FASTENED PRIOR TO INSTALLATION OF ANY PLUMBING FIXTURES THAT WOULD REDUCE SHEATHING LIMITS OR BLOCK SHEATHING INSTALLATION.
 4. ALL SHEAR WALLS SHALL EXTEND UP TO THE UNDERSIDE OF OF ROOF DIAPHRAGM SHEATHING.
 5. FLOOR JOIST SHALL BE PLACED ALIGN INTERIOR SHEAR WALL.
 6. "M" DENOTES MOMENT CONNECTION. SEE MOMENT CONNECTION DETAIL.
 7. "BF-x" DENOTES MOMENT FRAME.
 8. STRAP SECOND FLOOR STUDS TO FIRST FLOOR STUDS WITH SIMPSON GALV. CS14Z COL. STRAP WITH 14" END LAP SPACE AT 32" o.c. (MAX.) AND AT EACH KING JAMB SUPPORT.

SECOND FLOOR SHEAR WALL PLAN
3/4" = 1'-0"

- NOTES:
1. SHEAR WALLS TO BE SHEATHED ON OUTSIDE FACE OF WALL.
 2. PROVIDE HORIZONTAL BLOCKING AT ALL HORIZONTAL SHEATHING JOINTS.
 3. SHEAR WALLS LOCATED AT PLUMBING WALLS SHALL BE SHEATHED AND FASTENED PRIOR TO INSTALLATION OF ANY PLUMBING FIXTURES THAT WOULD REDUCE SHEATHING LIMITS OR BLOCK SHEATHING INSTALLATION.
 4. ALL SHEAR WALLS SHALL EXTEND UP TO THE UNDERSIDE OF OF ROOF DIAPHRAGM SHEATHING.
 5. FLOOR JOIST SHALL BE PLACED ALIGN INTERIOR SHEAR WALL.
 6. "M" DENOTES MOMENT CONNECTION. SEE MOMENT CONNECTION DETAIL.
 7. "M" DENOTES MOMENT FRAME.



MOMENT FRAME ELEVATION
3/4" = 1'-0"



HOLD DOWN STRAP DETAIL
3/4" = 1'-0"

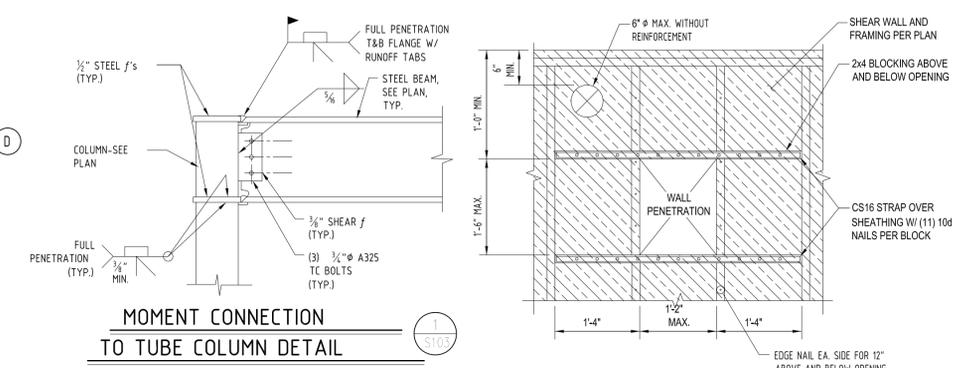
NOTE:
NOT ALL FRAMING SHOWN FOR CLARITY

MARK	HOLDOWN	END LAP (AS APPLICABLE)	NAILING	ANCHOR ROD (AS APPLICABLE)	POST	REMARK'S
HD-2	CS14	14"	(24) - 10d @ 48" (USE HALF OF REQ. NAILS IN EACH MEMBER CONNECTED)	N/A	(2) 2x6	EXTERIOR FLOOR STRAPPING
HD-1	STD14RJ	26"	(30) - 16d @ 162" @ 3/2"	N/A	(2) 2x6	SEE HOLDOWN DETAIL ON SHEET S105

- NOTES:
1. HOLDOWNS ARE MANUFACTURED BY SIMPSON STRONG-TIE
 2. BUILT-UP MEMBER WITH SIMPSON SDS 1/2" @ 3" SCREWS, SPACED 3" o.c. STAGGERED ALONG ENTIRE LENGTH OF MEMBER. MAINTAIN 1" MIN. EDGE SPACING FOR BUILT-UP MEMBER MORE THAN DOUBLE. 2x FASTEN EACH PLY.
 3. ALL EXTERIOR STRAPS AND FASTENERS SHALL BE HOT DIPPED GALVANIZED

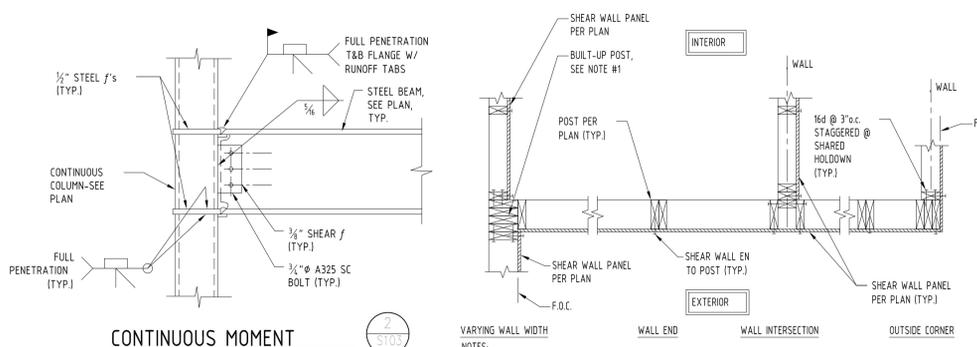
MARK	SHEATHING THICKNESS	FACES SHEATHED	FASTENER TYPE	PANEL PERIMETER NAILING	PANEL INTERIOR NAILING (MAX.)	RIM JOIST/BLOCKING TOP PLATE CONNECTION	TOP & BOTTOM PLATE TO RIM/JOIST CONNECTION	SILL PLATE ATTACHMENT TO FOUNDATION
SW-1	3/4" INCH	ONE SIDE	10d COMMON	6"	12"	SIMPSON LTP4Z CLIP (DIRECTION OF LOAD "G")	12d COMMON @ 14" @ 3/2"	ANCHOR BOLT (AS APPLICABLE) AB-1 32" o.c.

- NOTES:
1. MIN. NAIL PENETRATION INTO WOOD FRAMING SHALL BE 1 1/2"
 2. PROVIDE HORIZONTAL BLOCKING AT ALL HORIZONTAL PLYWOOD JOINTS.
 3. AB-1 DENOTES 3/4" @ GALV. HOOKED ANCHORS. PROVIDE SIMPSON LBPS 1/2" WASHERS AT EACH BOLT, MIN. 8" EMBEDMENT.
 4. AT CONCRETE FOUNDATION ATTACHMENT PROVIDE MIN. 9" (2) 2x6 WOOD SILL PLATE w/ SILL INSULATION.
 5. SHEAR WALLS LOCATED AT PLUMBING WALLS SHALL BE SHEATHED AND FASTENED PRIOR TO INSTALLATION OF ANY PLUMBING FIXTURES THAT WOULD REDUCE SHEATHING LIMITS OR BLOCK SHEATHING INSTALLATION.
 6. ALL CONTINUOUS SHEAR WALLS SHALL EXTEND UP TO THE UNDERSIDE OF OF ROOF DIAPHRAGM SHEATHING. AS NOTED IN PLANS.



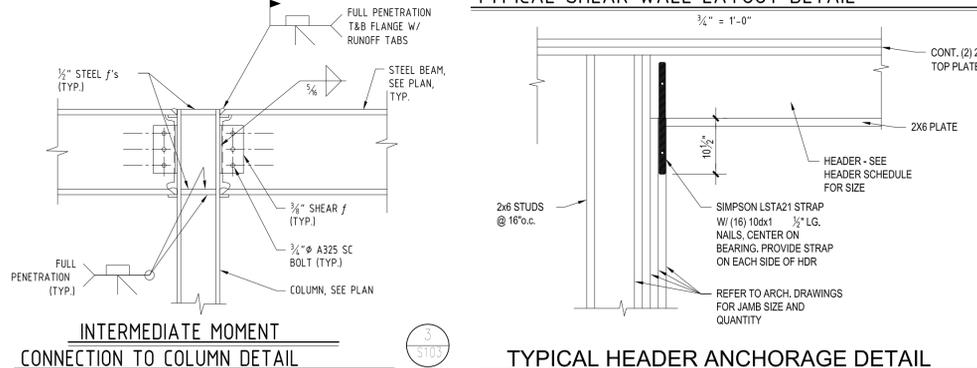
MOMENT CONNECTION TO TUBE COLUMN DETAIL
3/4" = 1'-0"

TYPICAL SHEAR WALL PENETRATION DETAIL
3/4" = 1'-0"



CONTINUOUS MOMENT COLUMN MOMENT CONNECTION
NOT TO SCALE

TYPICAL SHEAR WALL LAYOUT DETAIL
3/4" = 1'-0"



INTERMEDIATE MOMENT CONNECTION TO COLUMN DETAIL
NO SCALE

TYPICAL HEADER ANCHORAGE DETAIL
3/4" = 1'-0"

NOTE:
NOT ALL FRAMING SHOWN FOR CLARITY

