

PROJECT 5010 - 15 CHETWOOD STREET, MILFORD, CT

COMMUNITY DEVELOPMENT BLOCK GRANT DISASTER RECOVERY PROGRAM SCATTERED SITE REHABILITATION AND REBUILDING CONNECTICUT DEPARTMENT OF HOUSING HARTFORD, CONNECTICUT 06118

GENERAL NOTES:

1. WHERE REFERENCED IN THIS PLAN SET, MARTINEZ COUCH & ASSOCIATES, LLC SHALL HEREIN BE REFERRED TO AS "MCA."
2. THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS.
3. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE, AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
4. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT MCA IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS, SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH MCA PRIOR TO BIDDING.
5. REFER TO OTHER PLANS, DETAILS, AND PROJECT MANUAL FOR ADDITIONAL INFORMATION.

DRAWING INDEX

SHEET TITLE	SHEET NUMBER
TITLE SHEET	T-0.0
EXISTING CONDITIONS - 1	EX-1.0
EXISTING CONDITIONS - 2	EX-1.1
EXISTING CONDITIONS - 3	EX-1.2
FLOOR PLANS	A-1.0
DOOR SCHEDULE & DETAILS	A-5.0
MECHANICAL & PLUMBING LAYOUT	MP-1.0
ELECTRICAL LAYOUT	E-1.0



STREET VIEW
(N.T.S.)

THIS MAP IS A COPYRIGHTED WORK OF MARTINEZ COUCH AND ASSOCIATES, LLC. ALL RIGHTS RESERVED.



1084 Cromwell Avenue, Suite A-2
Rocky Hill, CT 06067
Telephone: (860) 436-4364
Fax: (860) 436-4626
www.martinezcouch.com

PROJECT 5010
15 CHETWOOD STREET
MILFORD, CONNECTICUT 06460

**ISSUE FOR BID
NOT FOR CONSTRUCTION**

NO.	DATE	REVISIONS	BY	CHK	APPV
2	9/28/2015	ISSUED FOR BIDDING	MBR	MBR	REC
1	8/27/2015	ISSUED FOR CT DOH REVIEW AND APPROVAL	MBR	MBR	REC

DRAWN: KNL CHECKED: MBR APPROVED: REC SCALE: N.T.S. DATE: 8/24/2015

TITLE SHEET

JOB NO.	DRAWING NUMBER	SHEET
33-262-5010	33-262-5010.dwg	T-0.0

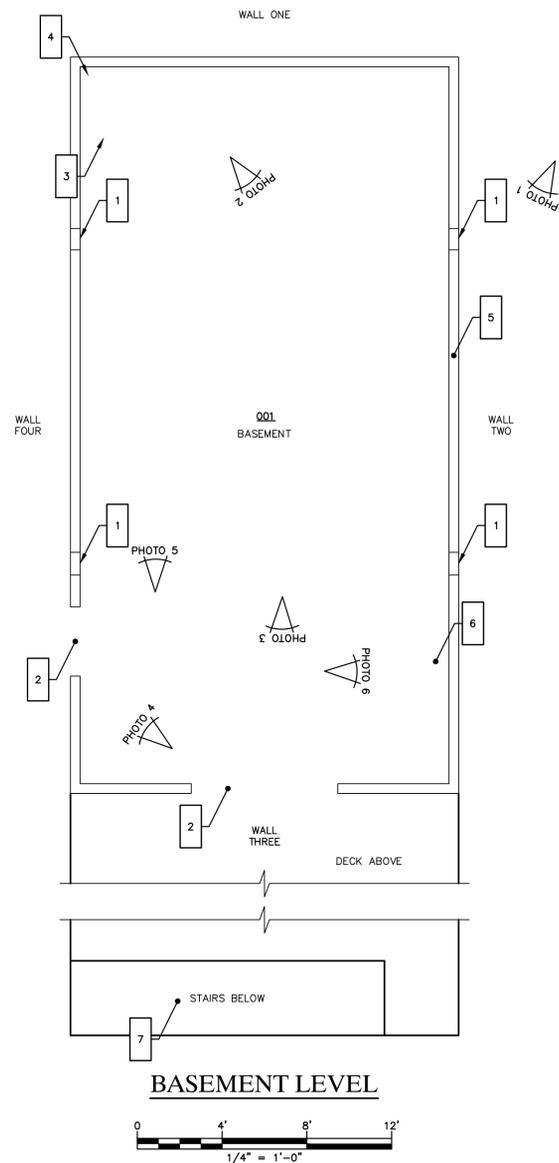


PHOTO 1
(EXTERIOR WALL TWO OF BASEMENT SHOWING POCKETS FOR FLOOD VENT INSTALLATION AND NATURAL GAS SERVICE ENTRANCE)



PHOTO 2
(INTERIOR WALLS TWO AND THREE OF BASEMENT SHOWING TRACPIPE® AND NATURAL GAS MANIFOLD)

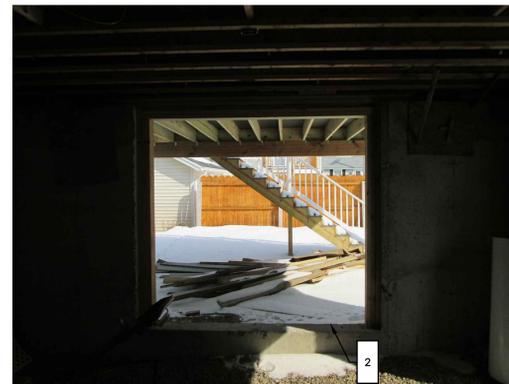


PHOTO 3
(INTERIOR WALL THREE OF BASEMENT SHOWING ROUGH FRAMED OPENING FOR REAR DOOR)



PHOTO 4
(INTERIOR WALLS FOUR AND ONE OF BASEMENT SHOWING ROUGH FRAMED OPENING FOR DOOR AND SANITARY SEWER DRAIN PIPE)



PHOTO 5
(INTERIOR WALLS FOUR AND ONE OF BASEMENT SHOWING SANITARY SEWER DRAIN PIPE)



PHOTO 6
(INTERIOR WALLS TWO AND THREE OF BASEMENT SHOWING DRAIN CONNECTION FOR KITCHEN SINK)

GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL MEASUREMENTS. ANY VARIATIONS FROM CONDITIONS SHOWN ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL AND/OR MCA PRIOR TO BIDDING FOR RESOLUTION IN ACCORDANCE WITH CONTRACT DOCUMENT REQUIREMENTS.
2. ALL REQUIRED PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
3. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF THE NOTED ITEM.
4. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
5. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
6. CONTRACTOR TO CHECK AND BE RESPONSIBLE FOR ALL INSTALLED MECHANICAL, ELECTRICAL, AND PLUMBING UNITS INCLUDING FURNACES SUPPLY PANELS, BATHS ETC.

EXISTING CONDITIONS NOTES

- 1 EXISTING OPENING FOR FLOOD VENT INSTALLATION
- 2 ROUGH OPENING IN CONCRETE FOUNDATION FOR DOOR INSTALLATION
- 3 EXISTING SANITARY RISER TO FIRST FLOOR, INSTALLED BY OTHERS
- 4 LOCATION OF WATER SERVICE ENTRANCE TO BUILDING; EXISTING SERVICE LINE CAPPED
- 5 LOCATION OF GAS SERVICE ENTRANCE TO BUILDING; EXISTING SERVICE LINE CAPPED. TRACPIPE® PIPING, INSTALLED BY OTHERS, COMPLETE TO FLOOR FLANGES IN KITCHEN AND MECHANICAL/LAUNDRY ROOM.
- 6 EXISTING PVC DRAIN LINE FOR KITCHEN SINK AND FUTURE DISHWASHER, INSTALLED BY OTHERS
- 7 EXISTING STAIR CASE INSTALLED BY OTHERS. CONTRACTOR TO VERIFY TREAD DEPTH AND RISER HEIGHT. TREAD AND RISER HEIGHT NOT IN CONFORMANCE WITH 2009 INTERNATIONAL RESIDENTIAL CODE SHALL BE REMEDIED BY CONTRACTOR. ADDITIONAL SUPPORTS TO BE INSTALLED FOR EXISTING STAIR, SEE SHEET A-1.0.

THIS MAP IS A COPYRIGHTED WORK OF MARTINEZ COUCH AND ASSOCIATES, LLC. ALL RIGHTS RESERVED.



1084 Cromwell Avenue, Suite A-2
Rocky Hill, CT 06067
Telephone: (860) 436-4364
Fax: (860) 436-4626
www.martinezcouch.com

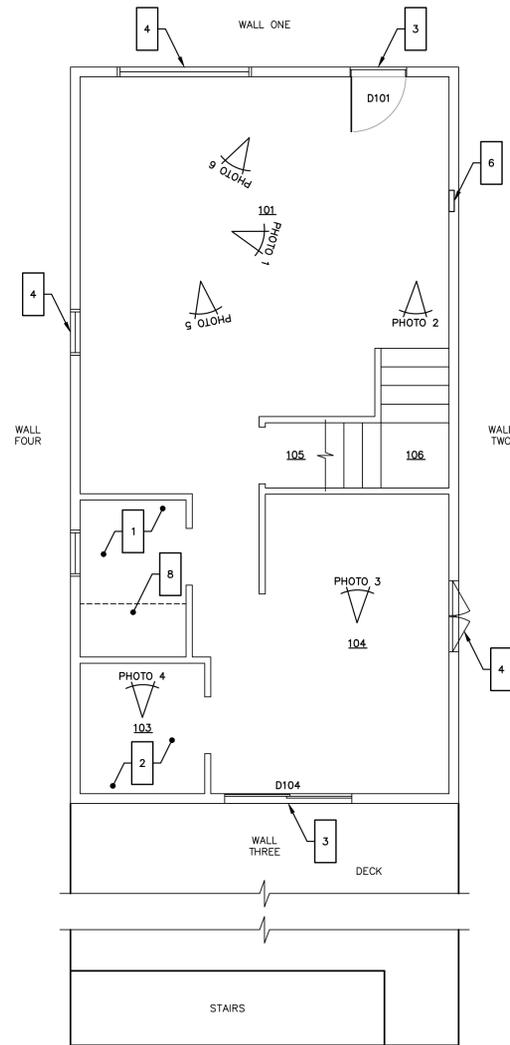
PROJECT 5010
15 CHETWOOD STREET
MILFORD, CONNECTICUT 06460

**ISSUED FOR BID
NOT FOR CONSTRUCTION**

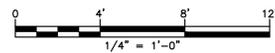
2	9/28/2015	ISSUED FOR BIDDING	MBR	MBR	REC
1	8/27/2015	ISSUED FOR CT DOH REVIEW AND APPROVAL	MBR	MBR	REC
NO.	DATE	REVISIONS	BY	CHK	APPV
DRAWN: KNL	CHECKED: MBR	APPROVED: REC	SCALE: 1/4" = 1'	DATE: 8/24/2015	

EXISTING CONDITIONS - 1

JOB NO.	DRAWING NUMBER	SHEET
33-262-5010	33-262-5010.dwg	EX-1.0



FIRST FLOOR



ROOM LEGEND	
ROOM ID	ROOM NAME
101	LIVING
102	BATH - FIRST FLOOR
103	MECHANICAL/LAUNDRY
104	KITCHEN
105	CLOSET - FIRST FLOOR
106	STAIRS AND LANDING



PHOTO 1
(WALL TWO OF LIVING ROOM SHOWING
ELECTRIC PANEL INSTALLED BY OTHERS)



PHOTO 2
(FIRST FLOOR STAIRS TO SECOND FLOOR)



PHOTO 3
(WALL ONE OF KITCHEN SHOWING ROUGHED IN
MECHANICAL, ELECTRICAL, AND PLUMBING INSTALLATIONS)



PHOTO 4
(WALL ONE OF MECHANICAL/LAUNDRY ROOM SHOWING
ROUGHED IN PLUMBING CONNECTIONS FOR WASHER AND DRYER)



PHOTO 5
(WALL FOUR OF LIVING ROOM
LOOKING TO KITCHEN)



PHOTO 6
(WALL FOUR OF LIVING ROOM SHOWING ROUGHED IN
MECHANICAL, ELECTRICAL, AND PLUMBING INSTALLATIONS)

GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL MEASUREMENTS. ANY VARIATIONS FROM CONDITIONS SHOWN ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL AND/OR MCA PRIOR TO BIDDING FOR RESOLUTION IN ACCORDANCE WITH CONTRACT DOCUMENT REQUIREMENTS.
2. ALL REQUIRED PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
3. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF THE NOTED ITEM.
4. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
5. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
6. CONTRACTOR TO CHECK AND BE RESPONSIBLE FOR ALL INSTALLED MECHANICAL, ELECTRICAL, AND PLUMBING UNITS INCLUDING FURNACES SUPPLY PANELS, BATHS ETC.

EXISTING CONDITIONS NOTES

1. EXISTING FIRST FLOOR BATHROOM WITH ROUGHED IN PLUMBING CONNECTIONS. FIBERGLASS SHOWER STALL CURRENTLY INSTALLED. SHOWER DRAIN CONNECTED. FLOOR FLANGE FOR WATER CLOSET CURRENTLY INSTALLED.
2. MECHANICAL/LAUNDRY ROOM WITH EXISTING FURNACE. ROUGH MECHANICAL, PLUMBING, AND ELECTRICAL WORK COMPLETE; READY FOR CITY INSPECTION. NEW GAS FIRED FURNACE ONSITE. EXISTING TRACPIPE® FLOOR FLANGES, INSTALLED BY OTHERS.
3. EXISTING DOOR, INSTALLED BY OTHERS
4. EXISTING WINDOW, INSTALLED BY OTHERS
5. ROUGHED IN HVAC DUCTWORK COMPLETE ON FIRST FLOOR, INSTALLED BY OTHERS
6. EXISTING ELECTRICAL PANEL, INSTALLED BY OTHERS
7. EXISTING TRACPIPE® FLOOR FLANGE FOR FUTURE GAS RANGE, INSTALLED BY OTHERS
8. EXISTING FIBERGLASS SHOWER TUB, INSTALLED BY OTHERS
9. EXISTING WALL FRAMING MAY REQUIRE INSTALLATION OF ADDITIONAL WALL STUD, HEADER AND FOOTER FRAMING TO RECEIVE NEW WALL FINISHES; CONTRACTOR TO FURNISH AND INSTALL ALL FRAMING REQUIRED. SEE SHEET A-1.0 FOR FINISH SCHEDULE

THIS MAP IS A COPYRIGHTED WORK OF MARTINEZ COUCH AND ASSOCIATES, LLC. ALL RIGHTS RESERVED.



1084 Cromwell Avenue, Suite A-2
Rocky Hill, CT 06067
Telephone: (860) 436-4364
Fax: (860) 436-4626
www.martinezcouch.com

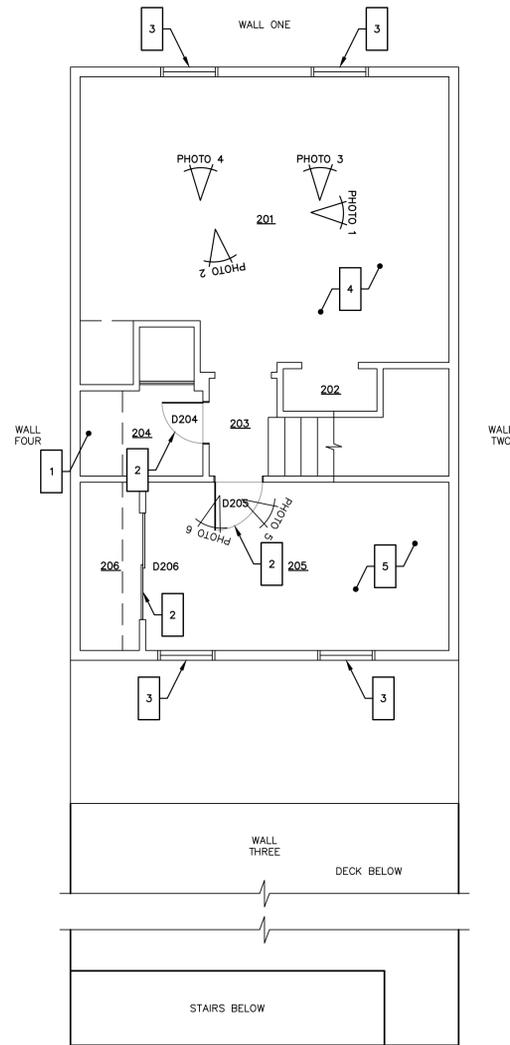
PROJECT 5010
15 CHETWOOD STREET
MILFORD, CONNECTICUT 06460

**ISSUED FOR BID
NOT FOR CONSTRUCTION**

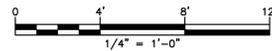
NO.	DATE	REVISIONS	BY	CHK	APPV
2	9/28/2015	ISSUED FOR BIDDING	MBR	MBR	REC
1	8/27/2015	ISSUED FOR CT DOH REVIEW AND APPROVAL	MBR	MBR	REC
DRAWN: KNL		CHECKED: MBR	APPROVED: REC	SCALE: 1/4" = 1'	DATE: 8/24/2015

EXISTING CONDITIONS - 2

JOB NO.	DRAWING NUMBER	SHEET
33-262-5010	33-262-5010.dwg	EX-1.1



SECOND FLOOR



ROOM LEGEND	
ROOM ID	ROOM NAME
201	BEDROOM ONE
202	CLOSET - BEDROOM ONE
203	HALL - SECOND FLOOR
204	BATH - SECOND FLOOR
205	BEDROOM TWO
206	CLOSET - BEDROOM TWO



PHOTO 1
(WALL TWO OF BEDROOM ONE)



PHOTO 2
(WALLS TWO AND THREE OF BEDROOM ONE
SHOWING HALL TO STAIRS AND BEDROOM TWO)



PHOTO 3
(WALLS ONE AND TWO OF BEDROOM ONE)



PHOTO 4
(WALLS FOUR AND ONE OF BEDROOM ONE)



PHOTO 5
(WALLS ONE, TWO, AND THREE OF BEDROOM TWO)



PHOTO 6
(WALL THREE OF BEDROOM TWO)

GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL MEASUREMENTS. ANY VARIATIONS FROM CONDITIONS SHOWN ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL AND/OR MCA PRIOR TO BIDDING FOR RESOLUTION IN ACCORDANCE WITH CONTRACT DOCUMENT REQUIREMENTS.
2. ALL REQUIRED PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
3. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF THE NOTED ITEM.
4. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
5. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
6. CONTRACTOR TO CHECK AND BE RESPONSIBLE FOR ALL INSTALLED MECHANICAL, ELECTRICAL, AND PLUMBING UNITS INCLUDING FURNACES SUPPLY PANELS, BATHS ETC.

EXISTING CONDITIONS NOTES

- 1 EXISTING BATHROOM
- 2 EXISTING DOOR
- 3 EXISTING WINDOW
- 4 BEDROOM ONE, PARTIAL FINISH AND ELECTRICAL WORK BY OTHERS
- 5 BEDROOM TWO, PARTIAL FINISH AND ELECTRICAL WORK BY OTHERS
- 6 BUILDING SOFFIT DAMAGED

THIS MAP IS A COPYRIGHTED WORK OF MARTINEZ COUCH AND ASSOCIATES, LLC. ALL RIGHTS RESERVED.



1084 Cromwell Avenue, Suite A-2
Rocky Hill, CT 06067
Telephone: (860) 436-4364
Fax: (860) 436-4626
www.martinezcouch.com

PROJECT 5010
15 CHETWOOD STREET
MILFORD, CONNECTICUT 06460

**ISSUED FOR BID
NOT FOR CONSTRUCTION**

NO.	DATE	REVISIONS	BY	CHK	APPV
2	9/28/2015	ISSUED FOR BIDDING	MBR	MBR	REC
1	8/27/2015	ISSUED FOR CT DOH REVIEW AND APPROVAL	MBR	MBR	MBR

DRAWN: KNL CHECKED: MBR APPROVED: REC SCALE: 1/4" = 1' DATE: 8/24/2015

EXISTING CONDITIONS - 3

JOB NO.	DRAWING NUMBER	SHEET
33-262-5010	33-262-5010.dwg	EX-1.2

FINISH SCHEDULE

WD	-	WOOD	CER	-	CERAMIC TILE	GWB	-	GYPSUM WALLBOARD
PLY	-	PLYWOOD	VCT	-	VINYL COMPOSITION TILE	PTD	-	PAINTED
HDWD	-	HARDWOOD	VP	-	VINYL PLANK	OS	-	OWNER-SELECTED
PFHDWD	-	PREFINISHED HARDWOOD	CPT	-	CARPET	RIK	-	REPLACE IN KIND
CMB	-	CEMENT BOARD	PBT	-	PINE BOARD TRIM	N/A	-	NOT APPLICABLE

NOTES:
 1. PRIME AND PAINT ALL DOOR AND WINDOW CASINGS TO MATCH WALL COLOR.
 2. FOR GYPSUM BOARD: USE 3/8" FOR CEILINGS, 1/2" FOR WALLS, AND GREENBOARD FOR BATHROOMS

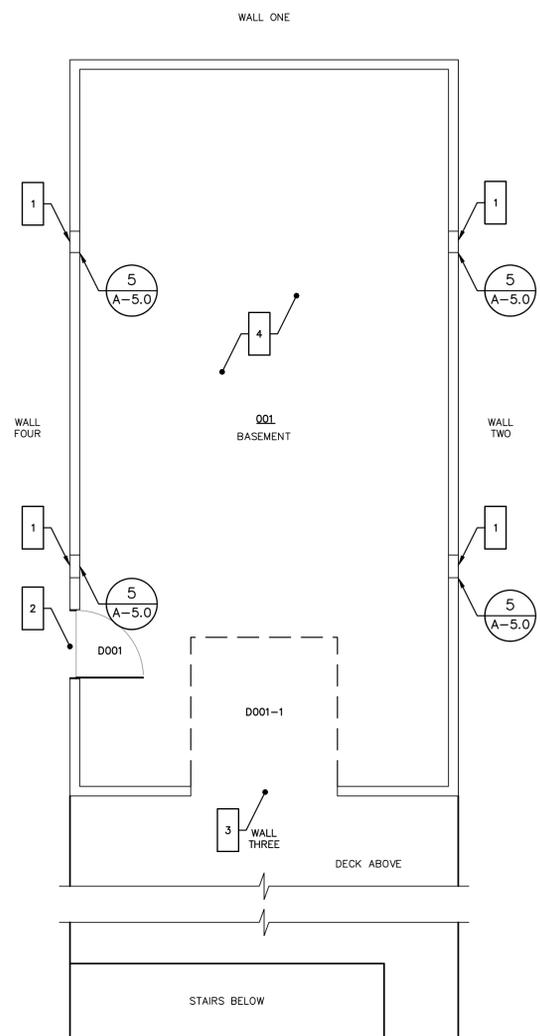
ROOM NAME	ROOM ID	FLOOR			BASE				WALL			CEILING			REMARKS
		SUBSTRATE	FINISH	COLOR	MATERIAL	PROFILE	FINISH	COLOR	MATERIAL	FINISH	COLOR	MATERIAL	FINISH	COLOR	
BASEMENT	001	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	GWB	PTD	N/A	CEILING GWB TO BE FIRECODE X TYPE AND TAPED AT FOUNDATION WALL INTERFACE, PAINT CEILING WITH INTUMESCENT PAINT COATING
LIVING	101	PLY	PFHDWD	OS	PBT	WM623	PTD	WHITE	GWB	PTD	WHITE	GWB	PTD	WHITE	
BATH - FIRST FLOOR	102	CMB	CER	OS	PBT	WM623	PTD	WHITE	GWB	PTD	WHITE	GWB	PTD	WHITE	
MECHANICAL/LAUNDRY	103	PLY	VCT	OS	PBT	WM623	PTD	WHITE	GWB	PTD	WHITE	GWB	PTD	WHITE	
KITCHEN	104	CMB	CER	OS	PBT	WM623	PTD	WHITE	GWB	PTD	WHITE	GWB	PTD	WHITE	
CLOSET - FIRST FLOOR	105	PLY	PFHDWD	OS	PBT	WM623	PTD	WHITE	GWB	PTD	WHITE	GWB	PTD	WHITE	
STAIRS AND LANDING	106	WD/PLY ^A	CPT ^B	OS	PBT	WM623	PTD	WHITE	GWB	PTD	WHITE	GWB	PTD	WHITE	^A EXISTING FLOORING ^B STAIN EXISTING WOOD STAIRS, INSTALL CARPET TREADS ON STAIRS, INSTALL CARPET ON LANDING
BEDROOM ONE	201	HDWD ^A	VP	OS	PBT	RIK	PTD	WHITE	GWB ^{C,D}	PTD ^C	WHITE ^C	GWB ^{C,D}	PTD ^C	WHITE ^C	^A EXISTING FLOORING ^C PATCH SELECT REPLACEMENT GWB; PRIME AND PAINT ALL TRIM AND GYPSUM BOARD ^D MOISTURE METER TEST EXISTING GWB, REMOVE AND REPLACE MOISTURE DAMAGED GWB
CLOSET - BEDROOM ONE	202	HDWD ^A	VP	OS	PBT	RIK	PTD	WHITE	GWB ^{C,D}	PTD ^C	WHITE ^C	GWB ^{C,D}	PTD ^C	WHITE ^C	^A EXISTING FLOORING ^C PATCH SELECT REPLACEMENT GWB; PRIME AND PAINT ALL TRIM AND GYPSUM BOARD ^D MOISTURE METER TEST EXISTING GWB, REMOVE AND REPLACE MOISTURE DAMAGED GWB
HALL - SECOND FLOOR	203	HDWD ^A	VP	OS	PBT	RIK	PTD	WHITE	GWB ^{C,D}	PTD ^C	WHITE ^C	GWB ^{C,D}	PTD ^C	WHITE ^C	^A EXISTING FLOORING ^C PATCH SELECT REPLACEMENT GWB; PRIME AND PAINT ALL TRIM AND GYPSUM BOARD ^D MOISTURE METER TEST EXISTING GWB, REMOVE AND REPLACE MOISTURE DAMAGED GWB
BATH - SECOND FLOOR	204	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	NO FINISH WORK IN THIS ROOM, EXCEPT FINAL CLEANING
BEDROOM TWO	205	N/A	N/A	N/A	N/A	N/A	N/A	N/A	GWB ^{C,D}	PTD ^C	WHITE ^C	GWB ^{C,D}	PTD ^C	WHITE ^C	^C PATCH SELECT REPLACEMENT GWB; PRIME AND PAINT ALL TRIM AND GYPSUM BOARD ^D MOISTURE METER TEST EXISTING GWB, REMOVE AND REPLACE MOISTURE DAMAGED GWB
CLOSET - BEDROOM TWO	206	N/A	N/A	N/A	N/A	N/A	N/A	N/A	GWB ^{C,D}	PTD ^C	WHITE ^C	GWB ^{C,D}	PTD ^C	WHITE ^C	^C PATCH SELECT REPLACEMENT GWB; PRIME AND PAINT ALL TRIM AND GYPSUM BOARD ^D MOISTURE METER TEST EXISTING GWB, REMOVE AND REPLACE MOISTURE DAMAGED GWB

GENERAL NOTES

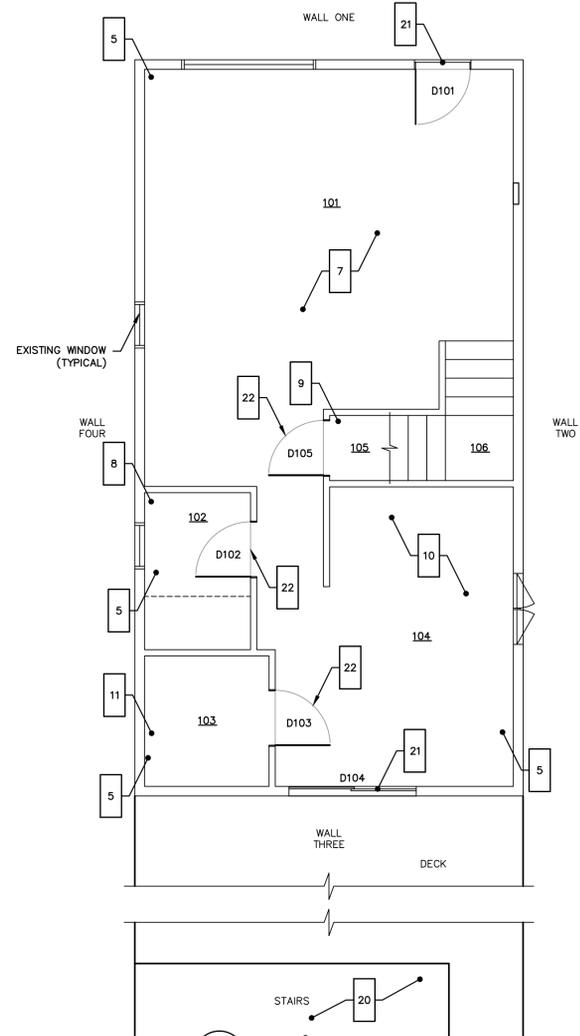
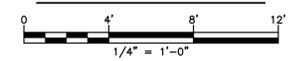
1. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL MEASUREMENTS. ANY VARIATIONS FROM CONDITIONS SHOWN ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL AND/OR MCA PRIOR TO BIDDING FOR RESOLUTION IN ACCORDANCE WITH CONTRACT DOCUMENT REQUIREMENTS.
2. ALL REQUIRED PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
3. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF THE NOTED ITEM.
4. WORK LIMITS SHALL BE AS NOTED. ALL ITEMS DISTURBED BY ANY AND ALL CONSTRUCTION ACTIVITIES SHALL BE RESTORED SUBSTANTIALLY TO THE CONDITION THEY EXISTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, TO MCA'S APPROVAL.
5. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
6. IT IS THE INTENT OF PROJECT WORK TO PROVIDE QUALITY OF WORKMANSHIP ON PAR WITH THAT EXPECTED FOR CONTRACTORS PREQUALIFIED TO WORK IN THE CONNECTICUT DEPARTMENT OF HOUSING CDHC-DR CORR/SSRR PROGRAM.
7. WORK NOT COMPLETED TO SPECIFICATION WILL BE REJECTED AND THE CONTRACTOR SHALL AT NO ADDITIONAL COMPENSATION REMOVE, REPAIR, OR REPLACE WORK FOUND TO BE DEFECTIVE OR NOT OTHERWISE ACCEPTABLE AS DETERMINED BY MCA.
8. ALL EXISTING WORK WILL BE TESTED AND CONTRACTOR SHALL COVER ALL EXISTING WORK UNDER CONTRACT WARRANTY.

WORK NOTES

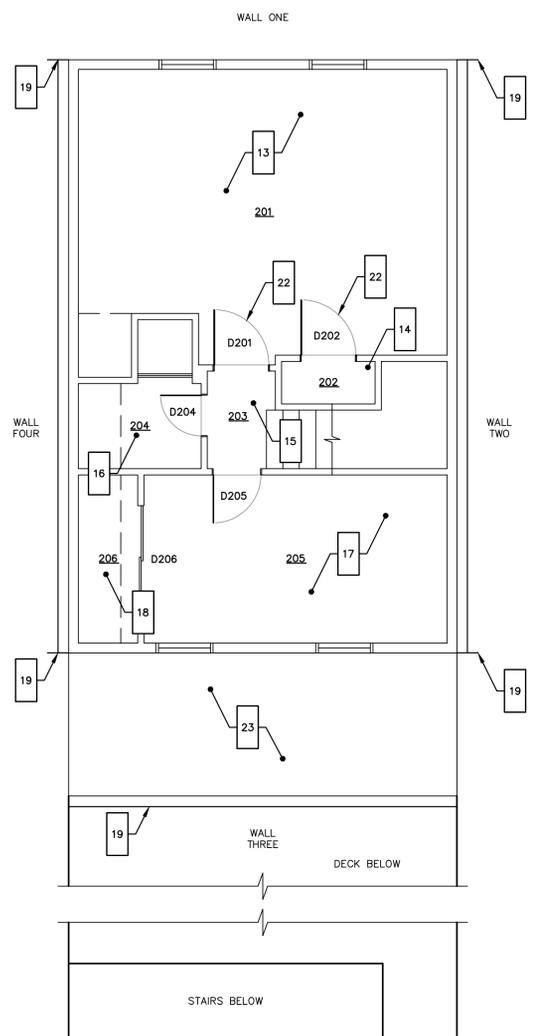
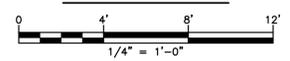
1. FURNISH AND INSTALL FLOOD VENT, MODEL SMART VENT 1540-510 OR APPROVED EQUAL. MEET ALL MANUFACTURER REQUIREMENTS AND NATIONAL FLOOD INSURANCE PROGRAM (NFIP) REGULATIONS. FINAL OUTSIDE GRADE SHALL NOT EXCEED ONE FOOT FROM BOTTOM OF FLOOD VENT. SEE DETAIL 5 SHEET A-5.0
2. FURNISH AND INSTALL NEW EXTERIOR STEEL DOOR. COORDINATE WITH OWNER FOR FINISH COLOR. DOOR TO BE MASTERCRACK E-214. EXISTING FRAMED OPENING 39"± IN WIDTH BY 82.5"± IN HEIGHT.
3. FURNISH AND INSTALL INSULATED STEEL OVERHEAD GARAGE DOOR WITH ELECTRIC CHAIN DRIVE OPENER.
4. FURNISH AND INSTALL R-30 BATT INSULATION AT UNDERSIDE OF FIRST FLOOR FRAMING. FURNISH AND INSTALL 5/8" FIRECODE GYPSUM WALL BOARD AT JOIST UNDERSIDE. BOX IN CHASE FOR DRAIN PIPING BELOW FLOOR JOISTS AND PROVIDE ACCESS HATCH AT ALL CLEANOUTS SEE SHEET MP-1.0.
5. SCAB COVER WITH 1/2" CDX PLYWOOD ALL OPENINGS THROUGH BUILDING ENVELOPE THROUGHOUT FIRST FLOOR. CONTRACTOR TO FIELD REVIEW WITH MCA TO VERIFY ALL PENETRATIONS AND GAPS IN EXISTING BUILDING SHEATHING PRIOR TO INSTALLATION OF BUILDING INSULATION AND INTERIOR FINISH WORK.
7. COMPLETE ALL FINISH WORK IN LIVING ROOM, ROOM ID-101. BOX IN CHASE FOR DOMESTIC WATER SUPPLY, HVAC DUCTWORK, PLUMBING DRAIN LINE ON WALL TWO, AND INTERSECTING BEAMS.
8. COMPLETE ALL FINISH WORK IN FIRST FLOOR BATH, ROOM ID-102. SEE FINISH SCHEDULE. COORDINATE SELECTION OF WATER CLOSET, VANITY, AND MIRROR WITH OWNER PER ALLOWANCE.
9. COMPLETE ALL FINISH WORK IN MECHANICAL/LAUNDRY ROOM, ROOM ID-103. SEE FINISH SCHEDULE.
10. COMPLETE ALL FINISH WORK IN KITCHEN, ROOM ID-104. SEE FINISH SCHEDULE. FURNISH AND INSTALL UPPER AND LOWER KITCHEN CABINETS AND COUNTERTOPS USING ALLOWANCE. ALLOW FOR INSTALLATION OF RANGE, DISHWASHER AND BUILT IN MICROWAVE IN CABINETRY. COORDINATE WITH OWNER FOR SELECTION AND LAYOUT OF CABINETRY.
11. COMPLETE ALL FINISH WORK IN FIRST FLOOR CLOSET, ROOM ID-105. SEE FINISH SCHEDULE. FURNISH AND INSTALL SHELF AND CLOSET ROD.
12. COMPLETE ALL FINISH WORK IN STAIRS AND LANDING, ROOM ID-106. SEE FINISH SCHEDULE. FURNISH AND INSTALL HANDRAILS.
13. COMPLETE ALL FINISH WORK IN BEDROOM ONE, ROOM ID-201. REMOVE EXISTING BASE TRIM, AND REPLACE IN KIND. FURNISH AND INSTALL ALL FLOOR TRANSITIONS AND THRESHOLDS REQUIRED FOR VINYL PLANK FLOORING.
14. COMPLETE ALL FINISH WORK IN BEDROOM ONE CLOSET, ROOM ID-202. SEE FINISH SCHEDULE. FURNISH AND INSTALL CLOSET SHELF AND ROD. SHELF TO BE MINIMUM 72" ABOVE FINISHED FLOOR.
15. COMPLETE ALL FINISH WORK IN SECOND FLOOR HALL, ROOM ID-203. SEE FINISH SCHEDULE. PATCH WALL AS REQUIRED FOR ELECTRICAL WORK. REMOVE EXISTING BASE TRIM AND REPLACE IN KIND. FURNISH AND INSTALL ALL FLOOR TRANSITIONS REQUIRED FOR VINYL PLANK FLOORING INSTALLATION.
16. COMPLETE ALL FINISH WORK IN SECOND FLOOR BATH, ROOM ID-204. SEE FINISH SCHEDULE. FINAL CLEAN ROOM.
17. COMPLETE ALL FINISH WORK IN BEDROOM TWO, ROOM ID-205. SEE FINISH SCHEDULE. PATCH GYPSUM WALL BOARD AS REQUIRED AFTER ELECTRICAL WORK COMPLETE.
18. COMPLETE ALL FINISH WORK IN BEDROOM TWO CLOSET, ROOM ID-206. SEE FINISH SCHEDULE. RESET EXISTING OPEN VENTILATION METAL WIRE SHELVING.
19. REBUILD EXTERIOR SOFFIT AND REPLACE GUTTER; MATCH EXISTING CONSTRUCTION. FURNISH AND INSTALL NEW GUTTERS AND DOWNSPOUTS ON MAIN ROOF EAVES. FURNISH AND INSTALL SPLASH BLOCKS AT GRADE LEVEL. FURNISH AND INSTALL NEW VINYL SIDING ON ENTIRE HOUSE. REMOVE AND DISPOSE OF DAMAGED VINYL SIDING. PROVIDE BACKING MATERIAL FOR PROPER INSTALLATION OF NEW VINYL SIDING OVER EXISTING WOOD SIDING.
20. COMPLETE INSTALLATION OF COMPOSITE DECK RAILING SYSTEM. INSTALL ADDITIONAL SUPPORT POSTS FOR STAIRS. MAXIMUM SPACING BETWEEN STAIR STRINGER SUPPORTS SHALL BE 6'-0" ON CENTER. SEE DETAIL 3 SHEET A-5.0.
21. EXISTING DOOR, INSTALLED BY OTHERS. FURNISH AND INSTALL HARDWARE SETS. TYPICAL OF ALL DOORS NOTED OR NOT.
22. FURNISH AND INSTALL NEW INTERIOR DOOR IN EXISTING ROUGH FRAMED OPENING. SEE DOOR SCHEDULE.
23. REMOVE AND DISPOSE OFFSITE ASPHALT SHINGLE ROOF ON REAR SHED ROOF. FURNISH AND INSTALL NEW ASPHALT SHINGLE ROOFING, UNDERLAYMENT, ICE AND WATER SHIELD, AND ROOF DECKING IN DAMAGED OR ROTTED AREAS. ASPHALT SHINGLES TO MATCH MAIN ROOF SLOPE STYLE AND COLOR AS BEST POSSIBLE MATCH. REMOVE AND RESET SKYLIGHT; PROPERLY REFRESH AND CURE. FURNISH AND INSTALL ROOF BOOTS FOR ALL ROOF VENT PENETRATIONS. ABATE FLASHING ON SKYLIGHT PER SPECIFICATION SECTION 02 82 33.



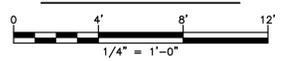
BASEMENT LEVEL



FIRST FLOOR



SECOND FLOOR



THIS MAP IS A COPYRIGHTED WORK OF MARTINEZ COUCH AND ASSOCIATES, LLC. ALL RIGHTS RESERVED.



1084 Cromwell Avenue, Suite A-2
 Rocky Hill, CT 06067
 Telephone: (860) 436-4364
 Fax: (860) 436-4626
 www.martinezcouch.com

PROJECT 5010
 15 CHETWOOD STREET
 MILFORD, CONNECTICUT 06460

**ISSUED FOR BID
 NOT FOR CONSTRUCTION**

NO.	DATE	REVISIONS	BY	CHK	APPV
2	9/28/2015	ISSUED FOR BID		MBR	MBR
1	8/27/2015	ISSUED FOR CT DOH REVIEW AND APPROVAL		MBR	MBR
DRAWN: KNL CHECKED: MBR APPROVED: REC SCALE: 1/4" = 1' DATE: 8/24/2015					

FLOOR PLANS

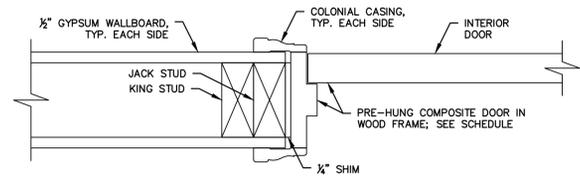
JOB NO.	DRAWING NUMBER	SHEET
33-262-5010	33-262-5010.dwg	A-1.0

DOOR SCHEDULE									
DOOR NUMBER	ROOM NUMBER	ROUGH OPENING WIDTH*	TYPE**	DOOR		FRAME		HARDWARE SET***	REMARKS
				MATERIAL	FINISH	MATERIAL	FINISH		
D001	1		A	STEEL	FACTORY	METAL	FACTORY	1	
D001-1	1		B	VINYL	FACTORY	WOOD/METAL	FACTORY	2	
D101	101	-	-	-	-	-	-	1	PREVIOUSLY INSTALLED BY OTHERS
D102	102	31-3/4"	C	COMPOSITE	FACTORY	WOOD	PAINTED	4	
D103	103	38"	C	COMPOSITE	FACTORY	WOOD	PAINTED	5	
D104	104	-	-	-	-	-	-	3	PREVIOUSLY INSTALLED BY OTHERS
D105	105	30"	C	COMPOSITE	FACTORY	WOOD	PAINTED	5	
D201	201	32"	C	COMPOSITE	FACTORY	WOOD	PAINTED	4	
D202	202	31-1/2"	C	COMPOSITE	FACTORY	WOOD	PAINTED	5	
D204	204	-	-	-	-	-	-	N/A	PREVIOUSLY INSTALLED BY OTHERS
D205	205	-	-	-	-	-	-	N/A	PREVIOUSLY INSTALLED BY OTHERS
D206	206	-	-	-	-	-	-	N/A	PREVIOUSLY INSTALLED BY OTHERS

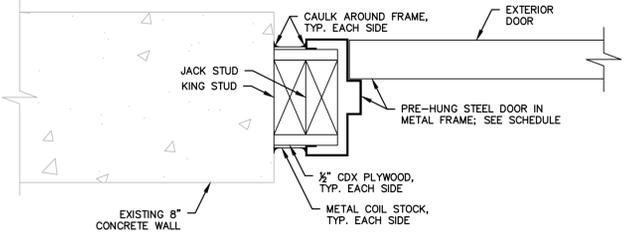
* CONTRACTOR TO VERIFY ROUGH OPENING WIDTHS AND HEIGHTS IN FIELD AND MODIFY TO SUIT WITHOUT ADDITIONAL FEES.
 ** SEE DOOR TYPES TABLE, BELOW.
 *** SEE HARDWARE SETS TABLE, BELOW. ALL DOORS TO BE KEYPED ALIKE.

DOOR TYPES	
A	PREHUNG STEEL DOOR, WITH METAL FRAME AND ALUMINUM SILL
B	VINYL OVERHEAD GARAGE DOOR, WITH WOOD FRAME WRAPPED IN METAL COIL STOCK
C	PREHUNG SMOOTH 6-PANEL HOLLOW CORE MOLDED COMPOSITE DOOR, WITH WOOD FRAME

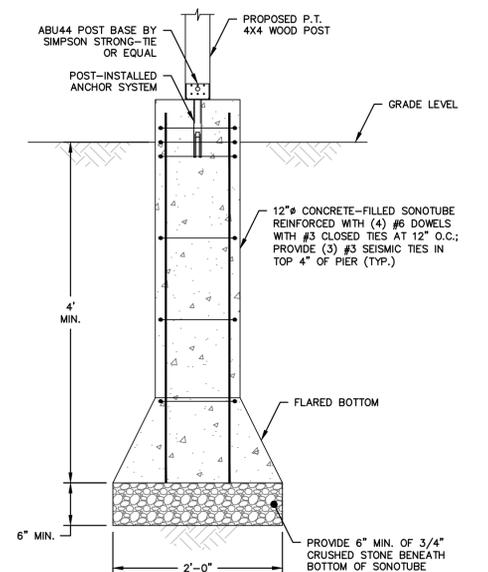
HARDWARE SETS	
1	KEYED ENTRY DOOR KNOB AND DEADBOLT SET
2	KEYED ENTRY GARAGE DOOR T-HANDLE
3	SLIDING PATIO DOOR HANDLE SET
4	INTERIOR PRIVACY DOOR KNOB SET
5	INTERIOR PASSAGE DOOR KNOB SET



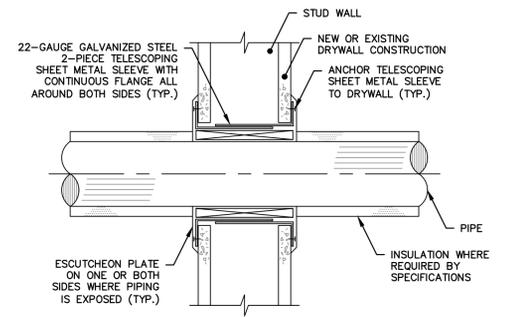
1 INTERIOR DOOR JAMB AND HEADER DETAIL
 A-5.0 3" = 1'-0"



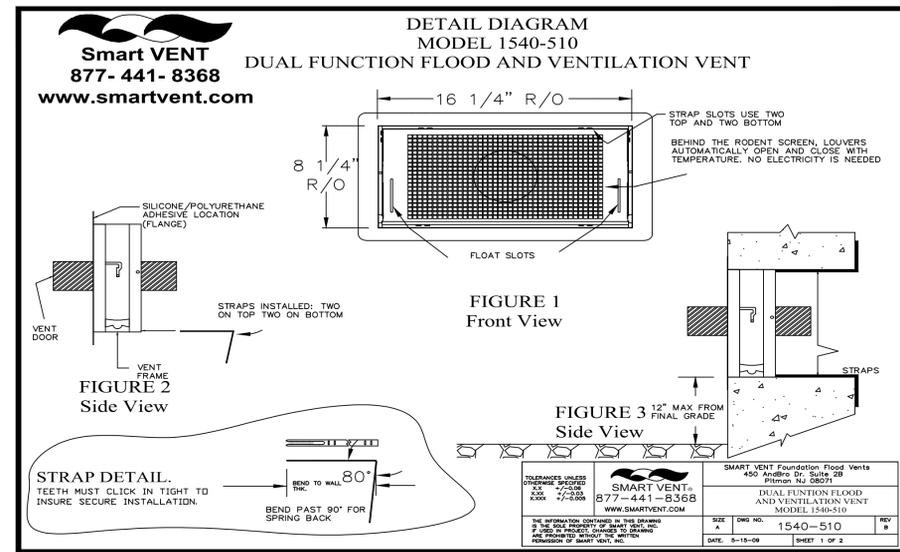
2 EXTERIOR DOOR JAMB AND HEADER DETAIL
 A-5.0 3" = 1'-0"



3 TYPICAL STAIR FOOTING
 A-5.0 N.T.S.



4 TYPICAL WALL/FLOOR PENETRATION
 A-5.0 N.T.S.



5 TYPICAL FLOOR VENT
 A-5.0 N.T.S.

Smart VENT
 877-441-8368
 www.smartvent.com

INSTALLATION INSTRUCTIONS & DETAILS

MODEL 1540-510
 DUAL FUNCTION FLOOD AND VENTILATION VENT
 REV. 5-15-09

INSTALLATION INSTRUCTIONS

- Remove vent door from vent frame. (Turn upside down, rotate bottom of door outward and slide out)
- Prepare a CLEAN 16.25" wide by 8.25" high rough opening (approx. 1 block wide X 1 block high) for each vent. Ensure the bottom of the rough opening is no more than 12" above the finished grade.
- Apply a bead of silicone or polyurethane adhesive around the back of the flange of the vent frame. (FIG. 2)
- Bend the 4 steel straps to the thickness of the wall measuring from the end with the teeth (see STRAP DETAIL)
- Insert the top straps into the top two strap slots about two clicks.
- Insert the vent frame in the cut opening. The bent strap ends go in then up behind the inside of the wall.
- Push the frame tight against the face of the wall. Ensure the frame is flush and square in the opening. (FIG. 3)
- Reach through the vent opening and click the two straps in while holding the front of the vent against the wall face. The sharp point of the straps should not extend past the front of the vent face. Install the two remaining bottom straps.
- Re-check that frame is square and slots are clear of debris, and caulk.
- Install the door into frame by grasping the bottom of door (with float pins down) and front (small screen in front). Slide door into frame and rotate until it is latched.
- To open the door insert two credit cards into the float slots as shown in the diagram. This will unlatch the door for removal and cleaning.

DETAILED SPECIFICATIONS:

MATERIAL: STAINLESS STEEL
 OPERATION FLOOD: AUTOMATIC NON-POWERED ACTIVATION AND OPERATION
 VENT REMAINS CLOSED AND LOCKED UNTIL ACTIVATED
 OPERATION AIR: AUTOMATIC LOUVERS FULLY OPEN AT 75 DEG. FULLY CLOSED AT 35 DEG. NO POWER REQUIRED

INSTALLATION: SECURED W/ 4 STAINLESS STEEL STRAPS SUPPLIED
 HYDROSTATIC RELIEF: 200 Sq. Ft. per Vent
 VENTILATION: 51 Sq. In. per Vent NOTE: VAPOR BARRIER ALLOWS FOR REDUCED VENTILATION REQUIREMENTS FLOOD: MINIMUM OF 2 VENTS PER ENCLOSED AREA MOUNTED ON AT LEAST TWO DIFFERENT WALLS
 COLORS: STAINLESS (STANDARD)
 EXTERIOR POWDER COATED WHITE, WHEAT, GRAY, AND BLACK (AVAILABLE)

MEETS THE REQUIREMENTS FOR ENGINEERED OPENINGS AS SET FORTH BY:
 FEMA, NFIP, ICC, & ASCE
 SUPPORTIVE DOCUMENTS, TB 1-08, 44CFR 60.3(C)(5), ASCE 24-05
 ICC EVALUATION # ESR-2074

DATE: 5-15-09 SHEET 1 OF 2

THIS MAP IS A COPYRIGHTED WORK OF MARTINEZ COUCH AND ASSOCIATES, LLC. ALL RIGHTS RESERVED.



1084 Cromwell Avenue, Suite A-2
 Rocky Hill, CT 06067
 Telephone: (860) 436-4364
 Fax: (860) 436-4626
 www.martinezcouch.com

PROJECT 5010
 15 CHETWOOD STREET
 MILFORD, CONNECTICUT 06460

**ISSUED FOR BID
 NOT FOR CONSTRUCTION**

NO.	DATE	REVISIONS	BY	CHK	APPV
2	9/28/2015	ISSUED FOR BID	MBR	MBR	REC
1	8/27/2015	ISSUED FOR CT DOH REVIEW AND APPROVAL	MBR	MBR	REC

DRAWN: KNL CHECKED: MBR APPROVED: REC SCALE: AS NOTED DATE: 8/24/2015

DOOR SCHEDULE & DETAILS

JOB NO.	DRAWING NUMBER	SHEET
33-262-5010	33-262-5010.dwg	A-5.0

GENERAL NOTES

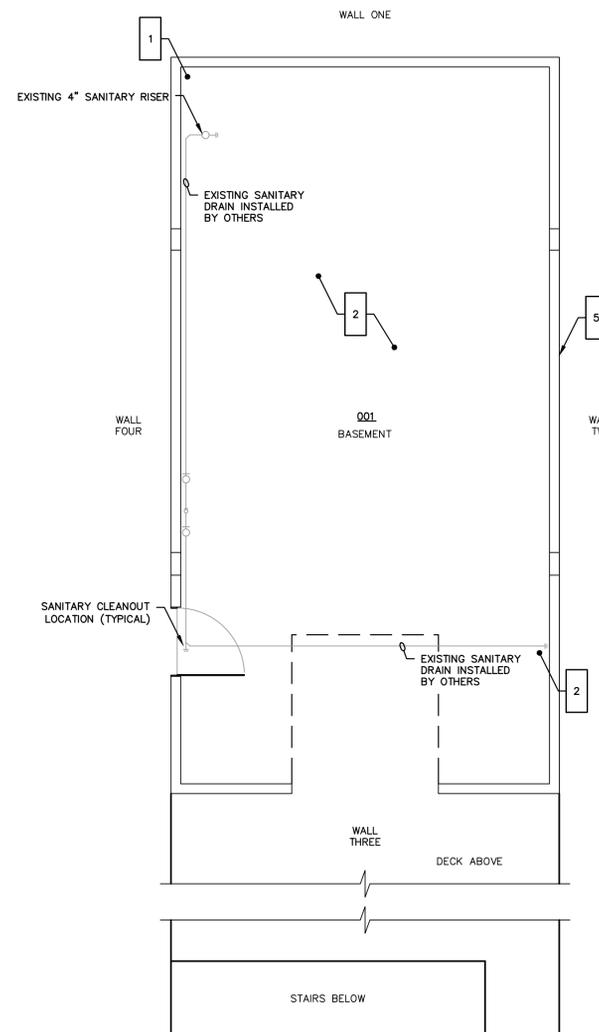
1. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL MEASUREMENTS. ANY VARIATIONS FROM CONDITIONS SHOWN ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL AND/OR MCA PRIOR TO BIDDING FOR RESOLUTION IN ACCORDANCE WITH CONTRACT DOCUMENT REQUIREMENTS.
2. ALL REQUIRED PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
3. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF THE NOTED ITEM.
4. WORK LIMITS SHALL BE AS NOTED. ALL ITEMS DISTURBED BY ANY AND ALL CONSTRUCTION ACTIVITIES SHALL BE RESTORED SUBSTANTIALLY TO THE CONDITION THEY EXISTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, TO MCA'S APPROVAL.
5. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
6. ALL MECHANICAL AND PLUMBING WORK SHALL BE PERFORMED IN ACCORDANCE WITH AUTHORITIES HAVING JURISDICTION AND WITH THE 2013 STATE OF CONNECTICUT BUILDING CODE AMENDMENT.
7. ALL COMBUSTION VENTS, SANITARY DRAINS OR OTHER WALL, ROOF AND FLOOR PENETRATIONS SHALL BE PROPERLY FLASHED AND FIRESTOPPED PER SPECIFICATION AND AUTHORITIES HAVING JURISDICTION REQUIREMENTS.
8. IT IS THE INTENT OF PROJECT WORK TO PROVIDE COMPLETE AND FUNCTIONAL UTILITY SERVICES. PAYMENT WILL NOT BE MADE FOR WORK UNTIL ALL BUILDING UTILITIES ARE RESTORED TO FUNCTIONAL STATES AS ACCEPTABLE TO MCA.
8. ALL EXISTING WORK WILL BE TESTED AND CONTRACTOR SHALL COVER ALL EXISTING WORK UNDER CONTRACT WARRANTY.

WORK NOTES

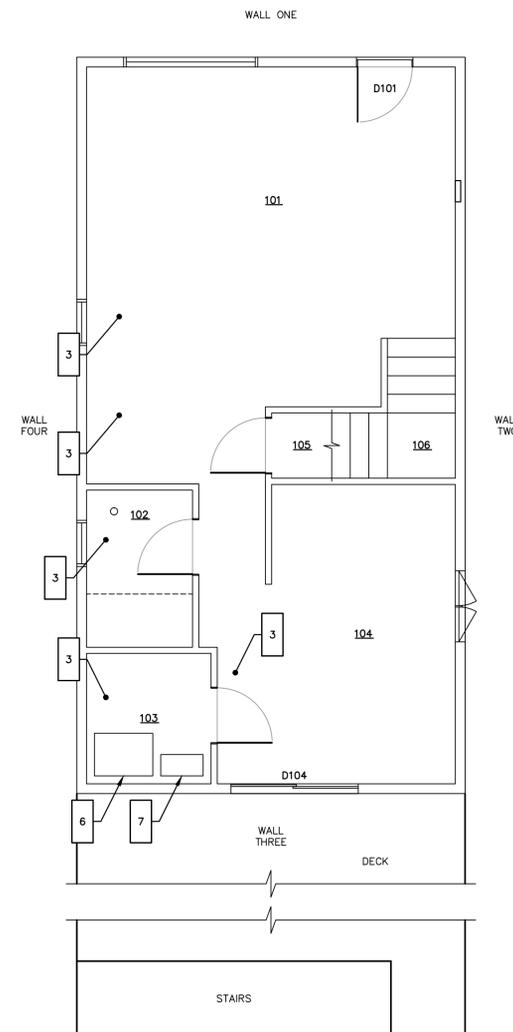
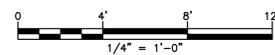
1. CONNECT COPPER WATER SERVICE PIPING TO 3/4" PEX DOMESTIC WATER PIPING IN APPROVED MANNER WITH DIELECTRIC FITTING FOR DISSIMILAR MATERIALS; INSULATE WATER PIPING AND HEAT TRACE WITH RAYCHEM SELF REGULATING, PARALLEL RESISTING HEATING CABLE. PROVIDE PIPE MOUNTED THERMOSTAT FOR SYSTEM CONTROL. CIRCUIT FOR POWER TO HAVE GROUND FAULT CIRCUIT INTERRUPTER PROTECTED CIRCUIT.
2. VERIFY SLOPE OF PVC DRAIN LINE AT 1/4" PER FOOT AND CORRECT IMPROPER PITCH. FURNISH AND INSTALL MATERIALS TO INSULATE DRAIN PIPE PER SPECIFICATION. CONNECT PVC DRAIN LINE FOR KITCHEN SINK AND FUTURE DISHWASHER AT EXISTING PVC DRAIN LINE IN FIRST FLOOR JOISTS INSTALLED BY OTHERS. FURNISH AND INSTALL ACCESS DOORS AT ALL SANITARY CLEANOUTS.
3. FURNISH AND INSTALL REGISTERS FOR ALL ROUGHED IN DUCTING PREVIOUSLY INSTALLED BY OTHERS
4. VERIFY AND FINISH INSTALLATION OF PEX WATER SERVICE PIPING. FURNISH AND INSTALL ALL REQUIRED VALVES, FITTINGS, AND OTHER HARDWARE FOR COMPLETE DOMESTIC WATER SERVICE. PRESSURE TEST PIPING ACCORDING TO SPECIFICATION SECTION 221116 DOMESTIC WATER PIPING.
5. NEW GAS METER PER UTILITY PROVIDER REQUIREMENTS.
6. EXISTING FURNACE COLEMAN MODEL T695; CONNECT AND BALANCE SYSTEM. SEAL COMBUSTION VENT PENETRATIONS WITH INTUMESCENT FIRESTOP SEALANT PUTTY.
7. FURNISH AND INSTALL NEW GAS FIRED, STORAGE DOMESTIC WATER HEATER, NAVEN NPE-240S OR APPROVED EQUAL; FURNISH AND INSTALL COMBUSTION VENTING PER MANUFACTURER, NFPA 54, AND 2009 INTERNATIONAL RESIDENTIAL CODE REQUIREMENTS. USE EXISTING TRACPIPE INSTALLATION FOR CONNECTION OF FUEL GAS SUPPLY.
8. CONNECT EXISTING TOILET TO SANITARY DRAIN AND WATER SUPPLY LINE. ENSURE PROPER OPERATION.

SANITARY PIPING TESTING

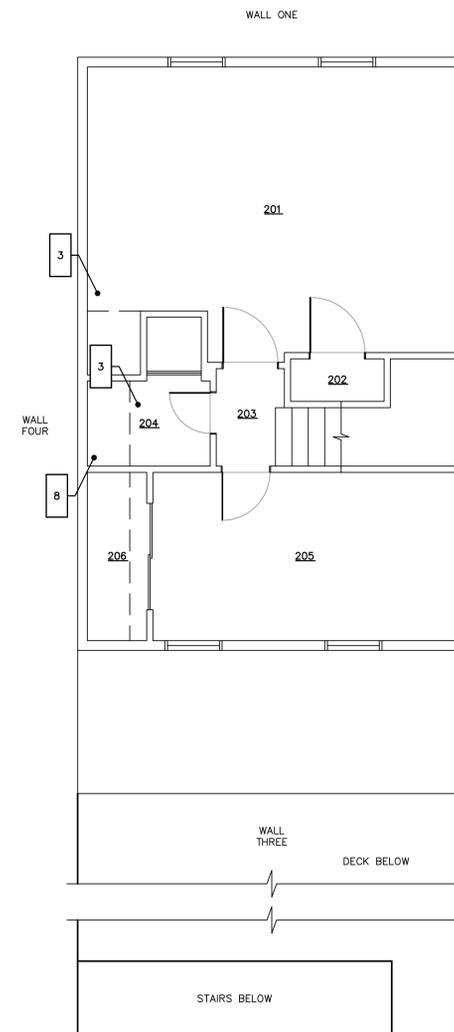
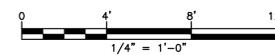
1. TEST ALL PARTS OF SANITARY PIPING SYSTEM AFTER COMPLETION OF ROUGH INSTALLATION.
2. HYDROSTATIC TESTS
 - 2.1. FILL SEWER PIPING WITH WATER. TEST WITH PRESSURE OF ATLEAST 10-FOOT HEAD OF WATER AND MAINTAIN SUCH PRESSURE WITHOUT LEAKAGE FOR AT LEAST 15 MINUTES
 - 2.2. CLOSE OPENINGS IN SYSTEM AND FILL WITH WATER
 - 2.3. PURGE AIR AND REFILL WITH WATER
 - 2.4. DISCONNECT WATER SUPPLY.
 - 2.5. TEST AND INSPECT JOINTS FOR LEAKS.
3. AIR TESTS - TEST SANITARY PIPING ACCORDING,
 - 3.1. ASTM F 1417.
 - 3.2. UNI-B-6
 - 3.3. AUTHORITIES HAVING JURISDICTION



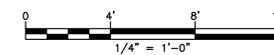
BASEMENT LEVEL



FIRST FLOOR



SECOND FLOOR



THIS MAP IS A COPYRIGHTED WORK OF MARTINEZ COUCH AND ASSOCIATES, LLC. ALL RIGHTS RESERVED.



1084 Cromwell Avenue, Suite A-2
Rocky Hill, CT 06067
Telephone: (860) 436-4364
Fax: (860) 436-4626
www.martinezcouch.com

PROJECT 5010
15 CHETWOOD STREET
MILFORD, CONNECTICUT 06460

**ISSUED FOR BID
NOT FOR CONSTRUCTION**

NO.	DATE	REVISIONS	BY	CHK	APPV
2	9/28/2015	ISSUED FOR BID	MBR	MBR	REC
1	8/27/2015	ISSUED FOR CT DOH REVIEW AND APPROVAL	MBR	MBR	REC
DRAWN: KNL CHECKED: MBR APPROVED: REC SCALE: 1/4" = 1' DATE: 8/24/2015					

**MECHANICAL & PLUMBING
LAYOUT**

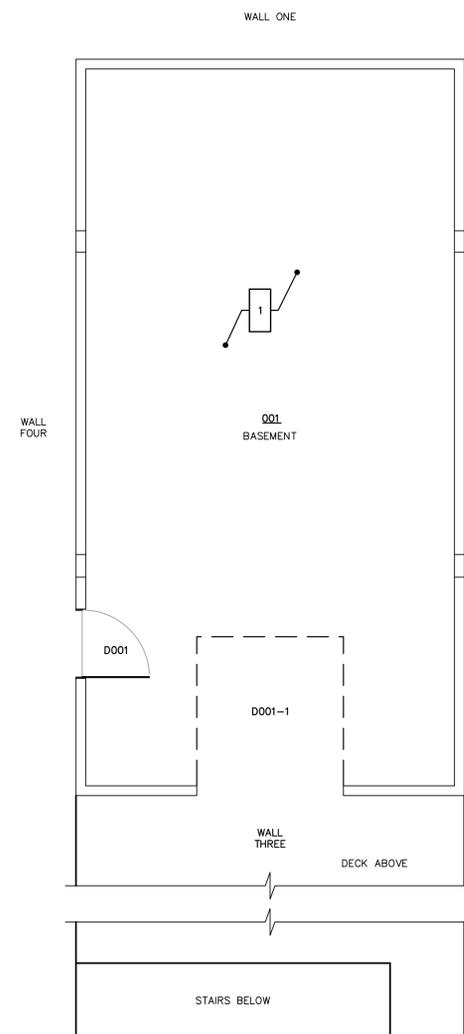
JOB NO.	DRAWING NUMBER	SHEET
33-262-5010	33-262-5010.dwg	MP-1.0

GENERAL NOTES

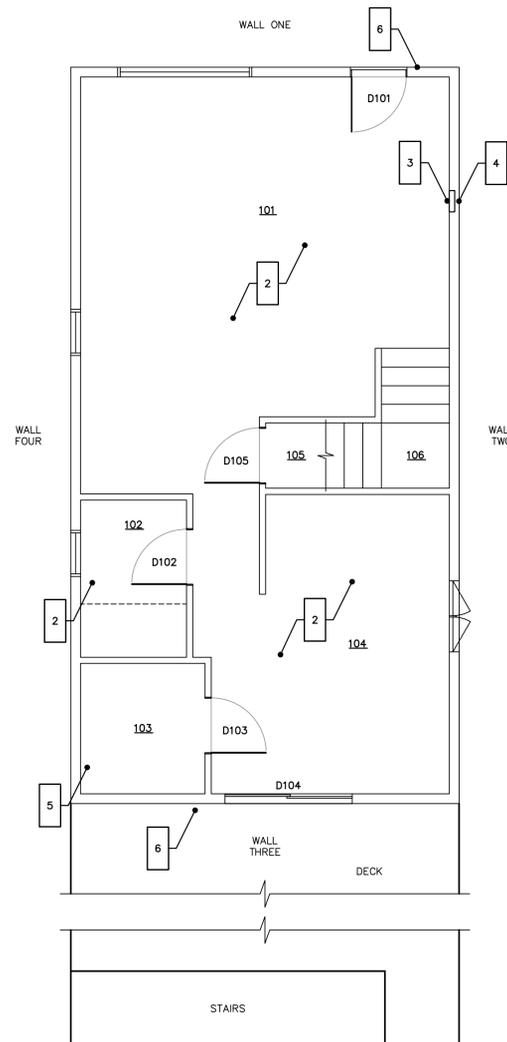
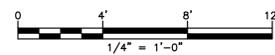
1. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL MEASUREMENTS. ANY VARIATIONS FROM CONDITIONS SHOWN ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL AND/OR MCA PRIOR TO BIDDING FOR RESOLUTION IN ACCORDANCE WITH CONTRACT DOCUMENT REQUIREMENTS.
2. ALL REQUIRED PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
3. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF THE NOTED ITEM.
4. WORK LIMITS SHALL BE AS NOTED. ALL ITEMS DISTURBED BY ANY AND ALL CONSTRUCTION ACTIVITIES SHALL BE RESTORED SUBSTANTIALLY TO THE CONDITION THEY EXISTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, TO MCA'S APPROVAL.
5. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
6. ALL ELECTRICAL WORK SHALL BE COMPLIANT WITH THE 2013 STATE OF CONNECTICUT BUILDING CODE AMENDMENT AND NFPA 70 NEC 2011.
7. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ADEQUACY RECEPTACLE SPACING TO MEET NEC 2011 SPACING REQUIREMENTS.
8. ALL EXISTING WORK WILL BE TESTED AND CONTRACTOR SHALL COVER ALL EXISTING WORK UNDER CONTRACT WARRANTY.

WORK NOTES

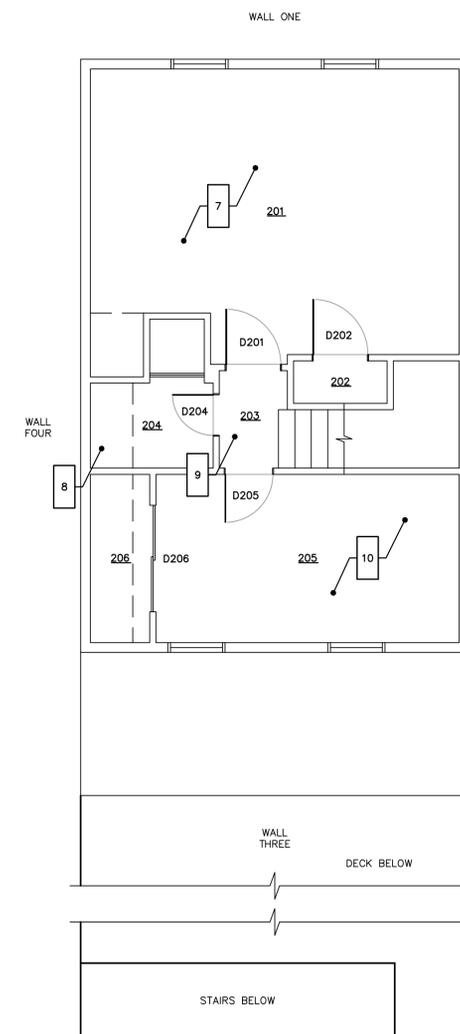
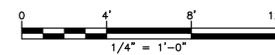
1. COMPLETE INSTALLATION OF LIGHT FIXTURES, RECEPTACLES, AND FACE PLATES IN BASEMENT LEVEL. PROVIDE THREE (3) KEYLESS LIGHT FIXTURES IN EXISTING GANG BOX LOCATIONS. ALL RECEPTACLES AND SWITCHES TO BE ABOVE FEMA 100 YEAR BASE FLOOD ELEVATION OF 11' (NAVD 88'). PROVIDE GFCI RECEPTACLE FOR HEAT TRACE SYSTEM SEE SPECIFICATION AND SHEET MP-1.0.
2. COMPLETE INSTALLATION OF LIGHT FIXTURES, RECEPTACLES, AND FACE PLATES IN THROUGHOUT FIRST FLOOR LEVEL. COORDINATE SELECTION OF FIXTURES WITH OWNER USING LIGHTING ALLOWANCE. USE EXISTING LIGHT CAN INSTALLATIONS AND ELECTRIC CABLING AND JUNCTION BOXES AS APPROPRIATE, MODIFY INSTALLATION TO COMPLY WITH NFPA 70.
3. FURNISH AND INSTALL BREAKERS IN EXISTING ELECTRIC PANELBOARD INSTALLED BY OTHERS. BREAKERS TO BE COMPLIANT WITH 2013 STATE OF CONNECTICUT BUILDING CODE AND NFPA 70 REQUIREMENTS.
4. COORDINATE AND PROVIDE COMPLETE ELECTRIC UTILITY SERVICE WITH NEW METER PER LOCAL UTILITY PROVIDER REQUIREMENTS.
5. PROVIDE ELECTRICAL CONNECTION OF NEW TANKLESS WATER HEATER AND EXISTING FURNACE AND AIR HANDLER INSTALLED BY OTHERS. PROVIDE FOR FUTURE ELECTRICAL INSTALLATION OF CLOTHES WASHER, CLOTHES DRYER, AND AIR CONDITIONING CONDENSOR/COMPRESSOR.
6. FURNISH AND INSTALL ONE GFCI DUPLEX RECEPTACLE ON DECK. FURNISH AND INSTALL ONE LIGHT FIXTURE ON WALL THREE AND ONE.
7. FURNISH AND INSTALL ALL MATERIALS TO COMPLETE RECESSION OF RECEPTACLES BEHIND WALLS IN BEDROOM ONE. FURNISH AND INSTALL ALL FACEPLATES AND FIXTURES. CUT GYPSUM BOARD AS NECESSARY. GENERAL CONTRACTOR TO PATCH. RELOCATION EXISTING OVERHEAD FAN/LIGHT TO ROOM CENTER.
8. TEST AND VERIFY ELECTRIC CABLE IN BATHROOM. VERIFY FIXTURE, SWITCH, AND RECEPTACLE FUNCTIONAL PERFORMANCE.
9. FURNISH AND INSTALL ALL RECEPTACLES, FACEPLATES, AND FIXTURES IN SECOND FLOOR HALL AND STAIR WAY.
10. COMPLETE RECESSION OF RECEPTACLES BEHIND WALLS IN BEDROOM TWO. FURNISH AND INSTALL ALL FACEPLATES AND RECEPTACLES. CUT GYPSUM BOARD AS NECESSARY. GENERAL CONTRACTOR TO PATCH.



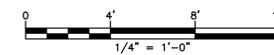
BASEMENT LEVEL



FIRST FLOOR



SECOND FLOOR



THIS MAP IS A COPYRIGHTED WORK OF MARTINEZ COUCH AND ASSOCIATES, LLC. ALL RIGHTS RESERVED.



1084 Cromwell Avenue, Suite A-2
Rocky Hill, CT 06067
Telephone: (860) 436-4364
Fax: (860) 436-4626
www.martinezcouch.com

PROJECT 5010
15 CHETWOOD STREET
MILFORD, CONNECTICUT 06460

**ISSUED FOR BID
NOT FOR CONSTRUCTION**

NO.	DATE	REVISIONS	BY	CHK	APPV
2	9/28/2015	ISSUED FOR BID	MBR	MBR	REC
1	8/27/2015	ISSUED FOR CT DOH REVIEW AND APPROVAL	MBR	MBR	REC
DRAWN: KNL CHECKED: MBR APPROVED: REC SCALE: 1/4" = 1' DATE: 8/24/2015					

ELECTRICAL LAYOUT

JOB NO.	DRAWING NUMBER	SHEET
33-262-5010	33-262-5010.dwg	E-1.0