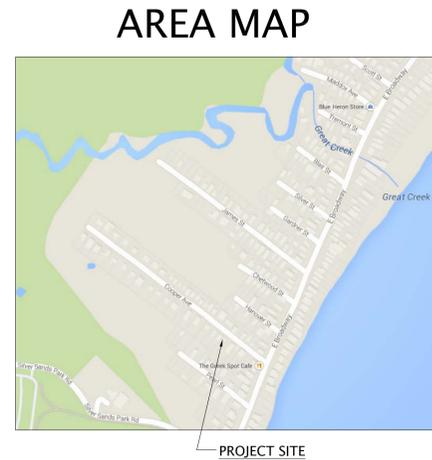
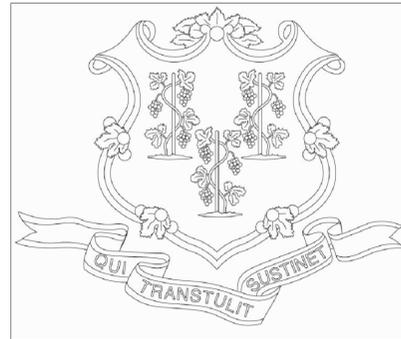


STATE OF CONNECTICUT DEPARTMENT OF HOUSING CDBG-COMMUNITY DEVELOPMENT BLOCK GRANT SUPERSTORM SANDY DISASTER RECOVERY PROGRAM



SPONSOR
State of Connecticut
Department of Housing
505 Hudson Street
Hartford, Connecticut 06106

OWNER
Application No. 5076
Gail & Jack Trez
20 Cooper Avenue
Milford, Connecticut 06460

ARCHITECT:
Lothrop Associates LLP
333 Westchester Avenue, White Plains, New York 10604
510 Clinton Square, Rochester, New York 14620
125 Half Mile Road, Suite 200, Red Bank, New Jersey 07701
100 Pearl Street, 14th Floor, Hartford, Connecticut 06103

ENVIRONMENTAL ENGINEER:
Fuss & O'Neill
146 Hartford Road, Manchester, Connecticut 06040
56 Quarry Rd, Trumbull, Connecticut 06611

STRUCTURAL ENGINEER:
Cuoco Structural Engineers, LLC
60 Katona Drive, Fairfield, Connecticut 06824

SURVEYOR
FREEMAN COMPANIES LLC.
36 John Street, Hartford, Ct. 06106

GENERAL NOTES

- DO NOT OBSTRUCT ACCESS TO THE SITE.
- PROTECT ALL AREAS FROM FALLING DEBRIS.
- MAINTAIN ALL EXISTING SITE ELEMENTS (PAVING, FENCES, BUILDINGS, ETC.) AND PLANTINGS & LAWNS. CONTRACTOR SHALL REPLACE OR REPAIR ALL DAMAGE, AT THE CONTRACTORS' EXPENSE.
- MAINTAIN A SECURED AREA FOR ALL CONSTRUCTION MATERIALS & EQUIPMENT STORED ON SITE.
- PROVIDE TARPED DUMPSTER FOR REMOVAL OF ALL RUBBISH AND CONSTRUCTION DEBRIS. DUMPSTER SHOULD BE ADEQUATELY PROTECTED DURING PROJECT. CONTRACTOR IS RESPONSIBLE FOR ALL TRASH PLACED IN AND AROUND DUMPSTER. DUMPSTER PERMIT COSTS TO BE INCLUDED IN THE BASE BID.
- WORK SHALL COMPLY WITH ALL STATE & LOCAL CODES, REGULATIONS AND ORDINANCES.
- AT PROJECT COMPLETION, REMOVE ALL CONSTRUCTION DEBRIS AND PATCH/REPAIR ALL SURFACES DAMAGED BY CONTRACTOR ACTIVITIES. THOROUGHLY CLEAN ALL WORK AREAS OF ALL DEBRIS RESULTING FROM WORK OF THIS CONTRACT.
- DISCONNECT AND RECONNECT ALL UTILITIES AS REQUIRED. COORDINATE WITH UTILITY COMPANIES AND AUTHORITIES HAVING JURISDICTION.
- THE SPECIFICATION BOOK IS AN INTEGRAL PART OF THE DOCUMENTS AND SHALL BE CONSIDERED AS PART OF THESE DRAWINGS.

DRAWING LIST

ARCHITECTURAL

- G-001 COVER SHEET
- G-002 SITE PLAN and ZONING DATA
- A-101 LOWER LEVEL, FIRST and SECOND FLOOR PLANS
- A-102 ATTIC FLOOR PLAN and EXTERIOR ELEVATIONS
- A-103 BUILDING SECTIONS, DOOR SCHEDULE and DETAILS

STRUCTURAL

- S-101 FOUNDATION, FIRST and SECOND FLOOR FRAMING PLANS
- S-102 ATTIC and ROOF FRAMING PLAN, STRUCTURAL WALL SECTION
- S-103 SHEAR WALL PLAN and TYPICAL DETAILS
- S-104 DETAILS & SECTIONS
- S-105 STRUCTURAL NOTES and SOIL BORING LOGS

ABBREVIATIONS

| | | | |
|--------|----------------------------------|--------|---------------------------|
| ADJ | ADJACENT | MAX | MAXIMUM |
| ALUM | ALUMINUM | MC | MEDICINE CABINET |
| APPROX | APPROXIMATE | MI | MIRRORED MEDICINE CABINET |
| ARCH | ARCHITECTURAL | MIN | MINIMUM |
| BTM | BOTTOM | MO | MASONRY OPENING |
| B.O. | BOTTOM OF | MV | MICROWAVE |
| CJ | CEILING JOISTS | NIC | NOT INCLUDED IN CONTRACT |
| CL | CENTERLINE | OA | OVERALL |
| CLOS | CLOSET | OC | ON CENTER |
| CMU | CONCRETE MASONRY UNIT | OPP | OPPOSITE |
| COL | COLUMN | PSL | PARALLEL STRAND LUMBER |
| CONC | CONCRETE | PT | PRESSURE TREATED |
| CONT | CONTINUOUS | REINF | REINFORCED |
| COORD | COORDINATE | RO | ROUGH OPENING |
| CT | CERAMIC TILE | RM | ROOM |
| DW | DISHWASHER | RR | ROOF RAFTERS |
| DWG | DRAWING | SD | SMOKE DETECTOR |
| E/F | EXHAUST FAN | SIM | SIMILAR |
| EX | EXISTING | SPEC | SPECIFICATIONS |
| EL | ELEVATION | STD | STANDARD |
| EP | ELECTRICAL PANEL | STL | STEEL |
| EQ | EQUAL | STRUCT | STRUCTURAL |
| EQUIP | EQUIPMENT | T.O. | TOP OF |
| EQUIV | EQUIVALENT | TYP | TYPICAL |
| FIN | FINISH | VCT | VINYL COMPOSITE TILE |
| FDN | FOUNDATION | VERT | VERTICAL |
| FJ | FLOOR JOISTS | VIF | VERIFY IN FIELD |
| FLR | FLOOR | W/D | WASHER/ DRYER COMBO |
| FLHB | FROST PROOF HOSE BIB | WD | WOOD |
| FV | FLOOD VENT | WP | WEATHERPROOF |
| GALV | GALVANIZED | WWF | WELDED WIRE FABRIC (MESH) |
| GB1 | GRADE BEAM 1 | U/C | UNDER CABINET (LIGHTING) |
| GFCI | GROUND FAULT CIRCUIT INTERRUPTER | | |
| GWB | GYP SUM WALL BOARD | | |
| GYP | GYP SUM | | |
| HDWD | HARDWOOD FLOORING | | |
| HM | HOLLOW METAL | | |
| HORIZ | HORIZONTAL | | |
| HWH | HOT WATER HEATER | | |
| JB | JUNCTION BOX | | |
| LO | LINE OF | | |
| LVL | LAMINATE VENEER LUMBER | | |

SYMBOLS LEGEND

| | | | |
|--|--|--|--|
| | NEW PARTITION/ WALL | | DETAIL TAG: SECTION NUMBER DRAWING NUMBER |
| | NEW FOUNDATION WALL AND FOOTINGS | | SECTION KEY: SECTION NUMBER DRAWING NUMBER |
| | OBJECT ABOVE OR BELOW | | ELEVATION KEY: ELEVATION NUMBER DRAWING NUMBER |
| | NEW WINDOW TYPE (SEE WINDOW SCHEDULE) | | KEYED NOTE TAG |
| | NEW DOOR TYPE (SEE DOOR SCHEDULE) | | ROOF SLOPE |
| | NEW 12x16 "SMART VENT" FLOOD VENT | | REVISION |
| | NEW GAS METER | | SETBACK LINE |
| | NEW WATER METER | | SILT BARRIER |
| | PLYWOOD | | CONSTRUCTION FENCE |
| | CONCRETE | | PROPERTY LINE |
| | RIGID INSULATION | | SMOKE DETECTOR |
| | GRAVEL | | CARBON MONOXIDE DETECTOR |
| | WOOD DECKING | | |

Lothrop

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100 Pearl Street
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860-249-7251

White Plains Rochester Red Bank Hartford

STRUCTURAL ENGINEER:



SURVEYOR:



ENVIRONMENTAL ENGINEER:



| | | |
|---|----------|----------------|
| 1 | 06-06-16 | ISSUED FOR BID |
|---|----------|----------------|

| ISSUE NO. | ISSUE DATE | DESCRIPTION |
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Department Of Housing
505 Hudson Street
Hartford, Connecticut 06106

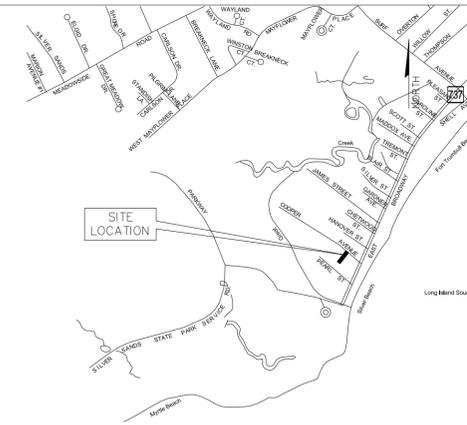
Demolition of Existing and
Construction of New One Family
Residence for
Gail & Jack Trez
Application No. 5076
20 Cooper Avenue
Milford, Connecticut 06460

COVER SHEET

PROJECT NO.: 1524-27 SCALE AS NOTED

DRAWING NO.:

G-001



LOCATION MAP

NOT TO SCALE

NOTE:
GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL UNDERGROUND/OVERHEAD UTILITIES. THE GENERAL CONTRACTOR SHALL EXTEND AND RECONNECT ALL UTILITIES TO NEW STRUCTURE INCLUDING BUT NOT LIMITED TO SANITARY, STORM, ELECTRIC, GAS, ETC. COORDINATE ALL WITH UTILITY COMPANIES AND ALL AGENCIES HAVE JURISDICTION.
ELECTRIC ITEMS SHOWN BELOW FLOOD LEVEL TO BE SURFACE MOUNTED. ALL WIRING SHALL BE IN SURFACE MOUNTED CONDUIT.
SHOULD THE CONTRACTOR ENCOUNTER EXISTING PILES DURING EXCAVATION, GENERAL CONTRACTOR SHALL CUT THE PILES A MINIMUM OF 4" BELOW BOTTOM OF NEW GRADE BEAMS

No. 25 PEARL STREET
N/F
JOSEPH L. GOUDET
VOL.2862 PG.54

EXISTING SHED TO BE REMOVED AND RELOCATED BY OWNER.

No. 23 PEARL STREET
N/F
PAT J. TARANTINO
VOL.1617 PG.1320

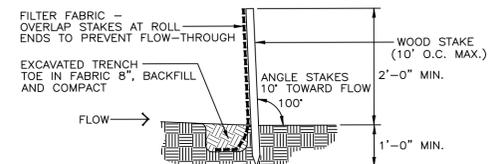
No. 22 COOPER AVENUE
N/F
JOAN & ROBERT PERUGINI
VOL.3602 PG.480

No. 20 COOPER AVENUE
N/F
GAIL & JACK TREZ
VOL.3565 PG.460
PARCEL AREA
3400 SF=0.08 AC

No. 14 COOPER AVENUE
N/F
ELENA MARTINEZ
VOL.3311 PG.595

CONTRACTOR IS RESPONSIBLE TO REMOVE EXCAVATED MATERIAL OFF SITE AND BACKFILL EXCAVATIONS WITH SUITABLE MATERIAL.

2 PROPOSED SITE PLAN
1"=10'



1. INSPECT BARRIER AFTER EACH STORM EVENT AND DAILY DURING PROLONGED RAINFALL.
2. REMOVE SEDIMENT WHEN IT REACHES APPROXIMATELY ONE-HALF THE BARRIER HEIGHT.

3 SILT BARRIER DETAIL
N.T.S.

| | MINIMUM REQUIREMENTS R-5 ZONING | | COMMENTS |
|---------------------------|---------------------------------|------------------|---------------------------------|
| | REQUIRED | | |
| LOT AREA (square feet) | 5,000 s.f. | 3,500 s.f.*** | *** Pre-Existing Non Conforming |
| LOT WIDTH (Feet) | 50 feet | 30 feet*** | *** Pre-Existing Non Conforming |
| LOT DEPTH (Feet) | 70 feet | 113.4 feet | |
| FRONT YARD (Feet) | * | 20 feet | |
| EACH SIDE YARD (Feet) | ** | 5+4.5 feet | *** Pre-Existing Non Conforming |
| REAR YARD (Feet) | 20 feet | 51.19 feet | |
| BUILDING HEIGHT STORIES | 3 | 2 | |
| FEET (in height) | 35 feet | 32 feet 9 inches | |
| BUILDING AREA AS % OF LOT | 45% | 23% | |
| LOT COVERAGE | 65% | 27% | |

*Ten feet or the actual front yard setback, whichever is greater; except that the maximum required front yard shall not be required to exceed 20 feet
** One side yard (10) feet; other side (5) feet

NOTES

INFORMATION SHOWN ON THIS SITE PLAN HAS BEEN TAKEN FROM SURVEY AS PREPARED BY BY FREEMAN COMPANIES, LLC.

THE TYPE OF SURVEY IS A BOUNDARY AND TOPOGRAPHIC SURVEY. IT IS DEPENDENT IN NATURE AND BASED UPON MAP REFERENCE NUMBER ONE.

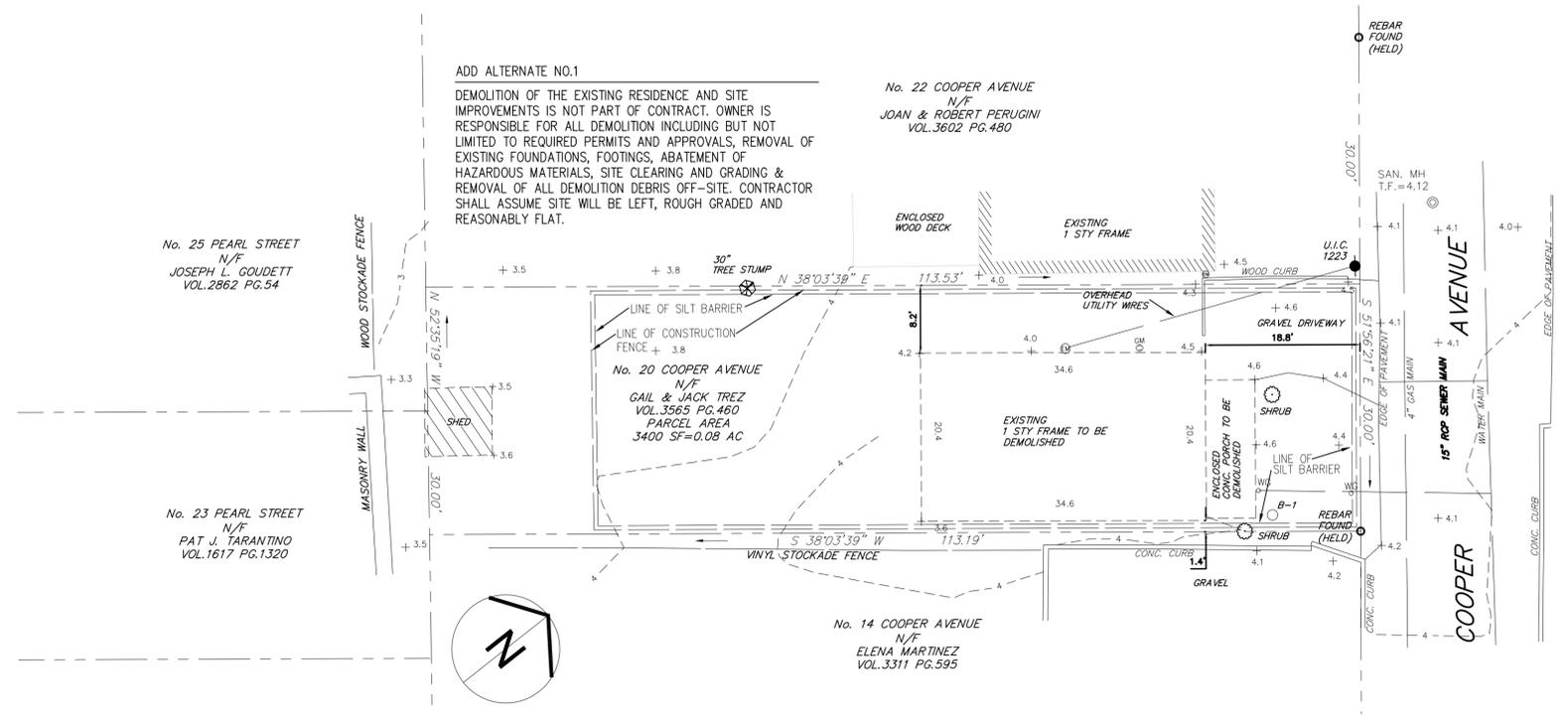
HORIZONTAL CONTROL AND MAP BEARINGS ARE BASED ON NAD83 DATUM. VERTICAL CONTROL AND ELEVATIONS ARE BASED ON NAVD88 DATUM.

THE SUBJECT PROPERTY IS CURRENTLY OWNED BY GAIL AND JACK TREZ, SEE MILFORD LAND RECORDS VOLUME 3565 AT PAGE 60, AND IS LOCATED IN AN R5 ZONE.

THE EXISTING LOT IS NON CONFORMING TO THE CURRENT ZONING REGULATIONS FOR LOT AREA, WIDTH AND FRONTAGE. ITS USE IS DECLARED TO BE NONCONFORMING BUT NOT IN VIOLATION SINCE THE LOT EXISTED OF RECORD PRIOR TO MARCH 15, 1997. SEE SECTION 8-13g OF THE CONNECTICUT GENERAL STATUTES LISTED HERE FOR REFERENCE.

THE PROPERTY DEPICTED HEREON IS LOCATED IN FLOOD ZONE AE [BASE FLOOD ELEVATIONS DETERMINED] (ELEVATION 11') AND FLOOD ZONE VE [COASTAL FLOOD ZONE WITH VELOCITY HAZARD (WAVE ACTION)].

1 EXISTING SITE PLAN
1"=10'



LEGEND

| | |
|-----|--------------------------|
| --- | PROPERTY LINE |
| --- | CHAIN LINK FENCE |
| --- | WATER LINE |
| --- | SANITARY LINE |
| --- | GAS LINE |
| ○ | METAL POST |
| ○ | UTILITY POLE |
| ○ | PROPERTY CORNER IRON PIN |
| ○ | CATCH BASIN |
| ○ | SANITARY MANHOLE |
| ○ | MAILBOX |
| ○ | DECIDUOUS TREE |
| ○ | BORING LOCATION |

State Of Connecticut
Department Of Housing
505 Hudson Street
Hartford, Connecticut 06106

Demolition of Existing and
Construction of New One Family
Residence for
Gail & Jack Trez
Application No. 5076
20 Cooper Avenue
Milford, Connecticut 06460

SITE DEMOLITION PLAN,
PROPOSED SITE PLAN and
ZONING DATA

PROJECT NO.: 1524-27 SCALE AS NOTED

DRAWING NO.:

G-002

| ISSUE NO. | ISSUE DATE | DESCRIPTION |
|-----------|------------|----------------|
| 1 | 06-06-16 | ISSUED FOR BID |

State Of Connecticut
Department Of Housing
505 Hudson Street
Hartford, Connecticut 06106

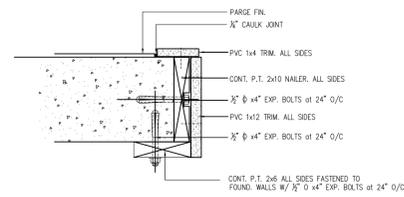
Demolition of Existing and
Construction of New One Family
Residence for
Gail & Jack Trez
Application No. 5076
20 Cooper Avenue
Milford, Connecticut 06460

ATTIC FLOOR PLAN and EXTERIOR ELEVATIONS

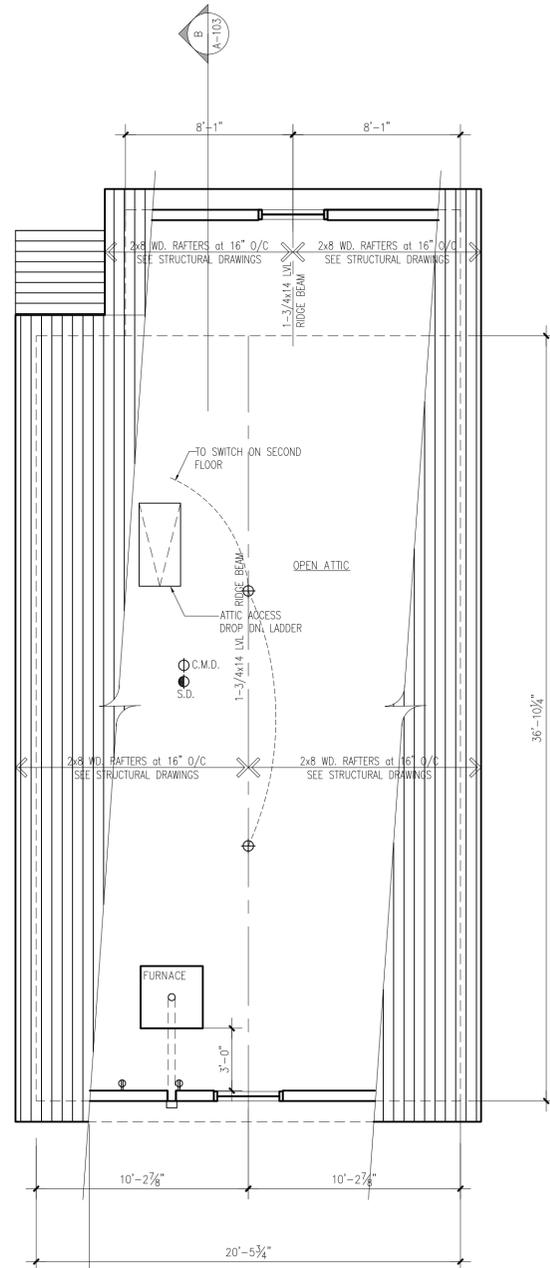
PROJECT NO.: 1524-27 SCALE AS NOTED

DRAWING NO.:

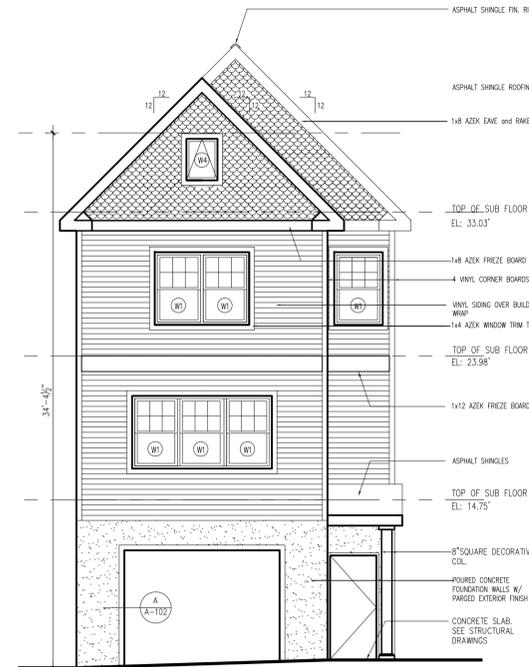
A-102



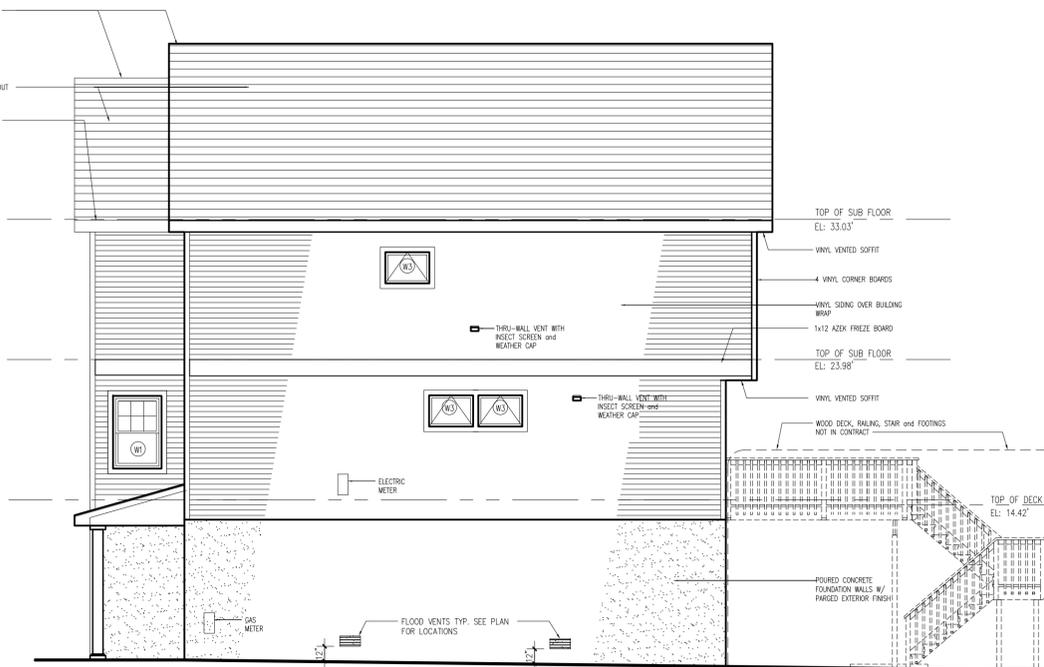
A JAMB DETAIL
1-1/2" = 1'-0"



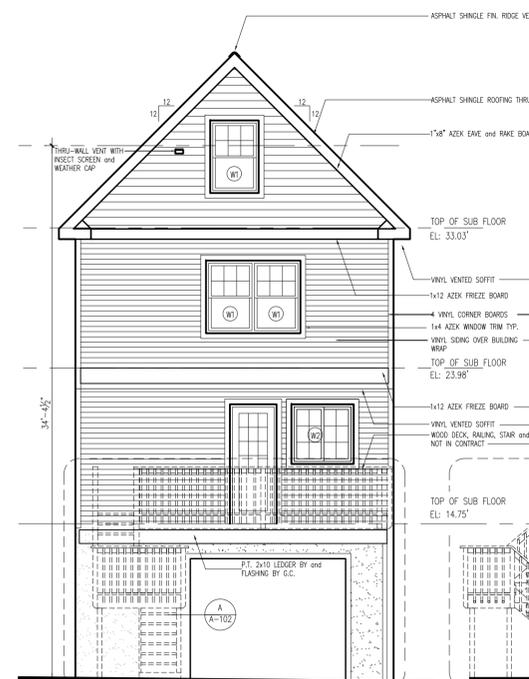
1 ATTIC FLOOR PLAN
1/4" = 1'-0"



2 NORTH ELEVATION
3/16" = 1'-0"



3 WEST ELEVATION
3/16" = 1'-0"



4 SOUTH ELEVATION
3/16" = 1'-0"



5 EAST ELEVATION
3/16" = 1'-0"



| | | |
|---|----------|----------------|
| 1 | 06-06-16 | ISSUED FOR BID |
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State Of Connecticut
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 505 Hudson Street
 Hartford, Connecticut 06106

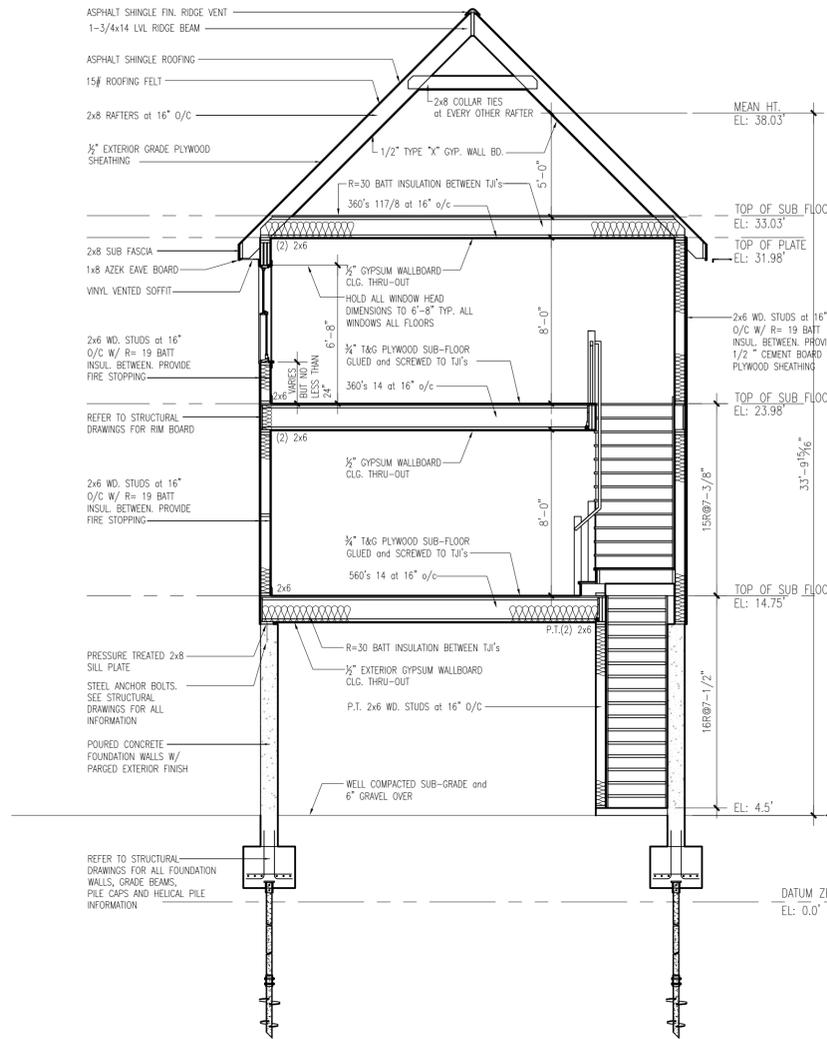
Demolition of Existing and
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BUILDING SECTIONS DOOR SCHEDULE and DETAILS

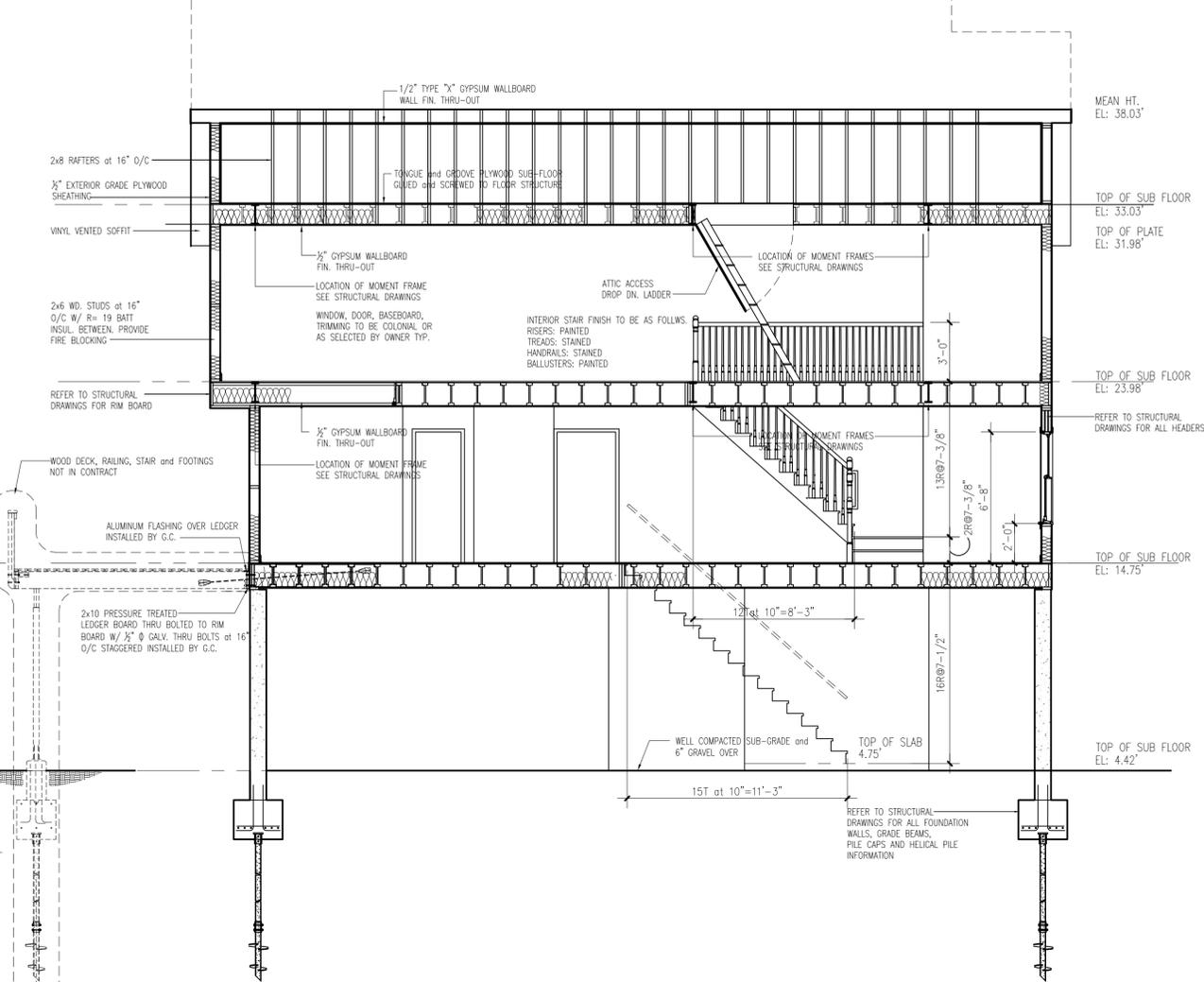
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| PROJECT NO.: 1524-27 | SCALE AS NOTED |
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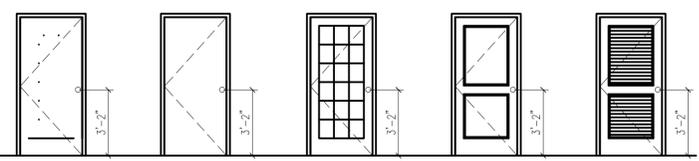
A-103



A CROSS SECTION
 1/4" = 1'-0"

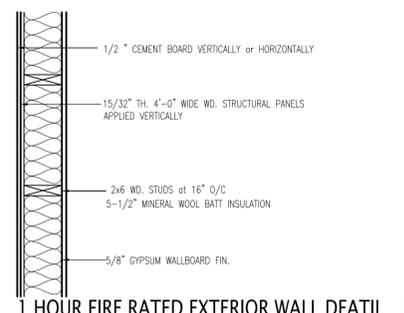


B LONGITUDINAL SECTION
 1/4" = 1'-0"

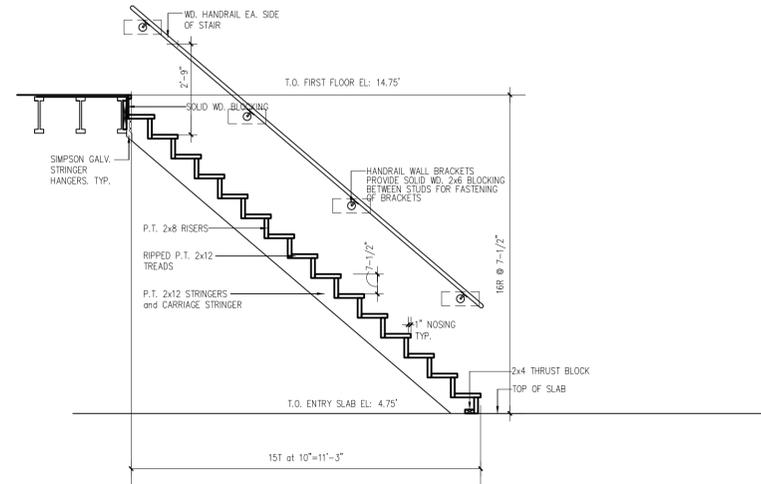


- A** FIBERGLASS "CRAFTSMAN" INSUL. CORE EXTERIOR DOOR AS SELECTED BY OWNER
- B** HOLLOW METAL FLUSH 1 HR. F.P.S.C. DOOR and FRAME
- C** PRE-HUNG INSUL. CORE EXTERIOR DOOR and INSULATED GLASS
- D** RAISED PANED SOLID MASONITE DOOR
- E** FULLY LOUVERED MASONITE DOOR

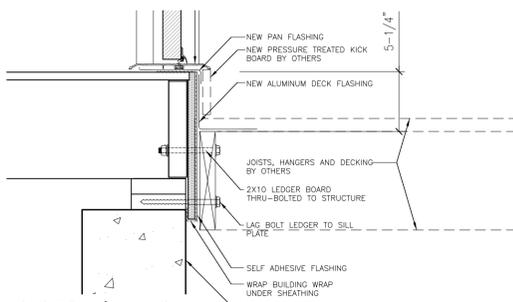
DOOR SCHEDULE



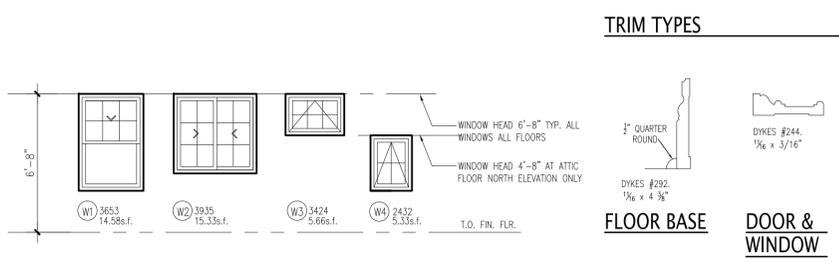
1 HOUR FIRE RATED EXTERIOR WALL DETAIL
 UL U303



SECTION thru STAIR



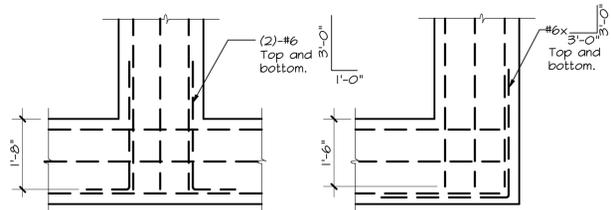
SECTION thru DECK
 LEDGER BOARD



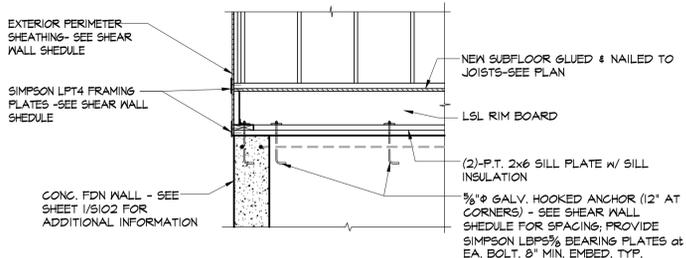
WINDOW SCHEDULE

TRIM TYPES

FLOOR BASE
 DOOR & WINDOW



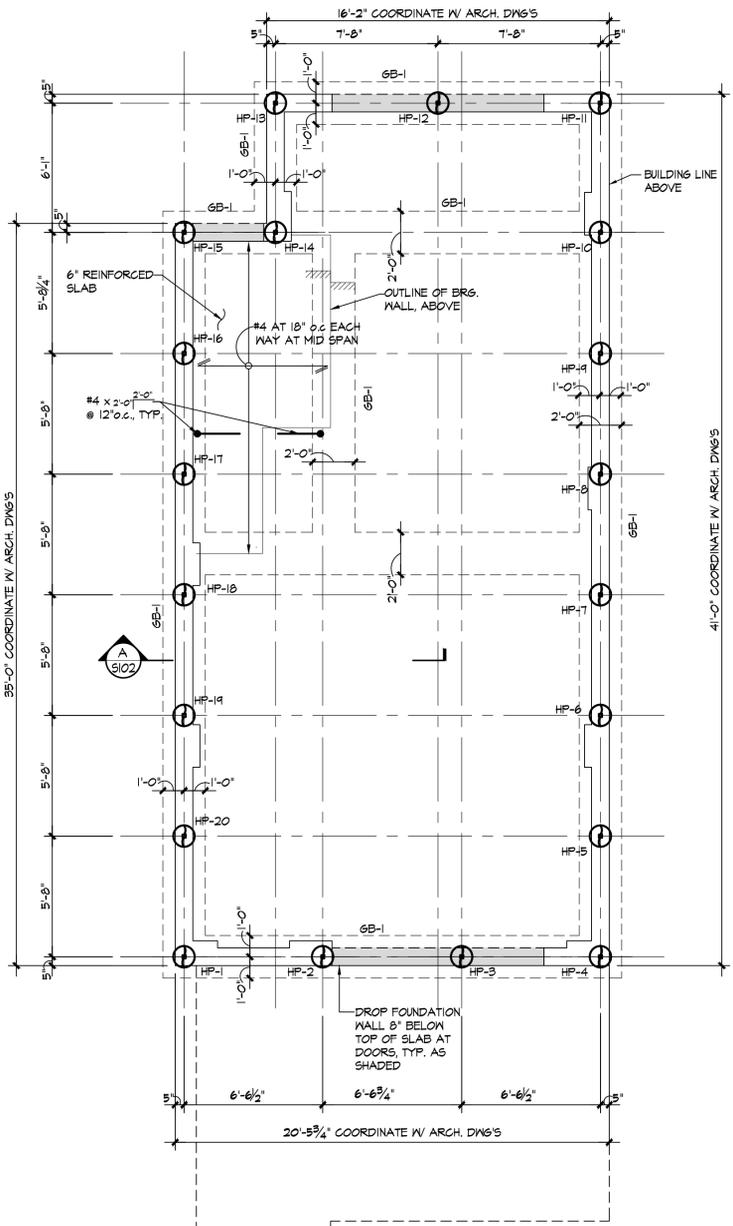
TYPICAL GRADE BEAM CORNER REINFORCING
1/8" = 1'-0"



FOUNDATION ANCHORAGE DETAIL
N.T.S.

| MARK | HEADER SCHEDULE | | | REMARK'S |
|------------------------|-----------------|---------|---------|-------------|
| | HEADER | JACK'S | KING'S | |
| H-1 OPENING < 6'-0" | (3) 2x10 | (2) 2x6 | (2) 2x6 | |
| H-2 OPENING < 9'-0" | (3) 2x10 | (2) 2x6 | (2) 2x6 | NON-BEARING |

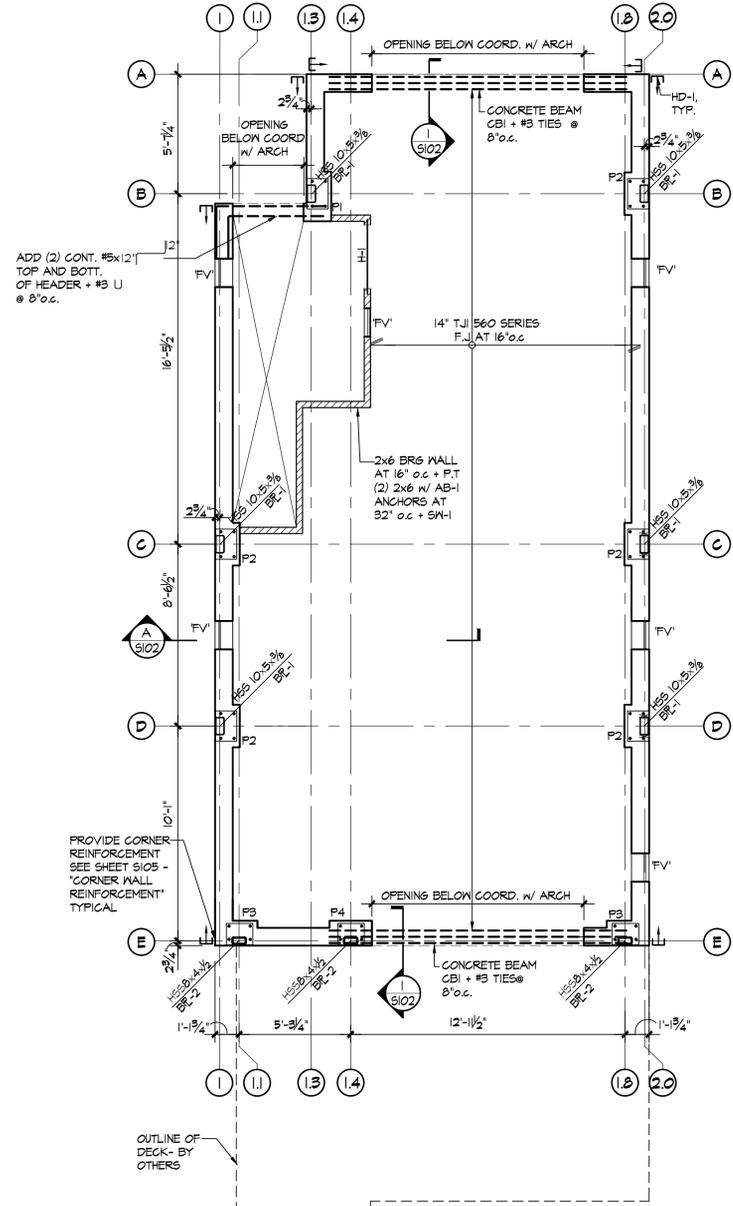
NOTES:
1. FOR EACH EXTERIOR HEADER CONNECTION REFER TO TYPICAL HEADER ANCHORAGE DETAIL ON SHEET S103



FOUNDATION PLAN
1/4" = 1'-0"

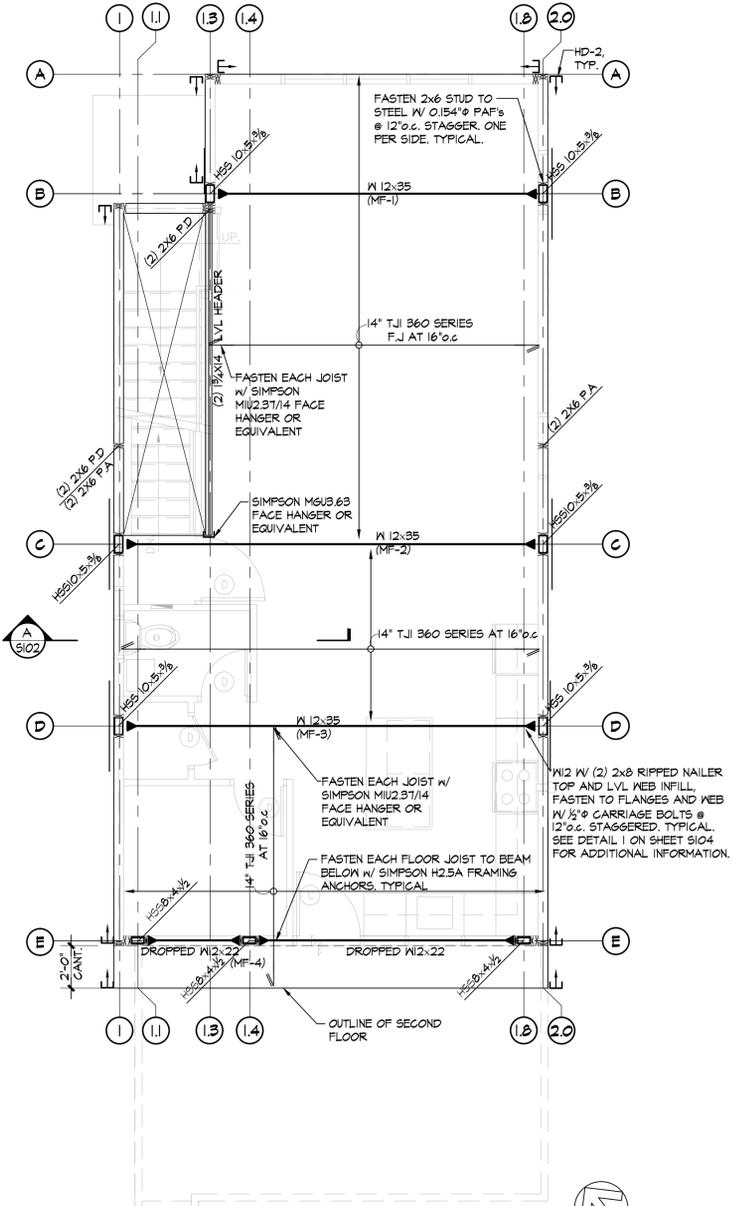
- NOTES:
- HP-x (1) DESIGNATES 40,000# ALLOWABLE COMPRESSION LOAD HELICAL PILE AND 10,000# ALLOWABLE TENSION.
 - B-1 DESIGNATES SOIL BORING LOCATION, REFER TO SOIL BORING LOG, DRAWING S-105.
 - COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS AND SITE CONDITIONS.
 - GB-1 DENOTES 2'-0" x 2'-0" GRADE BEAM REINFORCED WITH (3)-#6 TOP AND BOTTOM CONTINUOUS- SEE DETAIL 1 ON SHEET S104.
 - DECK FRAME AND SUPPORTS BY OTHERS.

FLOOD VENT NOTES: "FV"
1. OVERALL FOOTPRINT = 816± SQUARE FEET
2. "SMARTVENT" (8"x16") ALLOWABLE AREA RATING = 200 SF/VENT
3. 816/200 = 4.08 USE (5) "SMARTVENTS"



FIRST FLOOR FRAMING
1/4" = 1'-0"

- NOTE:
- WOOD-FRAME FLOOR CONSTRUCTION: 3/4" T&G PLYWOOD SUBFLOOR GLUED AND NAILED TO FLOOR FRAMING WITH 10d COMMON NAILS (0.148"x3"LS) @ 6" o.c.
 - "BF#" DENOTES STEEL COLUMN BASE PLATE- SEE DETAILS ON DRAWING S104.
 - "P-" DENOTES CONCRETE PIERS- SEE DETAILS ON DRAWING S104.
 - "HD-x" DENOTES HOLD-DOWN. SEE DRAWING S103 FOR LOCATION AND SHEET S103 FOR ADDITIONAL INFORMATION.
 - CONCRETE BEAM CBI-REINFORCE WITH (3)-#5 TOP AND BOTTOM- EXTEND BARS 2'-0" BEYOND FACE OF OPENING. SEE DETAIL.



SECOND FLOOR FRAMING
1/4" = 1'-0"

- NOTE:
- WOOD-FRAME FLOOR CONSTRUCTION: 3/4" T&G PLYWOOD SUBFLOOR GLUED AND NAILED TO FLOOR FRAMING WITH 10d COMMON NAILS (0.148"x3"LS) @ 4" o.c. PROVIDE BLOCKING BETWEEN PLYWOOD JOINTS.
 - "HD-x" DENOTES HOLD-DOWN. SEE DRAWING S103 FOR LOCATION AND SHEET S103 FOR ADDITIONAL INFORMATION.
 - "P-" DENOTES MOMENT CONNECTION- SEE DETAIL ON DRAWING S103.

Lothrop

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White Plains Rochester Red Bank Hartford

STRUCTURAL ENGINEER:



SURVEYOR:



ENVIRONMENTAL ENGINEER:



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**FOUNDATION PLAN,
FIRST FLOOR FRAMING &
SECOND FLOOR FRAMING**

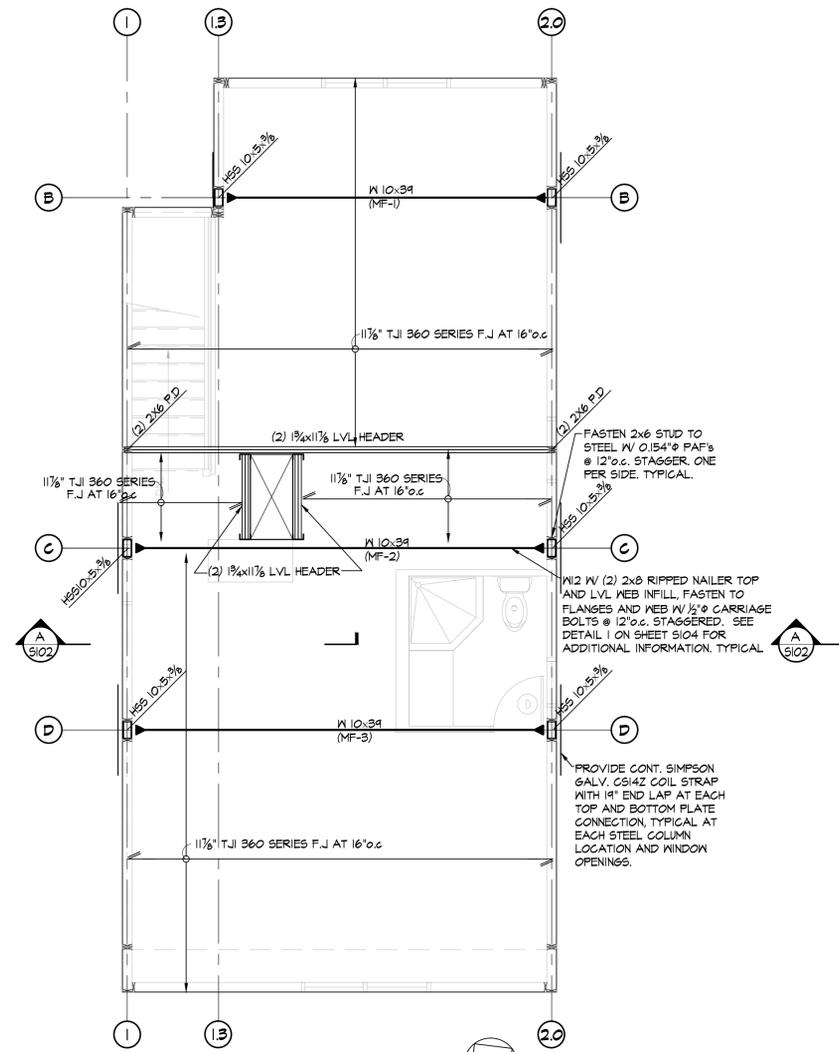
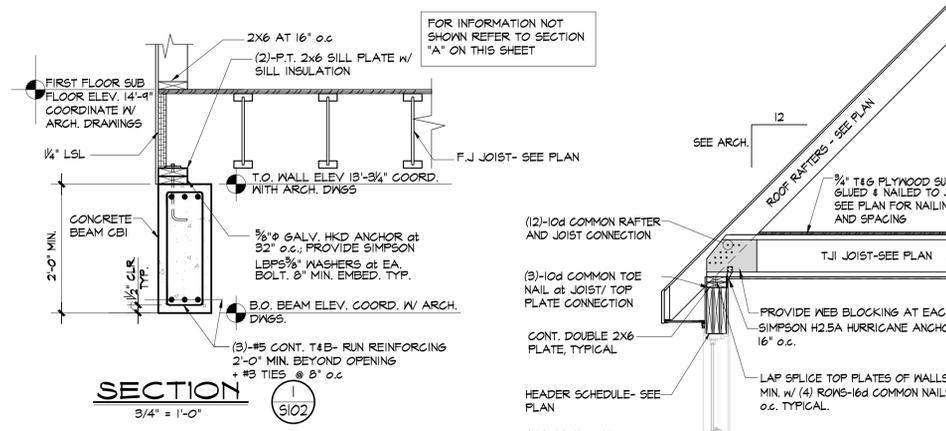
PROJECT NO.: 1524-27 SCALE AS NOTED

DRAWING NO.:

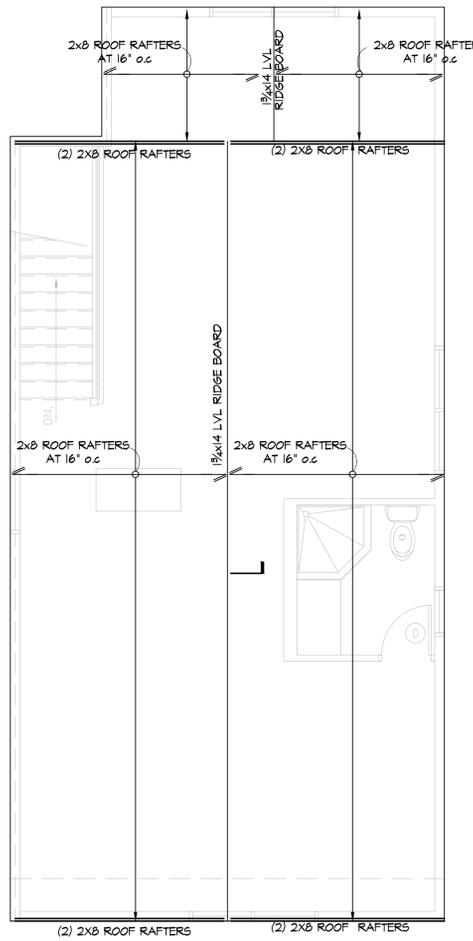
S-101

| MARK | HEADER | JAMB | | REMARKS |
|------|-----------------|----------|-----------------|-------------|
| | | JACK'S | KING'S | |
| H-1 | OPENING < 6'-0" | (3) 2x10 | (2) 2x6 (2) 2x6 | |
| H-2 | OPENING < 9'-0" | (3) 2x10 | (2) 2x6 (2) 2x6 | NON-BEARING |

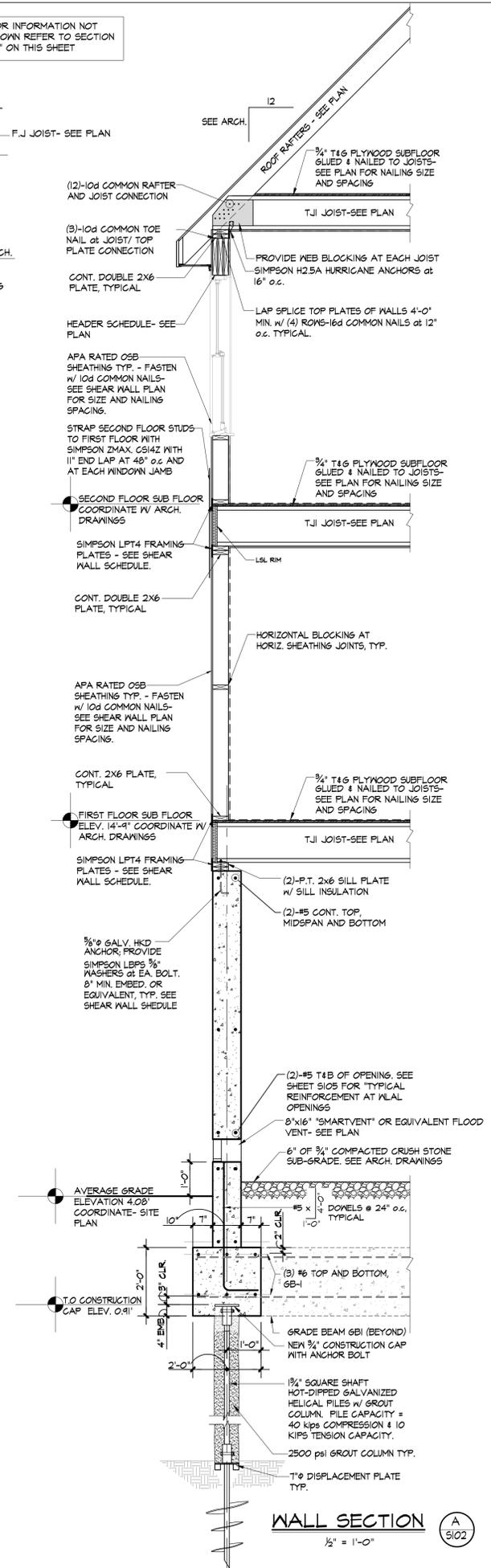
NOTES:
1. FOR EACH EXTERIOR HEADER CONNECTION REFER TO TYPICAL HEADER ANCHORAGE DETAIL ON SHEET S103



NOTE:
1. WOOD-FRAME FLOOR CONSTRUCTION: 3/4" T&G PLYWOOD SUBFLOOR GLUED AND NAILED TO FLOOR FRAMING WITH 10d COMMON NAILS (0.148"Øx3"LG) @ 4"o.c.
2. "HD-x" DENOTES HOLD-DOWN. SEE DRAWING SXX FOR SHEARWALL PLANS AND HOLD-DOWN SCHEDULE, AND DWG. S10 FOR SHEARWALL DETAILS.
3. — DENOTES MOMENT CONNECTION- SEE DETAIL ON DRAWING S103.



NOTE:
1. ROOF SHEATHING: 1/2" APA PLYWOOD NAILED TO ROOF FRAMING @ 8"o.c. AT PANEL EDGES, 10d COMMON NAILS (0.148"Øx3"LG) @ 12"o.c. IN PANEL FIELD.
2. ROOF FRAMING: ROOF RAFTER TO RIDGE & CEILING JOIST FASTEN TO TOP PLATE CONNECTION W/ SIMPSON H25A HURRICANE ANCHORS OR EQUIVALENT.
3. RAFTER AND CEILING JOIST CONNECTION W/ (12) 10d COMMON NAILS (0.148"Øx3"LG).



Lothrop

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STRUCTURAL ENGINEER:

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SURVEYOR:

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| ISSUE NO. | ISSUE DATE | DESCRIPTION |
|-----------|------------|----------------|
| 1 | 06-06-16 | ISSUED FOR BID |

**State Of Connecticut
Department Of Housing**
505 Hudson Street
Hartford, Connecticut 06106

**Demolition of Existing and
Construction of New one Family
Residence for
Gail & Jack Trez**
Application No. 5076
20 Cooper Avenue
Milford, Connecticut 06460

**ATTIC AND ROOF FRAMING,
STRUCTURAL
WALL SECTION**

PROJECT NO.: 1524-27 SCALE AS NOTED

DRAWING NO.:

S-102

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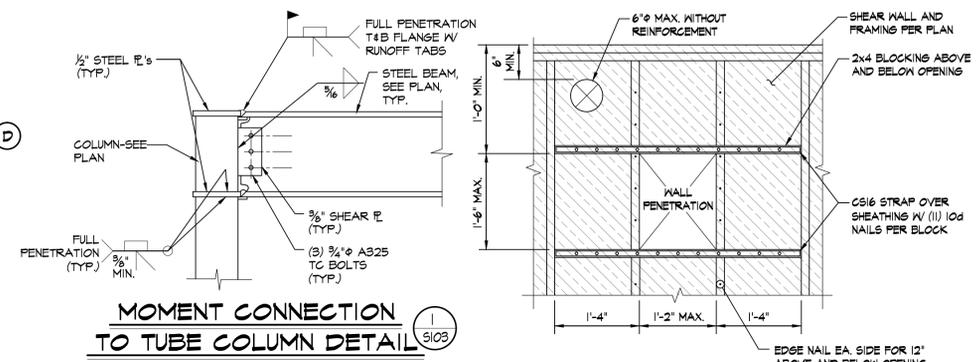


| HOLDOWN SCHEDULE | | | | | | |
|------------------|---------|-------------------------|--|----------------------------|---------|----------------------------------|
| MARK | HOLDOWN | END LAP (AS APPLICABLE) | NAILING | ANCHOR ROD (AS APPLICABLE) | POST | REMARKS |
| HD-2 | CS14 | 14' | (24) - 10d (0.48" x 3") (USE HALF OF REQ. NAILS IN EACH MEMBER CONNECTED) | N/A | (2) 2x6 | EXTERIOR FLOOR STRAPPING |
| HD-1 | STD14RJ | 26' | (30) - 16d (0.162" x 3 1/2") | N/A | (2) 2x6 | SEE HOLDOWN DETAIL ON SHEET S103 |

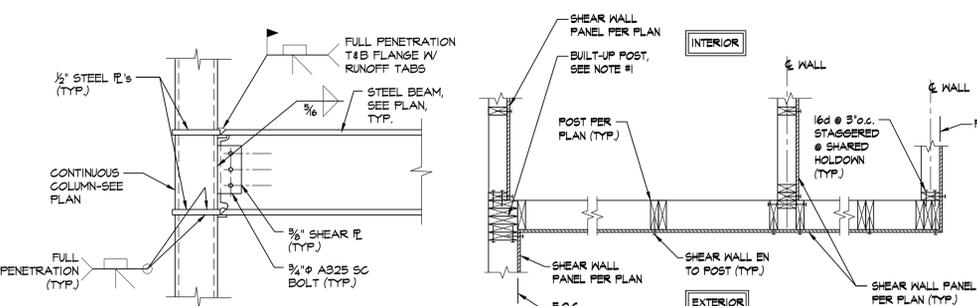
- NOTES:
1. HOLDOWNS ARE MANUFACTURED BY SIMPSON STRONG-TIE
2. BUILT-UP MEMBER WITH SIMPSON SDS 1/2" x 3" SCREWS, SPACED 3' o.c. STAGGERED ALONG ENTIRE LENGTH OF MEMBER. MAINTAIN 1" MIN. EDGE SPACING. FOR BUILT-UP MEMBER MORE THAN DOUBLE 2X FASTEN EACH PLY.
3. ALL EXTERIOR STRAPS AND FASTENERS SHALL BE HOT DIPPED GALVANIZED

| SHEAR WALL SCHEDULE | | | | | | | | |
|---------------------|---------------------|----------------|---------------|-------------------------|------------------------------|--|--|---|
| MARK | SHEATHING THICKNESS | FACES SHEATHED | FASTENER TYPE | PANEL PERIMETER NAILING | PANEL INTERIOR NAILING (MAX) | RIM JOIST/BLOCKING TOP PLATE CONNECTION | TOP & BOTTOM PLATE TO RIM/JOIST CONNECTION | SILL PLATE ATTACHMENT TO FOUNDATION |
| SW-1 | 1/2 INCH. | ONE SIDE | 10d COMMON | 6" | 12" | SIMPSON LTP42 CLIP (DIRECTION OF LOAD '0') | 12d COMMON 0.148" x 3 1/4" | ANCHOR BOLT (AS APPLICABLE) AB-1 32" o.c. |

- NOTES:
1. MIN. NAIL PENETRATION INTO WOOD FRAMING SHALL BE 1/2".
2. PROVIDE HORIZONTAL BLOCKING AT ALL HORIZONTAL PLYWOOD JOINTS.
3. AB-1 DENOTES 3/8" GALV. HOOKED ANCHORS. PROVIDE SIMPSON LEPS 3/8" WASHERS AT EACH BOLT. MIN. 6" EMBEDMENT.
4. AT CONCRETE FOUNDATION ATTACHMENT PROVIDE MIN. FT (2) 2X WOOD SILL PLATE W/ SILL INSULATION.
5. SHEAR WALLS LOCATED AT PLUMBING WALLS SHALL BE SHEATHED AND FASTENED PRIOR TO INSTALLATION OF ANY PLUMBING FIXTURES THAT WOULD REDUCE SHEATHING LIMITS OR BLOCK SHEATHING INSTALLATION.
6. ALL CONTINUOUS SHEAR WALLS SHALL EXTEND UP TO THE UNDERSIDE OF OF ROOF DIAPHRAGM SHEATHING, AS NOTED IN PLANS.



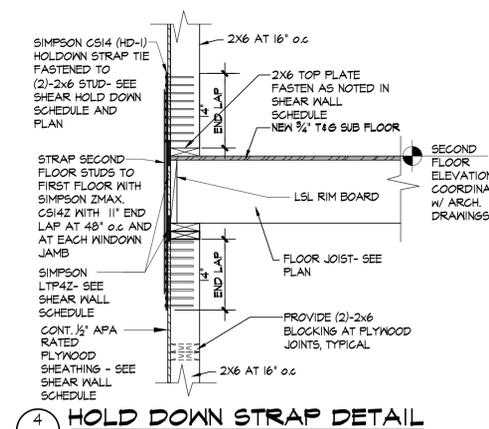
TYPICAL SHEAR WALL PENETRATION DETAIL
3/4" = 1'-0"



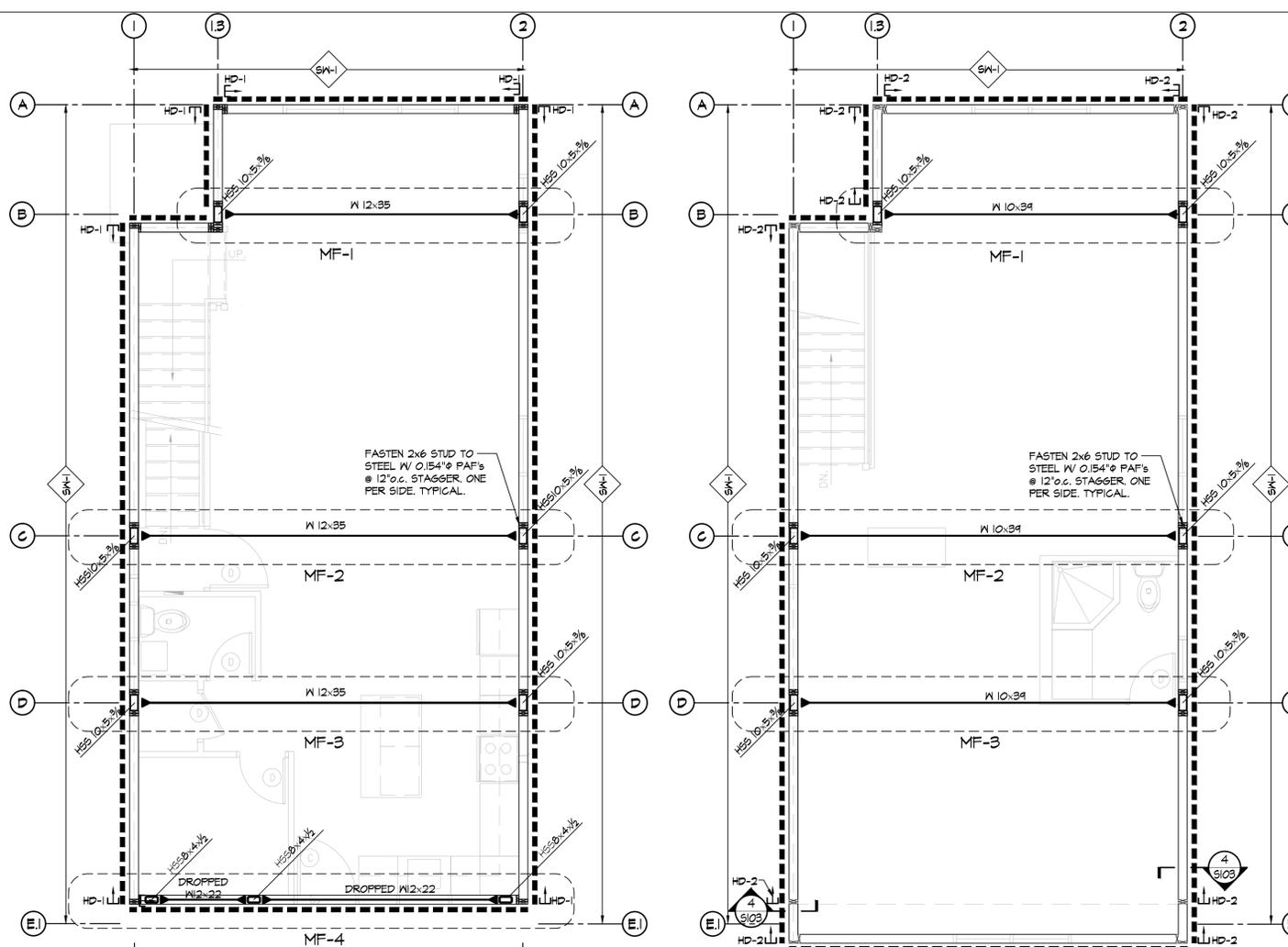
INTERMEDIATE MOMENT CONNECTION TO COLUMN DETAIL
NO SCALE



TYPICAL HEADER ANCHORAGE DETAIL
3/4" = 1'-0"



NOTE:
NOT ALL FRAMING SHOWN FOR CLARITY

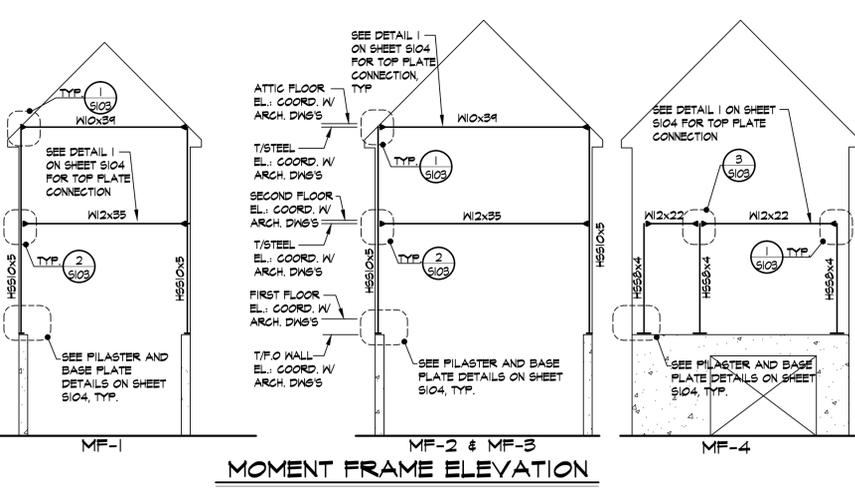


FIRST FLOOR SHEAR WALL PLAN
1/4" = 1'-0"

SECOND FLOOR SHEAR WALL PLAN
1/4" = 1'-0"

- NOTES:
1. SHEAR WALLS TO BE SHEATHED ON OUTSIDE FACE OF WALL.
2. PROVIDE HORIZONTAL BLOCKING AT ALL HORIZONTAL SHEATHING JOINTS.
3. SHEAR WALLS LOCATED AT PLUMBING WALLS SHALL BE SHEATHED AND FASTENED PRIOR TO INSTALLATION OF ANY PLUMBING FIXTURES THAT WOULD REDUCE SHEATHING LIMITS OR BLOCK SHEATHING INSTALLATION.
4. ALL SHEAR WALLS SHALL EXTEND UP TO THE UNDERSIDE OF OF ROOF DIAPHRAGM SHEATHING.
5. FLOOR JOIST SHALL BE PLACED ALIGN INTERIOR SHEAR WALL.
6. 'M' DENOTES MOMENT CONNECTION. SEE MOMENT CONNECTION DETAIL.
7. 'BF-x' DENOTES MOMENT FRAME.
8. STRAP SECOND FLOOR STUDS TO FIRST FLOOR STUDS WITH SIMPSON GALV. CS14Z COIL STRAP WITH 14" END LAP SPACE AT 32" o.c. (MAX) AND AT EACH KING JAMB SUPPORT.

- NOTES:
1. SHEAR WALLS TO BE SHEATHED ON OUTSIDE FACE OF WALL.
2. PROVIDE HORIZONTAL BLOCKING AT ALL HORIZONTAL SHEATHING JOINTS.
3. SHEAR WALLS LOCATED AT PLUMBING WALLS SHALL BE SHEATHED AND FASTENED PRIOR TO INSTALLATION OF ANY PLUMBING FIXTURES THAT WOULD REDUCE SHEATHING LIMITS OR BLOCK SHEATHING INSTALLATION.
4. ALL SHEAR WALLS SHALL EXTEND UP TO THE UNDERSIDE OF OF ROOF DIAPHRAGM SHEATHING.
5. FLOOR JOIST SHALL BE PLACED ALIGN INTERIOR SHEAR WALL.
6. 'M' DENOTES MOMENT CONNECTION. SEE MOMENT CONNECTION DETAIL.
7. 'BF-x' DENOTES MOMENT FRAME.



MOMENT FRAME ELEVATION
1/8" = 1'-0"

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SHEAR WALL PLAN &
TYPICAL DETAILS

PROJECT NO.: 1524-27 SCALE AS NOTED

DRAWING NO.:

S-103

