

# PROJECT 5037 - 528-530 GREGORY STREET, BRIDGEPORT, CT

## COMMUNITY DEVELOPMENT BLOCK GRANT DISASTER RECOVERY PROGRAM SCATTERED SITE REHABILITATION AND REBUILDING CONNECTICUT DEPARTMENT OF HOUSING HARTFORD, CONNECTICUT 06118

### GENERAL NOTES:

1. WHERE REFERENCED IN THIS PLAN SET, MARTINEZ COUCH & ASSOCIATES, LLC SHALL HEREIN BE REFERRED TO AS "MCA."
2. THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS.
3. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE, AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
4. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT MCA IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS, SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH MCA PRIOR TO BIDDING.
5. REFER TO OTHER PLANS, DETAILS, AND PROJECT MANUAL FOR ADDITIONAL INFORMATION.

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#### SHEET TITLE

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A-2.1  
A-3.0  
HM-1.0  
HM-1.1



STREET VIEW  
(N.T.S.)

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DRAWN: KNL    CHECKED: MBR    APPROVED: REC    SCALE: N.T.S.    DATE: 4/20/2016

### TITLE SHEET

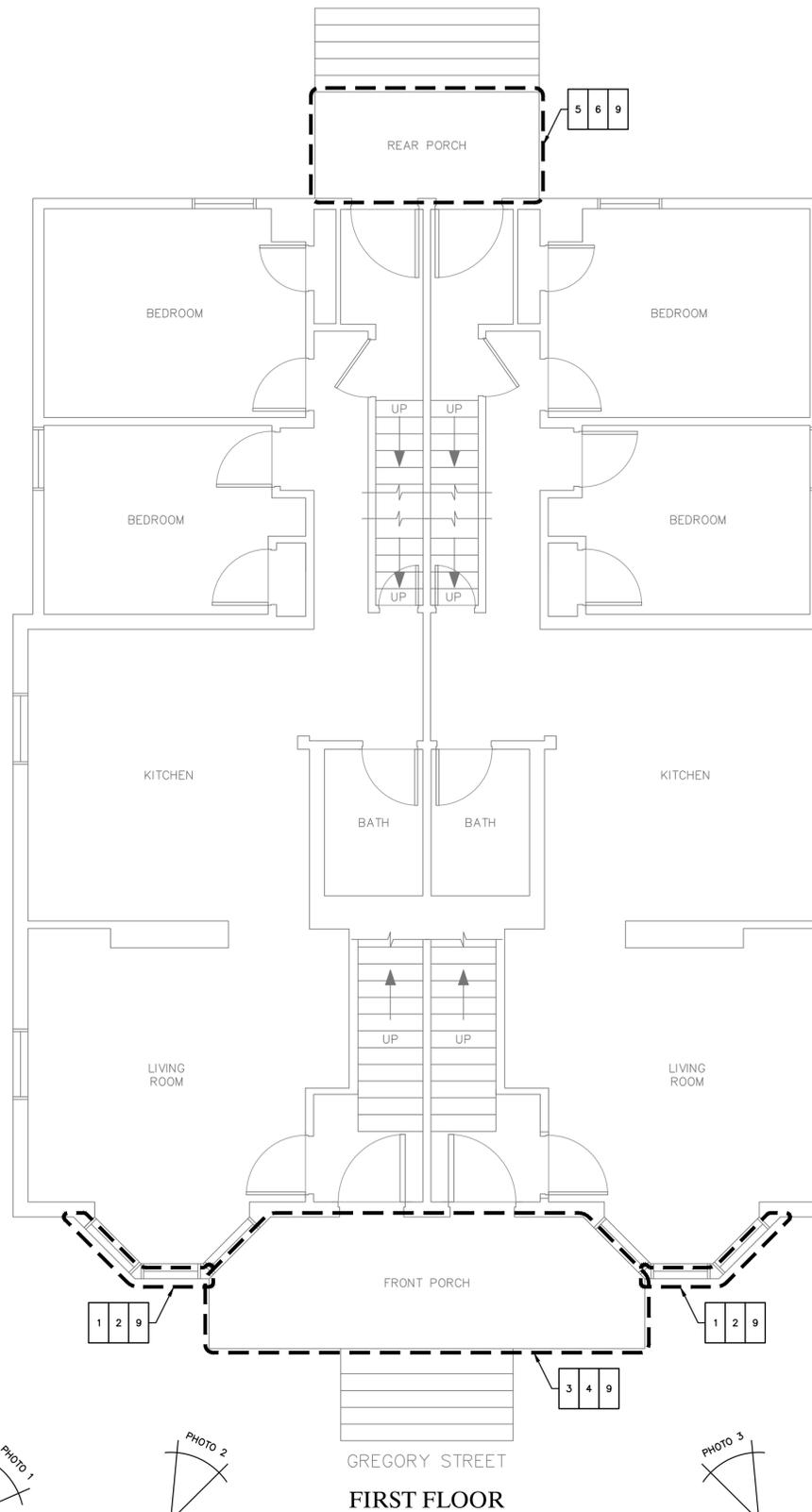
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33-262-5037	BASEMAP 33-262-5037.dwg	T-0.0

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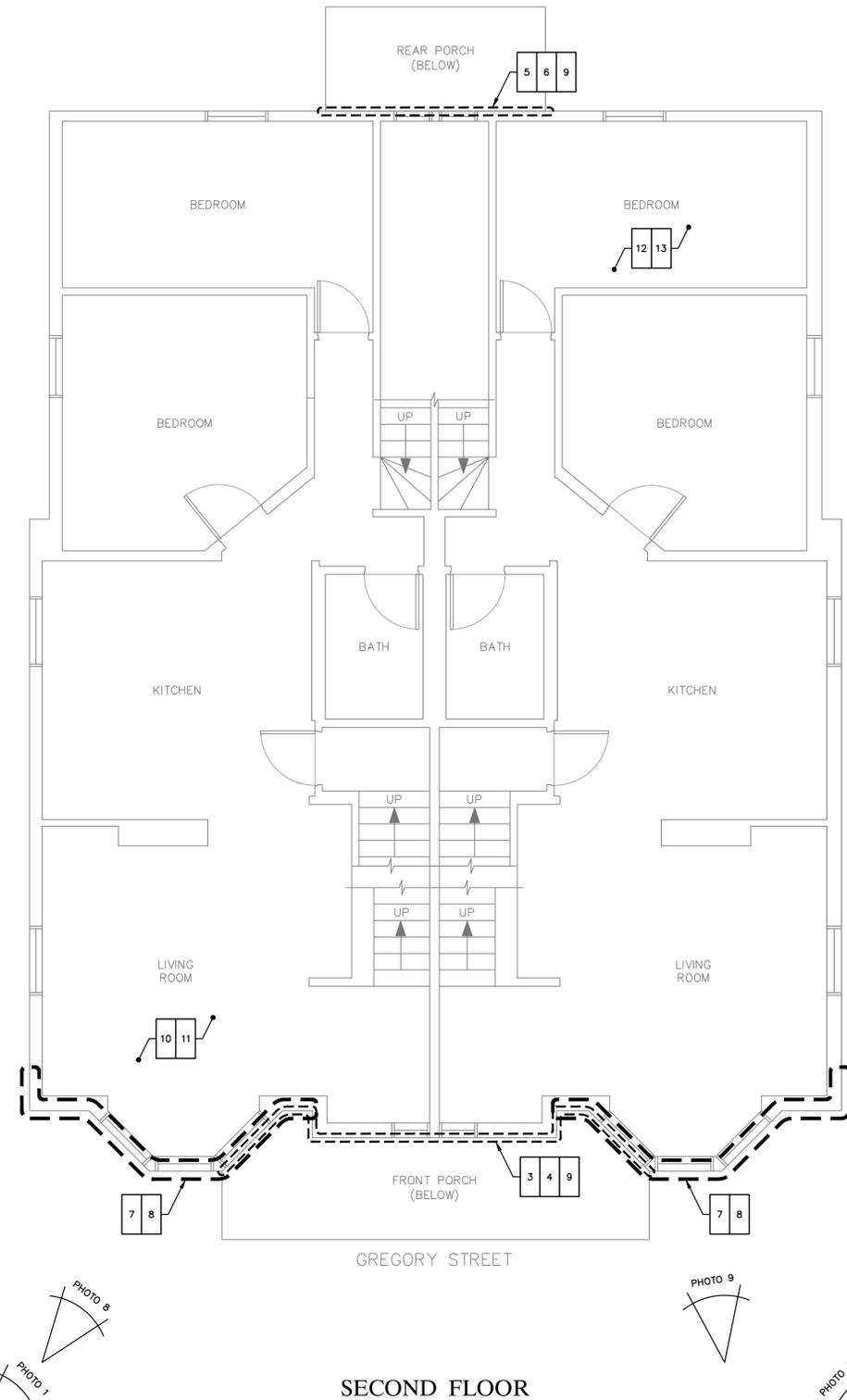
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### WORK NOTES

- 1 FIRST FLOOR FRONT BAY WINDOWS - REMOVE ROOF, INCLUDING WOOD SOFFIT, METAL COIL STOCK FASCIA, AND DRIP EDGE
- 2 FIRST FLOOR FRONT BAY WINDOWS - FURNISH AND INSTALL ALL MATERIALS FOR NEW ROOF, INCLUDING PLYWOOD SHEATHING, THREE-TAB SHINGLES, ICE AND WATER SHIELD OVER ENTIRE BAY WINDOW ROOF, AND SHEET METAL FLASHING AT BUILDING WALL; FURNISH AND INSTALL ALL MATERIALS FOR NEW WOOD SOFFIT, METAL COIL STOCK FASCIA, AND DRIP EDGE
- 3 FIRST FLOOR FRONT PORCH - REMOVE ROOF DOWN TO ROOF RAFTERS; REMOVE GUTTER AND DOWNSPOUT
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- 7 SECOND FLOOR FRONT BAY WINDOWS - REMOVE ROOF, INCLUDING WOOD SOFFIT, METAL COIL STOCK FASCIA, AND DRIP EDGE
- 8 SECOND FLOOR FRONT BAY WINDOWS - FURNISH AND INSTALL ALL MATERIALS FOR NEW ROOF, INCLUDING PLYWOOD SHEATHING, THREE-TAB SHINGLES, ICE AND WATER SHIELD OVER ENTIRE BAY WINDOW ROOF, AND SHEET METAL FLASHING AT BUILDING WALL; FURNISH AND INSTALL ALL MATERIALS FOR NEW WOOD SOFFIT, METAL COIL STOCK FASCIA, AND DRIP EDGE
- 9 REMOVE AND RESET VINYL SIDING AND TRIM PIECES AS REQUIRED FOR INSTALLATION OF SIDE WALL FLASHING
- 10 SECOND FLOOR LIVING ROOM, LEFT SIDE - REMOVE CEILING GYPSUM BOARD
- 11 SECOND FLOOR LIVING ROOM, LEFT SIDE - FURNISH AND INSTALL ALL MATERIALS FOR NEW CEILING GYPSUM BOARD, PRIMED AND PAINTED
- 12 SECOND FLOOR REAR BEDROOM, RIGHT SIDE - REMOVE CEILING GYPSUM BOARD
- 13 SECOND FLOOR REAR BEDROOM, RIGHT SIDE - FURNISH AND INSTALL ALL MATERIALS FOR NEW CEILING GYPSUM BOARD, PRIMED AND PAINTED



**FIRST FLOOR**



**SECOND FLOOR**

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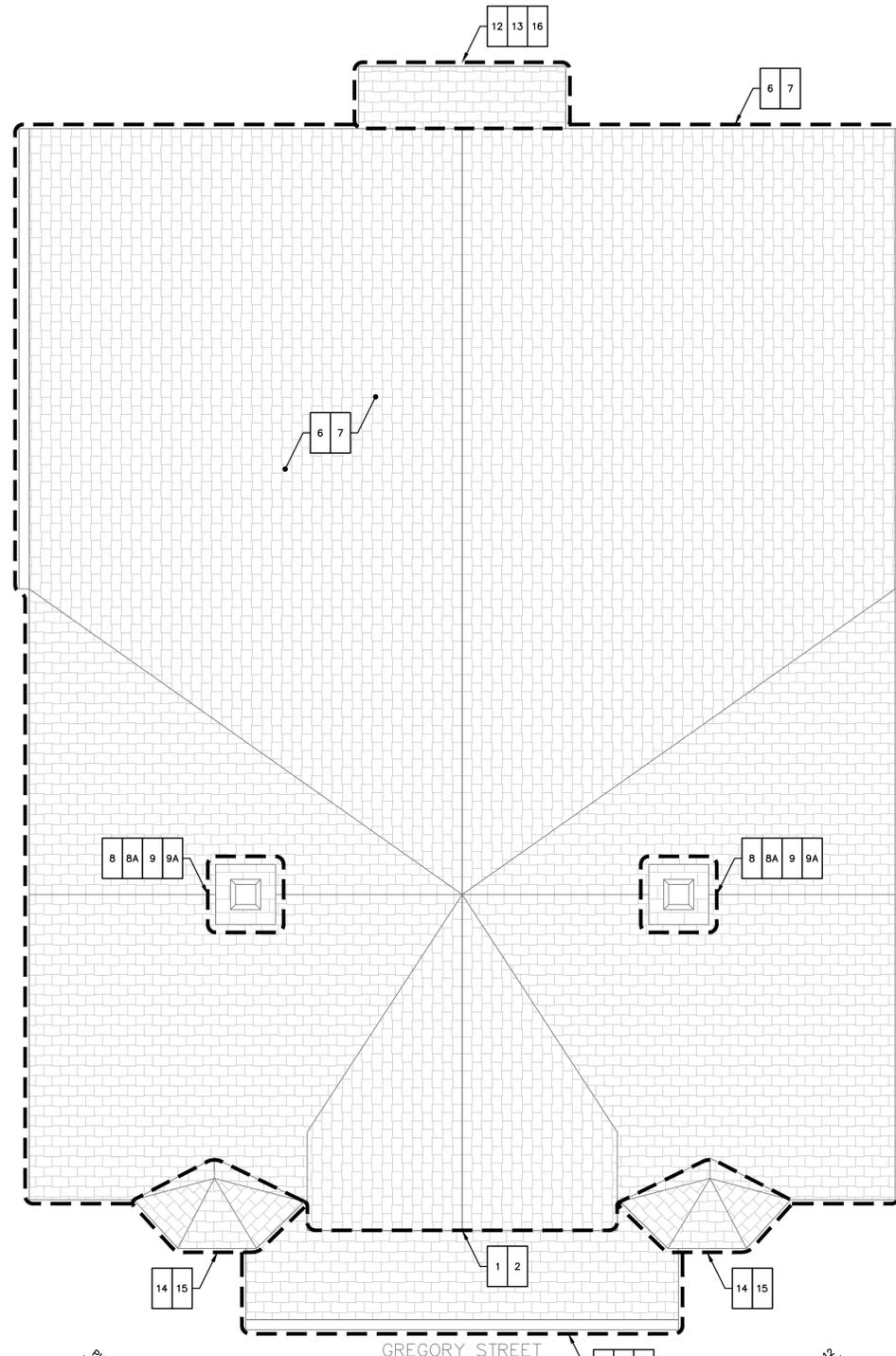
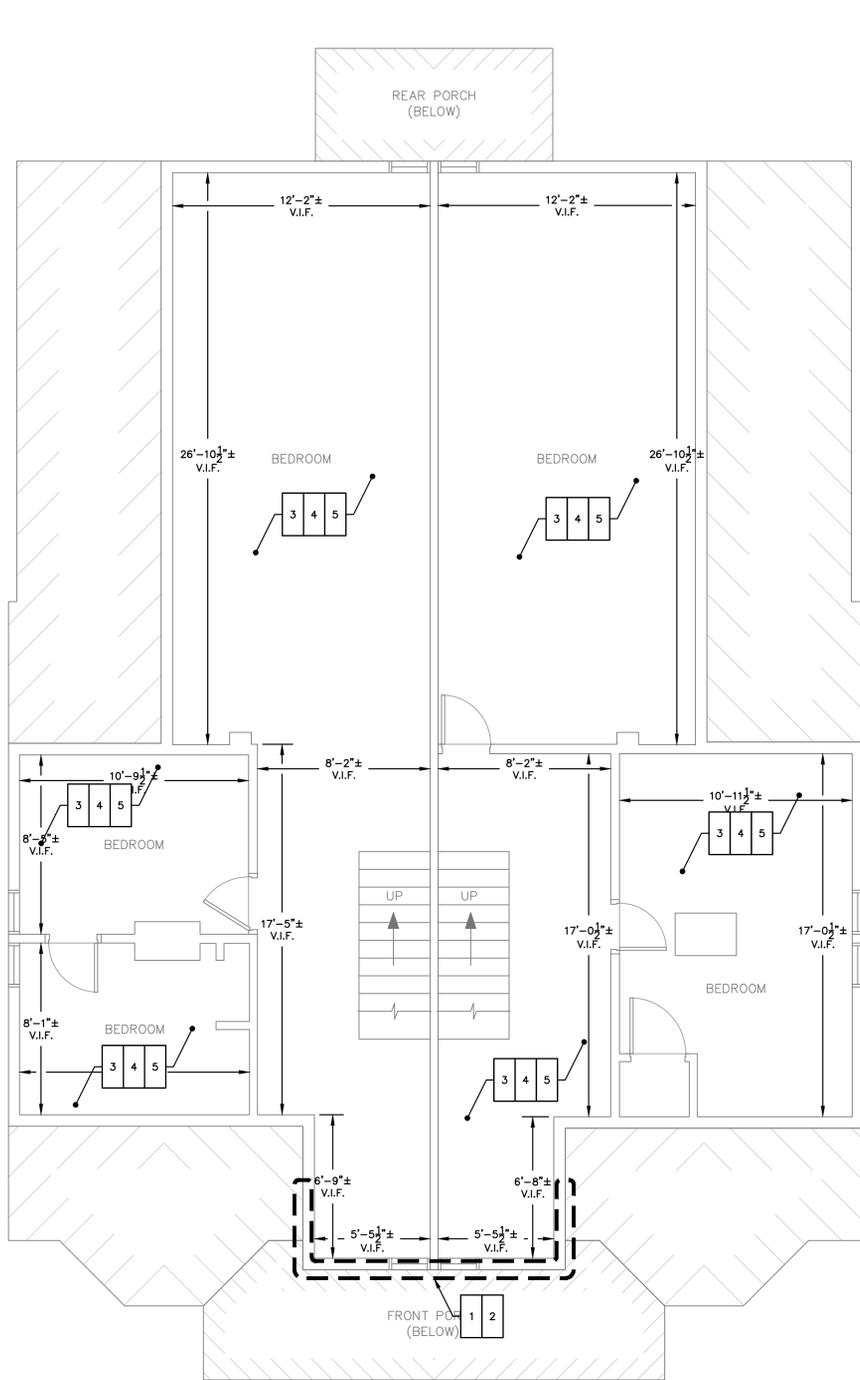
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**WORK NOTES**

- 1 THIRD FLOOR FRONT PEAK - REMOVE ROOF DOWN TO ROOF RAFTERS, INCLUDING WOOD SOFFIT, METAL COIL STOCK FASCIA, AND DRIP EDGE FOR EAVES, RAKES, AND RETURNS
- 2 THIRD FLOOR FRONT PEAK - FURNISH AND INSTALL ALL MATERIALS FOR NEW ROOF, INCLUDING PLYWOOD SHEATHING, THREE-TAB SHINGLES, ICE AND WATER SHIELD AT VALLEYS WHERE FRONT PEAK ROOF MEETS MAIN ROOF SLOPE, AND SHEET METAL FLASHING; FURNISH AND INSTALL ALL MATERIALS FOR NEW WOOD SOFFIT, METAL COIL STOCK FASCIA, AND DRIP EDGE FOR EAVES, RAKES, AND RETURNS
- 3 REMOVE AND DISPOSE OFFSITE GYPSUM BOARD ON CEILING THROUGHOUT THIRD FLOOR. SEE SHEET HM-1.1 FOR PROJECT TESTING AND DISPOSAL PROCEDURES
- 4 FURNISH AND INSTALL NEW FIBERGLASS BATT INSULATION IN AREAS OF GYPSUM BOARD REMOVAL; CEILING INSULATION TO BE R-38 RATED AND WALL INSULATION TO BE R-19 RATED.
- 5 FURNISH AND INSTALL NEW GYPSUM BOARD WHERE REMOVED; TAPE PRIME AND PAINT NEW GYPSUM BOARD TO MATCH UNDISTURBED GYPSUM BOARD.
- 6 MAIN ROOF - REMOVE ROOF DOWN TO ROOF RAFTERS, INCLUDING WOOD SOFFIT, METAL COIL STOCK FASCIA, AND DRIP EDGE FOR EAVES, RAKES, AND RETURNS; REMOVE GUTTERS AND DOWNSPOUTS
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- 8 REMOVE CHIMNEY FLASHING; DO NOT DAMAGE MASONRY CHIMNEYS
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- 14 SECOND FLOOR FRONT BAY WINDOWS - REMOVE ROOF, INCLUDING WOOD SOFFIT, METAL COIL STOCK FASCIA, AND DRIP EDGE
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**FLOOR PLANS - 2**

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FRONT ELEVATION



REAR ELEVATION



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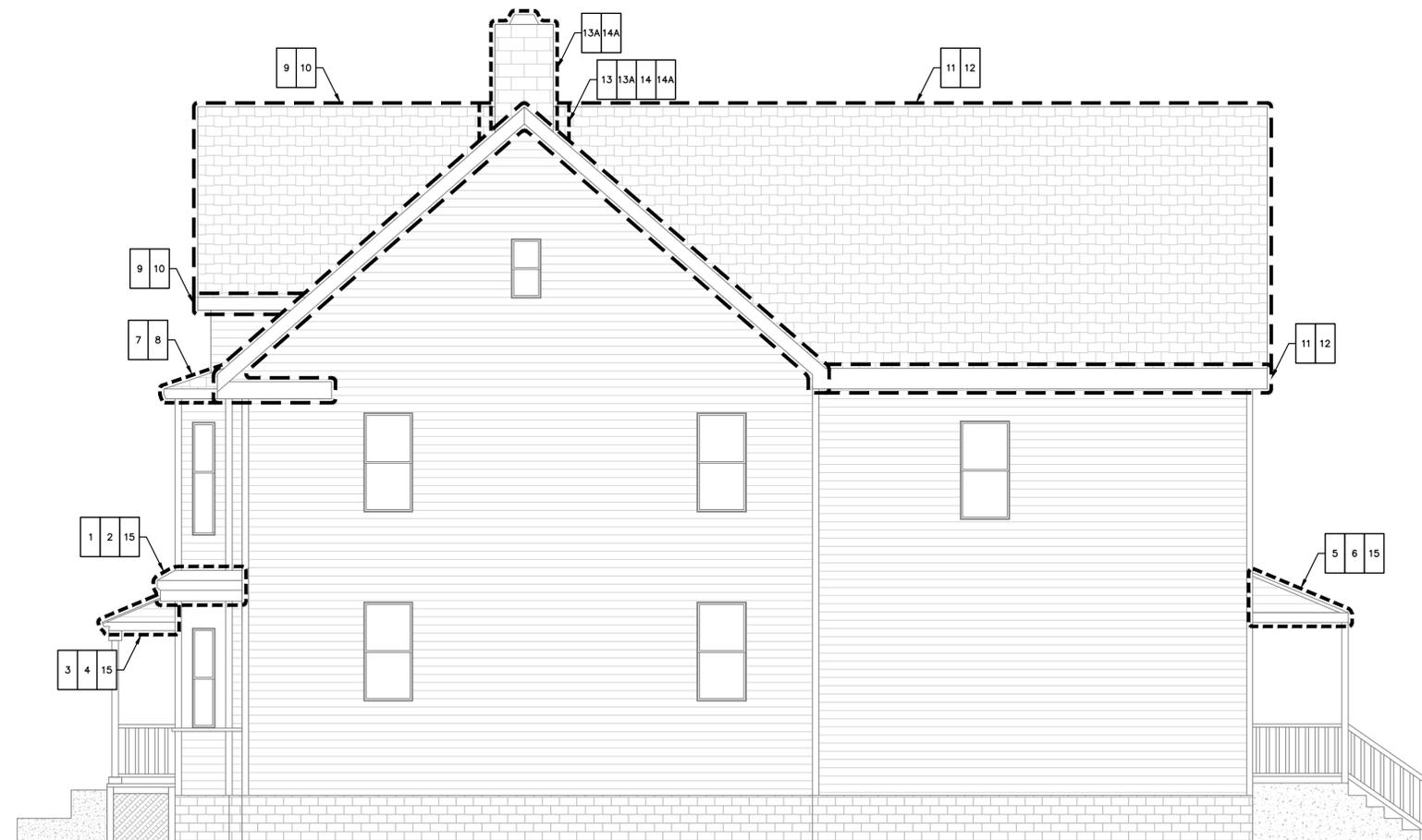
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- 13 REMOVE AND DISPOSE CHIMNEY FLASHING; DO NOT DAMAGE MASONRY CHIMNEYS
- 13A ADD ALTERNATE 1 ONLY - DEMOLISH CHIMNEYS TO THREE FEET BELOW ROOF LINE OR TO STABLE BASE FOR REBUILD; REMOVE AND DISPOSE MATERIALS OFFSITE
- 14 FURNISH AND INSTALL ALL MATERIALS FOR NEW CHIMNEY FLASHING; REPOINT AND GROUT CHIMNEY.
- 14A ADD ALTERNATE 1 ONLY - FURNISH AND INSTALL ALL MATERIALS FOR NEW CHIMNEYS WHERE REMOVED AND FLUE LINERS AS REQUIRED
- 15 REMOVE AND RESET VINYL SIDING AND TRIM PIECES AS REQUIRED FOR INSTALLATION OF SIDE WALL FLASHING



RIGHT ELEVATION



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528-530 GREGORY STREET  
BRIDGEPORT, CONNECTICUT 06604

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NO.	DATE	REVISIONS	BY	CHK	APPV
2	5/24/2016	ISSUED FOR BIDDING	MBR	MBR	REC
1	4/20/2016	ISSUED FOR CT DOH REVIEW AND APPROVAL	MBR	MBR	REC
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## BUILDING ELEVATIONS - 2

JOB NO.	DRAWING NUMBER	SHEET
33-262-5037	BASEMAP 33-262-5037.dwg	A-2.1



PHOTO 1



PHOTO 2



PHOTO 3



PHOTO 4



PHOTO 5



PHOTO 6



PHOTO 7



PHOTO 8



PHOTO 9



PHOTO 10



PHOTO 11



PHOTO 12

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**SITE PHOTOS**

JOB NO.	DRAWING NUMBER	SHEET
33-262-5037	BASEMAP 33-262-5037.dwg	A-3.0

**GENERAL NOTES**

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**LEAD PAINT ABATEMENT GENERAL NOTES**

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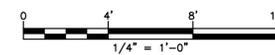
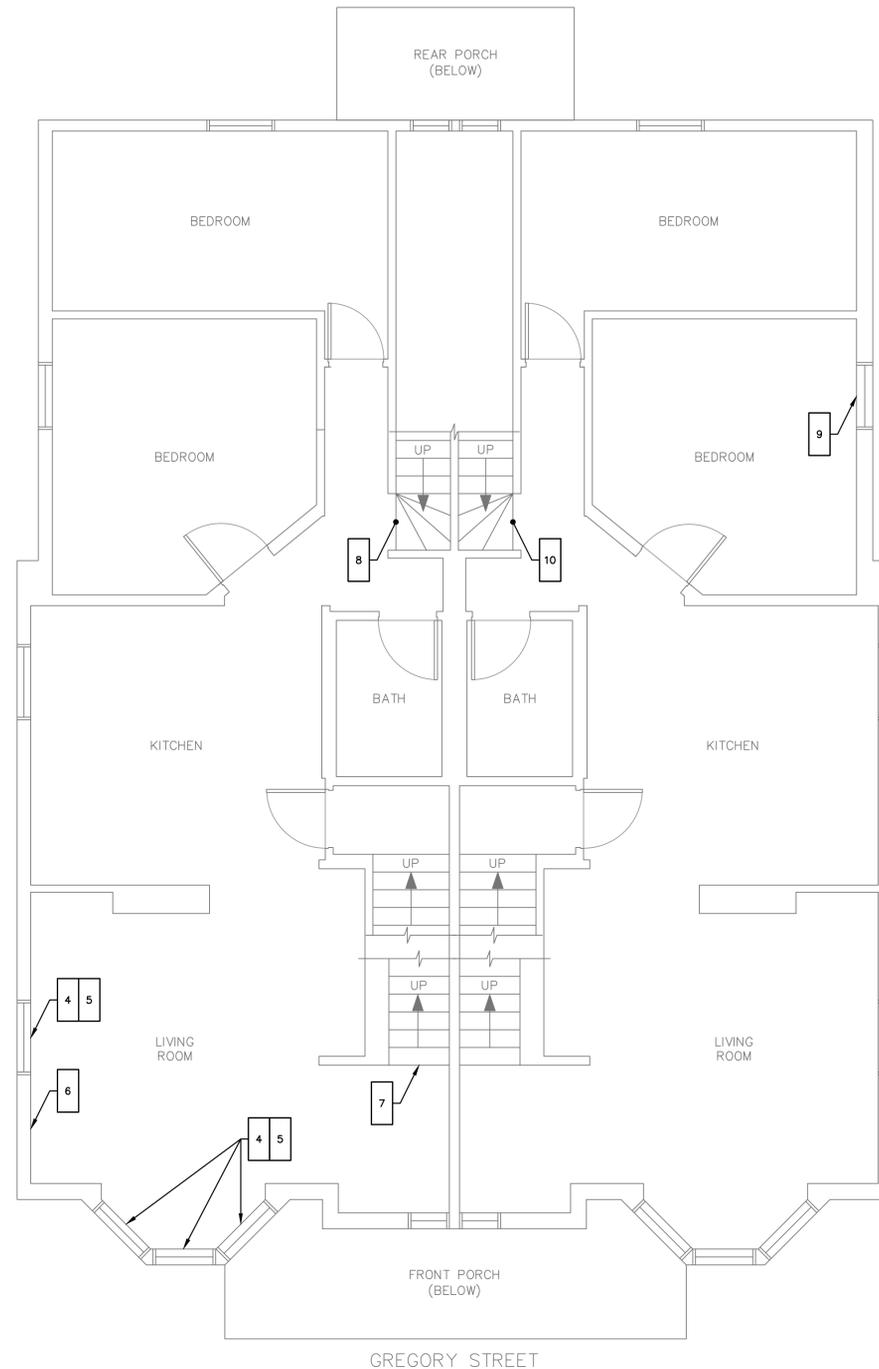
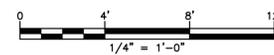
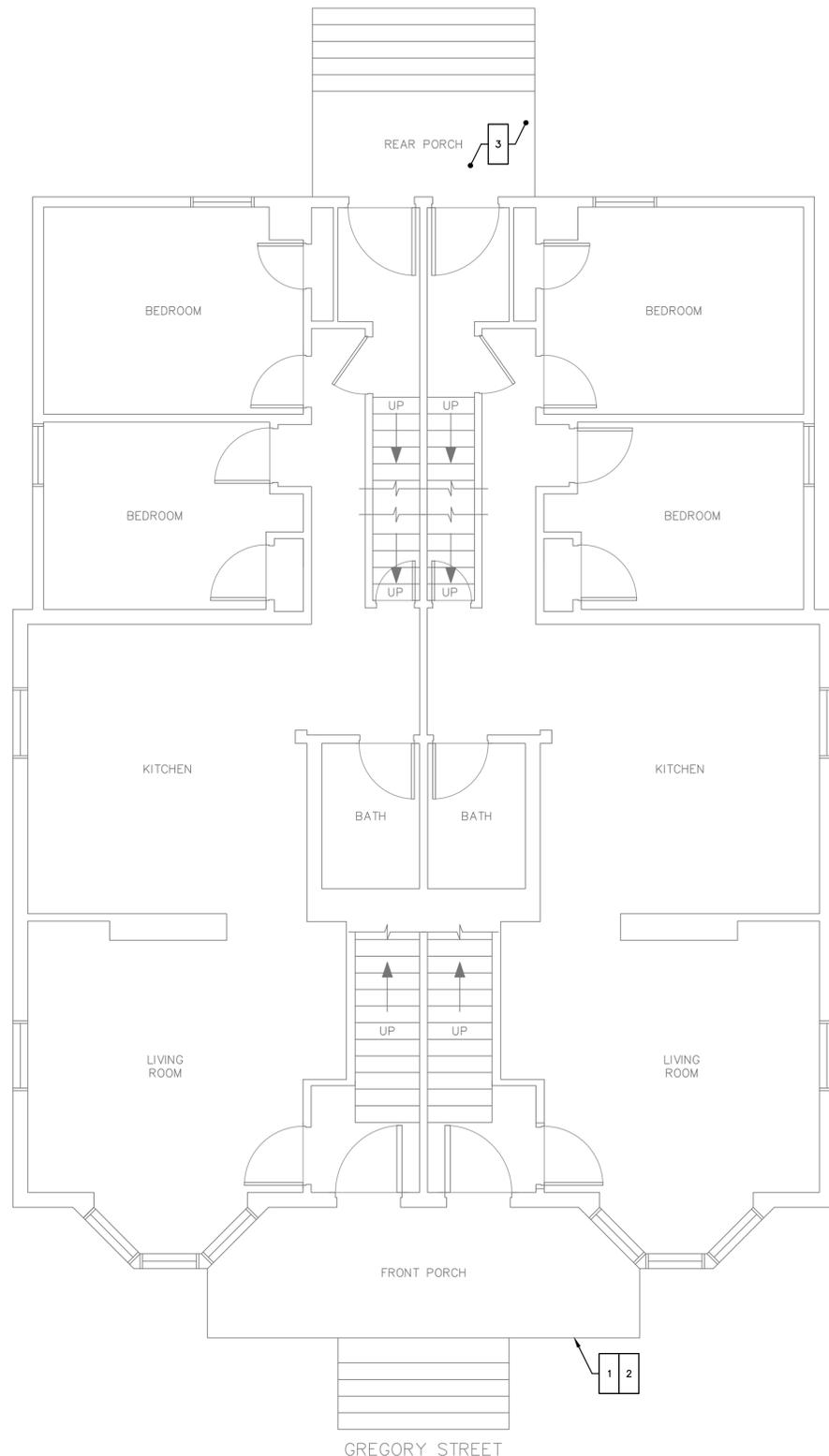
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ALL DEMOLITION MATERIALS ASSOCIATED WITH LEAD ABATEMENT WORK SHALL BE DISPOSED PER THE LEAD ABATEMENT PLAN AS HAZARDOUS WASTE WITH A TCLP READING GREATER THAN 5 mg/L. ALL LICENSES, TESTING RESULTS, AND MANIFESTS MUST BE SUBMITTED PER THE CONTRACT DOCUMENTS.

**WORK NOTES**

- 1 EXTERIOR - FRONT PORCH COLUMNS - LIQUID ENCAPSULATE USING STATE-APPROVED ENCAPSULANT
- 2 EXTERIOR - FRONT PORCH TRANSOM HORIZONTAL SUPPORT - REPAIR, REPLACE WITH ALUMINUM COIL STOCK, CAULK EDGES
- 3 EXTERIOR - REAR PORCH CEILING - LIQUID ENCAPSULATE USING STATE-APPROVED ENCAPSULANT
- 4 SECOND FLOOR, LEFT APARTMENT - LIVING ROOM WINDOW SILL - LIQUID ENCAPSULATE USING STATE-APPROVED ENCAPSULANT
- 5 SECOND FLOOR, LEFT APARTMENT - LIVING ROOM WOOD WALL UNDER WINDOW - LIQUID ENCAPSULATE USING STATE-APPROVED ENCAPSULANT
- 6 SECOND FLOOR, LEFT APARTMENT - LIVING ROOM BASEBOARD - LIQUID ENCAPSULATE USING STATE-APPROVED ENCAPSULANT
- 7 SECOND FLOOR, LEFT APARTMENT - LIVING ROOM STAIR STRINGER - LIQUID ENCAPSULATE USING STATE-APPROVED ENCAPSULANT
- 8 SECOND FLOOR, LEFT APARTMENT - REAR EXIT STAIR STRINGER - LIQUID ENCAPSULATE USING STATE-APPROVED ENCAPSULANT
- 9 SECOND FLOOR, RIGHT APARTMENT - FRONT BEDROOM WINDOW SILL, TRIM, APRON, AND STOP - LIQUID ENCAPSULATE USING STATE-APPROVED ENCAPSULANT
- 10 SECOND FLOOR, RIGHT APARTMENT - REAR EXIT STAIR STRINGER - LIQUID ENCAPSULATE USING STATE-APPROVED ENCAPSULANT



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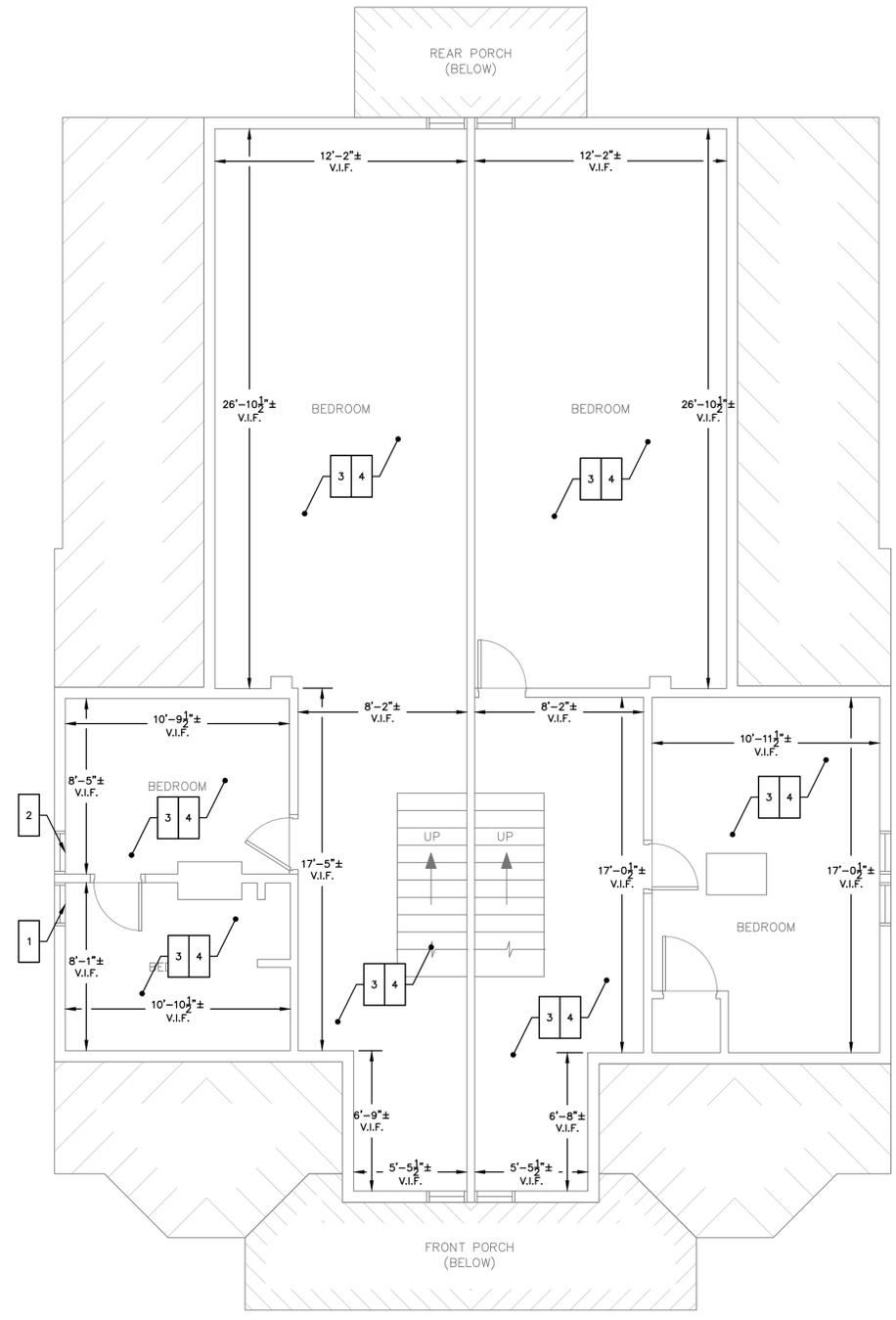
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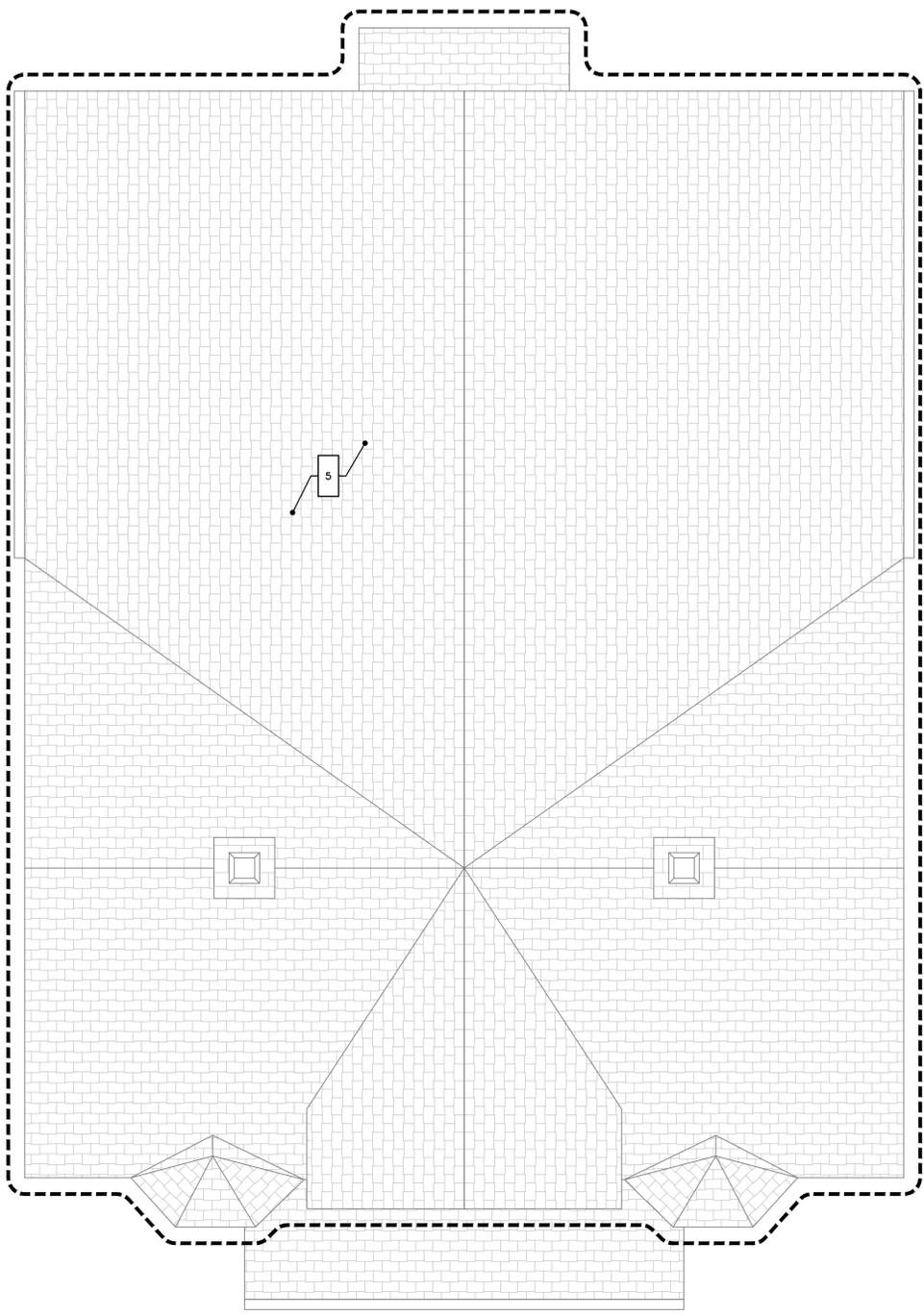
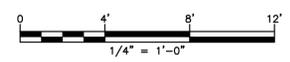
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**HAZARDOUS MATERIAL  
 PLANS - 1**

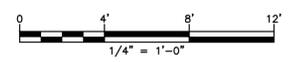
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**THIRD FLOOR**



**ROOF PLAN**



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**LEAD PAINT ABATEMENT GENERAL NOTES**

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ALL SURFACES SCHEDULED FOR REMOVAL OF LEADED PAINT AND LIQUID ENCAPSULATION SHALL BE REPAINTED TO MATCH ADJACENT FINISHES OR ORIGINAL COLOR AS BEST POSSIBLE COLOR MATCHING.

SURFACES SCHEDULED FOR LIQUID ENCAPSULATION SHALL BE PROPERLY STABILIZED TO ESTABLISH AN ACCEPTABLE SUBSTRATE FOR APPLICATION OF APPROVED LIQUID ENCAPSULATE MATERIAL. CONTRACTOR SHALL PERFORM X-TEST ON REPRESENTATIVE SURFACE AND SAMPLE AREAS.

ALL DEMOLITION MATERIALS ASSOCIATED WITH LEAD ABATEMENT WORK SHALL BE DISPOSED PER THE LEAD ABATEMENT PLAN AS HAZARDOUS WASTE WITH A TCLP READING GREATER THAN 5 mg/L. ALL LICENSES, TESTING RESULTS, AND MANIFESTS MUST BE SUBMITTED PER THE CONTRACT DOCUMENTS.

**ASBESTOS CONTAINING MATERIALS GENERAL NOTES**

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH 'ASBESTOS CONTAINING MATERIALS REMOVAL WORK PLAN, 528-530 GREGORY STREET, BRIDGEPORT, CT' PREPARED BY FACILITY SUPPORT SERVICES LLC. CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS APPLICABLE TO PROJECT ABATEMENT WORK.

**SUSPECT MATERIALS EXTERIOR** - ROOFING SHINGLES ON PORCH ROOFS HAVE BEEN TESTED AND HAVE BEEN FOUND TO BE NON ASBESTOS CONTAINING MATERIAL (ACM); SEE SPECIFICATION SECTION 00 31 26 FOR LIST OF SAMPLED AND TESTED MATERIALS. OTHER MATERIALS SHALL BE DISPOSED OF PER 'ASBESTOS CONTAINING MATERIALS REMOVAL WORK PLAN, 528-530 GREGORY STREET, BRIDGEPORT, CT'.

**SUSPECT MATERIALS INTERIOR** - INTERIOR GYPSUM BOARD AND JOINT COMPOUND HAS BEEN TESTED AND DETERMINED TO BE NON ACM. SEE SPECIFICATION SECTION 00 31 26 FOR LIST OF SAMPLED AND TESTED MATERIALS. SUSPECT MATERIALS TO BE EXPOSED BEHIND GYPSUM BOARD ON THIRD FLOOR ARE ASSUMED AS FRIABLE ACM UNTIL TESTED BY CONTRACTOR'S LICENSED ENVIRONMENTAL PROFESSIONAL/ASBESTOS-CONSULTANT INSPECTOR. MATERIALS MAY ALSO CONTAIN PCB'S. THE TESTING OF SUSPECT MATERIALS FOR DISPOSAL CHARACTERIZATION, PREPARATION OF ABATEMENT PLANS, AND PROPER ABATEMENT IF REQUIRED IS THE RESPONSIBILITY OF THE CONTRACTOR.

**CONTRACTOR LICENSING** - THE ROOFING DEMOLITION WORK SHALL BE PERFORMED BY AN ASBESTOS ABATEMENT CONTRACTOR LICENSED IN THE STATE OF CONNECTICUT. WORKERS SHALL BE TRAINED IN ACCORDANCE WITH 29 CFR 1910.120 FOR THE REMOVAL AND HANDLING OF POLYCHLORINATED BIPHENYLS (PCB'S).

THE REMOVAL WORK PLAN IS DESCRIBED IN NARRATIVE FORM AS FOLLOWS FOR CONTRACTORS INFORMATION PURPOSES. SPECIFIC PHASING AND WORK REQUIREMENTS SHALL CONFORM AS NOTED ABOVE.

1. **PRECONSTRUCTION MEETING** - PRIOR TO GYPSUM BOARD DEMOLITION WORK ON THIRD FLOOR THE CONTRACTOR, MCA AND OTHER NECESSARY PERSONNEL SHALL ATTEND A PRECONSTRUCTION MEETING TO REVIEW THE TESTING SCHEDULE.
2. **TESTING PROCEDURE** - THE CONTRACTOR SHALL ENGAGE AN ASBESTOS-CONSULTANT INSPECTOR LICENSED IN THE STATE OF CONNECTICUT TO SAMPLE AND TEST REPRESENTATIVE MATERIALS BEHIND THE GYPSUM BOARD IN EACH ROOM OF THE THIRD FLOOR FOR ASBESTOS CONTAINING MATERIALS AND PCB MATERIALS IN BUILDING INSULATION. REPRESENTATIVE INSULATION MATERIALS SHALL BE TESTED BY A STATE OF CONNECTICUT CERTIFIED LABORATORY VIA SOXHLET EXTRACTION METHOD AND POLARIZED LIGHT MICROSCOPY FOR THE PURPOSE OF ABATEMENT AND DISPOSAL CHARACTERIZATION. REPRESENTATIVE MATERIAL TYPES SHALL BE DETERMINED BY THE LICENSED ENVIRONMENTAL PROFESSIONAL CONDUCTING THE SAMPLING. AFTER SAMPLING THE GYPSUM BOARD SHALL BE PATCHED TO PREVENT RELEASE OF SUSPECT MATERIALS BEHIND GYPSUM BOARD.
3. **DISPOSAL/ABATEMENT** - RESULTS OF MATERIAL TESTING WILL DETERMINE TO THE DEMOLITION AND DISPOSAL PROCEDURES
  - 3.1 - IF RESULTS OF TESTING INDICATE THE PRESENCE OF FRIABLE ASBESTOS AND/OR PCB MATERIALS THE CONTRACTOR SHALL PREPARE ABATEMENT PLANS BY LICENSED ASBESTOS PROJECT DESIGNER AND LICENSED ENVIRONMENTAL PROFESSIONAL.
  - 3.2 - IF RESULTS OF TESTING DO NOT INDICATE THE PRESENCE OF FRIABLE ASBESTOS AND/OR PCB MATERIALS THE DEMOLITION OF GYPSUM BOARD ON THIRD FLOOR SHALL PROCEED AS UNREGULATED WASTE.

**WORK NOTES**

1. THIRD FLOOR, LEFT APARTMENT - FRONT BEDROOM WINDOW SILL, TRIM, AND APRON - LIQUID ENCAPSULATE USING STATE-APPROVED ENCAPSULANT
2. THIRD FLOOR, LEFT APARTMENT - MIDDLE BEDROOM WINDOW SILL, TRIM, AND APRON - LIQUID ENCAPSULATE USING STATE-APPROVED ENCAPSULANT
3. COMPLETE EXPLORATORY DEMOLITION AT CEILING INTERFACE WITH ROOF FOR SUSPECT ASBESTOS CONTAINING MATERIALS AND SUSPECT POLYCHLORINATED BIPHENYL CONTAINING MATERIALS IN INSULATION MATERIAL
4. ADD ALTERNATE 2 - ABATE ACM AND PCB MATERIALS ON THIRD FLOOR. SEE ENVIRONMENTAL NOTES. CONTRACTOR TO PREPARE AND SUBMIT ABATEMENT PLANS USING TESTING RESULTS OF SUSPECT MATERIALS. ABATEMENT PLAN TO BE PREPARED BY ASBESTOS PROJECT PLANNER LICENSED IN THE STATE OF CONNECTICUT. ALL TEST RESULTS, LICENSING INFORMATION, AND ABATEMENT PLAN TO BE SUBMITTED TO MCA FOR APPROVAL.
5. REMOVED AND DISPOSE OFFSITE FLASHING CHIMNEYS AND PIPE VENTS AS ASBESTOS CONTAINING MATERIALS PER SPECIFICATION SECTION 02 83 33 - 'REMOVAL AND DISPOSAL OF ASBESTOS CONTAINING MATERIALS'



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