

Owner Occupied and Scattered Site Rehabilitation Programs

ADDENDUM ACKNOWLEDGEMENT

Addendum #1

April 10, 2015

Project # 5004 Property Address: 166 Woodward Avenue, Norwalk, CT

Addendum Description

The addendum modifies the Bid Specification and Drawings prepared by Martinez Couch and Associates, LLC and Consultants to the following particulars and responds to requests for clarification received from contractors. The bid due date is not extended by this addendum. Bid walkthrough Sign in Sheet is attached for bidders reference.

A. Drawings

1. Drawing sheet A1.1 and modify work note 3. Revised drawing is included as attachment 2
2. Drawing sheet C1.3 add work note 11. Revised drawing is included as attachment 3
3. Drawing Sheet SK-1 is incorporated into the bid documents for bid item Add/Alternate 1 of a concrete slab beneath the foot print of the home. SK-1 is included as attachment 4 to this addendum
4. Drawing Sheet S-2, area of two (2) stair cases to basement level to be infilled with 2x8 joists at 16" on center at first floor stair opening. Provide 3/4" tongue and groove plywood floor sheathing.

B. Specifications

1. Section 1 – General Conditions Page 11 is modified to include bid item Add/Alternate 1 – Concrete Slab. Page 11 as modified is included as Attachment 5.
2. Section 3 – Plans and Specifications – Section 01 23 00 – Alternates Page 145 is modified to include alternate item Add/Alternate 1 – Concrete Slab. Page 145 as modified is included as attachment 6

C. General - RFI and Responses

RFI/Clarification #1 – Contractor

I attended today's bid walk at 166 Woodward Ave. in Norwalk today. I walked the job with our house lifting contractor and we noticed areas of concern in the home in regards to the framing and support structure. He informed me these areas where there was evident structural "sagging" would affect the integrity of the flooring tile, sheetrock walls, and interior finishes during the lifting process. I have attached pictures of the kitchen showing the areas of concern.



Figure 1 - Photograph Submitted to MCA by Contractor

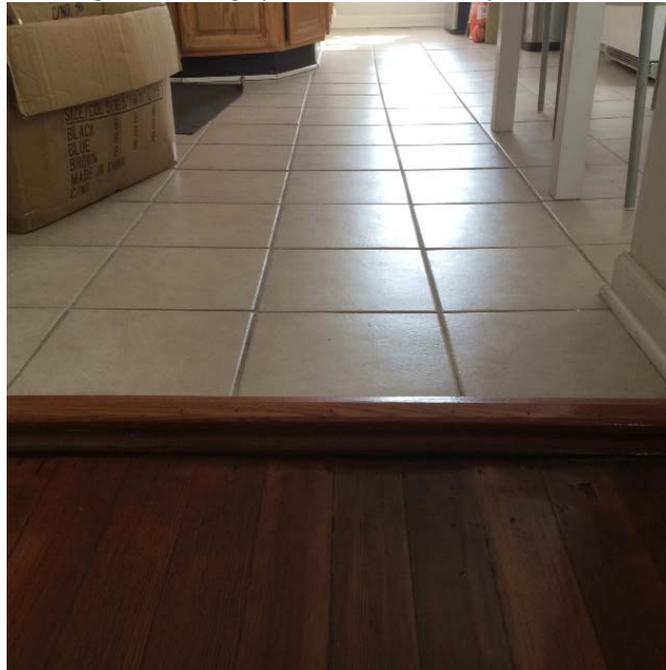
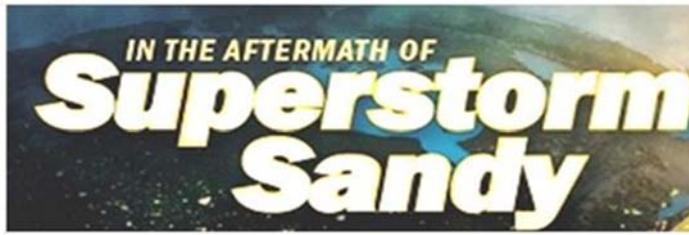


Figure 2 - Photograph Submitted to MCA by Contractor

RFI/Clarification #1 – A/E Response

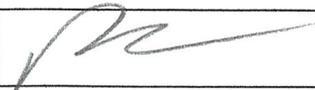
Interior finish damages caused during home elevation will be corrected by contractor as part of the base bid.

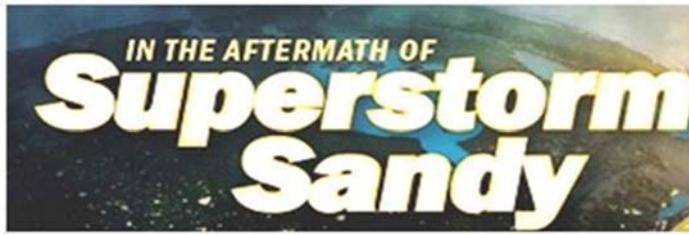


Addendum #1 – Attachment 1

Contractor Bid Walkthrough Attendance Sheet

CDBG-DR Owner Occupied Rehabilitation and Rebuilding Program
 Contractor Walkthrough Sign-In Sheet

Contractor Name	Representative Name	Representative Signature	Phone	Email
DSW Homes LLC.	Mike Nadolski		203-693-2776	john.danise@dswhomes.com danielle.foster@dswhomes.com
Barton Const	Rich Cardinali		203-996-9989	RCardinali@BartonConstruction.COM
Kenneth L Monast LLC	Kenneth L Thomas		203-414-4492	KennethLTLCA@gmail.com
ROBERT SICKELER	VASE MANAGEMENT		203-332-7366	Robert@vasemanagement.com
Payne Construction	Sean Payne		603-765-4885	payneconst@msn.com
VINCENT REALM UTB	MARK STAPLES		203-455-7057	



Addendum #1 – Attachment 2

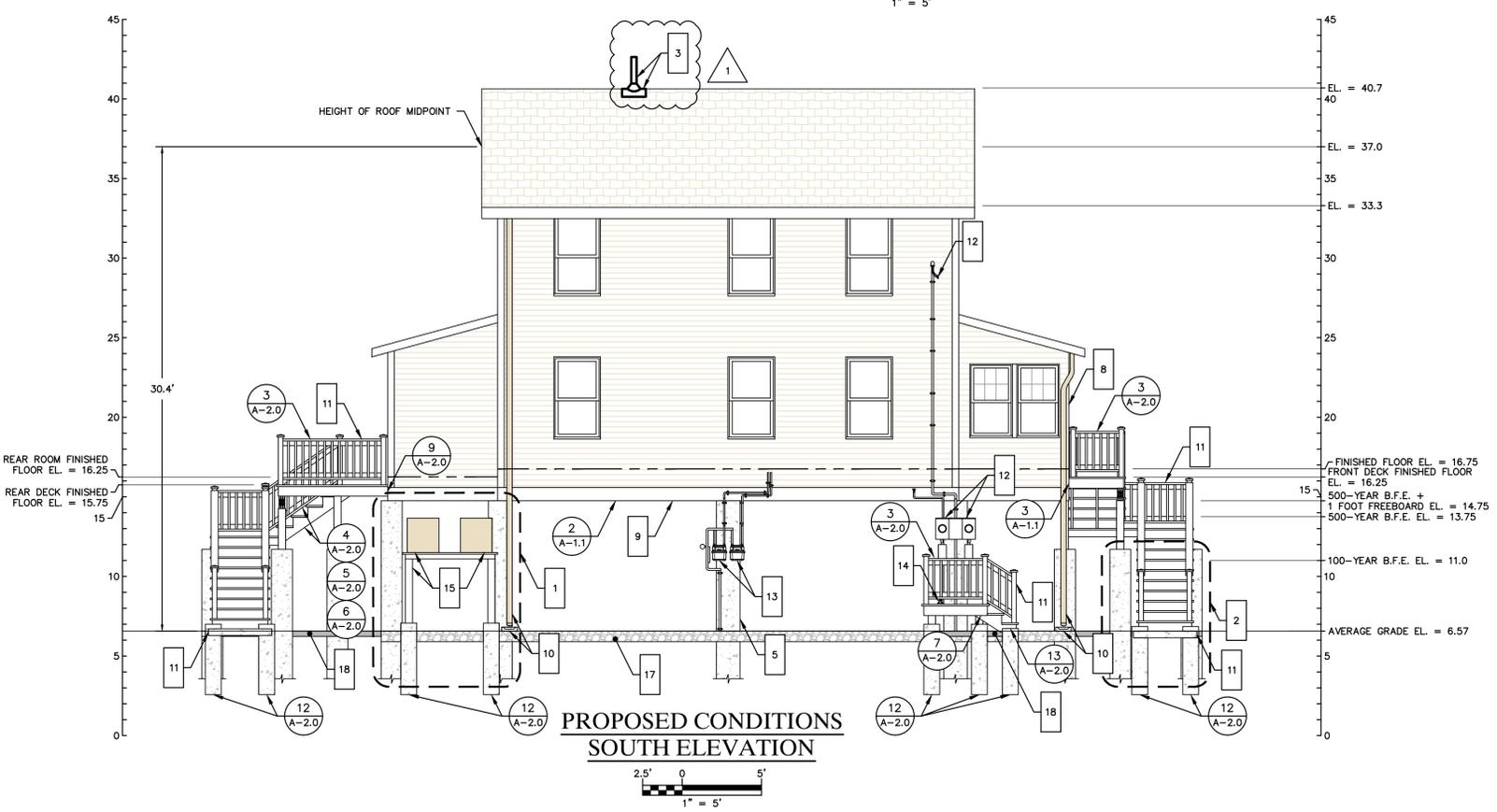
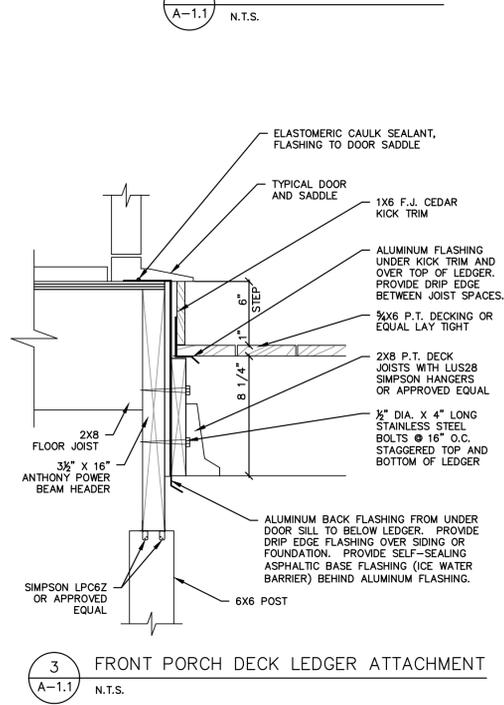
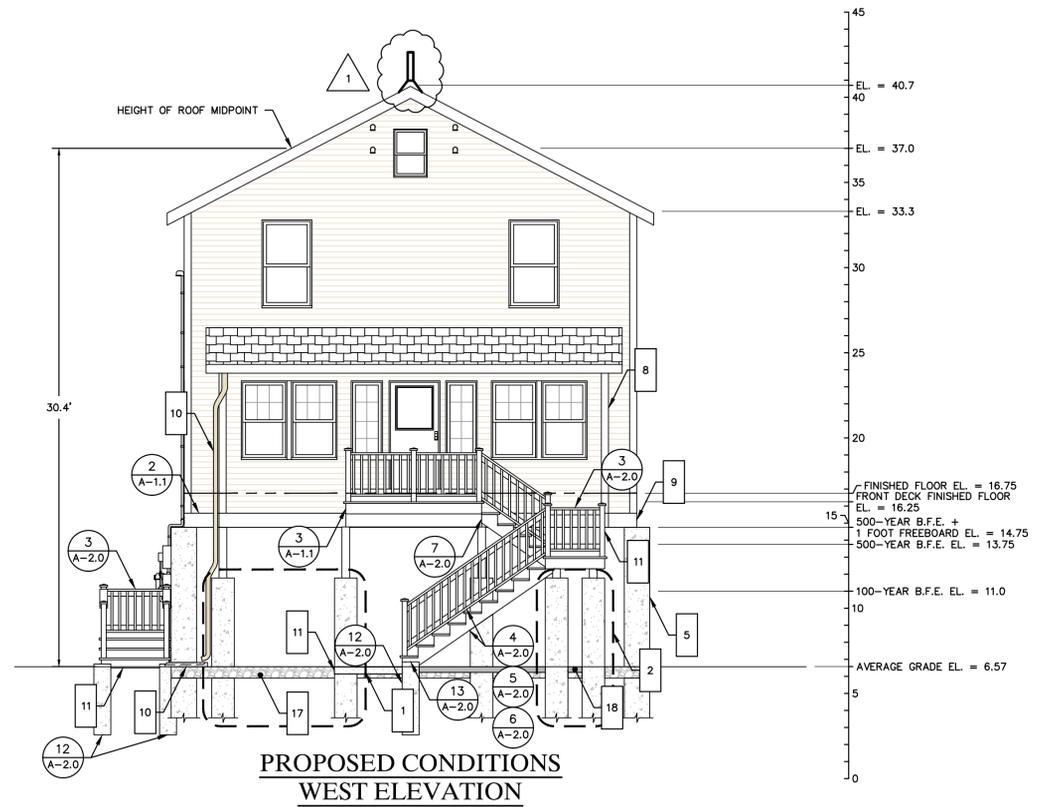
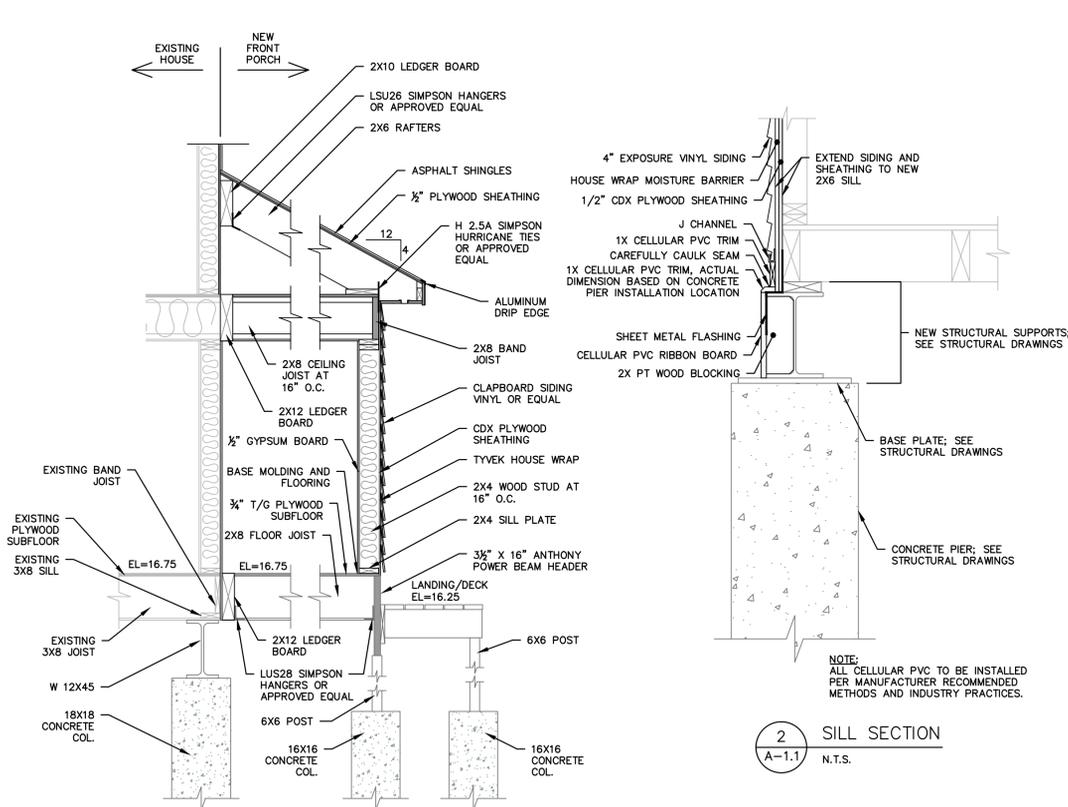
Drawing Sheet A-1.1

GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL MEASUREMENTS. ANY VARIATIONS FROM CONDITIONS SHOWN ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL AND/OR MARTINEZ COUCH & ASSOCIATES, LLC PRIOR TO BIDDING FOR RESOLUTION IN ACCORDANCE WITH CONTRACT DOCUMENT REQUIREMENTS.
2. ALL REQUIRED PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
3. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF THE NOTED ITEM.
4. WORK LIMITS SHALL BE AS NOTED. ALL ITEMS DISTURBED BY ANY AND ALL CONSTRUCTION ACTIVITIES SHALL BE RESTORED SUBSTANTIALLY TO THE CONDITION THEY EXISTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, AND TO THE PROPERTY OWNER'S SATISFACTION.
5. THE CONTRACTOR AT A MINIMUM SHALL MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AS DIRECTED, AS NECESSARY, AND IN ACCORDANCE WITH CONTRACT REQUIREMENTS, AND SHALL CHECK ALL SYSTEMS ON A DAILY BASIS TO CONTROL EROSION AND PREVENT SEDIMENT TRANSPORT.
6. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
8. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

WORK NOTES

- 1 HOUSE FOUNDATION; SEE STRUCTURAL DRAWINGS
- 2 STAIR FOUNDATION; SEE STRUCTURAL DRAWINGS
- FURNISH AND INSTALL ALL MATERIALS TO PATCH ROOF WHERE CHIMNEY WAS REMOVED, MATCH EXISTING CONSTRUCTION. FURNISH AND INSTALL FLASHING FOR NEW HOT WATER HEATER FLUE. USE GALVANIZED STEEL ROOF BOOT SEALED WITH HIGH-TEMPERATURE SILICONE SEALANT. SEE SHEET C-1.3
- SUPPORT HOUSE AND LIFT TO PROPOSED ELEVATION
- FORM AND POUR NEW CONCRETE FOUNDATION UPON COMPLETION OF FOUNDATION DEMOLITION AND SUBGRADE PREPARATION; SEE STRUCTURAL DRAWINGS
- FURNISH AND INSTALL FIRST FLOOR FRAMING AND SUPPORTS; SEE STRUCTURAL DRAWINGS
- LOWER HOUSE ONTO SUPPORTS AT PROPOSED ELEVATIONS; SEE STRUCTURAL DRAWINGS
- FURNISH AND INSTALL ALL MATERIALS FOR CONSTRUCTION OF FRONT PORCH AT PROPOSED FINISHED FLOOR ELEVATION
- FURNISH AND INSTALL ALL MATERIALS TO EXTEND SIDING AND CONSTRUCT NEW BUILDING SILL
- FURNISH AND INSTALL NEW DOWNSPOUTS AT FRONT PORCH; EXTEND ALL ROOF DOWNSPOUTS TO GRADE; FURNISH AND INSTALL CONCRETE SPLASH BLOCKS
- FURNISH MATERIALS AND INSTALL NEW DECKS AND STAIRS AT PROPOSED ELEVATIONS AS INDICATED ON PLAN; FORM AND POUR NEW CONCRETE LANDINGS AT BOTTOM OF STAIRS AS INDICATED ON PLAN
- COORDINATE RECONNECTION OF OVERHEAD ELECTRICAL SERVICE; RELOCATE ELECTRICAL METERS ABOVE 100-YEAR FEMA BASE FLOOD ELEVATION -- FOR AE ZONE, ELEVATION = 11.0 (NAVD88) -- AND PER LOCAL UTILITY PROVIDER REQUIREMENTS; RELOCATE OVERHEAD ELECTRICAL SERVICE MAST PER LOCAL UTILITY PROVIDER REQUIREMENTS
- COORDINATE RELOCATION OF GAS METERS ABOVE 100-YEAR FEMA BASE FLOOD ELEVATION -- FOR AE ZONE, ELEVATION = 11.0 (NAVD88) -- AND PER LOCAL UTILITY PROVIDER REQUIREMENTS
- EXTEND HOSE BIB TO FORMER HEIGHT, AND SECURE TO CONCRETE COLUMN
- CONSTRUCT WOOD PLATFORM FOR AC UNITS, AT A HEIGHT WHICH WILL PLACE AC UNITS ABOVE 100-YEAR FEMA BASE FLOOD ELEVATION -- FOR AE ZONE, ELEVATION = 11.0 (NAVD88); REMOVE AC UNITS FROM STORAGE AND REINSTALL ON WOOD PLATFORM
- COMPLETE REMAINING BUILDING WORK (BOTH INTERIOR AND EXTERIOR)
- FURNISH AND INSTALL 8-INCH THICK LAYER OF 3/4-INCH CRUSHED STONE BENEATH MAIN STRUCTURE
- MULCH AREA BENEATH DECKS AND ACCESS STAIRS; RESTORE EXTERIOR AREAS TO PRE-CONSTRUCTION CONDITIONS OR BETTER



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1084 Cromwell Avenue, Suite A-2
Rocky Hill, CT 06067
Telephone: (860) 436-4364
Fax: (860) 436-4626
www.martinezcouch.com

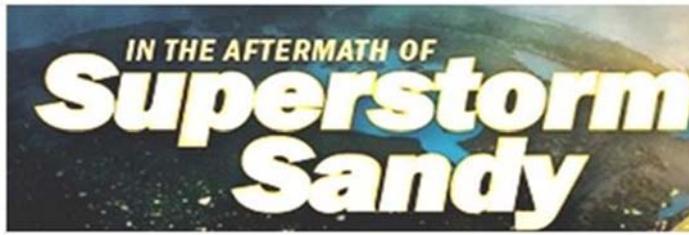
PROJECT 5004
166 WOODWARD AVENUE
NORWALK, CONNECTICUT 06854

**ISSUED FOR BIDDING
NOT FOR CONSTRUCTION**

NO.	DATE	REVISIONS	BY	CHK	APPV
1	04/08/2015	HOT WATER HEATER FLUE	KNL	MBR	REC
DRAWN: KNL CHECKED: MBR APPROVED: REC SCALE: 1" = 5' DATE: 03/25/2015					

PROPOSED BUILDING ELEVATIONS

JOB NO.	DRAWING NUMBER	SHEET
33-262-5004	BASEMAP 33-262-5004.dwg	A-1.1



Addendum #1 – Attachment 3

Drawing Sheet C-1.3

GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL MEASUREMENTS. ANY VARIATIONS FROM CONDITIONS SHOWN ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL AND/OR MARTINEZ COUCH & ASSOCIATES, LLC PRIOR TO BIDDING FOR RESOLUTION IN ACCORDANCE WITH CONTRACT DOCUMENT REQUIREMENTS.
2. ALL REQUIRED PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
3. SELECT SITE FEATURES HAVE BEEN LOCATED BY MARTINEZ COUCH & ASSOCIATES, LLC. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF THE NOTED ITEM.
4. WORK LIMITS SHALL BE AS NOTED. ALL ITEMS DISTURBED BY ANY AND ALL CONSTRUCTION ACTIVITIES SHALL BE RESTORED SUBSTANTIALLY TO THE CONDITION THEY EXISTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, AND TO THE PROPERTY OWNER'S SATISFACTION.
5. THE CONTRACTOR AT A MINIMUM SHALL MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AS DIRECTED, AS NECESSARY, AND IN ACCORDANCE WITH CONTRACT REQUIREMENTS, AND SHALL CHECK ALL SYSTEMS ON A DAILY BASIS TO CONTROL EROSION AND PREVENT SEDIMENT TRANSPORT.
6. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
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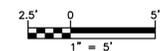
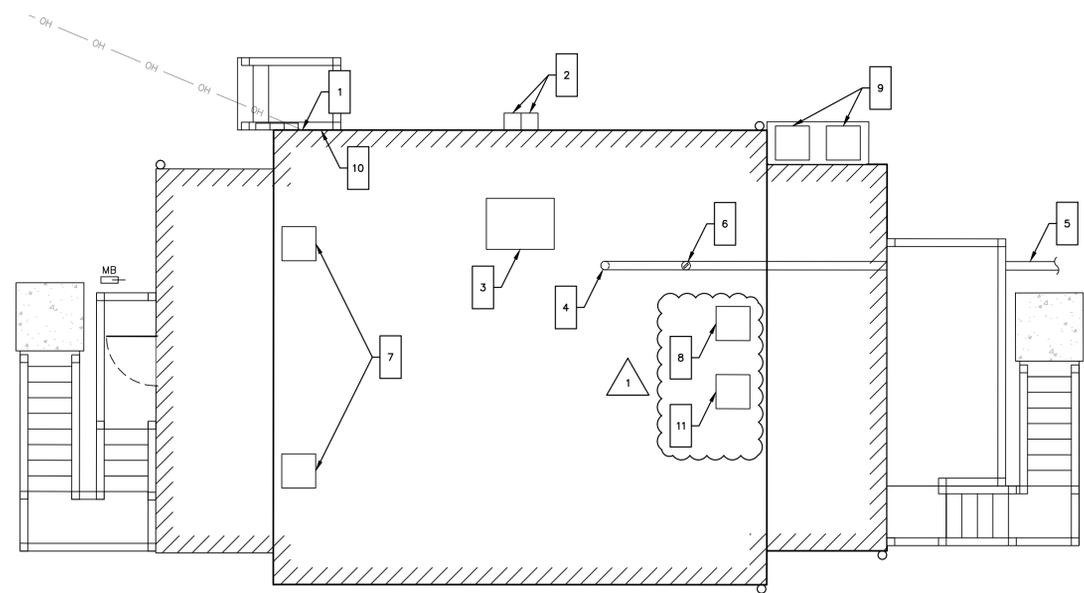
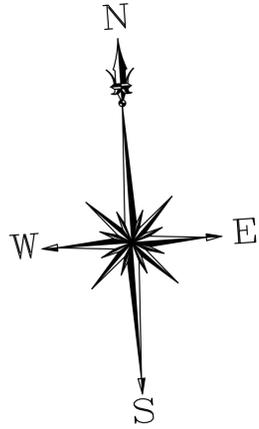
WORK NOTES

- | | |
|---|--|
| <ol style="list-style-type: none"> 1 EXISTING OVERHEAD SERVICE CONNECTION; COORDINATE DISCONNECT AND RECONNECTION WITH ELECTRICAL AND TELECOMMUNICATIONS UTILITY PROVIDERS 2 CONNECT HOUSE GAS PIPING TO METERS AFTER RELOCATION PER SPECIFICATION SECTION 231123 3 FURNACE IN ATTIC; DISCONNECT AND RECONNECT WITH SYSTEM FULLY BALANCED AND COMMISSIONED 4 ON VERTICAL DROP - FURNISH AND INSTALL 6" ASTM A746 DUCTILE IRON PIPE PER SPECIFICATION SECTION 221313 5 ON HORIZONTAL RUN - FURNISH AND INSTALL NEW 6" AWWA C900 TO MINIMUM 10 FEET BEYOND BUILDING FOOTPRINT OR AS DISTURBED BY CONSTRUCTION ACTIVITIES | <ol style="list-style-type: none"> 6 FURNISH AND INSTALL SANITARY BACKWATER VALVE 7 CONTRACTOR TO COORDINATE REPLACEMENT OF EXISTING WATER METERS BY WATER UTILITY; CONTRACTOR TO RECONNECT DOMESTIC WATER PIPING TO NEW METERS 8 EXISTING HOT WATER HEATING TANKS; DISCONNECT AND RECONNECT WITH SYSTEM FULLY BALANCED AND COMMISSIONED 9 REWIRE AC UNITS TO POWER SOURCE IF NECESSARY AFTER RELOCATION 10 EXTEND HOSE BIB TO FORMER HEIGHT, AND SECURE TO CONCRETE COLUMN |
|---|--|

11 FURNISH AND INSTALL 4" FLUE FOR GAS-FIRED WATER HEATER VENT IN ACCORDANCE WITH 2013 CT STATE BUILDING CODE AMENDMENT AND THE NFPA 54 NATIONAL GAS CODE/ANSI Z223.1 VENT TO TERMINATE VERTICALLY THROUGH ROOF IN CHASE FORMED BY DEMOLITION OF CHIMNEY. BOX IN AND SUPPORT FLUE FROM EXHAUST THROUGH TO ROOF PLANE TERMINATION. MEET ALL MANUFACTURER AND CODE REQUIREMENTS.

LEGEND

- 1 WORK NOTE
- LIMIT OF EXISTING HOUSE AND FOUNDATION
- OH — EXISTING OVERHEAD ELECTRICAL WIRE
- DOWNSPOUT



NOTES:
 1. UTILITY LOCATIONS ARE APPROXIMATE.
 2. ALL WORK FOR SANITARY SEWER LATERAL TO BE PER SPECIFICATION SECTION 221313.

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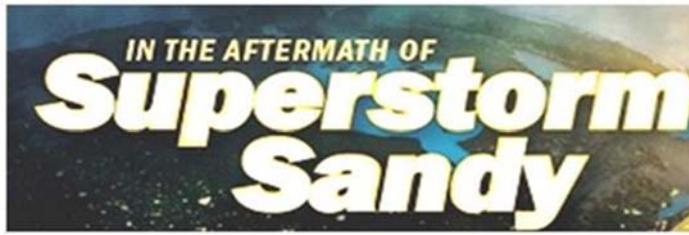
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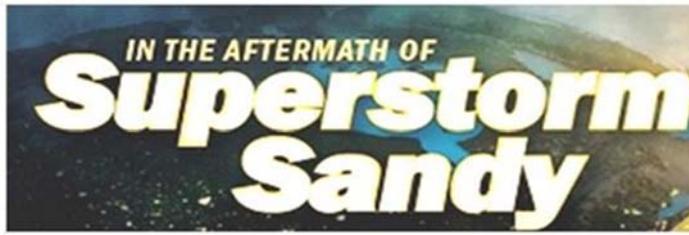
BUILDING UTILITY PLAN

JOB NO.	DRAWING NUMBER	SHEET
33-262-5004	BASEMAP 33-262-5004.dwg	C-1.3



Addendum #1 – Attachment 4

Sketch SK-1



Addendum #1 – Attachment 5

Bid Specifications Page 11

UNIT PRICES:

Unit Prices	Rate (\$/Per)
<u>Unit Price 1:</u> Authorized Additional Excavation and Replacement	/C.Y.
<u>Unit Price 2:</u> Rock excavation and replacement with satisfactory soil material.	/C.Y.

ALTERNATES:

Add Alternate No. 1	Rate (\$/Per)
Concrete Slab per SK-1	/L.S.

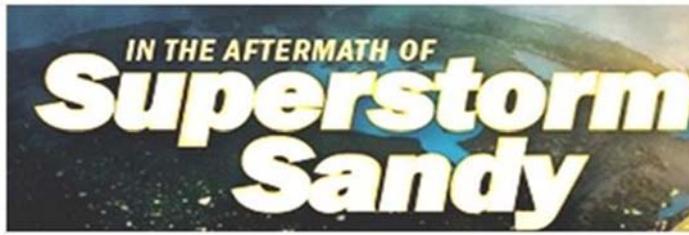
The undersigned agrees to commence the work on a date to be specified in the contract and to complete such work within 270 consecutive calendar days.

The undersigned agrees that if within the period of thirty (30) calendar days after the opening of bids, or when extended to the next work day immediately following said period, notice of the acceptance of this bid shall be mailed, or delivered to him/her at the business address given below, or at any time thereafter before this bid is withdrawn, _____, will within fifteen (15) calendar days thereafter deliver to DOH, where directed, a contract properly executed in such number of counterparts as may be required by said DOH, on the forms annexed, with such changes therein as shall have been made by the DOH, prior to the time named for delivery of this proposal, together with a 100% Performance Bond of a Surety Company, which Surety must be authorized to transact business in the State of Connecticut, and duly qualified therefore, and in the form constituting part of the Specification and a letter indicating those Small/Minority Business Enterprises that will perform work and/or provide materials, equipment or services as part of the contract.

In submitting this bid, it is understood that the right is reserved by the abovementioned DOH to reject any and all bids; and it is agreed that this bid may not be withdrawn for a period of thirty calendar (30) days from the date of bid opening or until the next work day immediately following said period if such period ends on weekend or a State holiday.

Security in the sum of _____ Dollars (\$ _____)

in the form of _____ is submitted herewith in accordance with the Specifications.



Addendum #1 – Attachment 6

Bid Specifications Page 145

- C. Execute accepted alternates under the same conditions as other work of the Contract.
- D. Schedule: A schedule of alternates is included at the end of this Section. Specification Sections referenced in schedule contain requirements for materials necessary to achieve the work described under each alternate.

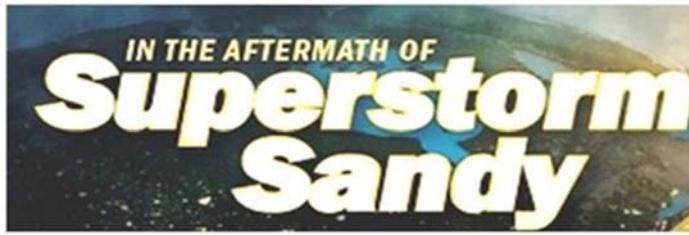
PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF ALTERNATES

- A. Add Alternate No. 1 – Concrete Slab Per SK-1

END OF SECTION



BID ADDENDUM ACKNOWLEDGMENT

The undersigned acknowledges that he/she have reviewed and acknowledge receipt of this Addendum #1 for Project 5004 – 166 Woodward Avenue.

Any bids collected which do not contain a signed and executed copy of this page are subject to disqualification.

BIDDER ACKNOWLEDGEMENT:

Name of Bidder

Signature

Date

Bidder's Title

Bidder's Company