

ADDENDUM

August 21, 2015

Addendum No. 1

The State of Connecticut
Department of Housing (DOH)
Community Development Block Grant
Disaster Recovery Program (CDBG-DR)
Owner Occupied Rehabilitation and Rebuilding Program (OORR)

Application No. 5066
Pettway Residence
315-317 Hollister Avenue
Bridgeport, CT 06606

To All Prospective Bidders:

This Addendum shall become part of the Contract and all bidders shall be bound thereby.

The date and time for the Bid Opening HAS NOT CHANGED. Sealed bids will be accepted until 4:00 p.m. on Thursday, August 27, 2015.

The Pre-bid Meeting contractor attendance list is attached to this addendum for reference.

The following changes and/or clarifications are hereby made to the Contract Documents dated July 17, 2015 for the above captioned project.

A. QUESTIONS & CLARIFICATIONS

1. During the Mandatory Walk-Through on Thursday, August 13, 2015, Contractors were requested to have all questions and requests for clarifications submitted to the Architect by email by 4:00 p.m., Monday, August 17, 2015. One (1) additional question was received regarding environmental waste. See #5 below. From this point forward, no additional questions can be entertained.
2. For project with Contractor Bids less than \$100,000.00, **no bid security is required**. Contractors are instructed to disregard any references to required bid security in the Advertisement for Bid, Bid Form, or elsewhere in the Bid Documents.
3. Contractor Bids exceeding \$100,000 (\$25,000 per unit) for this project require that a certified Lead Abatement Contractor perform the interior abatement work. In addition, all interior "paint stabilization", if any, shall be changed to "liquid encapsulation". Refer to Specification Section 020900, 1.2, D. Where "liquid encapsulation" becomes the applicable lead paint abatement procedure, all areas receiving liquid encapsulation shall be painted with two (2) finish coats of the paint product specified in Specification Section 09900. The Contractor shall pay particular attention to the curing time required by the encapsulate manufacturer prior to applying the finished coats.

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4. The property owner/tenant is responsible for moving all items to the center of the room (or out of the room) within areas where work is to be performed. They are also responsible for putting them back at the completion of work.
5. Question: What should we carry for disposal in the base bid for hazardous materials? The glazing on windows is positive for asbestos and the old wood windows are positive for lead. Are we to comingle the waste or could we remove the glazing from the sashes and dispose of wood sashes as lead and glazing as asbestos? All chips and dust generated during encapsulation and removal must be disposed of as hazardous lead waste? Or do we assume that the TCLP will pass and have an add alternate for Mixed Asbestos Lead Waste in one container?

Answer: The contractor shall provide two (2) separate bid prices for the waste disposal: 1) dispose of as just asbestos if TCLP passes (Base Bid); 2) dispose of as mixed waste if TCLP fails (Bid Alternate #1). Paint chips should be placed in a steel 50 gal. lined drum for disposal and go as hazardous lead waste. There should be at least two (2) TCLPs for the project 1 for the windows and 1 for the rest of the materials that will be removed.

B. CHANGES TO THE PROJECT MANUAL & SPECIFICATIONS

1. Section 020900, Lead-Based Paint Abatement, **SUBSTITUTE** the attached Drawings: Cover Sheet, FP-1 through FP-4, and SP-1 for the original drawings in the Contract Documents.
2. Section 020900, Lead-Based Paint Abatement, **SUBSTITUTE** the attached "Table 'A', Scope of Work, 315-317 Hollister Avenue, Bridgeport, CT, dated 8/20/2015 for the original Table 'A' in the Contract Documents.
3. Section 020900, Lead-Based Paint Abatement, **ADD** the following as 1.2, G.:

"G. The interior abatement shall be performed in two (2) phases. Both units on the 315 side undergo abatement and once those units pass clearance criteria then both units on the 317 side can be started. At no time should the building be left completely vacant to accommodate the abatement."

C. CHANGES TO THE DRAWINGS

1. **SUBSTITUTE** the following for the first sentence of the note regarding the rear porch and stairs in box above Drawing 1/A-1, Existing 2nd Floor Plan:

"At rear porch (second floor level), remove existing wood porch decking (porch structure to remain) and stairs to ground level, complete."
2. **SUBSTITUTE** the following for the note regarding gutters and leaders in box above Drawing 2/A-1, Existing 3rd Floor Plan:

"Remove all existing gutters and leaders, or portions thereof, and provide new gutters and leaders for all roofs (existing and new). Match existing style, size/capacity, color, and configuration. For additional information, refer to specification section 07630."

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3. On Sheet A-1, Window Notes (center of sheet), #3, SUBSTITUTE the following for Type 'A' window:

"Type 'A' Windows (12 locations)-Casement style (single leaf), tempered insulating glass, full screens, grill pattern to match existing. Approx. window size 32"W x 30"H. Contractor shall perform field measurements prior to ordering windows."

4. On Drawing 1/A-1, Second Floor Plan, ADD the following note to the Kitchen pantry of 317 Hollister Avenue:

"Prior to replacing shelves and shelving supports under lead paint abatement, remove remaining portion of deteriorated pantry south wall. Provide new furring as required and painted gypsum wallboard, entire wall surface, floor to ceiling."

END OF ADDENDUM #1

c: file

Y:\2013 Projects\1347_CT DOH Disaster Relief for Hurricane Sandy\1347-41 5066 315-317 Hollister Ave., Bridgeport - Pettway\1347-41 5066 Documents\Admin\99-99_Addendums\99-99_Addendum.doc

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MANDATORY WALK-THROUGH SIGN-IN SHEET

Project: 1347-41 5066 – Pettway Residence

Meeting Date: Thursday, August 13, 2015 @ 9:00AM

Facilitator: Ken Guido,
Capital Studio Architects

Place/Room: 315-317 Hollister Ave, Bridgeport, CT

Name

Company

Phone

E-Mail / Fax

PLEASE PRINT CLEARLY

Chris Kelly	Vase Management	(203) 332-7366	bids@vasemanagement.com
Robert D. Warner	Kenneth Warner & Sons Inc.	(203) 982-3481	robertwarner42@icloud.com
Robert Sickeler	Vase Management	(203) 332-7366	robert@vasemanagement.com
Daniel Hayden	MDW	(203) 823-0450	daniel.Hayden21@gmail.com
	ReSource Service	(203) 332-9189	JR@resourcesvc.com
Liz Swenson	DOH	(860) 270-8054	elizabeth.swenson@ct.gov
Aaron	Eagle Environmental		Consultant to Capital Studio Architects, LLC.

CAPITAL STUDIO ARCHITECTS

315-317 HOLLISTER AVENUE
BRIDGEPORT, CONNECTICUT

EAGLE PROJECT NUMBER: 14-028.12T30

INDEX OF DRAWINGS

SP-1 SITE PLAN WITH SAMPLE LOCATIONS

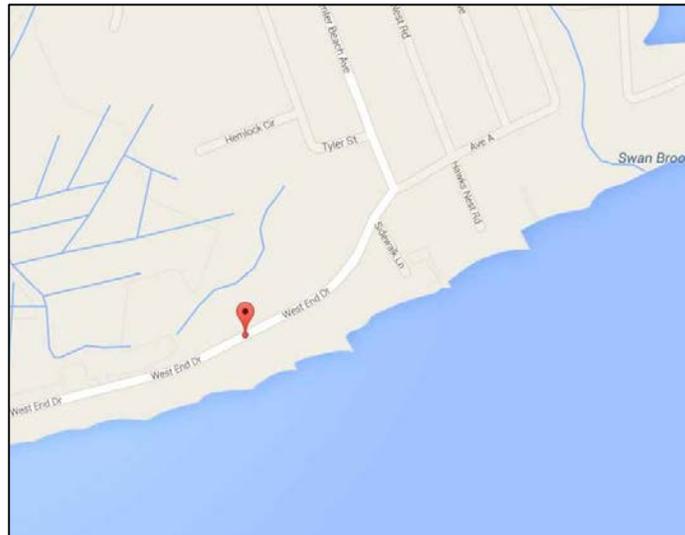
FP-1 BASEMENT PLAN

FP-2 FIRST FLOOR PLAN

FP-3 SECOND FLOOR PLAN

FP-4 THIRD FLOOR PLAN

LOCATION MAP



JANUARY 7, 2015



8 SOUTH MAIN STREET, SUITE 3
TERRYVILLE, CONNECTICUT 06786
860-589-8257

SIDE-C

SAMPLE KEY:

■ = NUMBER AND
11/12 KL LOCATION OF SOIL
SOIL-01 SAMPLES

**BOLD TEXT INDICATES
A SOIL-LEAD HAZARD
FOUND**

GARDEN

11/13 KL SOIL 02

GRASS

SHRUBBERY
TYPICAL

ASPHALT

BULKHEAD

BULKHEAD

CONCRETE
STAIRS/STOOP

RESIDENCE

GRASS

ASPHALT WALKWAY

PORCH

11/13 KL SOIL 01

SHRUBBERY
TYPICAL

GRASS

CONCRETE

GRASS

SITE PLAN

NOT TO SCALE

SIDE-A (STREET SIDE)

SIDE-B

SIDE-D



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Environmental, Inc.

8 SOUTH MAIN STREET, SUITE 3
TERRYVILLE, CONNECTICUT 06786
860-589-8257

SHEET NO.

SP-1

SHEET 1 OF 5

DATE: 01/07/2015
PROJECT NO.: 14-028.12T30
DRAWN BY: VB
REVIEWED BY: AH

ENVIRONMENTAL REVIEW
315-317 HOLLISTER AVENUE
BRIDGEPORT, CONNECTICUT

SIDE-C

WINDOW KEY:

CODE-WINDOW
(EG. OW-##)

- B = BASEMENT
- DC = DECORATIVE
- HW = HINGED WINDOW
- OW = OLDER OR ORIGINAL WOOD SASH
(TESTED POSITIVE FOR LEAD-BASED PAINT)
-  = INACCESSIBLE (PHOTO TAKEN)

B/OW-03

B/OW-04

DOOR OFF HINGES

315 BASEMENT
001

317 BASEMENT
003

SIDE-B

B/OW-02

B/OW-01

B/OW-05

B/OW-06

SIDE-D

315 HOLLISTER ← --- → 317 HOLLISTER

BASEMENT PLAN

NOT TO SCALE

SIDE-A (STREET SIDE)



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TERRYVILLE, CONNECTICUT 06786
860-589-8257

SHEET NO.

FP-1

SHEET 2 OF 5

DATE: 01/07/2015
PROJECT NO.: 14-028.12T30
DRAWN BY: VB
REVIEWED BY: AH

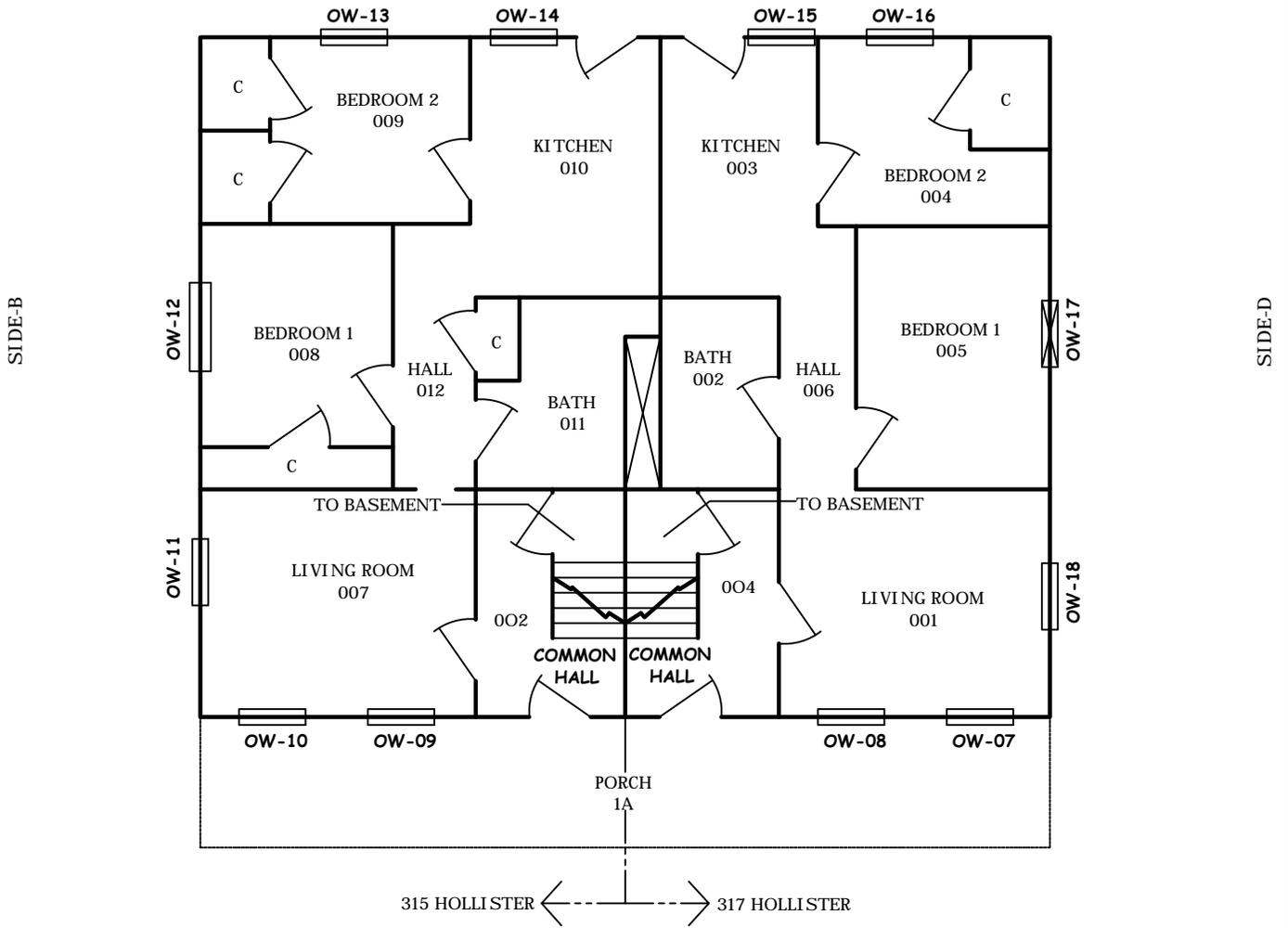
ENVIRONMENTAL REVIEW
315-317 HOLLISTER AVENUE
BRIDGEPORT, CONNECTICUT

SIDE-C

WINDOW KEY:

CODE-WINDOW
(EG. OW-##)

- B = BASEMENT
- DC = DECORATIVE
- HW = HINGED WINDOW
- OW = OLDER OR ORIGINAL WOOD SASH
(TESTED POSITIVE FOR LEAD-BASED PAINT)
-  = INACCESSIBLE (PHOTO TAKEN)



FIRST FLOOR PLAN

NOT TO SCALE

C = CLOSET EVALUATED WITH ADJACENT ROOM

SIDE-A (STREET SIDE)



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SHEET NO.

FP-2

SHEET 3 OF 5

DATE: 01/07/2015
PROJECT NO.: 14-028.12T30
DRAWN BY: VB
REVIEWED BY: AH

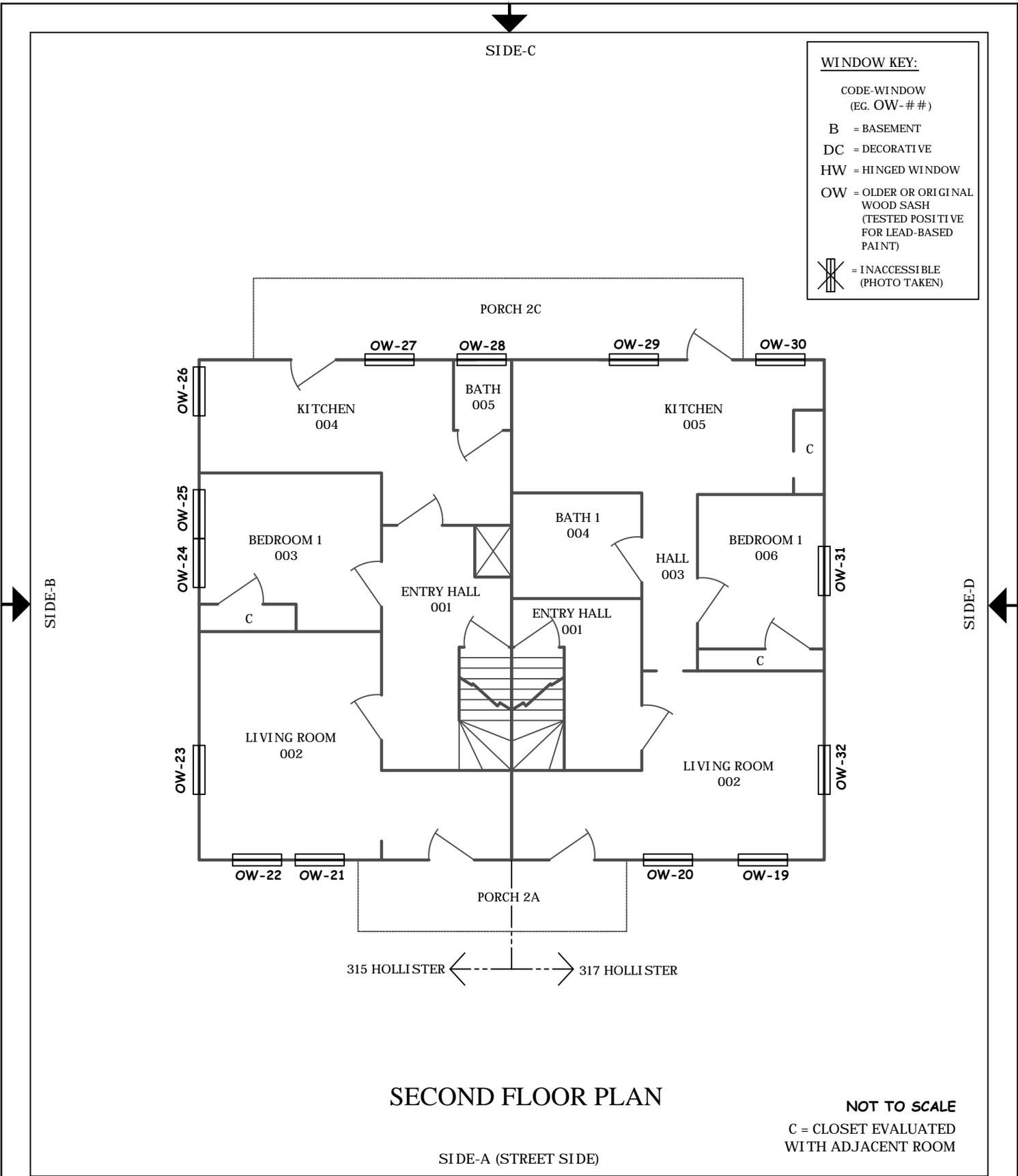
ENVIRONMENTAL REVIEW
315-317 HOLLISTER AVENUE
BRIDGEPORT, CONNECTICUT

SIDE-C

WINDOW KEY:

CODE-WINDOW
(EG. OW-##)

- B = BASEMENT
- DC = DECORATIVE
- HW = HINGED WINDOW
- OW = OLDER OR ORIGINAL WOOD SASH (TESTED POSITIVE FOR LEAD-BASED PAINT)
-  = INACCESSIBLE (PHOTO TAKEN)



SECOND FLOOR PLAN

NOT TO SCALE

C = CLOSET EVALUATED WITH ADJACENT ROOM

SIDE-A (STREET SIDE)



8 SOUTH MAIN STREET, SUITE 3
 TERRYVILLE, CONNECTICUT 06786
 860-589-8257

SHEET NO.

FP-3

SHEET 4 OF 5

DATE: 01/07/2015
 PROJECT NO.: 14-028.12T30
 DRAWN BY: VB
 REVIEWED BY: AH

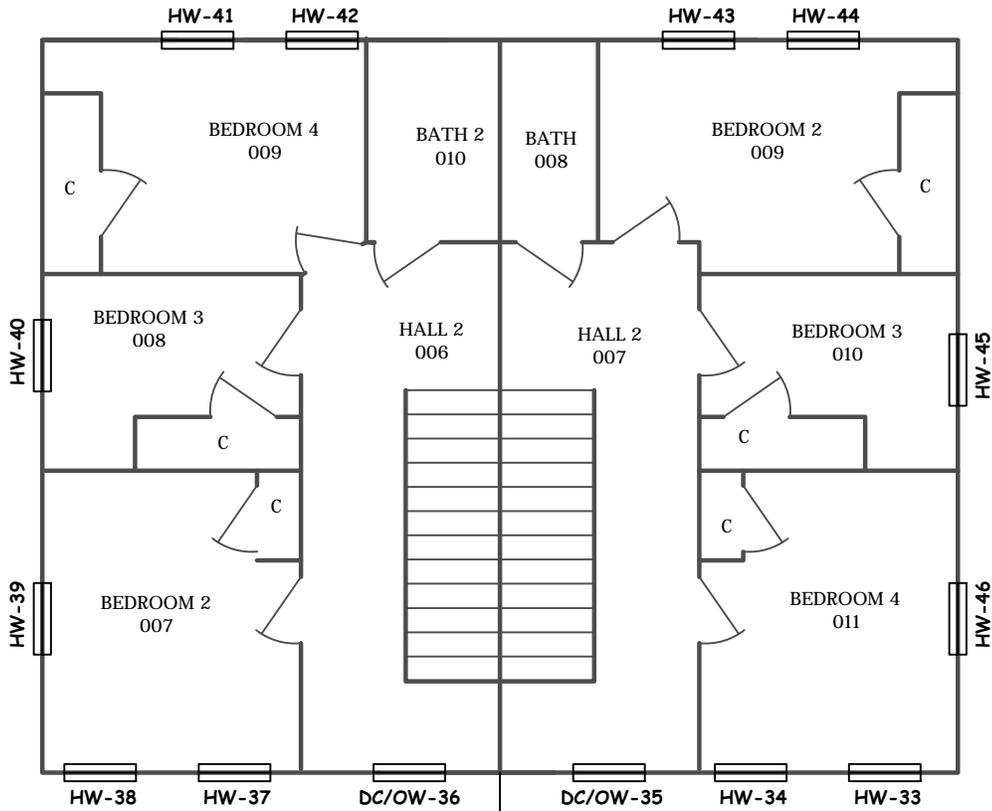
ENVIRONMENTAL REVIEW
 315-317 HOLLISTER AVENUE
 BRIDGEPORT, CONNECTICUT

SIDE-C

WINDOW KEY:

CODE-WINDOW
(EG. OW-###)

- B = BASEMENT
- DC = DECORATIVE
- HW = HINGED WINDOW
- OW = OLDER OR ORIGINAL WOOD SASH (TESTED POSITIVE FOR LEAD-BASED PAINT)
-  = INACCESSIBLE (PHOTO TAKEN)



SIDE-B

SIDE-D

315 HOLLISTER ← → 317 HOLLISTER

THIRD FLOOR PLAN

SIDE-A (STREET SIDE)

NOT TO SCALE

C = CLOSET EVALUATED WITH ADJACENT ROOM



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8 SOUTH MAIN STREET, SUITE 3
TERRYVILLE, CONNECTICUT 06786
860-589-8257

DATE: 01/07/2015
PROJECT NO.: 14-028.12T30
DRAWN BY: VB
REVIEWED BY: AH

ENVIRONMENTAL REVIEW
315-317 HOLLISTER AVENUE
BRIDGEPORT, CONNECTICUT

SHEET NO.

FP-4

SHEET 5 OF 5

TABLE A
SCOPE OF WORK - 8/20/15
315-317 HOLLISTER AVENUE
BRIDGEPORT, CONNECTICUT

Item #	Room	Component	Side	Quantity	Abatement Method
UNIT 315-1					
1	Living Room (007)	Door, door jamb, door jamb stop, door casing	D	1 Opening	Replace with new wood entry door system in-kind and liquid encapsulate door casing. Door should be a 1 hour fire rated door system
2		Door casing (both sides)	C	1 Opening	Liquid encapsulate
3		Baseboards	A, B, C, D	All	Liquid encapsulate
4	Bedroom 1 (008)	Door, door jamb, door jamb stop, door casing	A	1 Opening	Replace with new pre-hung interior door system in-kind and liquid encapsulate door casing
5		Window casing, window sill, window apron, window stop	B	1 Opening	Liquid encapsulate
6	Kitchen (010)	Floors, window sills	-	All	Specialized cleaning
UNIT 315-2					
7	Entry Hall (001)	Door casings	B, C	2 Openings	Liquid encapsulate
8	Living Room (002)	Baseboards	A, B, C, D	All	Liquid encapsulate
9		Door, door jamb, door jamb stop, door casing	D	1 Opening	Replace with new in-kind pre-hung interior door system and liquid encapsulate door casing
10		Door, door jamb, door jamb stop, door threshold	A	1 Opening	Replace with new in-kind entry door system
11		Window casings, window sills, window aprons, window stops	A, B	3 Openings	Liquid encapsulate
12	Bedroom 1 (003)	Baseboards	A, B, C, D	All	Liquid encapsulate
13	Kitchen (004)	Door, door jamb, door jamb stop, door casing	A	1 Opening	Replace with new in-kind door system and liquid encapsulate door casing
14	Hallway 2 (006)	Stair stringer	-	All	Liquid encapsulate

TABLE A
SCOPE OF WORK - 8/20/15
315-317 HOLLISTER AVENUE
BRIDGEPORT, CONNECTICUT

Item #	Room	Component	Side	Quantity	Abatement Method
UNIT 315-2 (Continued)					
15	Bedroom 2 (007)	Door, door jamb, door jamb stop, door casing	D	1 Opening	Replace with new pre-hung interior door system and liquid encapsulate door casing
16		Window casings	A, B	3 Openings	Liquid encapsulate
17	Bedroom 3 (008)	Door, door jamb, door jamb stop, door casing	D	1 Opening	Replace with new pre-hung interior door system in-kind and liquid encapsulate door casing
18		Window casing	B	1 Opening	Liquid encapsulate
UNIT 317-1					
19	Living Room (001)	Baseboards	A, B, C, D	All	Liquid encapsulate
20		Door casing (both sides)	C	1 Opening	Liquid encapsulate
21		Window casings, window sills, window aprons	A, D	3 Openings	Liquid encapsulate
22	Kitchen (003)	Window casing, window sill, window apron	C	1 Opening	Liquid encapsulate
23	Bedroom 2 (004)	Window casing, window sill, window apron	C	1 Opening	Liquid encapsulate
UNIT 317-2					
24	Entry Hall (001)	Baseboards	A, B, C, D	All	Liquid encapsulate
25		Door casing	D	1 Opening	Liquid encapsulate
26	Living Room (002)	Baseboards	A, B, C, D	All	Liquid encapsulate
27		Door, door jamb, door jamb stop	A	1 Opening	Replace with new entry door system in-kind to existing. The door system should be a 1 hour fire rated door system
28		Door, door jamb, door jamb stop, door casing	B	1 Opening	Replace with new pre-hung interior door system in-kind and liquid encapsulate door casing
29		Window casings, window sills, window aprons	A, D	3 Openings	Liquid encapsulate
30	Hallway 1 (003)	Door casing, door jamb, door jamb stop (non-friction)	A	1 Opening	Liquid encapsulate

TABLE A
SCOPE OF WORK - 8/20/15
315-317 HOLLISTER AVENUE
BRIDGEPORT, CONNECTICUT

Item #	Room	Component	Side	Quantity	Abatement Method
UNIT 317-2 (Continued)					
31	Kitchen (005)	Baseboards	A, B, C, D	All	Liquid encapsulate
32		Window casings, window sills, window aprons	C	2 Openings	Liquid encapsulate
33		Closet shelf support	D	All	Replace with new shelf support
34	Bedroom 1 (006)	Closet shelf support	A	All	Replace with new shelf support
35		Window casing, window sill, window apron	D	1 Opening	Liquid encapsulate
36	Hallway 2 (007)	Stair stringer	-	All	Liquid encapsulate
37		Window sill	A	1 Opening	Specialized cleaning
38	Bedroom 2 (009)	Floor, window sill	-	All	Specialized cleaning
39	Bedroom 3 (010)	Door, door jamb, door jamb stop, door casing	B	1 Opening	Replace with new pre-hung interior door system in-kind and liquid encapsulate door casing
40	Bedroom 4 (011)	Door, door jamb, door jamb stop, door casing	B	1 Opening	Replace with new pre-hung interior door system in-kind and liquid encapsulate door casing
41		Baseboards	A, B, C, D	All	Liquid encapsulate
42		Window casings	A, D	3 Openings	Liquid encapsulate
COMMON AREAS					
43	315 Basement	Hatchway door, door casing, door lintel	C	1 Opening	Replace with new hatchway door system and liquid encapsulate door casing and lintel
44	315 Front Hall	Stair treads, stair risers, stair stringer	-	All	Remove existing carpet, enclose treads and risers with non-skid vinyl interlocking treads, risers and stringers
45		Stair header, baseboards	A, B, C, D	All	Liquid encapsulate
46		Door casing	B	1 Opening	Liquid encapsulate

TABLE A
SCOPE OF WORK - 8/20/15
315-317 HOLLISTER AVENUE
BRIDGEPORT, CONNECTICUT

Item #	Room	Component	Side	Quantity	Abatement Method
COMMON AREAS (Continued)					
47	317 Basement	Hatchway door, door casing	C	1 Opening	Replace with new hatchway door system and liquid encapsulate door casing
48	317 Front Hall	Stair treads, stair risers, stair stringers	-	All	Remove existing carpet, enclose treads and risers with vinyl treads to cover entire surface, install metal nosing and liquid encapsulate exposed portion of stair tread and stringer
49		Baseboards	A, B, C, D	All	Liquid encapsulate
EXTERIORS					
50	Facades	Aluminum storm windows	A, B, C, D	25 Openings	Remove and recycle
51		Double hung window sashes, window blindstops	A, B, C, D	26 Openings	Replace with new windows in-kind with same grid pattern and pane configuration, install new storms and paint stabilize blindstops
52		Hinged window sashes	A, B, C, D	12 Openings	Replace with new window systems identified in architect's plans
53		Decorative arch window sashes	A	2 Openings	Replace with new windows in-kind with same grid pattern and pane configuration
54		Window casings, window sills	A, B, C, D	40 Openings	Paint stabilize
55		Upper door casings, door kickplates	A	2 Openings	Paint stabilize door casings and replace with new kick plates
56		Exposed lower door threshold	A	2 Each	Enclose with aluminum coil stock
57		Clapboard siding, cornerboards, upper trim, rake boards, skirtboards	A, B, C, D	All	Paint stabilize
58		Damaged window sills	A	2 Each	Replace with new window sills

TABLE A
SCOPE OF WORK - 8/20/15
315-317 HOLLISTER AVENUE
BRIDGEPORT, CONNECTICUT

Item #	Room	Component	Side	Quantity	Abatement Method
EXTERIORS (Continued)					
59	Facades	2nd floor porch floor	A	All	Replace with new tounge and groove porch floor
60		1st floor porch carrying beam, ceiling	A	All	Paint stabilize
61		Basement window casings	C, D	3 Openings	Paint stabilize
62		Rear porch bead board walls, partition dividing walls, cedar shake siding	C	All	Paint stabilize
63		Rear porch columns, column bracing	C	8 Each	Paint stabilize
64		Rear porch carrying beams, ceiling, ceiling joist and beams	C	All	Paint stabilize
65		Rear porch 2nd floor railing system	C	All	Paint stabilize
66		Rear porch 2nd floor half-door	C	2 Each	Replace with new door in-kind
67		Rear porch stair systems	C	2 Each	Replace with new stair system - the treads shall be non-skid treads
68		Rear porch floor	C	All	Replace the decking with new Tung-n-Groove flooring.
69	Soils	Bare soil - Left of sidewalk	A	20 SF	Install 2" of new loam, grass seed and straw
70		Vegetable Garden	C	200 SF	Till soil, install 2 " of new top soil, grass seeds and straw to establish grass*
*Garden is only to be used for flowers or things that cannot be consumed					