



Tighe & Bond

Washington Village
Norwalk, Connecticut
FMC/FME 2014-01124

Response to CTDEEP Comments

Prepared For:

**Norwalk Redevelopment Agency
Norwalk, Connecticut**

May 14, 2014

23-1020-1-01
May 13, 2014



Ms. Evonne Klein
Commissioner
State of Connecticut
Department of Housing
505 Hudson Street
Hartford, Connecticut 06106

**Re: Response to CTDEEP Comments
Washington Village
Norwalk, Connecticut
FMC/FME 201401124**

Dear Ms. Klein

We are in receipt of comments from the Department of Energy and Environmental Protection dated April 24, 2014 regarding the Floodplain Management Certification application for the –proposed redevelopment of the Washington Village site in Norwalk. We have repeated CTDEEP’s comments, with our response following in bold type.

We offer the following responses:

1. Plans must be signed and sealed by a Professional Engineer registered in the State of Connecticut.

Signed and sealed plans, by a Connecticut registered Professional Engineer are attached. Building A plans are in Appendix A, Building B plans are in Appendix B, and Building C, D & E plans are in Appendix C.

2. The elevation datum must be specified on plan sheets.

The vertical datum is NAVD88. A note confirming the vertical datum has been added to all plan sheets.

3. The plans must show the existing condition of the site at all locations of proposed activity. The current plans do not clearly show the existing conditions.

The plan sheets show existing conditions in the background, but the screening may be difficult to read. We have included existing conditions plans in each set as Drawing C0.1.

4. Plans are required showing the building elevations including the pedestrian bridge between the buildings, all service facilities including electrical, heating, and elevator systems.

Washington Village Buildings, C, D, and E, Drawing C1.1 shows the pedestrian bridges between Buildings D and E, and Buildings C and D at elevation 37.8. Additional clarifying architectural drawings showing building elevations, and locations of service facilities are shown in Appendix D. The architectural plans have been signed and sealed by a Connecticut licensed architect.



5. The current application includes narrative on raising the profile of Raymond and Day Street such that the elevation of the intersection is above the 100-year flood elevation both to provide dry egress from the proposed buildings. Plans are required showing the proposed roadway work at Day Street and Raymond Street and the Ryan Park walkway. The plans must clearly demonstrate the raising of the roadway and walkway to the base flood elevation and the limits of the proposed work. If there are any modifications to the stormwater drainage systems that work must also be shown with any supporting calculations.

A plan and profile of the proposed roadway work showing the modifications to the intersection of Day and Raymond Streets is included in Appendix E. Also enclosed is a letter from the City of Norwalk Recreation and Parks Department regarding the City's intent to incorporate dry access into the RFP that they are preparing for Ryan Park.

6. The soil stockpile areas shown on the plan sheets must include floodproofing to the 100-year flood elevation. Section 25-68h-2(d)(1) of the Regulations for Connecticut State Agencies (RCSA) prohibit the storage of any materials that could be injurious to human, animal or plant life below the elevation of the base flood for a critical activity (i.e. the 500-year base flood elevation). The applicant shall confirm that no such materials – including fuels, maintenance fluids, or hazardous waste – will be stored below the 500-yr elevation during construction activities, and that any such materials will be elevated to above the 500-yr. BFE or shall be removed to an upland location at the end of each day. The information must be documented on the plan sheets.

We have separated this response into two components: soil stockpiling and hazardous materials:

Soil Stockpiles

Notes have been added to the Sediment and Erosion Control drawings, Drawing C3.1 in each set, indicating that soil stockpiles kept on-site are to be floodproofed to an elevation of one foot above the base flood elevation.

The 1% annual chance (100-year) flood elevation in the project area is elevation 12 NAVD88, therefore, any stockpile storage area would need to be floodproofed to the 1% annual chance elevation plus one foot, which is elevation 13 NAVD88.

Our intent is to provide the Contractor with flexibility in floodproofing the soil stockpiles, by specifying the floodproofing elevation. In order to assist the contractor, and to demonstrate a possible method to floodproof the stockpiles, we have provided a detail on Drawing C3.2 for each set. This details how the soil stockpiles can be contained in watertight dumpsters, with a minimum size of 30 cubic yards. Standard dimensions of a 30 yard dumpster are 18 feet long, 8 feet wide, and 6 feet high. The lowest area at which soil stockpiles are proposed is elevation 8 NAVD88, therefore the top of the dumpster would be at elevation 14 NAVD88, which is two feet above the base flood elevation. Dumpsters would need to be anchored with concrete block or other methods to secure against buoyant forces.

The soil stockpile details on Drawings C3.2 for each set have been modified. Please refer to Appendix F for buoyancy calculations.

Another possible method is using enclosures made of jumbo concrete block or gabion enclosures with a waterproof lining. Soil would be stockpiled inside the enclosure, with blocks moved in and out of place as needed for access. The top of the enclosure would be no lower than elevation 13 NAVD88. We have not detailed this method.

As stipulated in the note, the Contractor can propose alternate stockpile methods, so long as it is demonstrated that they can be floodproofed to elevation 13 NAVD, subject to the Engineer's review and approval.

Hazardous Materials

Storage of hazardous materials, including fuels, maintenance fluids, and other hazardous waste can be handled in two different ways. Hazardous materials can be kept onsite above the 500-year flood elevation of 13.6 NAVD88. Alternatively, hazardous materials can be kept within the work area in quantities only needed for a day's work, and shall be removed at the end of the day to an off-site location, outside the 500-year floodplain for storage. Notes have been added to Drawings C3.1 for each plan set.

7. Documentation is required showing that the soils support proposed infiltration for the proposed infiltration galleries and stormwater BMPs.

Borings were conducted at the site, and were included in the Engineering Reports previously submitted in the original Floodplain Management Certification application materials. The borings showed sandy soil conditions with a deep depth to any restrictive layer, such as rock or groundwater. Additional borings and percolation tests will be performed during the Construction Documents process to validate the estimated infiltration rates and the proposed storage system sizing. The City Engineering Department reviewed and approved our drainage submission.

8. Documentation is required from the city that they are accepting stormwater from the development into the city system.

The approval resolution from the City approving the Zoning Amendment, Special Permit, and Coastal Site Plan is included in Appendix G.

9. Documentation is required showing that there is safe egress from all proposed buildings located within the flood hazard zone. Your documentation may include a detailed Emergency Operations Plan and Flood Contingency Plan, which assures the safe evacuation of all residents from their homes. If dry access is proposed, the access route including elevation must be shown on the plans included in this application.

We have expanded upon the Flood Contingency Plan included in the initial application to include additional narrative and diagrams. The updated plan is included in Appendix H.

10. As part of the Flood Contingency Plan, the applicant must show the flood warning capabilities.

The flood warning capabilities narrative in the Flood Contingency Plan have been expanded to include more detail. Please refer to Appendix G.

CTDEEP also had one additional comment at the conclusion of their letter:

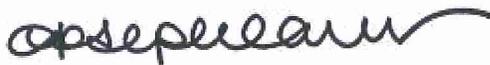
1. When an exemption is requested, the applicant (Department of Housing) must clearly demonstrate that the activity or critical activity within the floodplain "(1) is in the public interest, (2) will not injure persons or damage property in the area of such activity or critical activity, (3) complies with the provisions of the National Flood Insurance Program, and (4) in the case of a loan or grant, the recipient of the loan or grant has been informed that increased flood insurance premiums may result from the activity or critical activity." Most importantly, the Department of Housing must provide sufficient documentation to demonstrate that the proposal will not injure persons by placing residential housing in the floodplain. Because this office has concerns with placing residential structures in a floodprone area and that the exemption process provides the public with an opportunity for a hearing where such demonstration would be scrutinized, it is imperative that your agency provides all documentation required to make conclusions that siting of residential structures within a floodplain, where no dry access currently is available will in no way injure persons.

The Flood Contingency Plan in Appendix H has been revised with additional detail. The proposed habitable housing of the development will be built above the 500-year floodplain, and will be compliant with NFIP regulations, therefore meeting NFIP standards for residential development within floodplains. Means for dry access from the proposed development will also be provided so that occupants can egress the building during a 1% annual chance event.

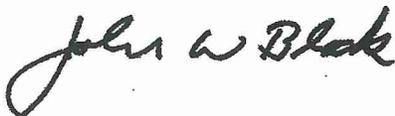
We thank you for the opportunity to respond to these comments. Please let us know should you need any additional information.

Sincerely,

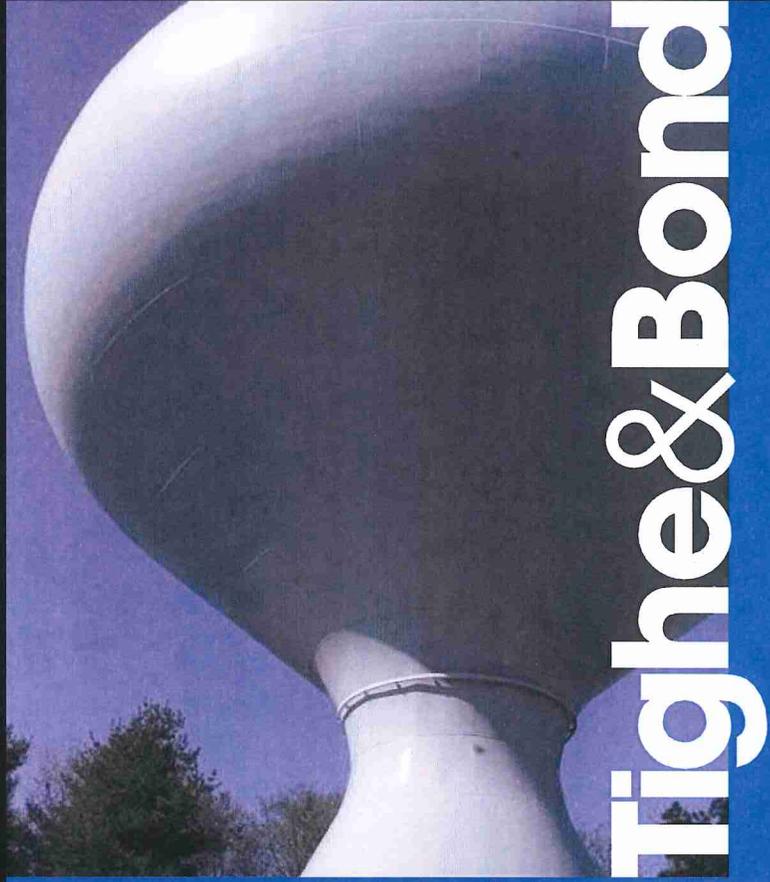
TIGHE & BOND, INC.



Joseph Canas, PE, LEED AP, CFM
Project Manager



John W. Block, PE, LS
Senior Vice President



Tighe & Bond

APPENDIX A



SITE



PROJECT TEAM:

OWNER/DEVELOPER:
TRINITY WASHINGTON VILLAGE LIMITED
PARTNERSHIP
75 FEDERAL STREET, 4TH FLOOR, BOSTON, MA,
02115
(617) 720-8400

&
THE NORWALK HOUSING AUTHORITY
24 1/2 MONROE STREET, NORWALK, CT, 06854
(203) 838-8471

ARCHITECT:
ICON ARCHITECTURE, INC
38 CHAUNCY STREET, BOSTON, MA 02111
(617) 451-3333

CIVIL ENGINEER:
TIGHE & BOND
100 BRIDGEPORT AVENUE SUITE 320
SHELTON, CT, 06484
(203) 712-1100

**MECHANICAL / FIRE PROTECTION, ELECTRICAL /
TEL/DATAENGINEER:**
CENTEK ENGINEERING, INC
63-2 NORTH BRANFORD ROAD, BRANFORD, CT
06405
(203) 488-0580

STRUCTURAL ENGINEER:
GNCB CONSULTING ENGINEERS
130 ELM STREET, OLD SAYBROOK, CT, 06475
(860) 388-1224

LANDSCAPE ARCHITECT:
ERIC RAINS LANDSCAPE ARCHITECTURE
33 NORTH WATER STREET, SOUTH NORWALK,
CT, 06854
(203) 853-7600

SURVEY ENGINEER:
WILLIAM SEYMOUR & ASSOCIATES, PC
170 NOROTON AVENUE, DARIEN, CT, 06820
(203) 655-3331

Parcel 1: 13 Day Street

Washington Village Redevelopment Building A

South Norwalk, CT

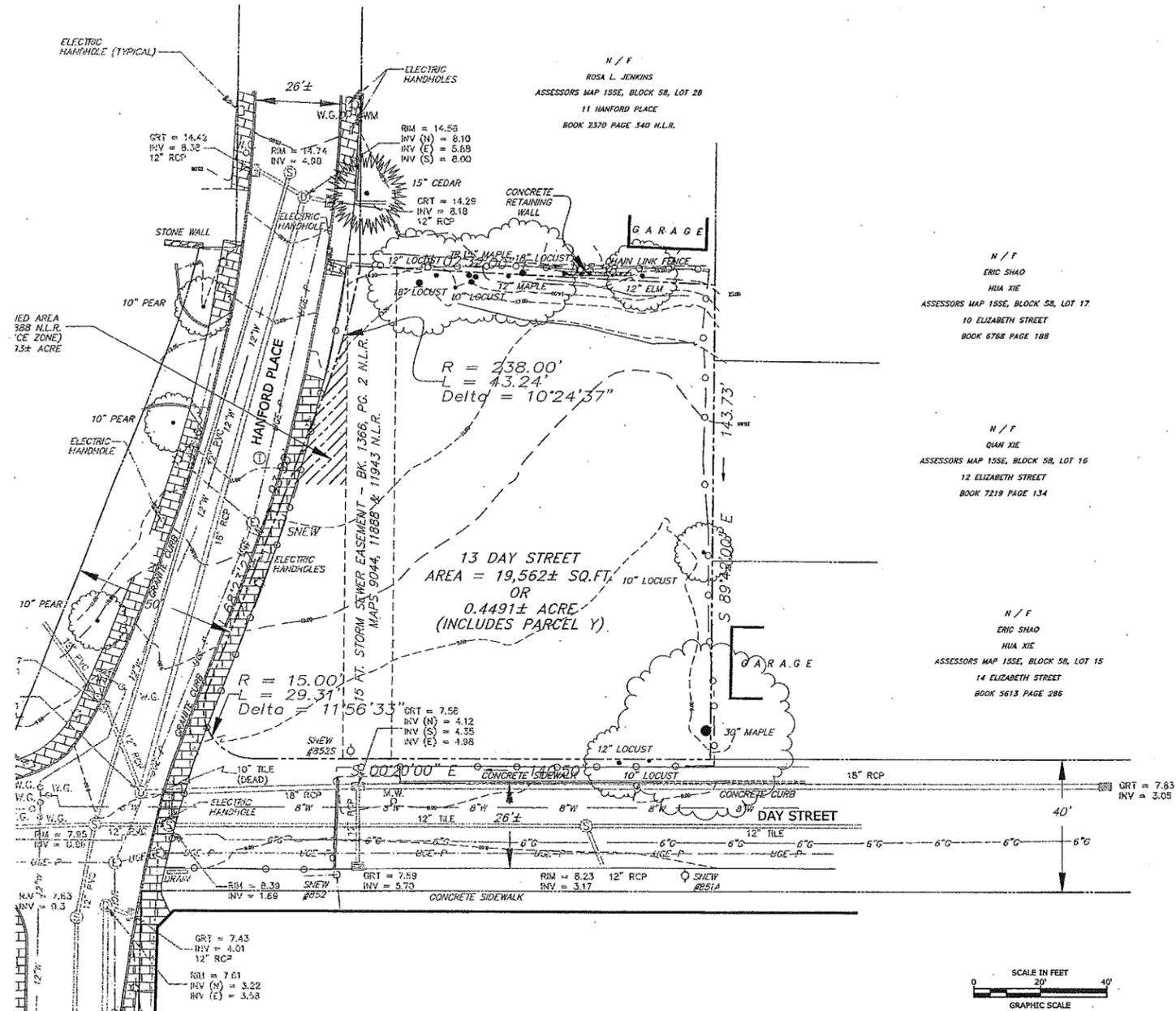
CIVIL DRAWINGS

Zoning Submission

2013-9-19

Revision 2013-11-22





EXISTING CONDITIONS PLAN NOTES

1. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND OTHER DATA SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES, GOVERNMENTAL AGENCIES AND/OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH DATA MAY EXIST ON SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO TIGHE & BOND. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION @ CALL-BEFORE-YOU-DIG 1-800-922-4455.
2. REFERENCE IS MADE TO PLAN ENTITLED "PROPERTY, TOPOGRAPHIC & ALTA/ACSM LAND TITLE SURVEY" PREPARED FOR TRINITY WASHINGTON VILLAGE LIMITED PARTNERSHIP AND THE NORWALK HOUSING AUTHORITY, PREPARED BY WILLIAM W. SEYMOUR & ASSOCIATES P.C., DATED SEPTEMBER 4, 2013.
3. VERTICAL DATUM: NAVD88

Hanford Place Building A

Norwalk, CT

Trinity Washington Village Limited Partnership & the Norwalk Housing Authority



CONSULTANT

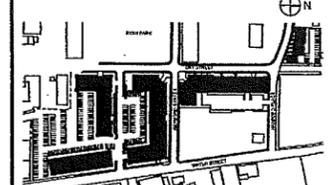


1000 Bridgeport Avenue Suite 320 Shelton, CT 06484 (203) 712-1100

STAMP



MASTER PLAN



MARK	DATE	DESCRIPTION
1	5-15-2014	REVISED PER CTDEEP COMMENTS

PROJECT NO.: 10071
DRAWN BY: APW
CHECKED BY: EWL

SHEET TITLE

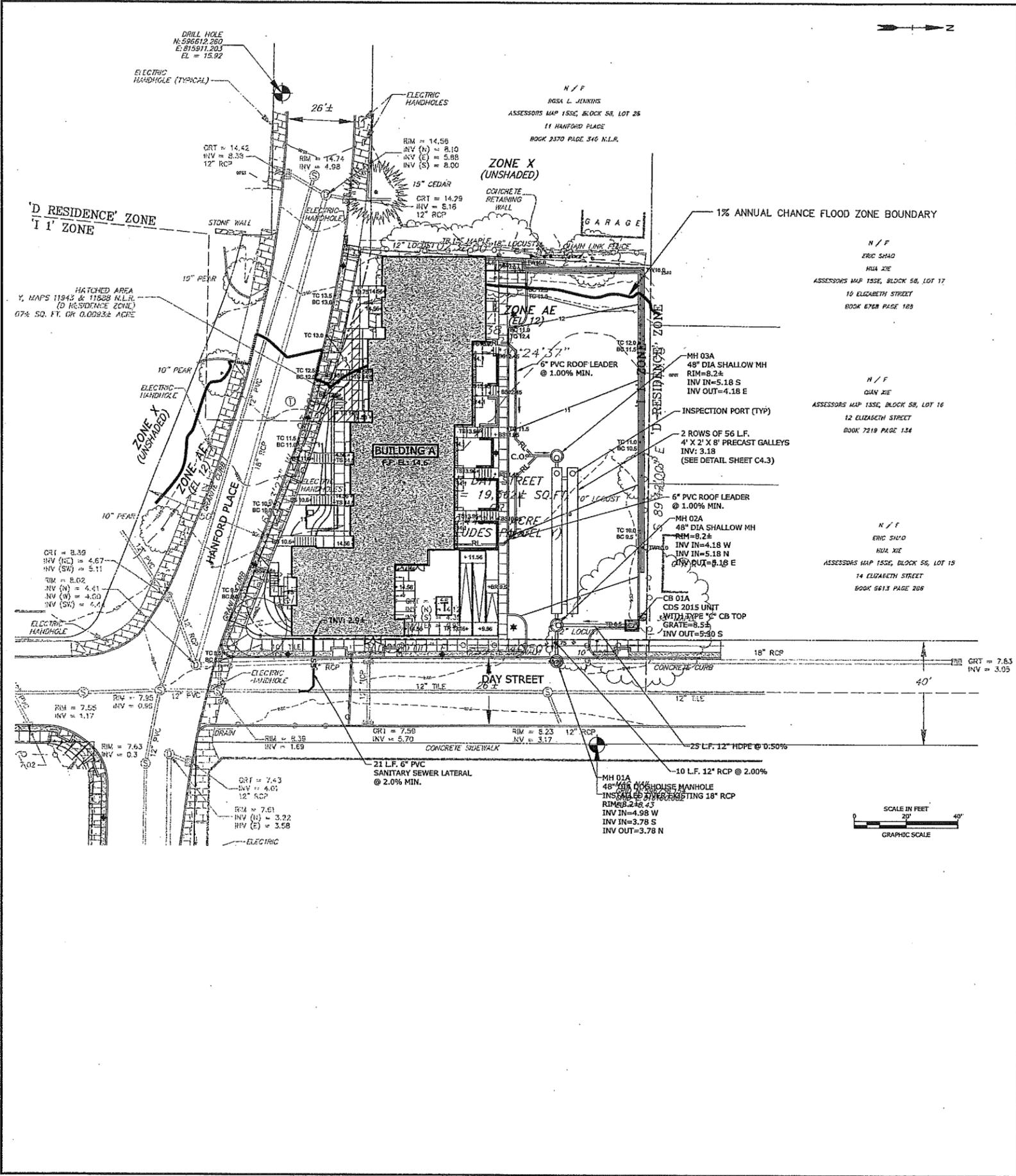
EXISTING CONDITIONS PLAN

C0.1

EXISTING CONDITIONS PLAN LEGEND

PROPERTY LINE	EXISTING
MINOR CONTOUR	---115---
MAJOR CONTOUR	---120---
EDGE OF PAVEMENT	-----
CURB LINE	=====
RETAINING WALL	=====
CONCRETE WALK	=====
BUILDING	▭
TEST PIT	○
WATER MAIN	5" W
WATER GATE	W.G.
HYDRANT	3" H
GAS MAIN	6" G
GAS GATE	G.G.
GAS METER	GM
TEL-DATA - BURIED	---
TEL-DATA MANHOLE	○
ELECTRICAL - BURIED	U.G.E.-P
ELECTRICAL MANHOLE	○ SNEW
ELECTRICAL HANDHOLE	□
LIGHT POLE	X
UTILITY POLE	○ SNEW ○ REE'S
STORM SEWER	---12" RCP---
STORM MANHOLE	○
CATCH BASIN	▭

May 09, 2014 2:10pm Plotted By: admin
 Tighe & Bond, Inc. 33110071 Washington Village/Trinity Washington Building ALTA-10071-01.dwg



SITE STORM AND SANITARY SEWER PLAN NOTES

- UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND OTHER DATA SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES, GOVERNMENTAL AGENCIES AND/OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH DATA MAY EXIST ON SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO TIGHE & BOND. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION @ CALL-BEFORE-YOU-DIG 1-800-922-4455.
- REFERENCE IS MADE TO PLAN ENTITLED "PROPERTY, TOPOGRAPHIC & ALTA/ACSM LAND TITLE SURVEY" PREPARED FOR TRINITY WASHINGTON VILLAGE LIMITED PARTNERSHIP AND THE NORWALK HOUSING AUTHORITY, PREPARED BY WILLIAM W. SEYMOUR & ASSOCIATES P.C., DATED SEPTEMBER 4, 2013.
- THE CONTRACTOR SHALL OBTAIN A CITY OF NORWALK EXCAVATION PERMIT PRIOR TO ANY WORK BEING PERFORMED WITHIN CITY RIGHT-OF-WAY.
- ANY AND ALL WORK PERFORMED ON THE CITY OF NORWALK RIGHT-OF-WAY SHALL BE REQUIRED TO MEET THE CITY STANDARDS.
- THE GENERAL CONTRACTOR SHALL PROVIDE FIELD ENGINEERING SERVICES TO ESTABLISH AND RECORD GRADES, LINES, AND ELEVATIONS.
- THE CONTRACTOR SHALL ADJUST THE TOP OF FRAME/GRATE ELEVATIONS OF ALL EXISTING AND PROPOSED SANITARY/STORM/WATER MANHOLES, CATCH BASINS, AREA DRAINS, VALVE COVERS AND APPURTENANCES, WITHIN THE PROJECT LIMIT LINE TO MEET THE PROPOSED GRADES.
- THE CONTRACTOR SHALL COORDINATE/VERIFY THE EXACT SIZES, LOCATIONS, ELEVATIONS, OF ALL PROPOSED BUILDING'S UTILITY SERVICES WITH THE PROJECT MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS PRIOR TO ANY CONSTRUCTION OPERATIONS.
- EXCAVATION OF ANY TYPE SHALL BE ACCOMPLISHED IN SUCH A MANNER THAT UNDERGROUND UTILITIES OR STRUCTURES ARE NOT DAMAGED. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY FOR ANY DAMAGED INCURRED DURING EXCAVATION OPERATIONS. ALL EXCAVATION SHALL BE IN CONFORMANCE WITH THE LATEST OSHA REQUIREMENTS.
- THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THE WORK DONE BY THE RESPECTIVE UTILITY COMPANIES.
- ALL DRIVEWAYS, ROADS, STAIRS, AND SIDEWALKS DISTURBED BY THE CONSTRUCTION IN OR OUTSIDE THE PROJECT LIMIT LINE SHALL BE RETURNED TO THEIR ORIGINAL CONDITION OR BETTER AND SHALL BE GRADED TO MEET THE PROPOSED CONSTRUCTION AS DIRECTED BY THE OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.
- ANY AREAS DISTURBED BY CONSTRUCTION ACTIVITIES AND IS NOT PROVIDED WITH A SPECIFIC SITE IMPROVEMENT (PAVING, SIDEWALK, LANDSCAPING, ETC.) SHALL HAVE 4" TOPSOIL AND TURF ESTABLISHMENT IN ACCORDANCE WITH THE PROJECT LANDSCAPE SPECIFICATIONS.
- THE LOCATIONS OF ITEMS NOT DIMENSIONED ON THE DRAWINGS SHALL BE FIELD STAKED BY THE CONTRACTOR AND THEIR LOCATIONS APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- INSTALL CLEANOUT TO GRADE 5' OFF FACE OF BUILDING ON ALL SANITARY LATERALS.
- THE MANHOLE FRAME AND COVER SHALL BE CENTERED ON THE PRECAST OPENING. UNDER NO CIRCUMSTANCES WILL AN OFFSET FRAME AND COVER BE ACCEPTABLE. PRIOR TO FINAL PAVING, THE CONTRACTOR SHALL CHECK ALL MANHOLE STRUCTURES TO ASSURE THE FRAME AND COVER IS CENTERED ON THE PRECAST OPENING. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL WORK REQUIRED TO CENTER FRAME AND COVER.
- INSTALL "FERRO" STYLE FLEXIBLE COUPLINGS AT ALL LOCATIONS WHERE JOINING PIPES OF DIFFERENT MATERIALS AND/OR SIZES PER MANUFACTURER'S RECOMANDATIONS.
- ALL PIPES AND FITTINGS SPECIFIED AS HDPE SHALL BE ADS N-12 WT (WATERTIGHT) PIPE AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS, HILLIARD, OHIO.
- VERTICAL DATUM: NAVD88

SITE STORM AND SANITARY SEWER PLAN LEGEND

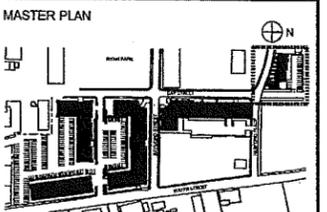
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PROPERTY LINE	---	---
100 YEAR FLOOD LINE	=====	=====
MINOR CONTOUR	-----115-----	-----115-----
MAJOR CONTOUR	-----120-----	-----120-----
SPOT ELEVATION	x 23.1	x 120.12
EDGE OF PAVEMENT	-----	-----
CURB LINE	=====	=====
RETAINING WALL	=====	=====
CONCRETE WALK	=====	=====
BUILDING	=====	=====
TEST PIT	TP	TP
STORM SEWER	12" RCP	12" RCP
STORM MANHOLE	⊙	⊙
CATCH BASIN	⊙	⊙
SANITARY SEWER	12" PVC	12" PVC
SANITARY LATERAL	6" TILE	6" TILE
SANITARY MANHOLE	⊙	⊙
LIGHT POLE	⊙	⊙

Hanford Place Building A
Norwalk, CT

Trinity Washington Village Limited Partnership & the Norwalk Housing Authority



CONSULTANT
Tighe & Bond
www.tighebond.com
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Suite 320
Shelton, CT 06484
(203) 712-1100



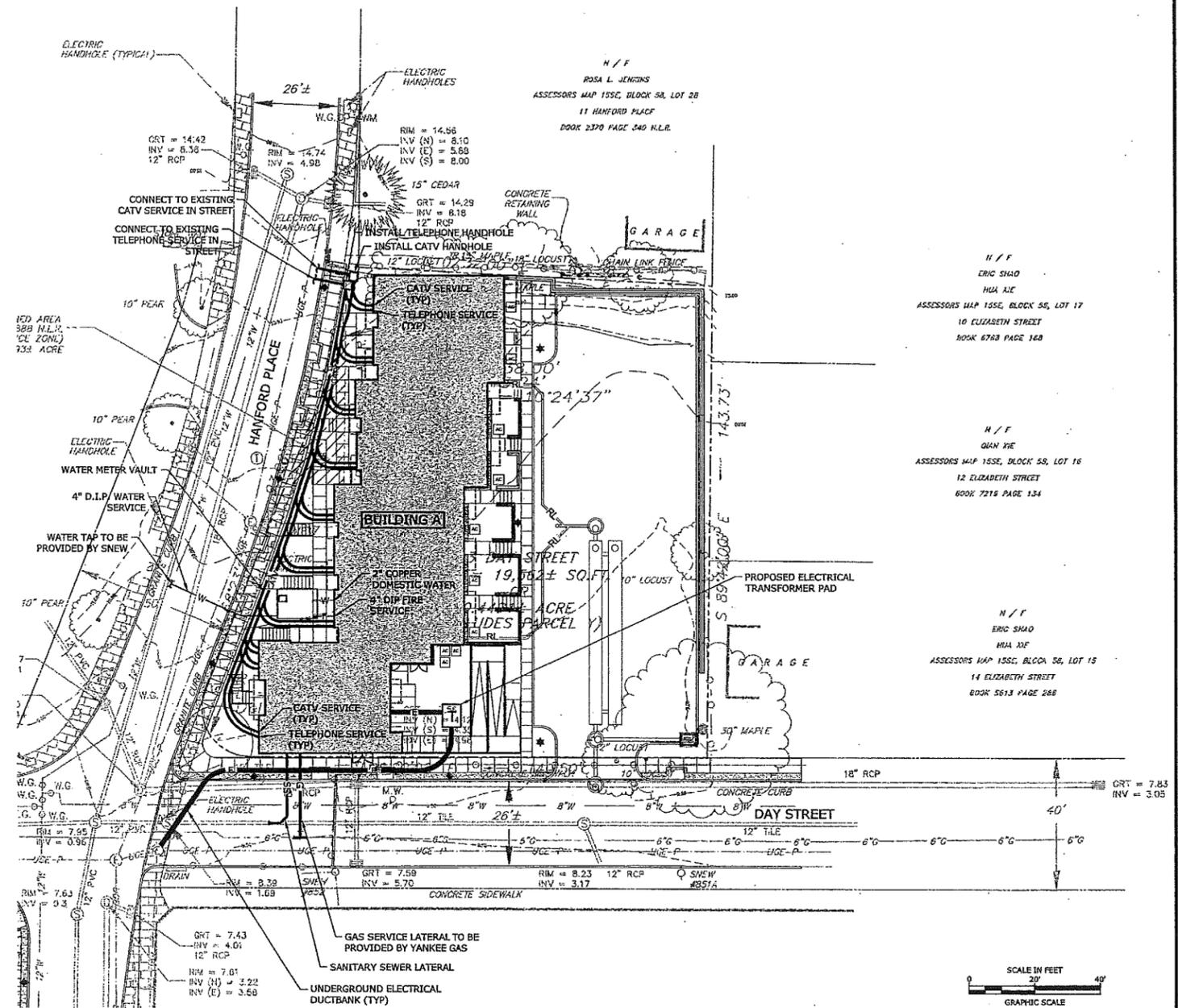
MARK	DATE	DESCRIPTION
4	5-15-2014	REVISED PER CTDEEP COMMENTS
3	11-22-2013	ZONING REVISION
2	10-25-2013	ZONING REVISION
1	9-19-2013	SPECIAL PERMIT/CAM SUBMISSION

PROJECT NO.: I0071
DRAWN BY: APW
CHECKED BY: EWL

SHEET TITLE
SITE STORM AND SANITARY SEWER PLAN

C1.1

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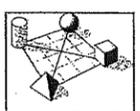
SITE UTILITY NOTES

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3. THE CONTRACTOR SHALL ADJUST THE TOP OF FRAME/GRATE ELEVATIONS OF ALL EXISTING AND PROPOSED WATER MANHOLES, WATER GATES, GAS GATES, VALVE COVERS AND APPURTENANCES, WITHIN THE PROJECT LIMIT LINE TO MEET THE PROPOSED GRADES.
4. THE CONTRACTOR SHALL COORDINATE/VERIFY THE EXACT SIZES, LOCATIONS, ELEVATIONS, OF ALL PROPOSED BUILDING'S UTILITY SERVICES WITH THE PROJECT MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS PRIOR TO ANY CONSTRUCTION OPERATIONS.
5. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THE WORK DONE BY THE RESPECTIVE UTILITY COMPANIES.
6. FOR INFORMATION ON THE PRIMARY ELECTRICAL WIRING AND THE SECONDARY ELECTRICAL CONDUITS, WIRING, AND MATERIALS - SEE PROJECT ELECTRICAL DRAWINGS.
10. WATER AND FIRE PROTECTION SERVICES AND HYDRANT ASSEMBLY SHALL CONFORM TO THE REQUIREMENTS OF SOUTH NORWALK ELECTRIC AND WATER. CONTRACTOR SHALL COORDINATE ALL WATER MAIN TAPS WITH SOUTH NORWALK ELECTRIC AND WATER.
11. TRANSFORMERS AND GENERATORS SHALL BE CONSTRUCTED ABOVE THE BASE FLOOD ELEVATION AND FLOOD PROOFED WITH A PASSIVE SYSTEM.
12. VERTICAL DATUM: NAVD88

Hanford Place Building A

Norwalk, CT

Trinity Washington Village Limited Partnership & the Norwalk Housing Authority



ICON architecture
38 Chauncy Street
Boston, MA 02111
617-451-3333
www.iconarch.com

CONSULTANT

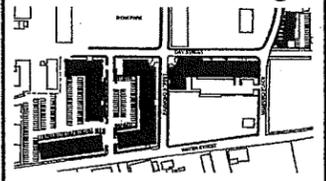


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Shelton, CT 06484
(203) 712-1100

STAMP



MASTER PLAN



MARK	DATE	DESCRIPTION
4	9-15-2014	REVISED PER CTDEEP COMMENTS
3	11-22-2013	ZONING REVISION
2	10-25-2013	ZONING REVISION
1	9-19-2013	SPECIAL PERMIT/CAM SUBMISSION

PROJECT NO.: 10071
DRAWN BY: APW
CHECKED BY: EWL

SHEET TITLE

SITE UTILITY PLAN

C2.1

SITE UTILITY PLAN LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	---	---
MINOR CONTOUR	---115---	---115---
MAJOR CONTOUR	---120---	---120---
EDGE OF PAVEMENT	---	---
CURB LINE	---	---
RETAINING WALL	---	---
CONCRETE WALK	---	---
BUILDING	---	---
TEST PIT	---	TP
WATER MAIN	W.G.	W
WATER GATE	W.G.	WG
HYDRANT	---	H
GAS MAIN	G.G.	G
GAS GATE	G.G.	GG
GAS METER	G.M.	---
TEL-DATA - BURIED	---	---
TEL-DATA MANHOLE	---	TEL/CATV
ELECTRICAL - BURIED	---	E
ELECTRICAL MANHOLE	---	---
ELECTRICAL HANDHOLE	---	---
LIGHT POLE	---	---
UTILITY POLE	---	---
STORM SEWER	---	---
STORM MANHOLE	---	---
CATCH BASIN	---	---

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SOIL EROSION AND SEDIMENTATION CONTROL NARRATIVE

THE PROJECT PROPOSES TO CONSTRUCT A 10 UNIT RESIDENTIAL BUILDING IN NORWALK, CT. THE PROJECT SITE IS BOUNDED BY HANFORD PLACE TO THE SOUTH, DAY STREET TO THE EAST, #11 HANFORD PLACE TO THE WEST, #10, #12 AND #14 ELIZABETH STREET TO THE NORTH.

THE PROPOSED PROJECT WILL INCLUDE THE CONSTRUCTION OF THE RESIDENTIAL BUILDING, A 20 CAR PARKING LOT, RETAINING WALLS, CURBING, SIDEWALKS, LANDSCAPE AND LIGHTING. PROPOSED BUILDING UTILITIES SUCH AS DOMESTIC WATER, FIRE PROTECTION, TELECOMMUNICATIONS, ELECTRICAL, NATURAL GAS, AND SANITARY SEWER WILL BE PROVIDED FROM EXISTING MAINS LOCATED IN DAY STREET AND HANFORD PLACE.

STORMWATER MANAGEMENT WILL BE ACCOMMODATED ON-SITE. SURFACE RUNOFF WILL BE COLLECTED AND CONVEYED INTO A WATER QUALITY STRUCTURE AND AN UNDERGROUND INFILTRATION SYSTEM THAT WILL TREAT THE WATER QUALITY VOLUME AND PROVIDE POLLUTANT REMOVAL IN ACCORDANCE WITH THE 2004 CONNECTICUT STORMWATER QUALITY MANUAL.

THE PROJECT IS PROPOSED TO BE CONSTRUCTED IN A SINGLE PHASE, APPROXIMATELY 0.49 ACRES WILL BE DISTURBED.

SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL CONFORM TO THE STANDARDS OUTLINED IN THE CONNECTICUT DEPARTMENT OF ENERGY AND ENVIRONMENTAL PROTECTION (CTDEEP), "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL", LATEST REVISION.

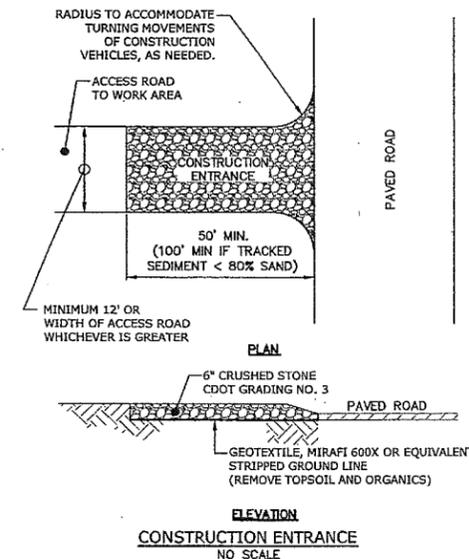
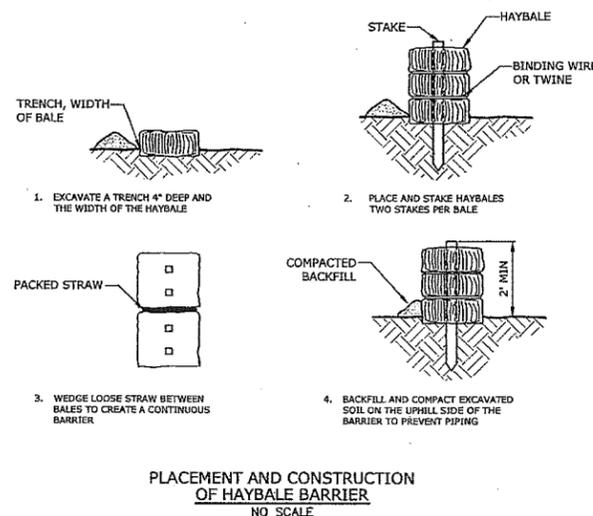
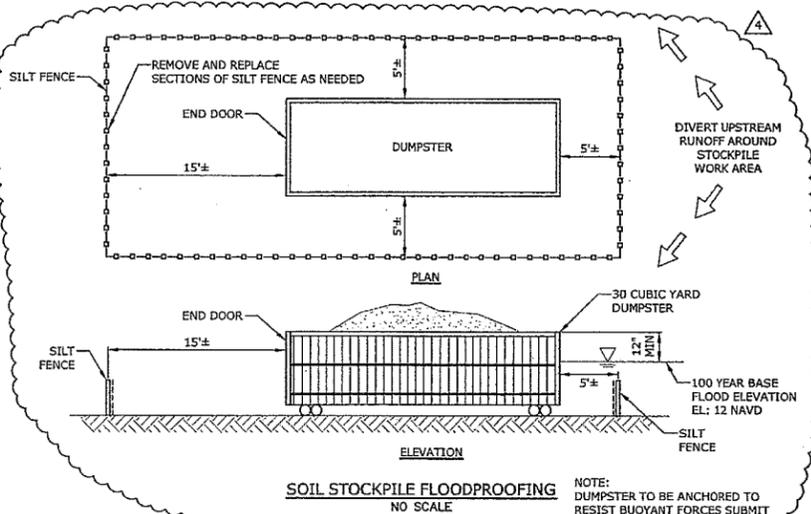
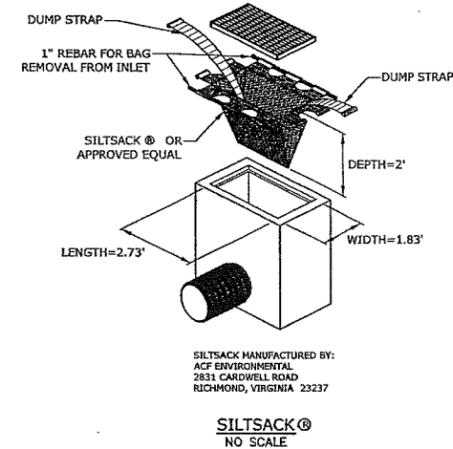
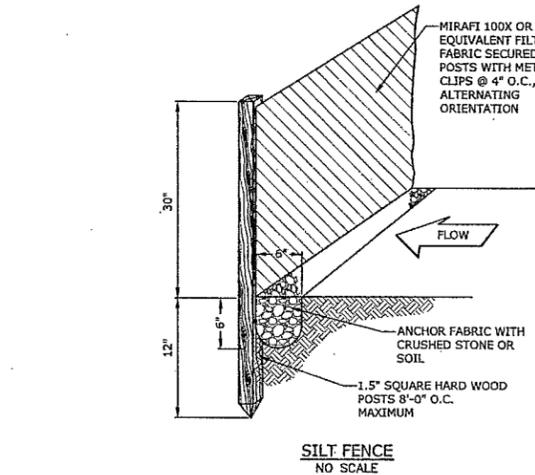
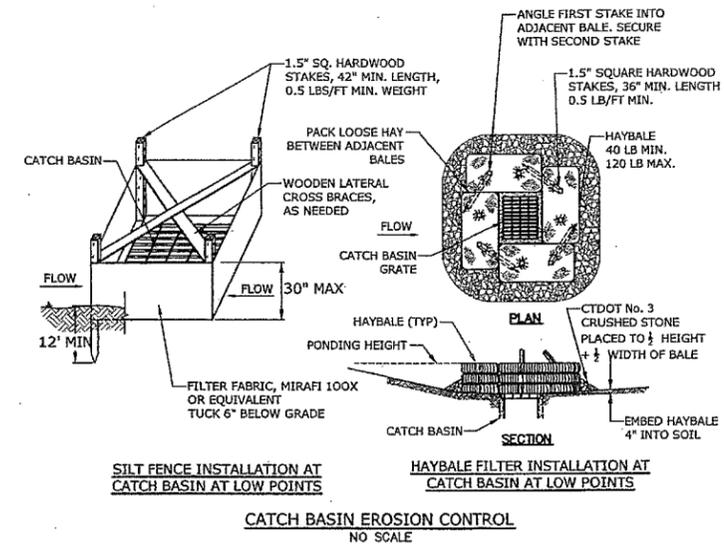
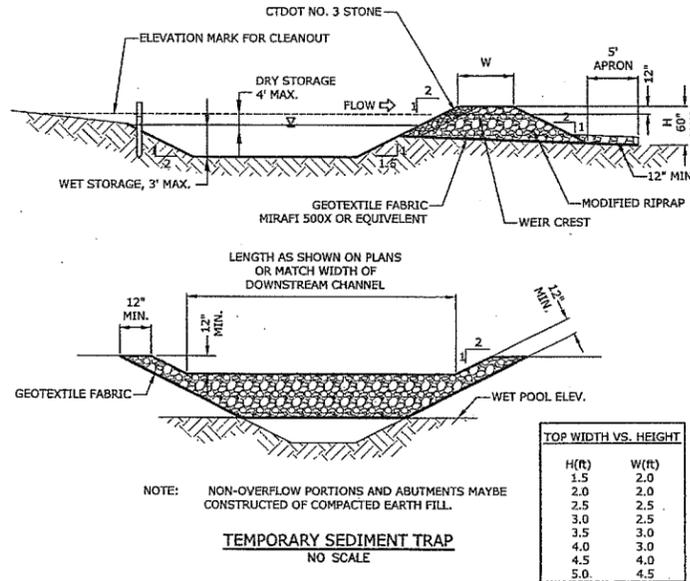
CONSTRUCTION SEQUENCE

GENERAL

1. THE PROPOSED DEVELOPMENT IS ENTITLED "HANFORD PLACE BUILDING A"
2. ESTIMATED PROJECT TIMELINE:
 - PROJECT START: SPRING 2014
 - PROJECT COMPLETION: SPRING 2015
3. THE SITE IS LOCATED AT 13 DAY STREET NORWALK, CONNECTICUT.

CONSTRUCTION SEQUENCE

1. FLAG THE LIMITS OF CONSTRUCTION NECESSARY TO FACILITATE THE PRECONSTRUCTION MEETING.
2. HOLD PRECONSTRUCTION MEETING WITH THE CITY, THE OWNERS REPRESENTATIVE AND THE ENGINEER. (REMEMBER TO CALL BEFORE YOU DIG 1-800-922-4455).
3. FLAG REMAINDER OF THE LIMITS OF CONSTRUCTION AND TREE PROTECTION ZONES.
4. INSTALL THE CONSTRUCTION ENTRANCE.
5. INSTALL PERIMETER EROSION AND SEDIMENT CONTROLS AND TREE PROTECTION DEVICES IN ACCORDANCE WITH THE SESC PLAN.
6. CUT ANY TREES WITHIN THE DEFINED CLEARING LIMITS AND REMOVE CUT WOOD. CHIP BRUSH AND SLASH, STOCKPILE CHIPS FOR FUTURE USE OR REMOVE OFF SITE.
7. CONSTRUCT SETTLING BASINS AND/OR SUMP PITS, AS REQUIRED.
8. STRIP AND STOCKPILE ALL TOPSOIL THAT IS WITHIN THE FOOTPRINT OF THE CONSTRUCTION SITE AND REFERENCE STOCKPILE MANAGEMENT FOR EROSION AND SEDIMENT CONTROLS. (SEE 2002 CT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL CHAPTER 4, PART II ON STOCKPILE MANAGEMENT). EITHER REMOVE TREE STUMPS TO AN APPROVED DISPOSAL SITE OR CHIP IN PLACE AS INDICATED ON THE PLANS.
9. MAKE ALL CUTS AND FILLS REQUIRED. ESTABLISH THE SUBGRADE FOR THE TOPSOIL AREAS, AND PARKING AS REQUIRED AND BENCH THE BUILDING TO A SUBGRADE. ALLOW A REASONABLE AMOUNT OF AREA AROUND THE FOOTPRINT OF THE BUILDING FOR THE CONSTRUCTION ACTIVITIES.
10. BEGIN CONSTRUCTION OF THE BUILDING.
11. PRIOR TO INSTALLING SURFACE WATER CONTROLS SUCH AS TEMPORARY DIVERSIONS AND STONE DIKES, INSPECT EXISTING CONDITIONS TO ENSURE DISCHARGE LOCATIONS ARE STABLE. IF NOT STABLE, REVIEW DISCHARGE CONDITIONS WITH THE DESIGN ENGINEER AND IMPLEMENT ADDITIONAL STABILIZATION MEASURES PRIOR TO INSTALLING WATER SURFACE CONTROLS.
12. INSTALL ALL SANITARY SEWERS, DRAINAGE SYSTEMS AND UTILITIES TO WITHIN 5 FEET OF THE BUILDING OR AS OTHERWISE MODIFIED BY THE DESIGN ENGINEER TO ADJUST FOR UNFORESEEN SITE CONDITIONS.
13. PREPARE SUB-BASE, SLOPES, PARKING AREAS AND ANY OTHER AREA OF DISTURBANCE FOR FINAL GRADING.
14. INSTALL PROCESS AGGREGATE IN PARKING AREAS.
15. PLACE TOPSOIL WHERE REQUIRED. COMPLETE THE PERIMETER LANDSCAPE PLANTINGS.
16. FINE GRADE, RAKE, SEED AND MULCH TO WITHIN 2 FEET OF THE CURBING.
17. UPON SUBSTANTIAL COMPLETION OF THE BUILDING, COMPLETE THE BALANCE OF SITE WORK AND STABILIZATION OF ALL OTHER DISTURBED AREAS. INSTALL FIRST COURSE OF PAVING.
18. WHEN ALL OTHER WORK HAS BEEN COMPLETED, REPAIR AND SWEEP ALL PAVED AREAS FOR THE FINAL COURSE OF PAVING. INSPECT THE DRAINAGE SYSTEM AND CLEAN AS NEEDED.
19. INSTALL FINAL COURSE OF PAVEMENT.
20. AFTER SITE IS STABILIZED REMOVE TEMPORARY EROSION AND SEDIMENT CONTROLS (E.G. GEOTEXTILE SILT FENCES).



Hanford Place Building A
Norwalk, CT

Trinity Washington Village Limited Partnership & the Norwalk Housing Authority



CONSULTANT

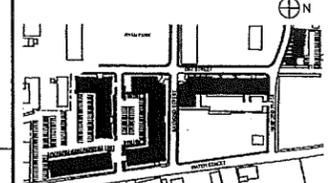


1000 Bridgeport Avenue
Suite 320
Shelton, CT 06484
(203) 712-1100

STAMP



MASTER PLAN



MARK	DATE	DESCRIPTION
4	5-15-2014	REVISED PER CTDEEP COMMENTS
3	11-22-2013	ZONING REVISION
2	10-25-2013	ZONING REVISION
1	9-19-2013	SPECIAL PERMIT/CAM SUBMISSION

PROJECT NO.: I0071
DRAWN BY: MDS
CHECKED BY: EWL

SHEET TITLE

SOIL EROSION AND SEDIMENT CONTROL NARRATIVE AND DETAILS

C3.2

May 08, 2014, 2:10pm Plotted By: adn
 Tighe & Bond, Inc. J:\110071 Washington Village\Drawing\Sheet\Building\AVS\SSC-A-10071-02.dwg

Hanford Place Building A

Norwalk, CT

Trinity Washington Village Limited Partnership & the Norwalk Housing Authority



CONSULTANT

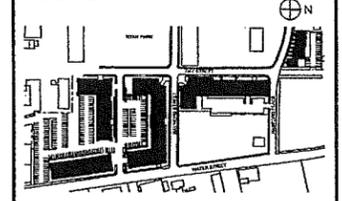


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Shelton, CT 06484
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STAMP



MASTER PLAN



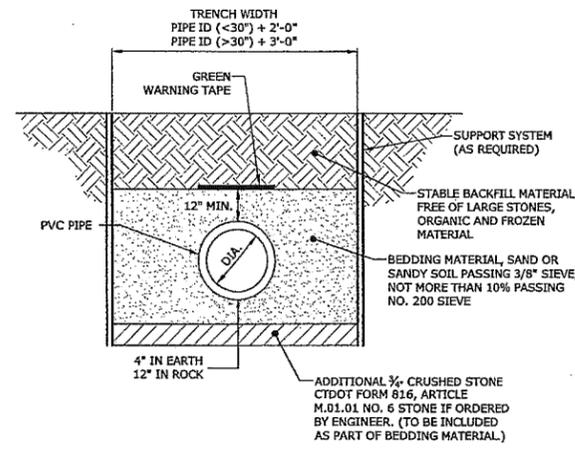
MARK	DATE	DESCRIPTION
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2	10-25-2013	ZONING REVISION
1	9-19-2013	SPECIAL PERMIT/CAM SUBMISSION

PROJECT NO.: 10071
DRAWN BY: MDS
CHECKED BY: EWL

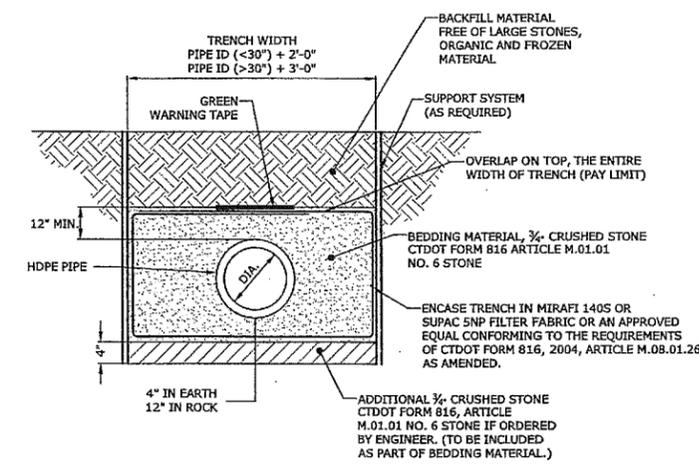
SHEET TITLE

STORM DRAINAGE DETAILS

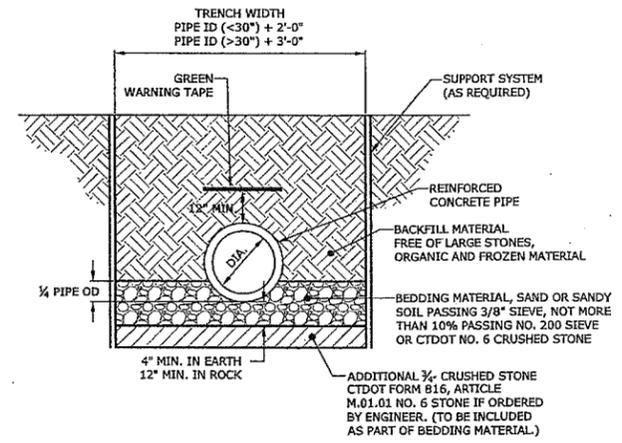
C4.1



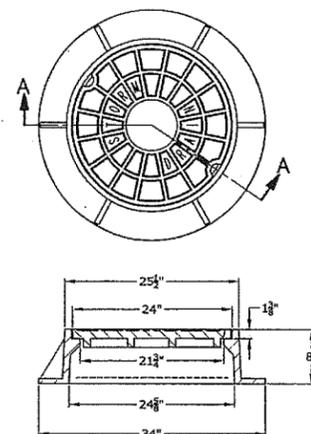
P.V.C. TRENCH BEDDING
NO SCALE



HDPE TRENCH BEDDING
NO SCALE

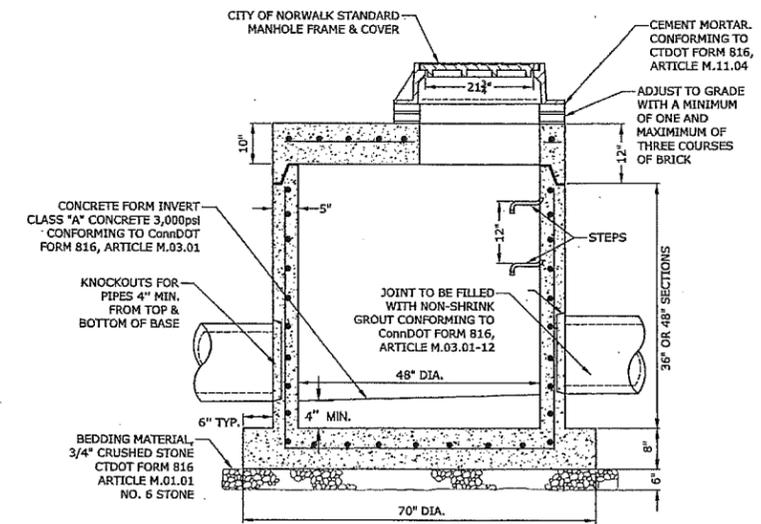


CIRCULAR R.C.P. TRENCH BEDDING
NO SCALE



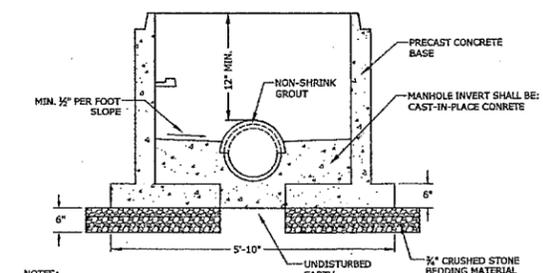
NOTE: MANHOLE FRAMES & COVERS SHALL BE PATTERN #1007D AS MANUFACTURED BY THE CAMPBELL FOUNDRY COMPANY OF NORTH HAVEN, CONNECTICUT, OR APPROVED EQUAL.

CITY OF NORWALK MANHOLE FRAME AND COVER
NO SCALE



- NOTES
1. REINFORCING ASTM A185 AREA 48" DIA. 0.12 SQ. IN./V.F., AREA 60" DIA. 0.17 SQ. IN./V.F. REINFORCE BELL & SPIGOT.
 2. CONCRETE COMPRESSIVE STRENGTH: 5,000 psi - 28 DAYS
 3. MANHOLE STEP TO CONFORM TO OSHA AND ASTM SPECIFICATIONS.
 4. MONOLITHIC BASE SECTION.

48" DIA. SHALLOW MANHOLE
NO SCALE



- NOTES:
1. MINIMUM 4" DIAMETER MANHOLE.
 2. DOGHOUSE OPENING MAY ONLY BE USED WHEN PLACING A NEW MANHOLE OVER AN EXISTING LINE; OTHERWISE, THE OPENING MUST BE CAST. SIZE, LOCATION AND ANGLE OF ENTRY SHOULD BE AS REQUIRED BY THE PLANS.
 3. OPENINGS IN PRECAST UNITS ARE TO BE 4" MINIMUM TO 8" MAXIMUM LARGER THAN THE OUTSIDE DIAMETER OF THE EXISTING PIPE.
 4. TOP HALF OF EXISTING PIPE TO BE REMOVED FOR FULL LENGTH EXPOSED INSIDE MANHOLE. EXISTING MAIN TO BE NEATLY CUT ALONG THE SPRING LINE OF THE PIPE.
 5. SEE STORM MANHOLE DETAIL FOR ADDITIONAL INFORMATION.

STORM DRAINAGE DOGHOUSE MANHOLE BASE
NO SCALE

May 05, 2014 4:08pm Plotted By: Shannon's Tighe & Bond, Inc. \\11\10071 - Washington Village\Drawing\Sheet\Building ADS-A-10071-01.dwg

Hanford Place
Building A

Norwalk, CT

Trinity Washington Village
Limited Partnership &
the Norwalk Housing Authority



CONSULTANT

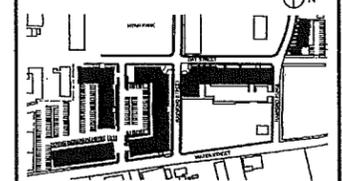


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MASTER PLAN



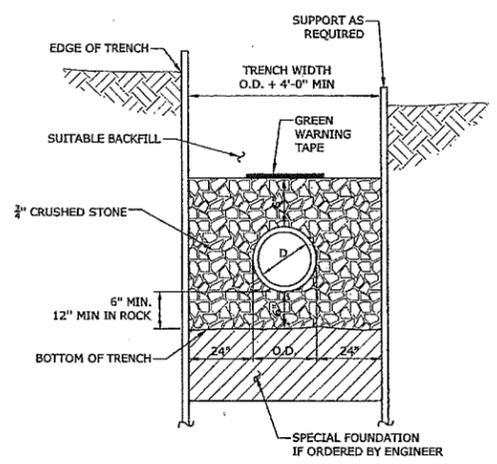
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2	10-25-2013	ZONING REVISION
1	9-19-2013	SPECIAL PERMIT/CAM SUBMISSION

PROJECT NO.: 10071
DRAWN BY: MDS
CHECKED BY: EWL

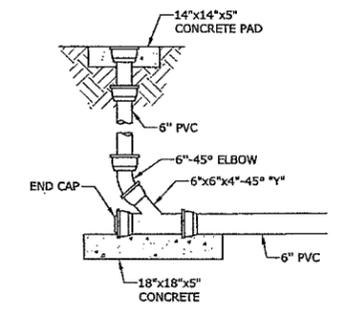
SHEET TITLE

STORM
AND SANITARY
DETAILS

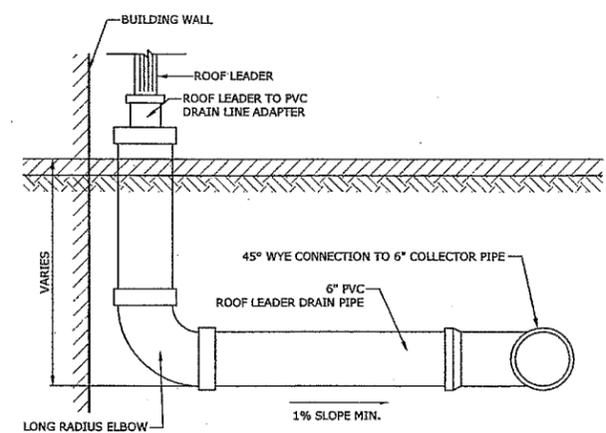
C4.2



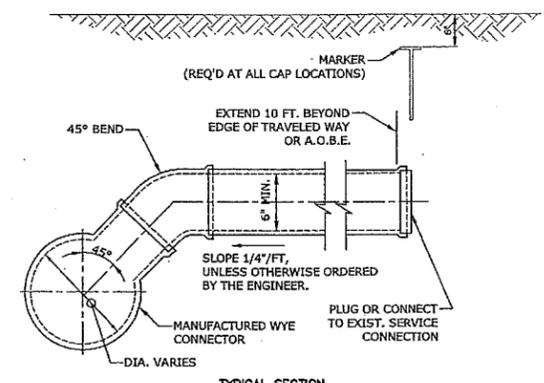
TYPICAL SANITARY SEWER TRENCH SECTION
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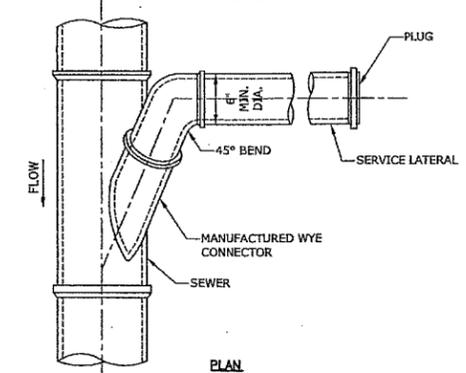
CLEAN-OUT DETAIL
NO SCALE



ROOF LEADER DRAIN LINE
NO SCALE

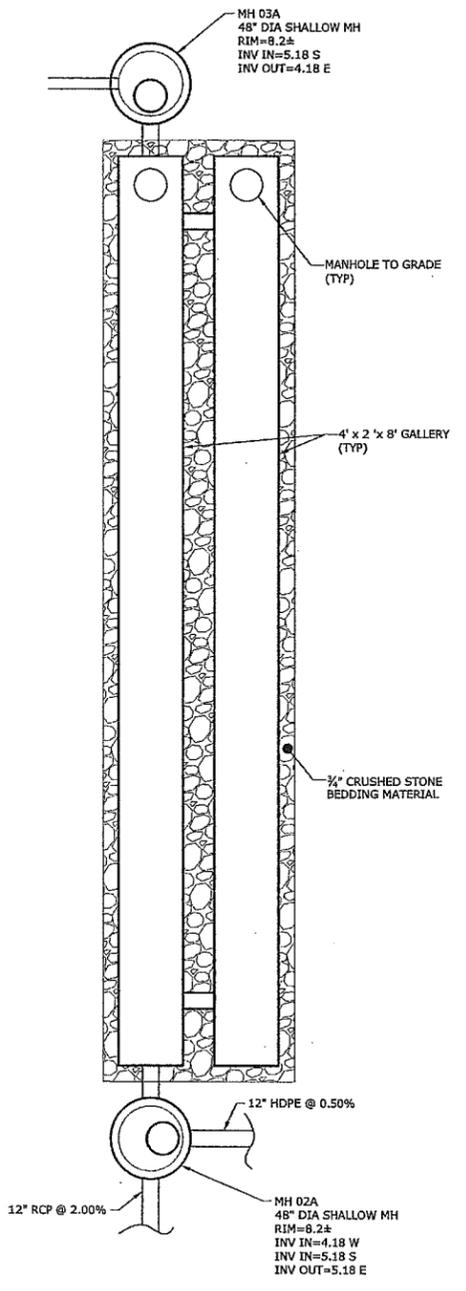


TYPICAL SECTION

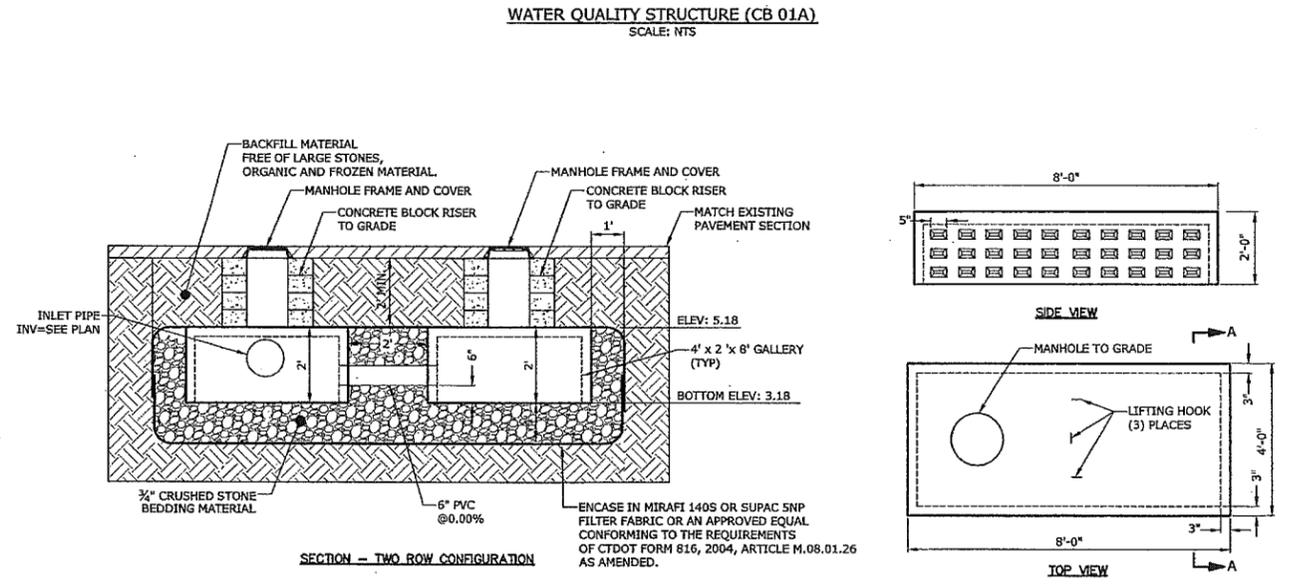
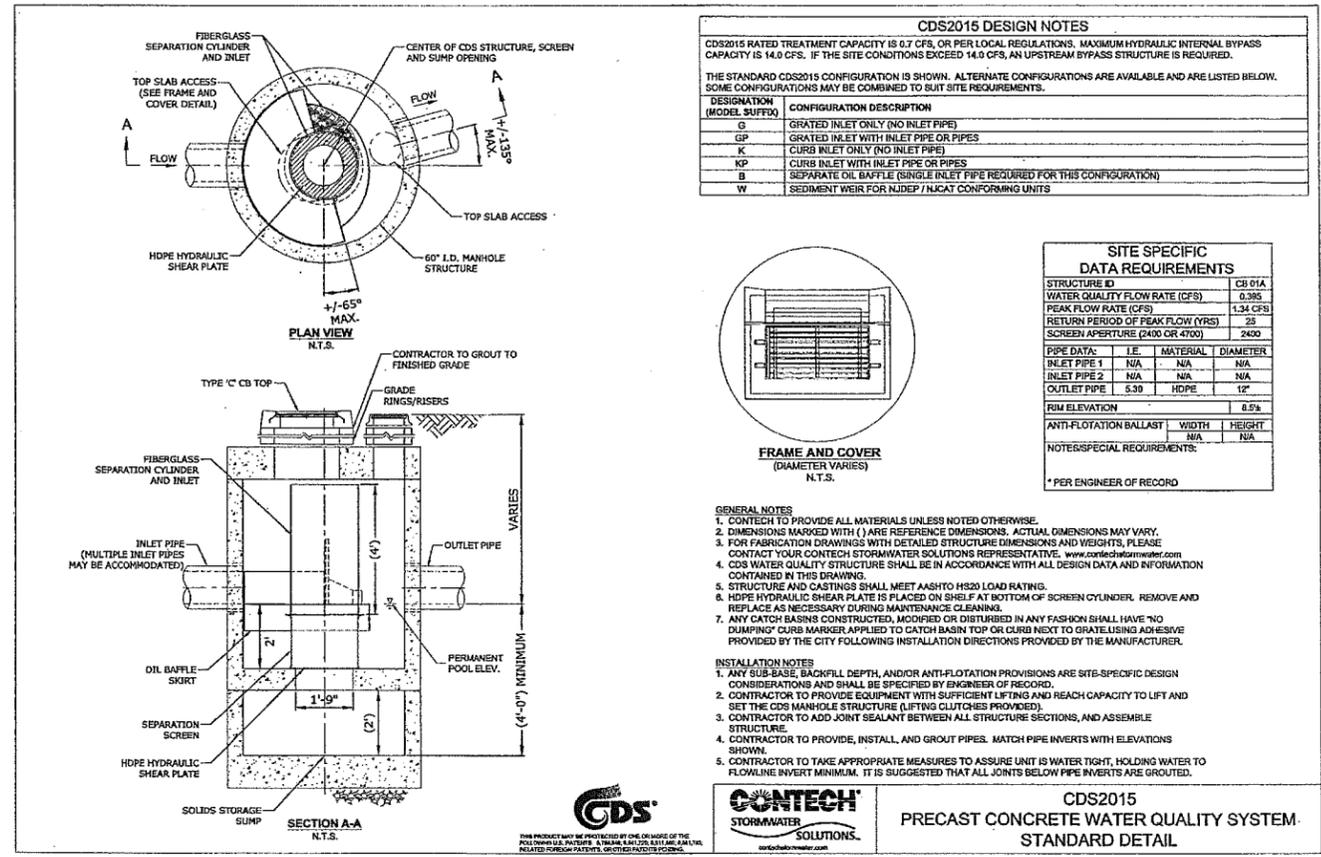


STANDARD SERVICE LATERAL CONNECTION
NO SCALE

May 05, 2014 4:08pm Picked By: Escamack
Tighe & Bond, Inc. 311/0071 Washington Village/Drawing/Sheet/AD5-A-10071-C4.2.dwg



INFILTRATION SYSTEM DETAIL
SCALE: 1" = 5'



- SPECIFICATIONS:**
- GALLERY TO BE 4'x4'x8' GALLERY BY CONNECTICUT PRECAST CORP., MONROE, CONNECTICUT, OR APPROVED EQUAL.
 - CONCRETE 4000 PSI MINIMUM STRENGTH AT 28 DAYS.
 - STEEL REINFORCEMENT ASTM A-615, GRADE 60.
 - DESIGN LOADING MUST MEET AASHTO HS20-44.

4' x 2' x 8' PRECAST GALLERY
NO SCALE

Hanford Place Building A

Norwalk, CT

Trinity Washington Village Limited Partnership & the Norwalk Housing Authority



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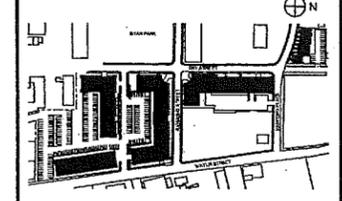


1000 Bridgeport Avenue, Suite 320, Shelton, CT 06484, (203) 712-1100

STAMP



MASTER PLAN



MARK	DATE	DESCRIPTION
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1	9-19-2013	SPECIAL PERMIT/CAM SUBMISSION

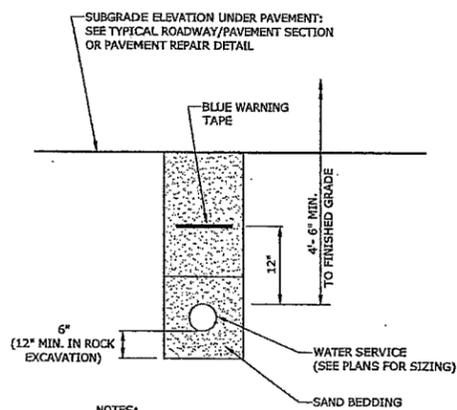
PROJECT NO.: 10071
DRAWN BY: MDS
CHECKED BY: EWL

SHEET TITLE

INFILTRATION SYSTEM DETAILS

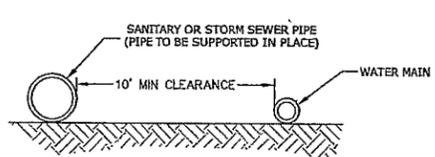
C4.3

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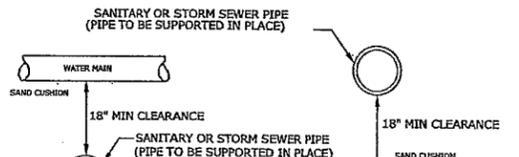


- NOTES:
- SAND BEDDING MATERIAL TO BE PLACED A MINIMUM OF 1'-0" OVER THE TOP OF WATER SERVICE.
 - BEDDING MATERIAL TO BE PLACED ON UNDISTURBED FOUNDATION.
 - REMOVE ANY UNSUITABLE FOUNDATION MATERIAL AND REPLACE WITH COMPACTED BEDDING MATERIAL.

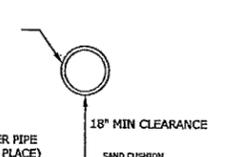
WATER SERVICE TRENCH
NO SCALE



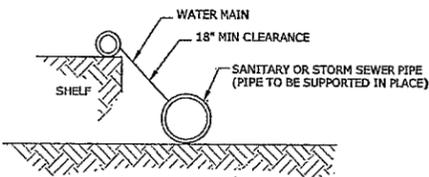
PARALLEL TO WATER MAIN



CROSSING UNDER WATER MAIN



CROSSING OVER WATER MAIN



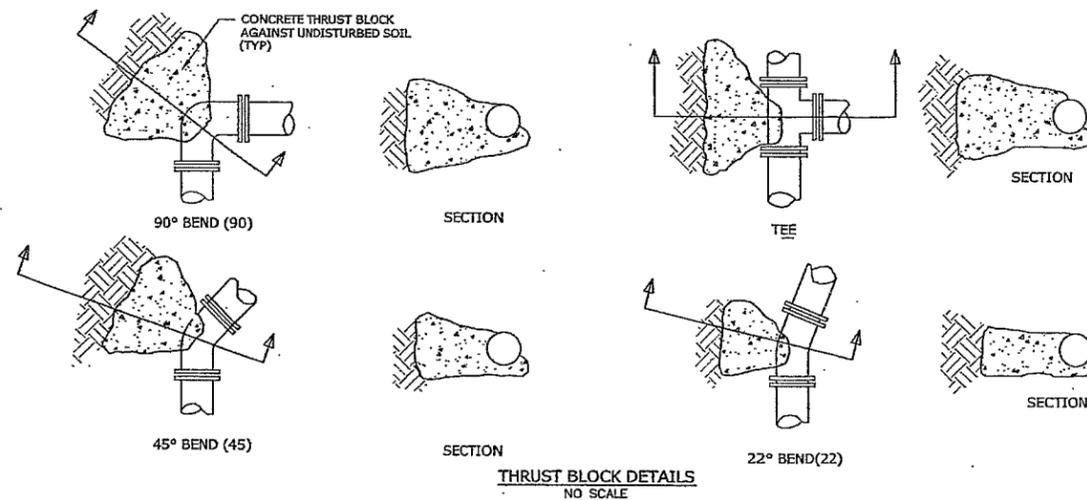
CROSSING WATER MAIN

- IF THE SANITARY SEWER CROSSES LESS THAN 18" ABOVE OR UNDER THE WATER MAIN, THE SANITARY SEWER MUST BE ENCASED IN CONCRETE TO A DISTANCE OF 10 FEET (10') ON BOTH SIDES OF THE WATER MAIN OR BE APPROVED TIGHT JOINTED PIPE AS PER THE STATE OF CONNECTICUT D.O.H.S

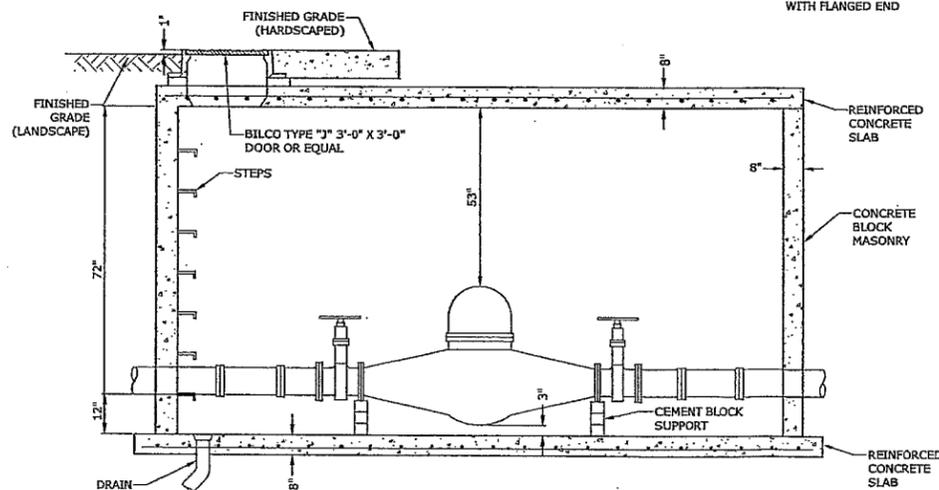
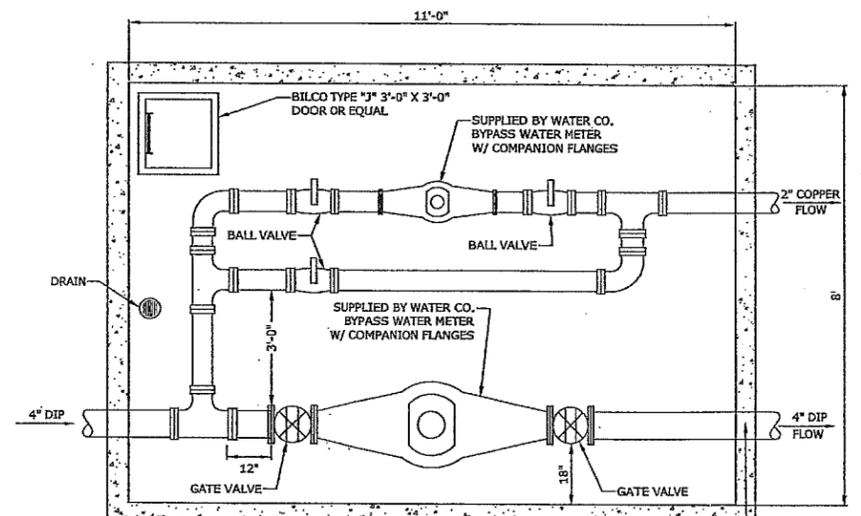
PARALLEL TO WATER MAIN

- IF THE SANITARY SEWER IS WITHIN 10 HORIZONTAL FEET (10') OF THE WATER MAIN AND EITHER ABOVE THE WATER MAIN INVERT OR LESS THAN 18 INCHES (18") UNDER THE WATER MAIN, THE SANITARY SEWER MUST BE ENCASED IN CONCRETE OR BE APPROVED TIGHT JOINTED PIPE AS PER THE STATE OR CONNECTICUT D.O.H.S

SEWER PIPE CROSSING DETAIL
NO SCALE



THRUST BLOCK DETAILS
NO SCALE



NOTES:

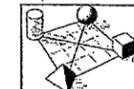
- VAULT AND PIPING TO MEET ALL SNEW DETAILS AND SPECIFICATIONS.
- VAULT TO BE DESIGNED FOR HS-20 LOADING.

WATER METER VAULT
NO SCALE

Hanford Place Building A

Norwalk, CT

Trinity Washington Village Limited Partnership & the Norwalk Housing Authority



ICON
Architecture
38 Chauncy Street
Boston, MA 02111
617-451-3333
www.iconarch.com

CONSULTANT

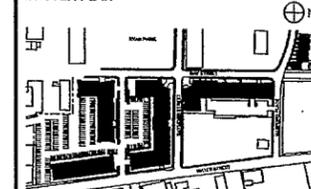


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MASTER PLAN



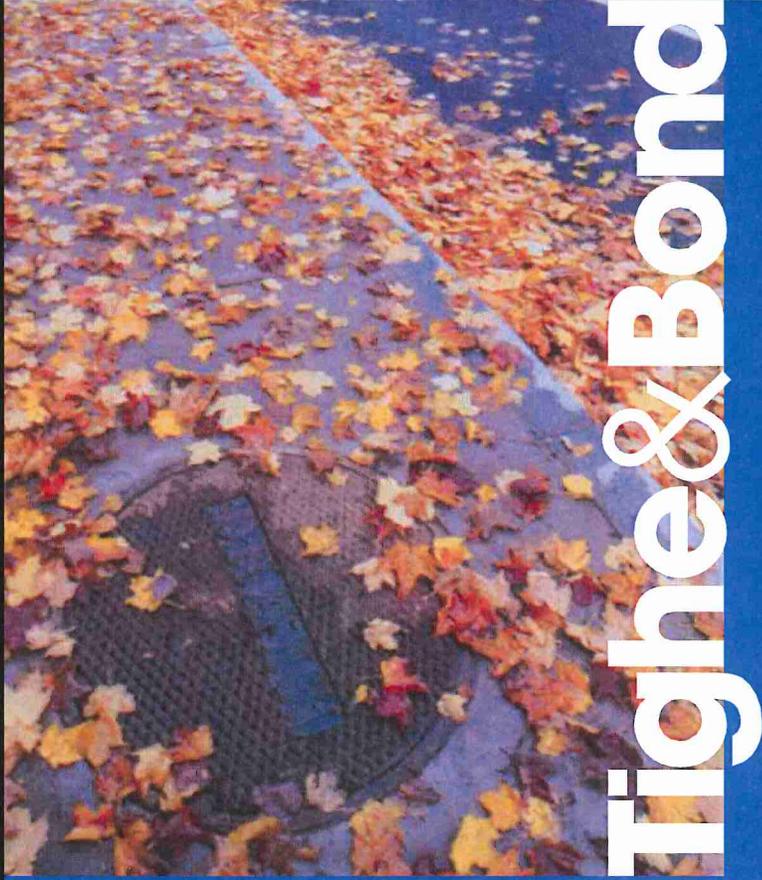
MARK	DATE	DESCRIPTION
3	11-22-2013	ZONING REVISION
2	10-25-2013	ZONING REVISION
1	9-19-2013	SPECIAL PERMIT/CAM SUBMISSION

PROJECT NO.: 10071
DRAWN BY: MDS
CHECKED BY: EWL

SHEET TITLE

WATER SERVICE DETAILS

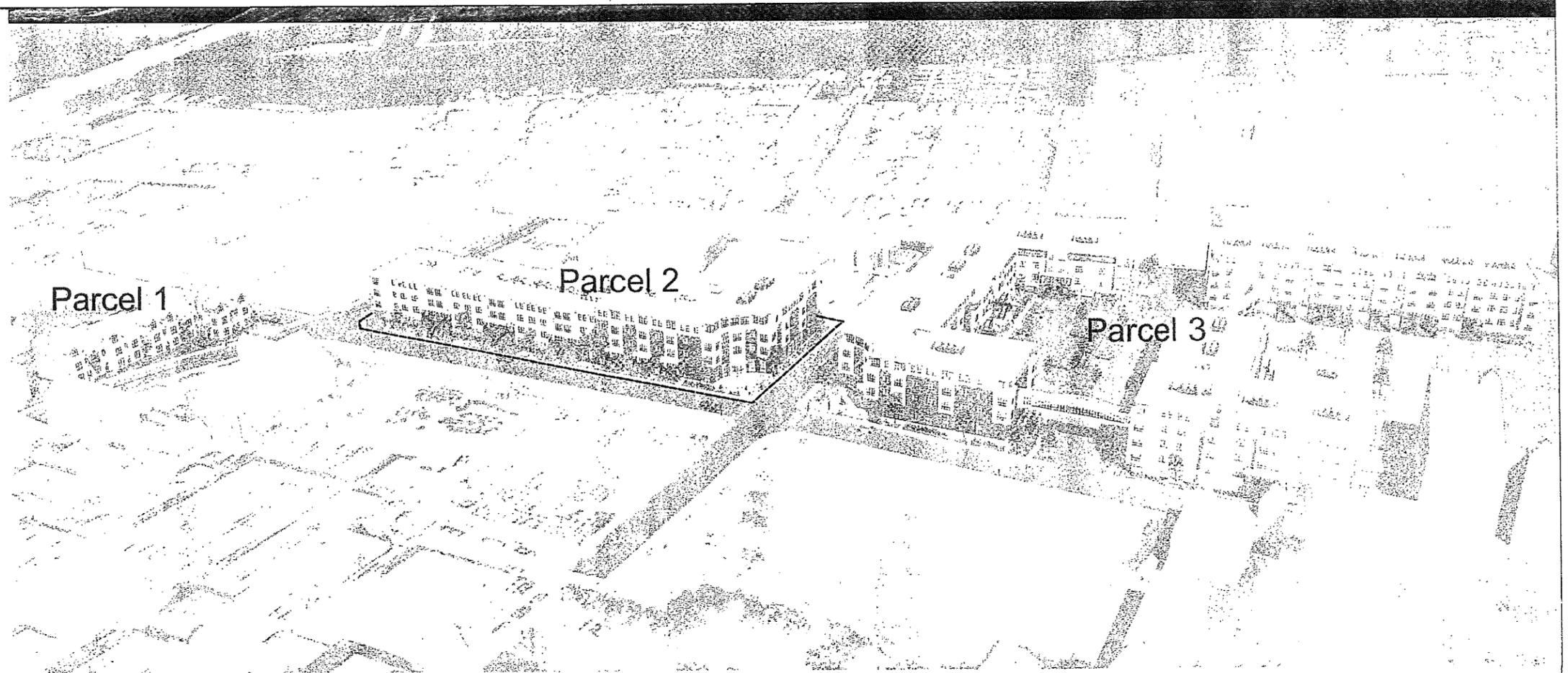
C4.5



Tighte & Bond

APPENDIX B

SITE



PROJECT TEAM:

OWNER/DEVELOPER:
TRINITY WASHINGTON VILLAGE LIMITED
PARTNERSHIP
75 FEDERAL STREET, 4TH FLOOR, BOSTON, MA,
02115
(617) 720-8400

&
THE NORWALK HOUSING AUTHORITY
24 1/2 MONROE STREET, NORWALK, CT, 06854
(203) 838-8471

ARCHITECT:
ICON ARCHITECTURE, INC
38 CHAUNCY STREET, BOSTON, MA 02111
(617) 451-3333

CIVIL ENGINEER:
TIGHE & BOND
100 BRIDGEPORT AVENUE SUITE 320
SHELTON, CT, 06484
(203) 712-1100

**MECHANICAL / FIRE PROTECTION, ELECTRICAL /
TEL/DATA ENGINEER:**
CENTEK ENGINEERING, INC
63-2 NORTH BRANFORD ROAD, BRANFORD, CT
06405
(203) 488-0580

STRUCTURAL ENGINEER:
GNCB CONSULTING ENGINEERS
130 ELM STREET, OLD SAYBROOK, CT, 06475
(860) 388-1224

LANDSCAPE ARCHITECT:
ERIC RAINS LANDSCAPE ARCHITECTURE
33 NORTH WATER STREET, SOUTH NORWALK,
CT, 06854
(203) 853-7600

SURVEY ENGINEER:
WILLIAM SEYMOUR & ASSOCIATES, PC
170 NOROTON AVENUE, DARIEN, CT, 06820
(203) 655-3331

Parcel 2: 20 Day Street Washington Village Redevelopment Building B

South Norwalk, CT

CIVIL DRAWINGS

Zoning Submission 2013-9-19

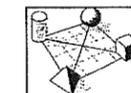
Revision 2013-11-22

John A. Bond
11/22/13

Day Street Building B

Norwalk, CT

Trinity Washington Village
Limited Partnership &
the Norwalk Housing Authority



ICON
ARCHITECTURE
38 Chauncy Street
Boston, MA 02111
617-451-3333
www.iconarch.com

CONSULTANT



Tighe & Bond
www.tighebond.com
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Suite 320
Shelton, CT 06484
(203) 712-1100

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MASTER PLAN



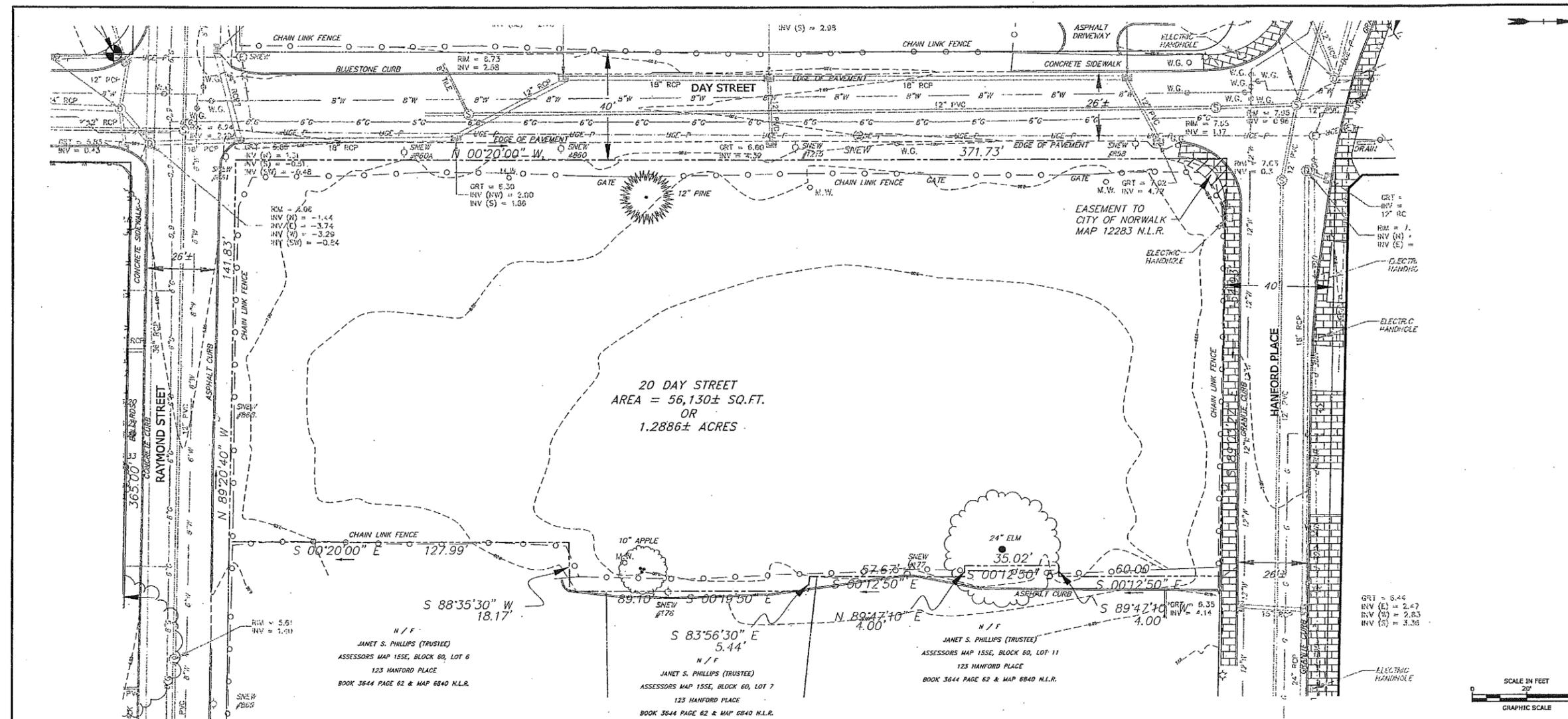
MARK	DATE	DESCRIPTION
1	5-15-2014	REVISED PER CTDEEP COMMENTS

PROJECT NO.: I0071
DRAWN BY: APW
CHECKED BY: EWL

SHEET TITLE

**EXISTING
CONDITIONS PLAN**

C0.1



May 09, 2014 2:25pm Plotted By: apw
 Tighe & Bond, Inc. 310 Water Street, Norwalk, Connecticut 06854
 Project: Trinity Washington Village/Day Street Building B/EC-C0.1.dwg

Day Street Building B

Norwalk, CT

Trinity Washington Village
Limited Partnership &
the Norwalk Housing Authority



CONSULTANT

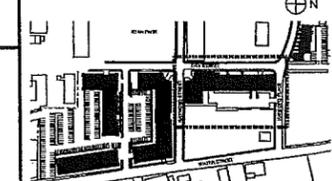


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MASTER PLAN



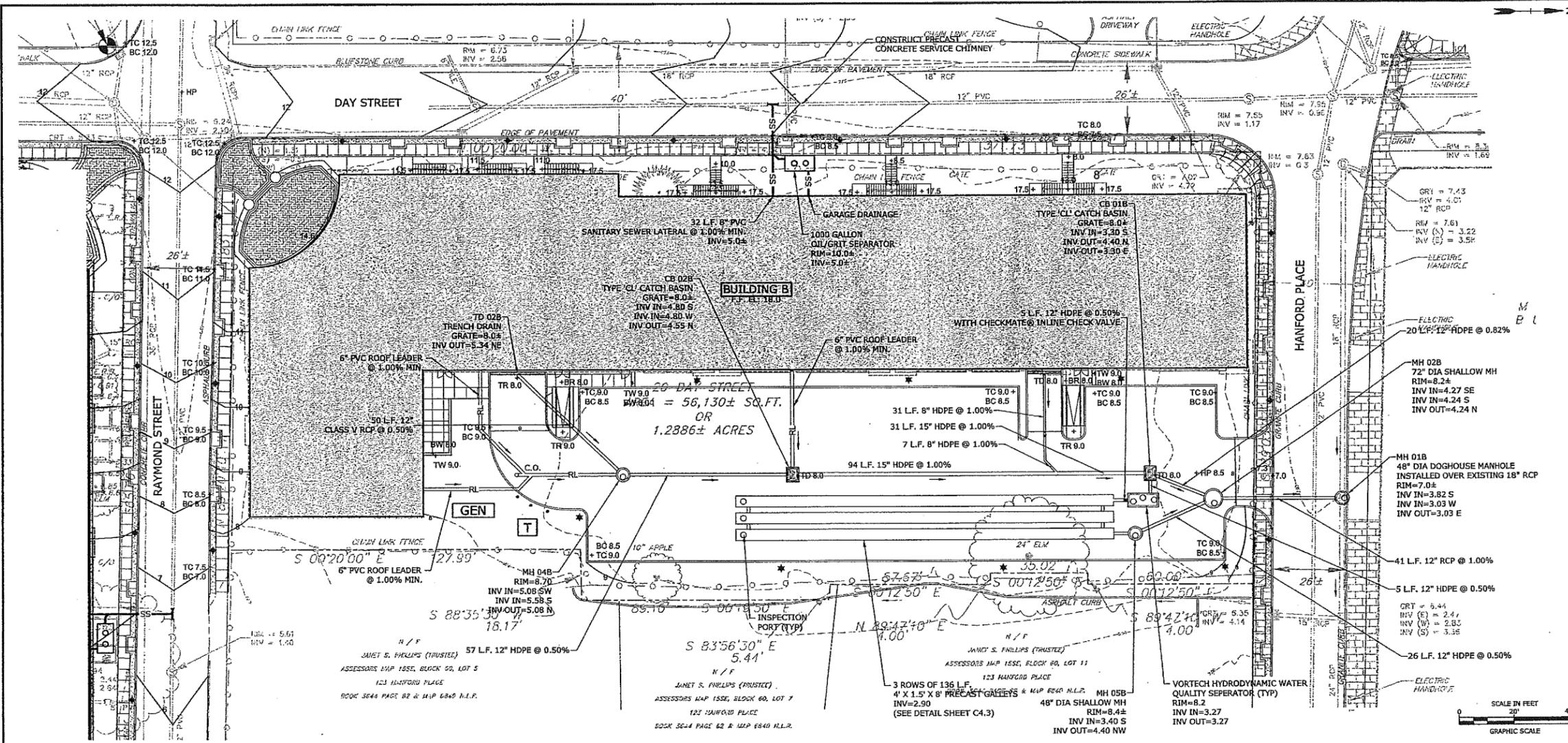
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1	9-19-2013	SPECIAL PERMIT/CAM SUBMISSION

PROJECT NO.: 10071
DRAWN BY: APW
CHECKED BY: EWL

SHEET TITLE

SITE STORM AND SANITARY SEWER PLAN

C1.1



- ### SITE STORM AND SANITARY SEWER PLAN NOTES
- UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND OTHER DATA SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES, GOVERNMENTAL AGENCIES AND/OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH DATA MAY EXIST ON SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO TIGHE & BOND. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION @ CALL-BEFORE-YOU-DIG 1-800-922-4455.
 - REFERENCE IS MADE TO PLAN ENTITLED "PROPERTY, TOPOGRAPHIC & ALTA/ACSM LAND TITLE SURVEY" PREPARED FOR TRINITY WASHINGTON VILLAGE LIMITED PARTNERSHIP AND THE NORWALK HOUSING AUTHORITY, PREPARED BY WILLIAM W. SEYMOUR & ASSOCIATES P.C., DATED SEPTEMBER 4, 2013.
 - THE CONTRACTOR SHALL OBTAIN A CITY OF NORWALK EXCAVATION PERMIT PRIOR TO ANY WORK BEING PERFORMED WITHIN CITY RIGHT-OF-WAY.
 - ANY AND ALL WORK PERFORMED ON THE CITY OF NORWALK RIGHT-OF-WAY SHALL BE REQUIRED TO MEET THE CITY STANDARDS.
 - THE GENERAL CONTRACTOR SHALL PROVIDE FIELD ENGINEERING SERVICES TO ESTABLISH AND RECORD GRADES, LINES, AND ELEVATIONS.
 - THE CONTRACTOR SHALL ADJUST THE TOP OF FRAME/GRATE ELEVATIONS OF ALL EXISTING AND PROPOSED SANITARY/STORM/WATER MANHOLES, CATCH BASINS, AREA DRAINS, VALVE COVERS AND APPURTENANCES, WITHIN THE PROJECT LIMIT LINE TO MEET THE PROPOSED GRADES.
 - THE CONTRACTOR SHALL COORDINATE/VERIFY THE EXACT SIZES, LOCATIONS, ELEVATIONS, OF ALL PROPOSED BUILDING'S UTILITY SERVICES WITH THE PROJECT MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS PRIOR TO ANY CONSTRUCTION OPERATIONS.
 - EXCAVATION OF ANY TYPE SHALL BE ACCOMPLISHED IN SUCH A MANNER THAT UNDERGROUND UTILITIES OR STRUCTURES ARE NOT DAMAGED. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY FOR ANY DAMAGED INCURRED DURING EXCAVATION OPERATIONS. ALL EXCAVATION SHALL BE IN CONFORMANCE WITH THE LATEST OSHA REQUIREMENTS.
 - THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THE WORK DONE BY THE RESPECTIVE UTILITY COMPANIES.
 - ANY AREAS DISTURBED BY CONSTRUCTION ACTIVITIES AND IS NOT PROVIDED WITH A SPECIFIC SITE IMPROVEMENT (PAVING, SIDEWALK, LANDSCAPING, ETC.) SHALL HAVE 4" TOPSOIL AND TURF ESTABLISHMENT IN ACCORDANCE WITH THE PROJECT LANDSCAPE SPECIFICATIONS.
 - THE LOCATIONS OF ITEMS NOT DIMENSIONED ON THE DRAWINGS SHALL BE FIELD STAKED BY THE CONTRACTOR AND THEIR LOCATIONS APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
 - INSTALL CLEANOUT TO GRADE 5' OFF FACE OF BUILDING ON ALL SANITARY LATERALS.
 - THE MANHOLE FRAME AND COVER SHALL BE CENTERED ON THE PRECAST OPENING. UNDER NO CIRCUMSTANCES WILL AN OFFSET FRAME AND COVER BE ACCEPTABLE. PRIOR TO FINAL PAVING, THE CONTRACTOR SHALL CHECK ALL MANHOLE STRUCTURES TO ASSURE THE FRAME AND COVER IS CENTERED ON THE PRECAST OPENING. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL WORK REQUIRED TO CENTER FRAME AND COVER.

- INSTALL "FERNCO" STYLE FLEXIBLE COUPLINGS AT ALL LOCATIONS WHERE JOINING PIPES OF DIFFERENT MATERIALS AND/OR SIZES PER MANUFACTURER'S RECOMMENDATIONS.
- ALL PIPES AND FITTINGS SPECIFIED AS HDPE SHALL BE ADS N-12 WT (WATERTIGHT) PIPE AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS, HILLIARD, OHIO.
- THE CONTRACTOR SHALL MAINTAIN EXISTING STORM SEWER FLOWS BY PUMPING OR OTHER MEANS APPROVED BY THE OWNER'S REPRESENTATIVE DURING CONSTRUCTION OF THE PROPOSED STORM SEWER IN LOCATIONS WHERE STORM SEWER ARE BEING INSTALLED, REPLACED OR RELOCATED.
- THE CONTRACTOR SHALL MAINTAIN SANITARY SEWER FLOWS BY PUMPING OR OTHER MEANS APPROVED BY THE OWNER'S REPRESENTATIVE DURING CONSTRUCTION OF THE PROPOSED SANITARY SEWER IN LOCATIONS WHERE SEWERS ARE BEING INSTALLED, REPLACED OR RELOCATED.
- VERTICAL DATUM: NAVD8S.

SITE STORM AND SANITARY SEWER PLAN LEGEND

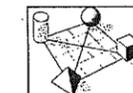
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MAJOR CONTOUR	---120---	---120---
SPOT ELEVATION	+ 25.6	+ 120.12
EDGE OF PAVEMENT	---	---
CURB LINE	---	---
CONCRETE WALK	---	---
BUILDING	---	---
TEST PIT	---	TP
STORM SEWER	---	---
STORM MANHOLE	---	---
CATCH BASIN	---	---
SANITARY SEWER	---	---
SANITARY LATERAL	---	---
SANITARY MANHOLE	---	---
ROOF LEADER	---	---
LIGHT POLE	---	---

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Day Street Building B

Norwalk, CT

Trinity Washington Village Limited Partnership & the Norwalk Housing Authority



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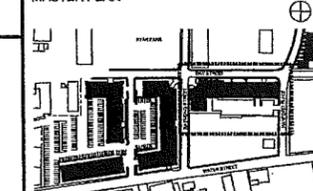
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MASTER PLAN



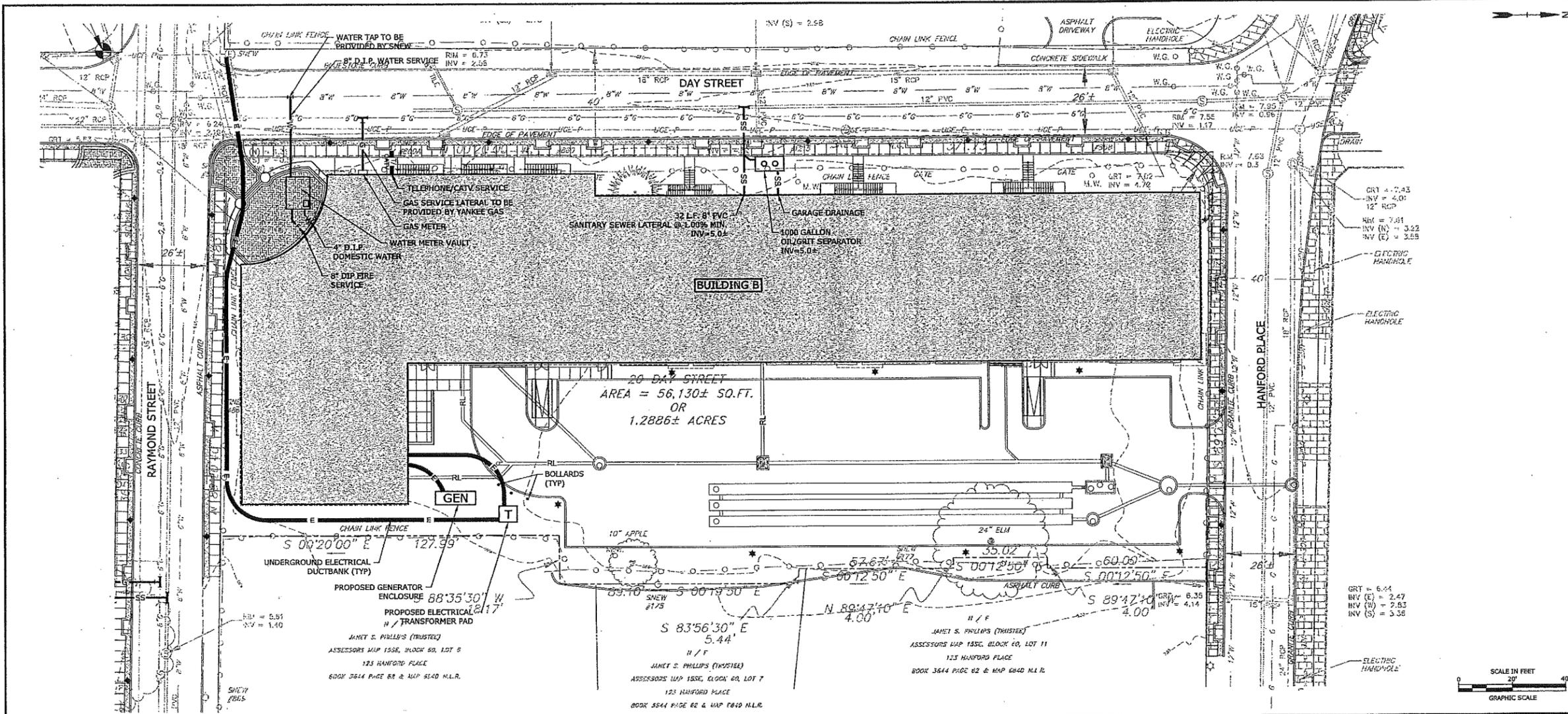
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3	11-23-2013	ZONING REVISION
2	10-25-2013	ZONING REVISION
1	9-19-2013	SPECIAL PERMIT/CAM SUBMISSION

PROJECT NO.: 10071
DRAWN BY: APW
CHECKED BY: EWL

SHEET TITLE

SITE UTILITY PLAN

C2.1



SITE UTILITY NOTES

- UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND OTHER DATA SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES, GOVERNMENTAL AGENCIES AND/OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH DATA MAY EXIST ON SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO TIGHE & BOND. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION @ CALL-BEFORE-YOU-DIG 1-800-922-4455.
- REFERENCE IS MADE TO PLAN ENTITLED "PROPERTY, TOPOGRAPHIC & ALTA/ACSM LAND TITLE SURVEY" PREPARED FOR TRINITY WASHINGTON VILLAGE LIMITED PARTNERSHIP AND THE NORWALK HOUSING AUTHORITY, PREPARED BY WILLIAM W. SEYMOUR & ASSOCIATES P.C., DATED SEPTEMBER 4, 2013.
- THE CONTRACTOR SHALL ADJUST THE TOP OF FRAME/GRATE ELEVATIONS OF ALL EXISTING AND PROPOSED WATER MANHOLES, WATER GATES, GAS GATES, VALVE COVERS AND APPURTENANCES, WITHIN THE PROJECT LIMIT LINE TO MEET THE PROPOSED GRADES.
- THE CONTRACTOR SHALL COORDINATE/VERIFY THE EXACT SIZES, LOCATIONS, ELEVATIONS, OF ALL PROPOSED BUILDING'S UTILITY SERVICES WITH THE PROJECT MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS PRIOR TO ANY CONSTRUCTION OPERATIONS.
- THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THE WORK DONE BY THE RESPECTIVE UTILITY COMPANIES.
- FOR INFORMATION ON THE PRIMARY ELECTRICAL WIRING AND THE SECONDARY ELECTRICAL CONDUITS, WIRING, AND MATERIALS - SEE PROJECT ELECTRICAL DRAWINGS.
- WATER AND FIRE PROTECTION SERVICES AND HYDRANT ASSEMBLY SHALL CONFORM TO THE REQUIREMENTS OF SOUTH NORWALK ELECTRIC AND WATER. CONTRACTOR SHALL COORDINATE ALL WATER MAIN TAPS WITH SOUTH NORWALK ELECTRIC AND WATER.
- TRANSFORMERS AND GENERATORS SHALL BE CONSTRUCTED ABOVE THE BASE FLOOD ELEVATION AND FLOOD PROOFED WITH A PASSIVE SYSTEM.
- VERTICAL DATUM: NAVD88.

SITE UTILITY PLAN LEGEND

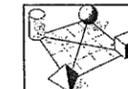
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MAJOR CONTOUR	---120---	---120---
EDGE OF PAVEMENT	=====	=====
CURB LINE	=====	=====
RETAINING WALL	=====	=====
CONCRETE WALK	=====	=====
BUILDING	[Hatched Box]	[Hatched Box]
TEST PIT		TP
WATER MAIN	8" W	W
WATER GATE	W.G.	WG
HYDRANT	Hydrant Symbol	Hydrant Symbol
GAS MAIN	8" G	G
GAS GATE	G.G.	GG
GAS METER	G.M.	G.M.
TEL-DATA - BURIED		T/CATV
TEL-DATA MANHOLE	Ⓧ	Ⓧ
ELECTRICAL - BURIED	---	---
ELECTRICAL MANHOLE	Ⓧ	Ⓧ
ELECTRICAL HANDHOLE	Ⓧ	Ⓧ
LIGHT POLE / UTILITY POLE	Ⓧ	Ⓧ
STORM SEWER	---	---
STORM MANHOLE	Ⓧ	Ⓧ
CATCH BASIN	Ⓧ	Ⓧ

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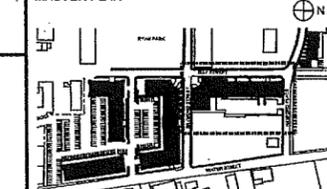


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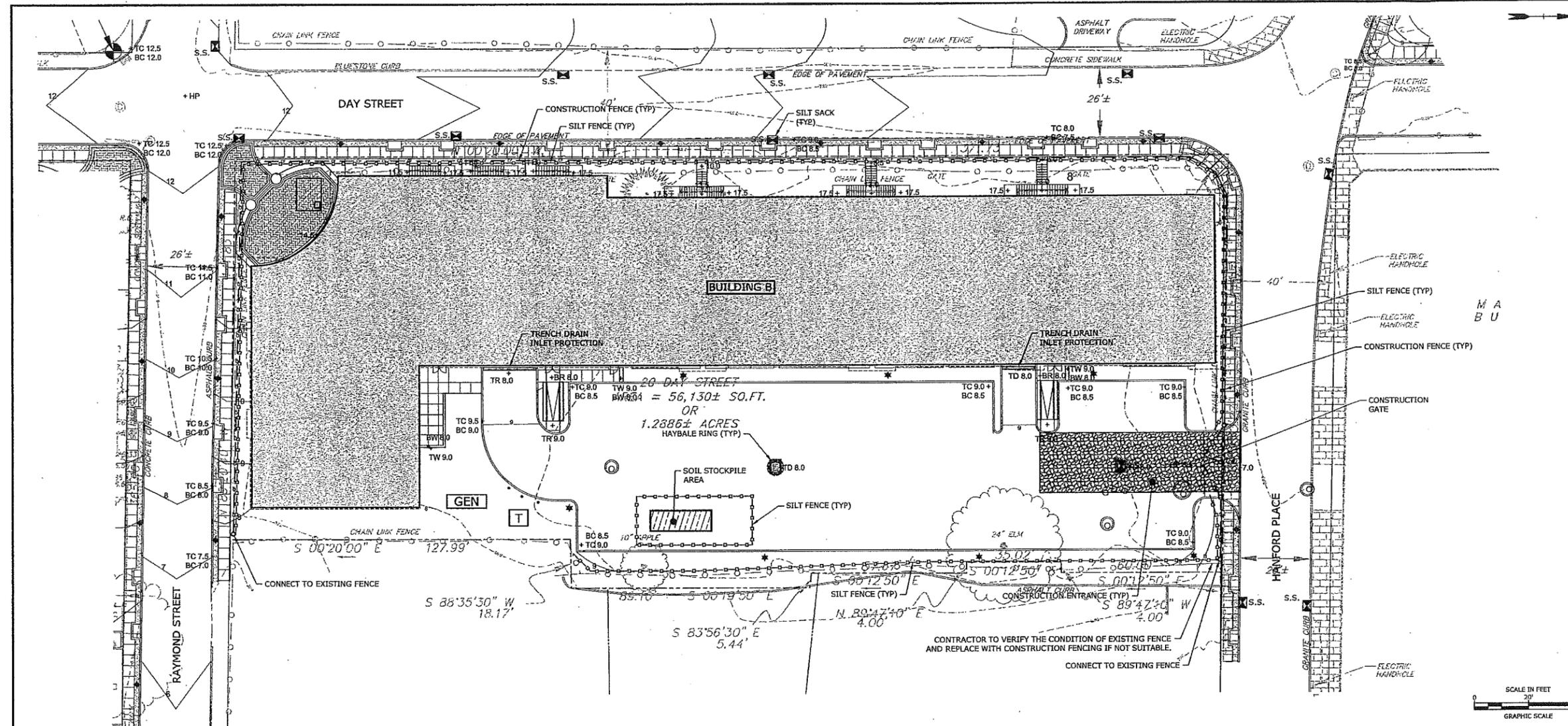
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2	10-25-2013	ZONING REVISION
1	9-19-2013	SPECIAL PERMIT/CAM SUBMISSION

PROJECT NO.: I0071
DRAWN BY: APW
CHECKED BY: EWL

SHEET TITLE

SITE SOIL
EROSION AND
SEDIMENT
CONTROL PLAN

C3.1

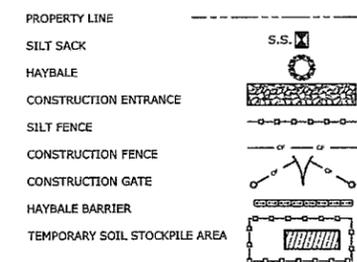


SITE SOIL EROSION AND SEDIMENT CONTROL PLAN NOTES

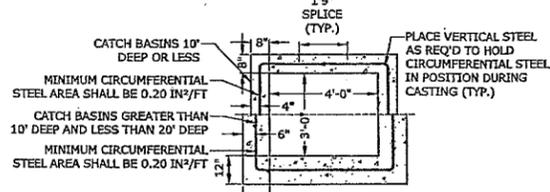
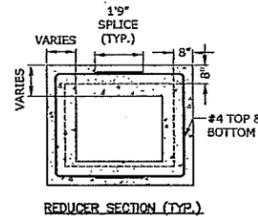
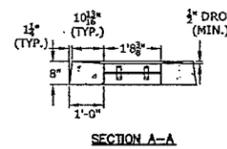
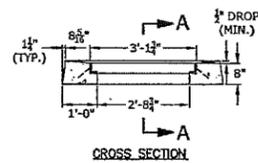
- REFERENCE IS MADE TO PLAN ENTITLED "PROPERTY, TOPOGRAPHIC & ALTA/ACSM LAND TITLE SURVEY" PREPARED FOR TRINITY WASHINGTON VILLAGE LIMITED PARTNERSHIP AND THE NORWALK HOUSING AUTHORITY, PREPARED BY WILLIAM W. SEYMOUR & ASSOCIATES P.C., DATED SEPTEMBER 4, 2013.
- CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" (1-800-922-4455) AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION OPERATION.
- UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND OTHER DATA SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES, GOVERNMENTAL AGENCIES AND/OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH DATA MAY EXIST ON SITE, THE EXISTENCE OF WHICH IS UNKNOWN TO TIGHE & BOND. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION @ CALL-BEFORE-YOU-DIG 1-800-922-4455.
- ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" DEEP BULLETIN NO 34, AND ALL AMENDMENTS AND ADDENDA THERETO AS PUBLISHED BY THE CONNECTICUT DEPARTMENT OF ENERGY AND ENVIRONMENTAL PROTECTION.
- LAND DISTURBANCE SHALL BE KEPT TO THE MINIMUM NECESSARY FOR CONSTRUCTION.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND ELSEWHERE AS ORDERED BY THE OWNER'S REPRESENTATIVE, OR THE CITY OF NORWALK.
- ALL CATCH BASINS SHALL BE PROTECTED WITH SILT SACKS, HAYBALE RING, SILT FENCE OR BLOCK AND STONE INLET PROTECTION THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
- WHEREVER POSSIBLE, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
- ADDITIONAL CONTROL MEASURES SHALL BE INSTALLED DURING CONSTRUCTION PERIOD AS ORDERED BY THE OWNER'S REPRESENTATIVE, OR THE CITY OF NORWALK.
- ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
- SEDIMENT REMOVED SHALL BE DISPOSED OF LEGALLY OFFSITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD.
- THE CONTRACTOR SHALL MAINTAIN A SUPPLY OF SILT FENCE/HAYBALES AND ANTI-TRACKING CRUSHED STONE ON-SITE FOR EMERGENCY REPAIRS.
- THE CONTRACTOR SHALL UTILIZE APPROVED METHODS/MATERIALS FOR PREVENTING THE BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES ONTO ADJACENT PROPERTIES AND SITE AREAS.

- ALL DRAINAGE STRUCTURES SHALL BE INSPECTED WEEKLY BY THE CONTRACTOR AND CLEANED TO PREVENT THE BUILD-UP OF SILT.
- KEEP ALL PAVED ROADWAYS CLEAN. SWEEP BEFORE FORECASTED STORMS OR WEEKLY AS NECESSARY.
- TREAT ALL UNPAVED SURFACES WITH 4" MINIMUM OF TOPSOIL AND SEEDING PRIOR TO FINAL STABILIZATION.
- HAYBALE BARRIERS AND SILT FENCING SHALL BE INSTALLED ALONG THE TOE OF CRITICAL CUT AND FILL SLOPES AS SHOWN ON THE PLANS AND AS DIRECTED BY THE OWNER'S REPRESENTATIVE OR THE CITY OF NORWALK.
- ALL TRUCKS LEAVING THE SITE MUST BE COVERED.
- DISTURBED SLOPES SHALL BE TREATED WITH AN EROSION CONTROL SLURRY CONSISTING OF A MIXTURE OF WOOD FIBER MULCH, PLANT SEED AND 3 GALLONS/ACRE OF SILT STOP 640 LIQUID FLOCCULENT. THE FLOCCULENT IS PROVIDED BY HYDROGRASS TECHNOLOGIES, OXFORD MASSACHUSETTS.
- ALL SEDIMENTATION AND EROSION CONTROLS SHALL BE CHECKED WEEKLY AND AFTER EACH RAINFALL EVENT. NECESSARY REPAIRS SHALL BE MADE WITHOUT DELAY.
- PRIOR TO ANY FORECASTED RAINFALL, EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED AND REPAIRED AS NECESSARY.
- AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED; EROSION CONTROLS MAY BE REMOVED ONCE AUTHORIZATION TO DO SO HAS BEEN SECURED FROM THE CITY OF NORWALK. DISTURBED AREAS SHALL BE SEEDING AND MULCHED.
- CONTRACTOR IS TO COMPLY WITH THE REQUIREMENTS OF THE SOIL EROSION AND SEDIMENTATION CONTROL PLAN.
- VERTICAL DATUM: NAVD88.
- SOIL STOCKPILE SHALL BE FLOODPROOFED TO ELEVATION 13 NAVD88. THE DETAIL SHEET, C3.2, PRESENTS ONE POTENTIAL METHOD FOR THE CONTRACTOR TO FLOODPROOF THESE STOCKPILES. CONTRACTOR MAY PROPOSE ALTERNATE MEANS OF FLOODPROOFING STOCKPILE, SUBJECT TO APPROVAL BY ENGINEER.
- HAZARDOUS MATERIALS INCLUDING, BUT NOT LIMITED TO, FUELS, MAINTENANCE FLUIDS, AND OTHER MATERIALS MUST BE STORED ABOVE THE 500 YEAR FLOODPLAIN AT THE END OF THE DAY.

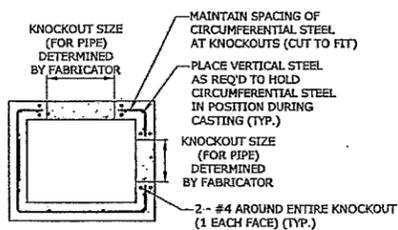
SITE SOIL EROSION AND SEDIMENTATION CONTROL PLAN LEGEND



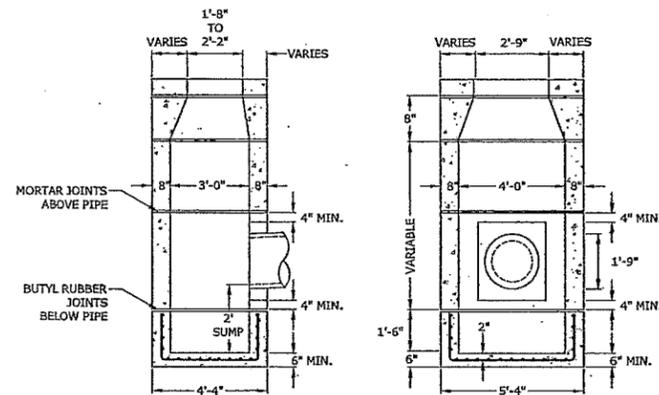
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RISER SECTION (TYP.)



TYPICAL SECTION THRU RISER WITH KNOCKOUTS



TYPE "C-L" CATCH BASIN
NO SCALE

NOTES:

1. REINFORCEMENT SHALL CONFORM TO ASTM A615, GRADE 60.
2. DETAILS ON THIS SHEET SHOW STANDARD REINFORCEMENT. WELDED WIRE FABRIC WITH AN AREA EQUAL TO OR GREATER THAN THE REINFORCING SHOWN MAY BE SUBSTITUTED.
3. ALL LAP SPICES, DEVELOPMENT LENGTHS, BENDS FOR REINFORCEMENT, AND WELDED WIRE FABRIC SHALL CONFORM TO AASHTO STANDARD SPECIFICATIONS FOR HIGHWAY BRIDGES.
4. ALL REINFORCEMENT SHALL HAVE A MINIMUM CLEAR COVER OF 2", EXCEPT FOR BENEATH BOTTOM REINFORCEMENT IN TOP SLABS, WHERE THE MINIMUM MAY BE 1 1/2"
5. MINIMUM CONCRETE COMPRESSIVE STRENGTH FC'=4,000PSI SHALL BE OBTAINED BEFORE SHIPPING.
6. BASES AND RISERS AT A DEPTH OF 20' AND GREATER SHALL BE DESIGNED BY THE CONTRACTOR AND WORKING DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW.
7. SEE STANDARD DRAWING 507-K FOR CATCH BASIN FRAMES AND GRATES.
8. FOR DOT MAINTENANCE PERSONNEL, RISERS MAY BE PREFABRICATED WITH PIPE OPENINGS IN ALL FOUR WALLS. ADEQUATE REINFORCING AROUND PIPE OPENINGS TO CONFORMING TO THESE PLANS SHALL BE PROVIDED. ANY RISERS USED WHERE A PIPE OPENING IS TO REMAIN IN PLACE MUST BE FORMED UP WITH BRICK AS DIRECTED BY THE ENGINEER.
9. RISERS SHALL NEVER HAVE CORNER PIPE ENTRIES. WHERE THE ALIGNMENT OF THE PIPE WITH RESPECT TO THE CORNER OF THE CATCH BASIN CANNOT BE CHANGED, A ROUND STRUCTURE CONFORMING TO ASTM C478 SHALL BE USED. REINFORCING FOR THE ROUND TOP SLAB WITH A RECTANGULAR OPENING SHALL CONFORM TO DETAILS SHOWN HERE.
10. ALL PIPE OPENINGS SHALL BE CLOSED USING MATERIALS WHICH CONFORM TO STATE OF CONNECTICUT STANDARD SPECIFICATIONS SECTION M.08.02. IF THE ENGINEER DETERMINES THAT THE CLOSURE OF ANY PIPE OPENING IS UNSATISFACTORY, THE CONTRACTOR SHALL RECLOSE SAID OPENING AT NO ADDITIONAL COST TO THE STATE. KNOCKOUTS FOR PIPE OPENINGS SHALL NOT RESULT IN A REDUCED WALL THICKNESS.
11. THE LATEST STATE OF CONNECTICUT STANDARD SPECIFICATIONS AND SUPPLEMENTALS SHALL GOVERN.
12. FOR ADDITIONAL DETAILS, SEE OTHER CATCH BASIN SHEETS.
13. WALL THICKNESS OF ALL CB'S OVER 10' DEEP SHALL BE INCREASED TO 12" THICK. INSIDE DIMENSION SHALL REMAIN THE SAME. (THE 12" THICKNESS SHALL START AFTER THE FIRST 10')
14. BUTYL RUBBER JOINT SEAL SHALL CONFORM TO AASHTO M-198 AND MORTAR SHALL CONFORM TO THE LATEST STATE OF CONNECTICUT STANDARD SPECIFICATIONS MATERIAL SECTION M11.04.
15. SHRINKAGE AND TEMPERATURE REINFORCEMENT SHALL BE PROVIDED IN THE TOPS OF SLABS. THE TOTAL AREA OF REINFORCEMENT PROVIDED SHALL BE AT LEAST 0.125 IN²/FT IN EACH DIRECTION. THE MAXIMUM SPACING OF THIS REINFORCEMENT SHALL NOT EXCEED 18 INCHES.
16. THE DETAILS SHOWN IN THE PLAN VIEW FOR THE PRECAST CONCRETE ROUND STRUCTURES SHALL ALSO BE USED FOR CONVERTING MANHOLES TO CATCH BASINS.
17. ANY CATCH BASINS CONSTRUCTED, MODIFIED OR DISTURBED IN ANY FASHION SHALL HAVE "NO DUMPING" CURB MARKER APPLIED TO CATCH BASIN TOP OR CURB NEXT TO GRATE USING ADHESIVE PROVIDED BY THE CITY FOLLOWING INSTALLATION DIRECTIONS PROVIDED BY THE MANUFACTURER.

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Norwalk, CT

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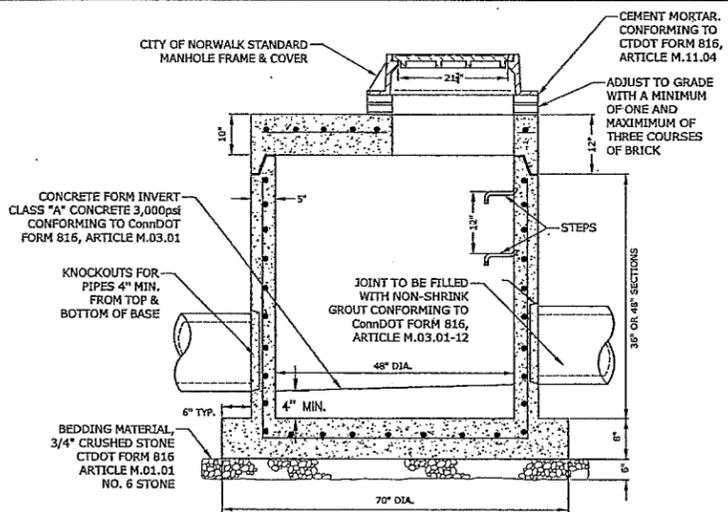
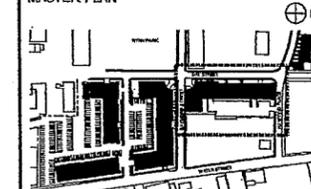


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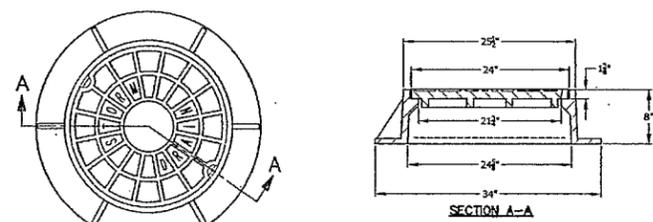
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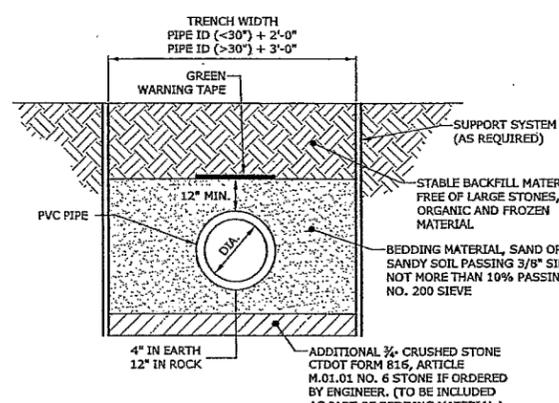
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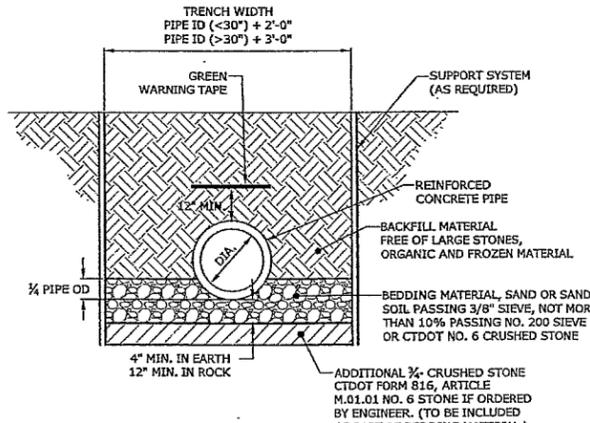
48" DIA. SHALLOW MANHOLE
NO SCALE



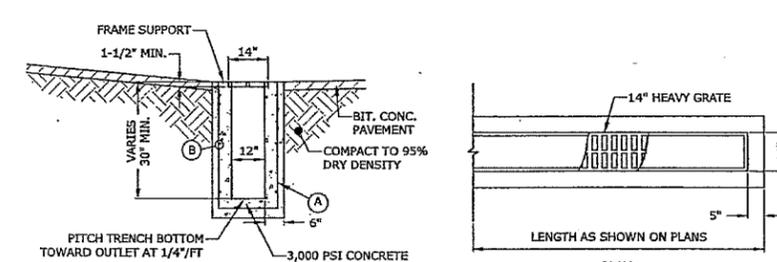
CITY OF NORWALK
MANHOLE FRAME AND COVER
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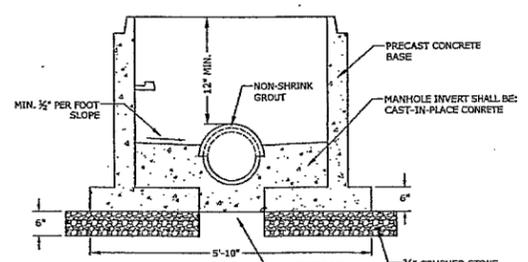
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NO SCALE



CIRCULAR R.C.P. TRENCH BEDDING
NO SCALE



TRENCH DRAIN
NO SCALE



STORM DRAINAGE
DOGHOUSE MANHOLE BASE
NO SCALE

MARK	DATE	DESCRIPTION
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2	10-25-2013	ZONING REVISION
1	9-19-2013	SPECIAL PERMIT/CAM SUBMISSION

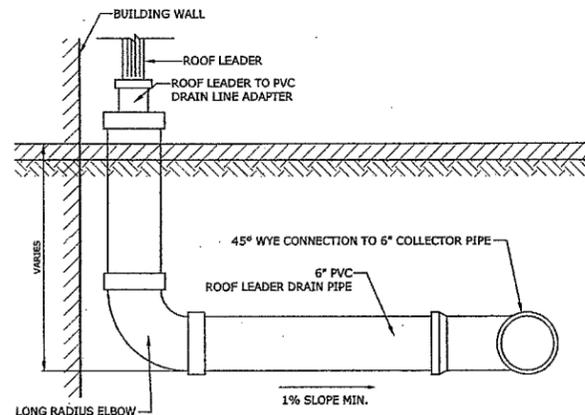
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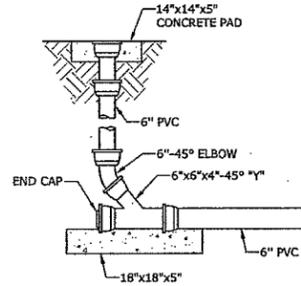
STORM DRAINAGE DETAILS

C4.1

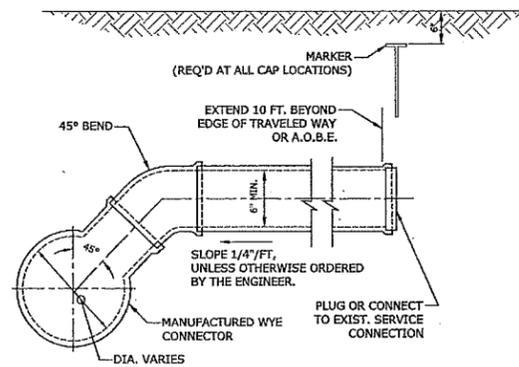
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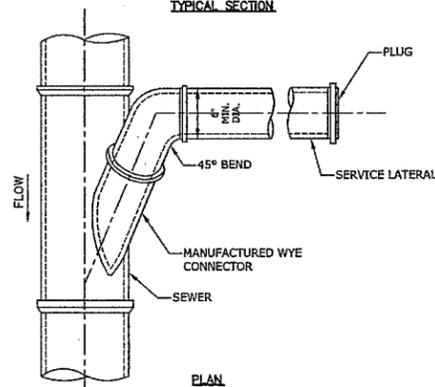
ROOF LEADER DRAIN LINE
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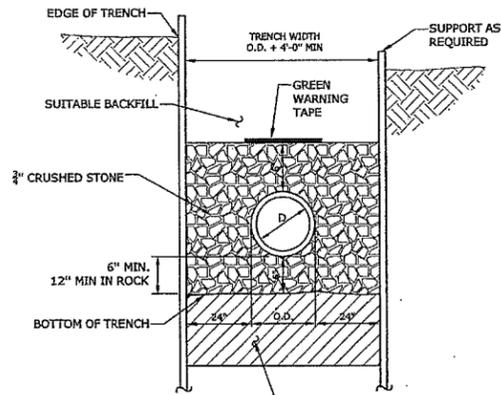
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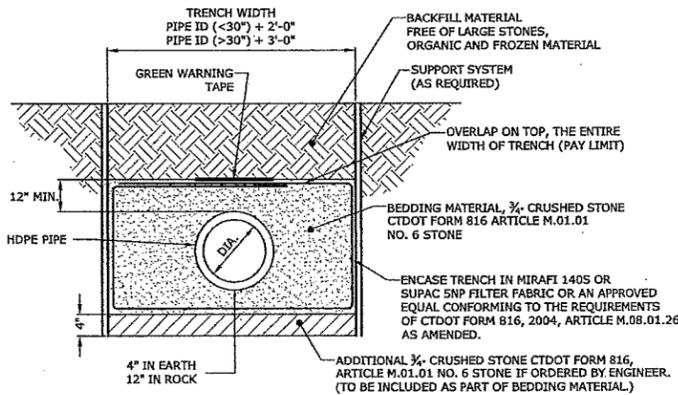
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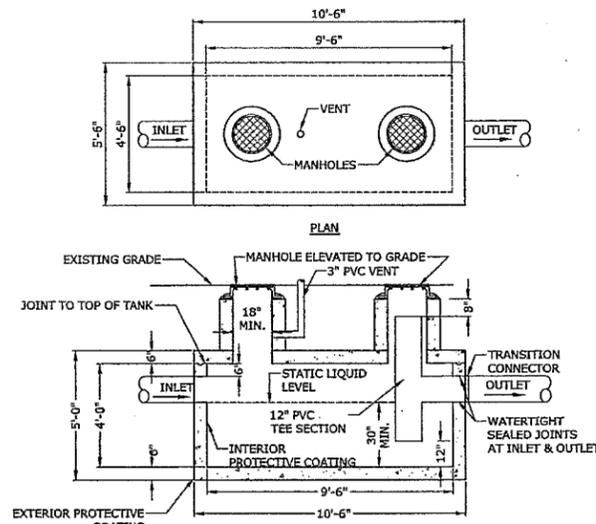
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TYPICAL SANITARY SEWER TRENCH SECTION
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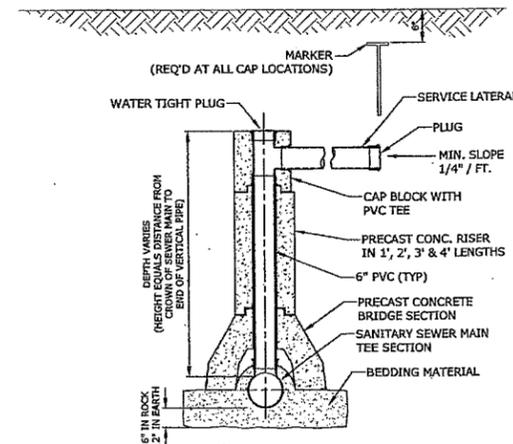


HDPE TRENCH BEDDING
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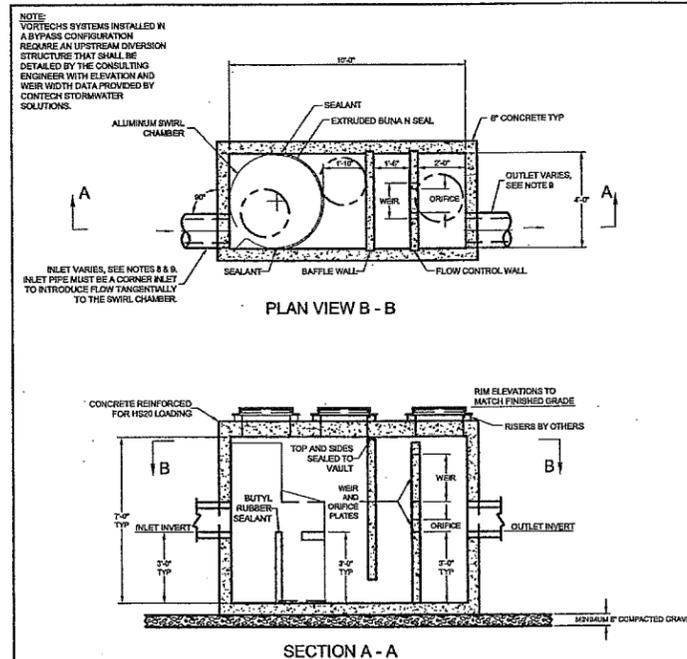


- NOTES:**
- CLEANOUT MANHOLES SHOULD BE ELEVATED TO GRADE WITH WATERTIGHT ACCESS COVERS.
 - HORIZONTAL JOINT SHALL BE ABOVE WATER LINE AT TOP OF TANK.
 - INTERIOR OF TANK SHALL BE COATED WITH AN EPOXY PETROLEUM RESISTANT SEALANT. EXTERIOR OF TANK SHALL BE COATED WITH A WATERPROOF SEALANT.
 - VOIDS BETWEEN INLET AND/OR OUTLET PIPING AND CONCRETE WALLS MUST BE FILLED WITH AN APPROVED WATERTIGHT, NON-SHRINKABLE GROUT MATERIAL, AND COATED WITH WATER GROUT SEALANT.
 - TANK MUST BE VENTED WITH A 3" PVC VENT ATTACHED TO BUILDING WALL TO EXTEND 8'-0" ABOVE FINISHED GRADE. INSTALL MUSHROOM CAP.
 - TANK SHALL BE DESIGNED FOR H2O LOADING.

1000 GALLON OIL/GRIT SEPARATOR
NO SCALE



CHIMNEY DETAIL
NO SCALE



CONTECH STORMWATER SOLUTIONS

STANDARD DETAIL
STORMWATER TREATMENT SYSTEM
VORTECHS® MODEL 2000

DATE: 10/4/08 SCALE: NONE FILE NAME: STD0X DRAWN: JBS CHECKED: NDG

Day Street Building B

Norwalk, CT

Trinity Washington Village Limited Partnership & the Norwalk Housing Authority



CONSULTANT

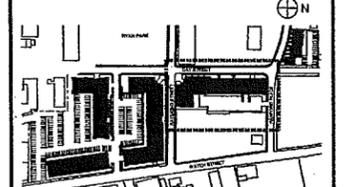


1000 Bridgeport Avenue Suite 320 Shelton, CT 06484 (203) 712-1100

STAMP



MASTER PLAN



MARK	DATE	DESCRIPTION
3	11-22-2013	ZONING REVISION
2	10-25-2013	ZONING REVISION
1	9-19-2013	SPECIAL PERMIT/CAM SUBMISSION

PROJECT NO.: 10071
DRAWN BY: MDS
CHECKED BY: EWL

SHEET TITLE

STORM AND SANITARY DETAILS

C4.2

REV 05 2014 4:15pm Plotted By: Shenonm Tighe & Bond, Inc. 21010212 Washington Village Drawings Sheet Building B (08-9-2007)-01.dwg

Day Street Building B

Norwalk, CT

Trinity Washington Village Limited Partnership & the Norwalk Housing Authority



CONSULTANT

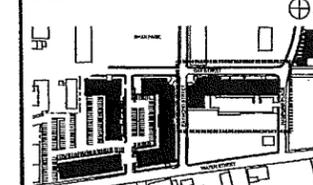


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STAMP



MASTER PLAN



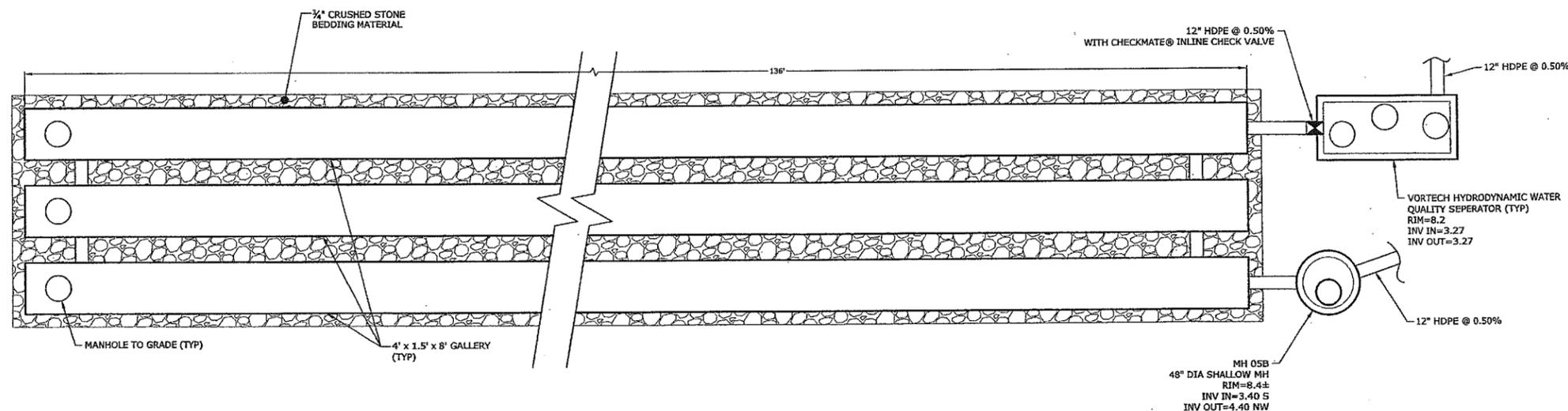
MARK	DATE	DESCRIPTION
3	11-22-2013	ZONING REVISION
2	10-25-2013	ZONING REVISION
1	9-19-2013	SPECIAL PERMIT/CAM SUBMISSION

PROJECT NO.: 10071
DRAWN BY: MDS
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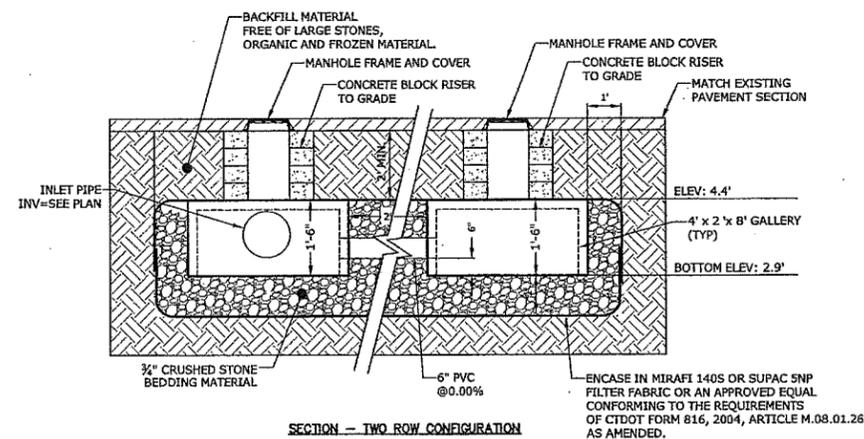
SHEET TITLE

INFILTRATION SYSTEM DETAILS

C4.3



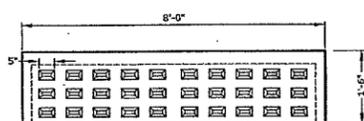
INFILTRATION SYSTEM DETAIL
SCALE: 1" = 5'



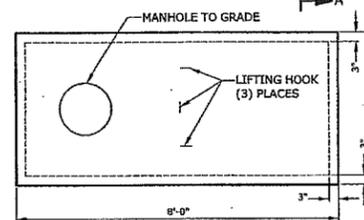
SECTION - TWO ROW CONFIGURATION

- SPECIFICATIONS:**
- GALLERY TO BE 4'x4'x8' GALLERY BY CONNECTICUT PRECAST CORP., MONROE, CONNECTICUT, OR APPROVED EQUAL.
 - CONCRETE 4000 PSI MINIMUM STRENGTH AT 28 DAYS.
 - STEEL REINFORCEMENT ASTM A-615, GRADE 60.
 - DESIGN LOADING MUST MEET AASHTO HS20-44.

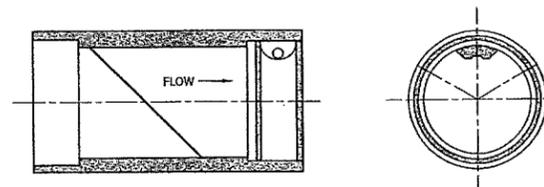
4' x 2' x 8' PRECAST GALLERY
NO SCALE



SIDE VIEW



TOP VIEW



CHECKMATE VALVE

NOMINAL PIPE SIZE I.D.*		OVERALL LENGTH*		NUMBER OF CLAMPS	CUFF DEPTH		BACK PRESSURE RATING	
Inches	Millimeters	Inches	Millimeters		Inches	Millimeters	Feet	Meters
12	300	23	584	1	2	51	40	12

CHECKMATE® IN LINE CHECK VALVE DETAIL
NO SCALE

Day Street Building B

Norwalk, CT

Trinity Washington Village
Limited Partnership &
the Norwalk Housing Authority



CONSULTANT

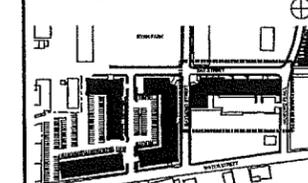


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STAMP



MASTER PLAN



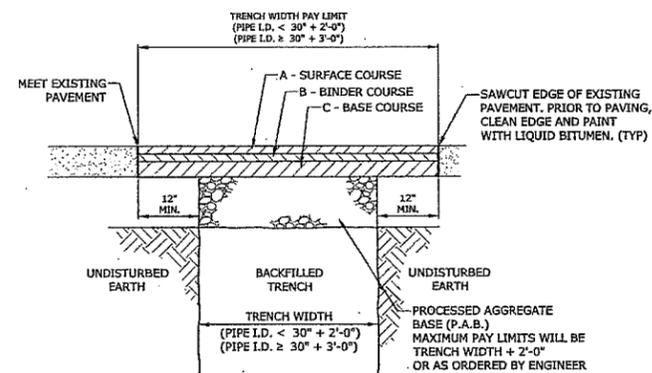
MARK	DATE	DESCRIPTION
3	11-22-2013	ZONING REVISION
2	10-25-2013	ZONING REVISION
1	9-19-2013	SPECIAL PERMIT/CAN SUBMISSION

PROJECT NO.: 10071
DRAWN BY: MDS
CHECKED BY: EWL

SHEET TITLE

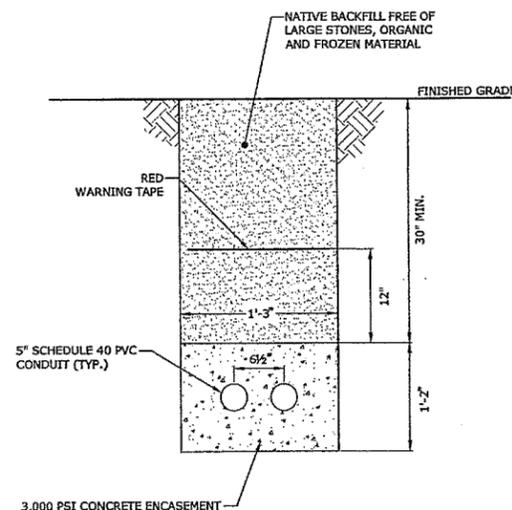
UTILITY DETAILS

C4.4

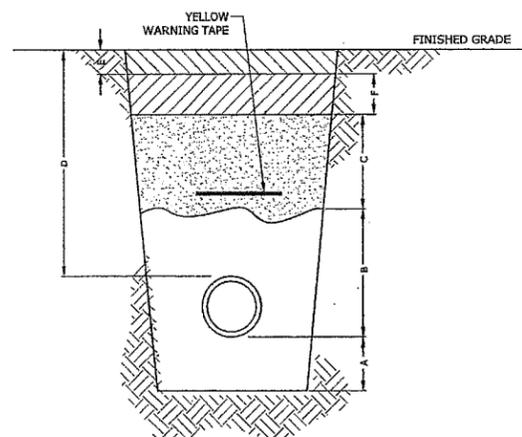


	A	B	C	D
	CL 2	CL 1	CL 4	P.A.B.
MAJOR ARTERIAL	2"	2"	6"	14"
MINOR ARTERIAL	1 1/2"	2"	3"	12"
COLLECTOR	1 1/2"	1 1/2"	3"	10"
LOCAL	1 1/2"	1 1/2"	—	8"

PAVEMENT REPAIR
(CITY OF NORWALK)
NO SCALE



ELECTRICAL
CONDUIT BANK DETAIL
NO SCALE

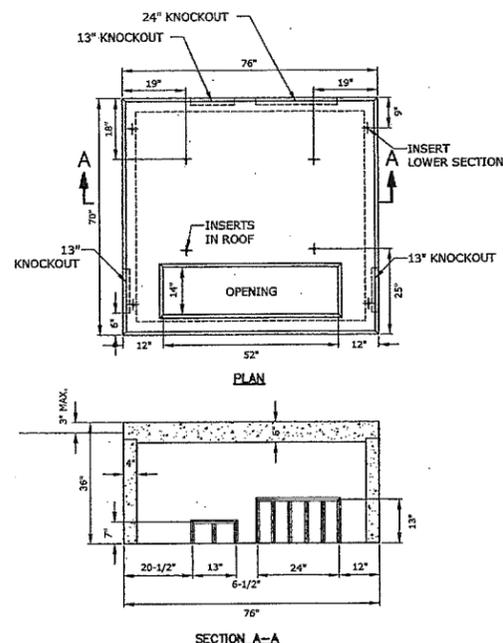


ITEM	NORMAL DEPTH	ROCK
A - SAND PADDING	4"	6"
B - SAND PADDING AS BACKFILL	6" OVER PIPE AS REQUIRED	6" OVER PIPE AS REQUIRED
C - REPLACEMENT FILL / SUITABLE BACKFILL	30"	24"
D - COVER	AS REQUIRED	AS REQUIRED
E - ROAD REPAIR	AS REQUIRED	AS REQUIRED
F - PROCESSED AGGREGATE	AS REQUIRED	AS REQUIRED

*MAY BE LESS DUE TO CONDITIONS (SEE NOTE)

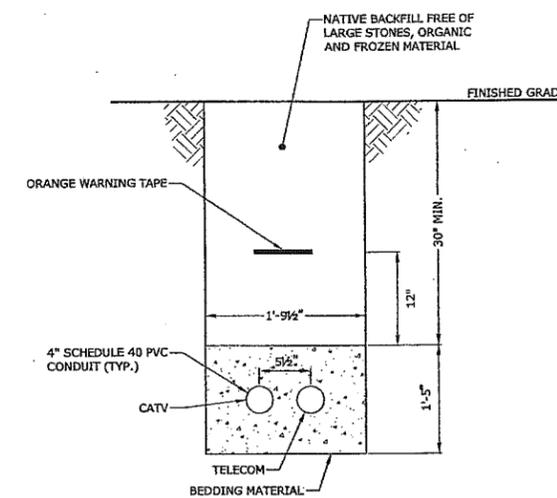
- NOTES:
- EACH BURIED MAIN SHOULD BE INSTALLED WITH 36" COVER TO INSURE ADEQUATE COVER FOR SERVICE TEES, VALVES, AND OTHER FITTINGS THAT MAY BE ADDED AT A FUTURE DATE.
 - ADDITIONAL COVER SHOULD BE PROVIDED WHERE THE POTENTIAL FOR DAMAGE BY OUTSIDE FORCES IS GREATER THAN NORMAL. CONSIDERATION SHOULD BE GIVEN TO THE FOLLOWING:
 - A. DRAINAGE DITCH CROSSINGS
 - B. OTHER UTILITY CROSSINGS
 - C. LOCATIONS WHERE EROSION DUE TO WATER OR VEHICULAR ACTIVITY MAY AFFECT THE GRADE
 - D. STREET LOCATIONS WHERE FUTURE STREET WORK IS A POSSIBILITY
 - E. REQUIREMENTS OF OTHER REGULATORY AGENCIES
 - EACH BURIED MAIN MUST BE INSTALLED WITH A MINIMUM OF 24" COVER. WHERE AN UNDERGROUND STRUCTURE PREVENTS THE INSTALLATION OF THE MAIN WITH THE MINIMUM COVER, THE MAIN MAY BE INSTALLED WITH LESS COVER IF IT IS PROVIDED ADDITIONAL PROTECTION SUCH AS CASINGS TO WITHSTAND ANTICIPATED EXTERNAL LOADS.

YANKEEGAS GAS MAIN
TRENCH BEDDING DETAIL
NO SCALE



NOTE: PAD TO MEET ALL SNEW SPECIFICATIONS.

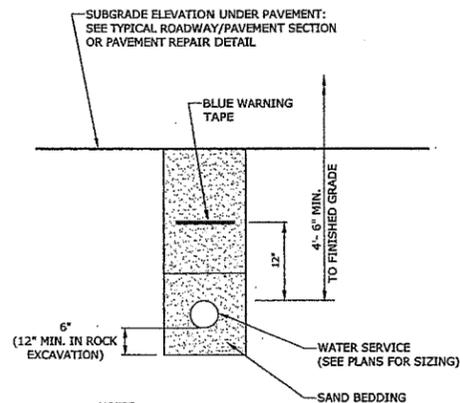
PRECAST THREE PHASE
TRANSFORMER PAD
NO SCALE



NOTE: MINIMUM CONDUIT RADIUS TO BE 15'-0"

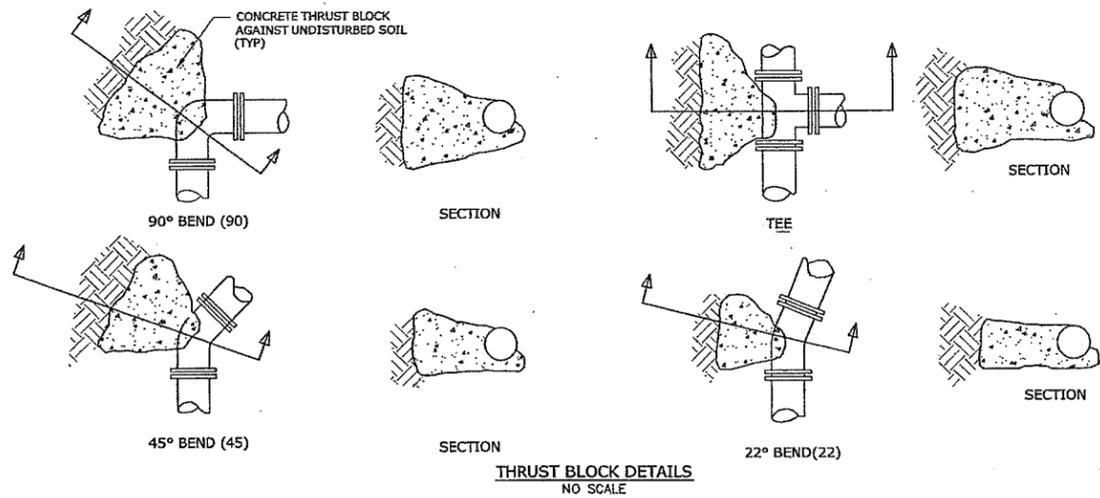
TELECOM/CATV
CONDUIT BANK DETAIL
NO SCALE

May 05, 2014 4:13pm Plotted By: SamsomM Tighe & Bond, Inc. 3/11/10071 Washington Village/DayStreet/Building B I05-B-10071-01.dwg

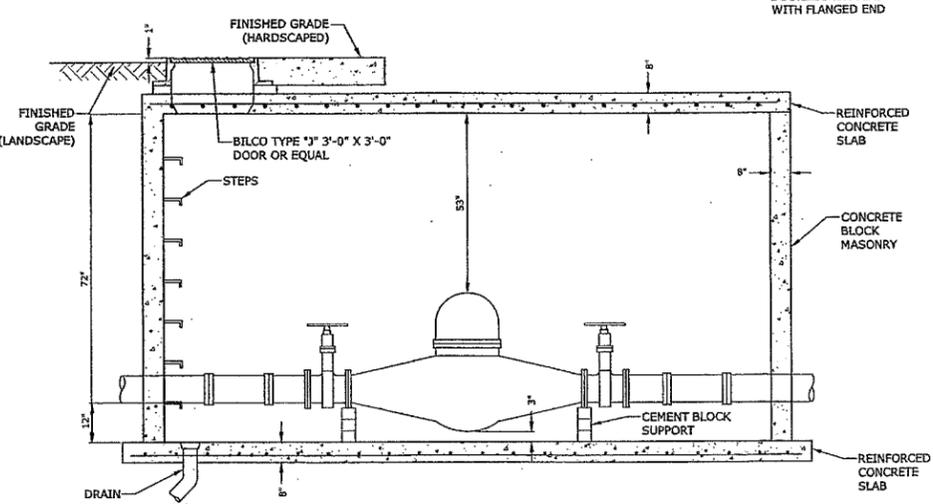
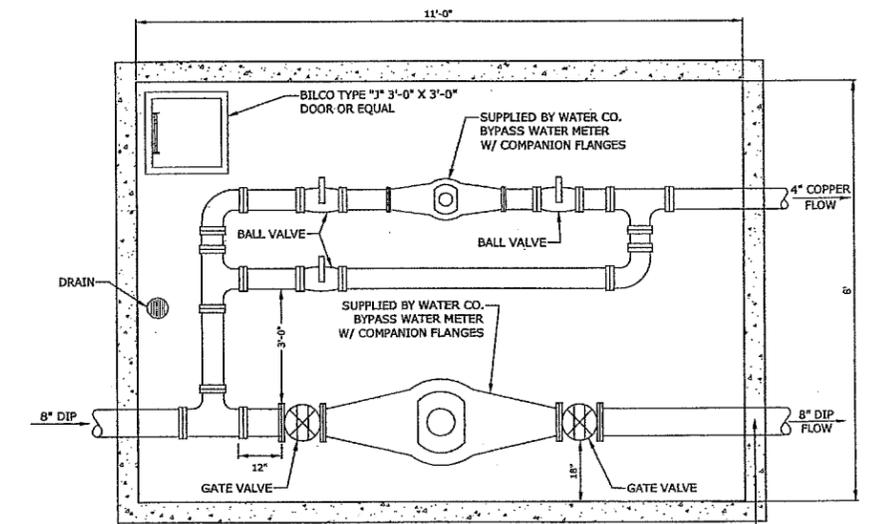


- NOTES:
- SAND BEDDING MATERIAL TO BE PLACED A MINIMUM OF 1'-0" OVER THE TOP OF WATER SERVICE.
 - BEDDING MATERIAL TO BE PLACED ON UNDISTURBED FOUNDATION.
 - REMOVE ANY UNSUITABLE FOUNDATION MATERIAL AND REPLACE WITH COMPACTED BEDDING MATERIAL.

WATER SERVICE TRENCH
NO SCALE

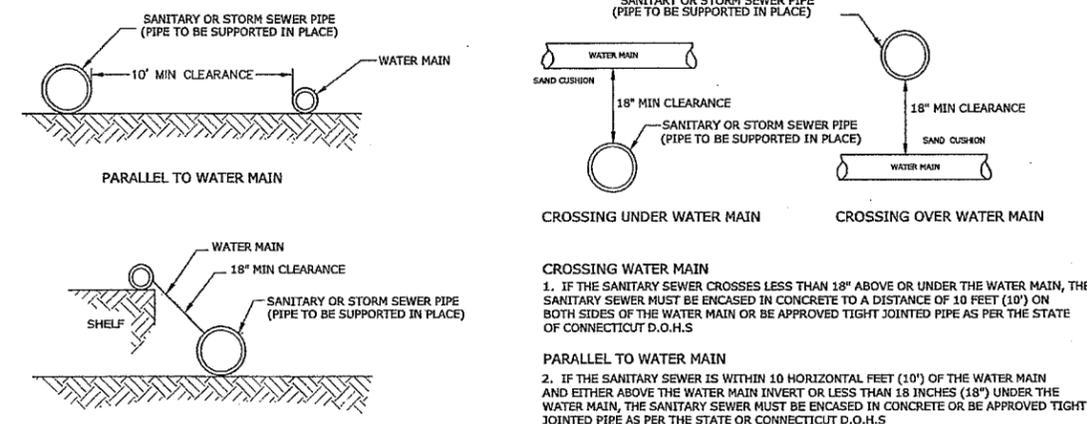


THRUST BLOCK DETAILS
NO SCALE



- NOTES:
- VAULT AND PIPING TO MEET ALL SNEW DETAILS AND SPECIFICATIONS.
 - VAULT TO BE DESIGNED FOR HS-20 LOADING.

WATER METER VAULT
NO SCALE



SEWER PIPE CROSSING DETAIL
NO SCALE

Day Street Building B

Norwalk, CT

Trinity Washington Village
Limited Partnership &
the Norwalk Housing Authority



CONSULTANT

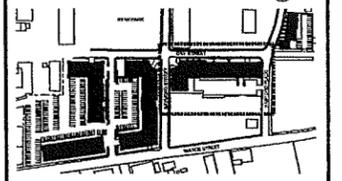


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MASTER PLAN



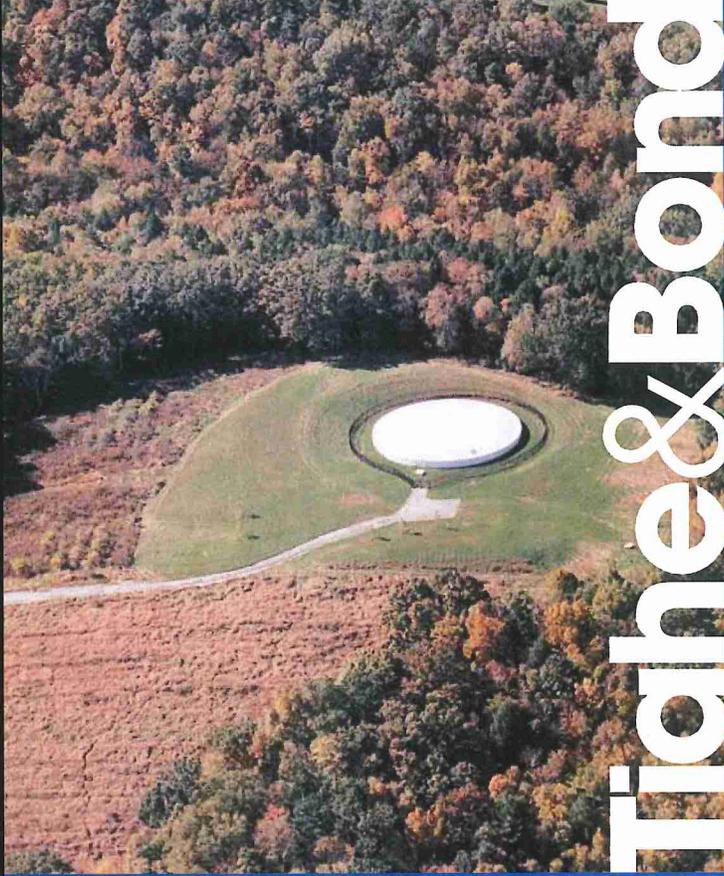
MARK	DATE	DESCRIPTION
3	11-22-2013	ZONING REVISION
2	10-25-2013	ZONING REVISION
1	9-19-2013	SPECIAL PERMIT/CAM SUBMISSION

PROJECT NO.: 10071
DRAWN BY: MDS
CHECKED BY: EWL

SHEET TITLE

WATER SERVICE DETAILS

C4.5



Tighe & Bond



SITE



PROJECT TEAM:

OWNER/DEVELOPER:
TRINITY WASHINGTON VILLAGE LIMITED PARTNERSHIP
75 FEDERAL STREET, 4TH FLOOR, BOSTON, MA, 02115
(617) 720-8400

&
THE NORWALK HOUSING AUTHORITY
24 1/2 MONROE STREET, NORWALK, CT, 06854
(203) 838-8471

ARCHITECT:
ICON ARCHITECTURE, INC
38 CHAUNCY STREET, BOSTON, MA 02111
(617) 451-3333

CIVIL ENGINEER:
TIGHE & BOND
100 BRIDGEPORT AVENUE SUITE 320
SHELTON, CT, 06484
(203) 712-1100

MECHANICAL / FIRE PROTECTION, ELECTRICAL / TEL/DATA ENGINEER:
CENTEK ENGINEERING, INC
63-2 NORTH BRANFORD ROAD, BRANFORD, CT 06405
(203) 488-0580

STRUCTURAL ENGINEER:
GNCB CONSULTING ENGINEERS
130 ELM STREET, OLD SAYBROOK, CT, 06475
(860) 388-1224

LANDSCAPE ARCHITECT:
ERIC RAINS LANDSCAPE ARCHITECTURE
33 NORTH WATER STREET, SOUTH NORWALK, CT, 06854
(203) 853-7600

SURVEY ENGINEER:
WILLIAM SEYMOUR & ASSOCIATES, PC
170 NOROTON AVENUE, DARIEN, CT, 06820
(203) 655-3331

Parcel 3: Washington Village

Washington Village Redevelopment

Buildings C, D, & E

South Norwalk, CT

CIVIL DRAWINGS

Zoning Submission

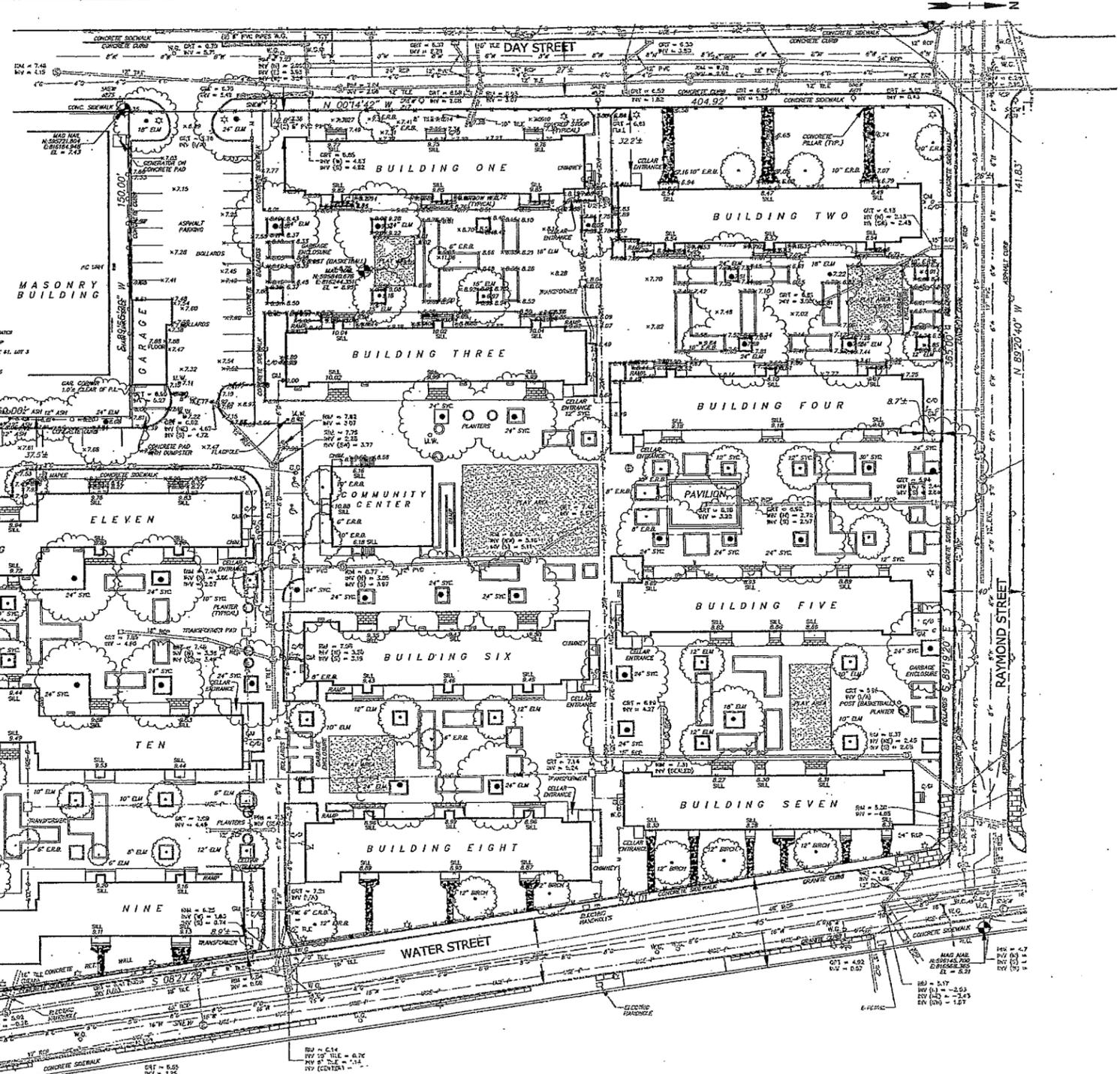
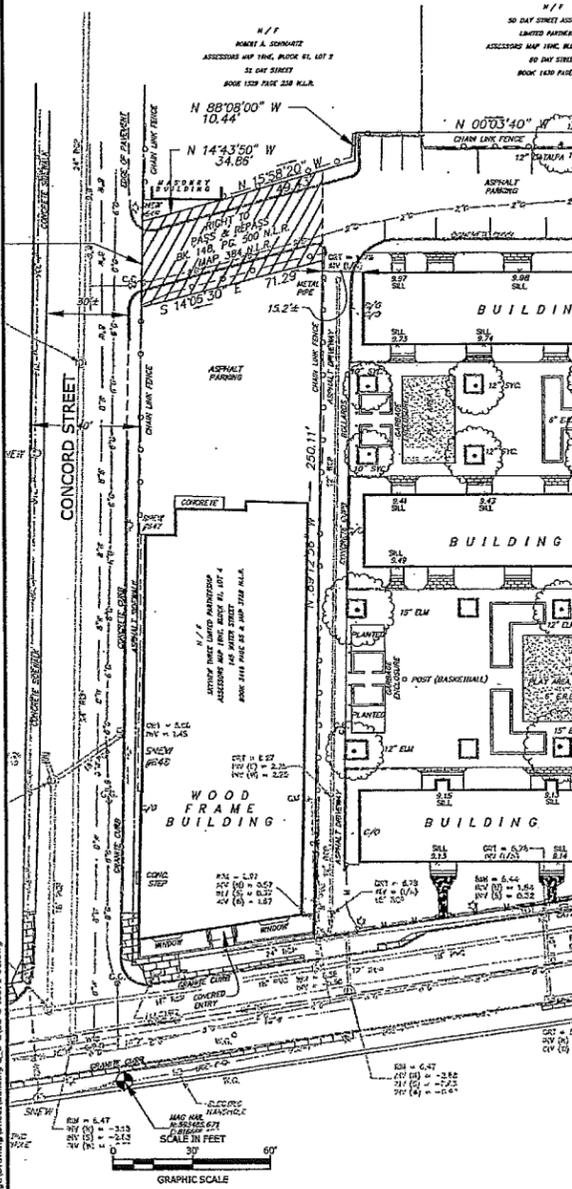
2013-9-19

Revision 2013-11-22



EXISTING CONDITIONS PLAN NOTES

1. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND OTHER DATA SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES, GOVERNMENTAL AGENCIES AND/OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH DATA MAY EXIST ON SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO TIGHE & BOND. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION @ CALL-BEFORE-YOU-DIG 1-800-922-4455.
2. REFERENCE IS MADE TO PLAN ENTITLED "PROPERTY, TOPOGRAPHIC & ALTA/ACSM LAND TITLE SURVEY" PREPARED FOR TRINITY WASHINGTON VILLAGE LIMITED PARTNERSHIP AND THE NORWALK HOUSING AUTHORITY, PREPARED BY WILLIAM W. SEYMOUR & ASSOCIATES P.C., DATED SEPTEMBER 4, 2013.
3. VERTICAL DATUM: NAVD83



EXISTING CONDITIONS PLAN LEGEND

PROPERTY LINE	EXISTING
MINOR CONTOUR	- - - - -115-
MAJOR CONTOUR	- - - - -120-
SPOT ELEVATION	+ 81.4
EDGE OF PAVEMENT	=====
CURB LINE	=====
RETAINING WALL	=====
CONCRETE WALK	=====
BUILDING	[Solid Rectangle]
TEST PIT	[Circle with X]
WATER MAIN	----- 24" -----
POROUS PAVEMENT	----- 2" -----

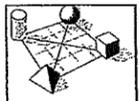
EXISTING CONDITIONS PLAN LEGEND

EXISTING	
WATER GATE	W.G.
HYDRANT	[Symbol]
GAS MAIN	----- 8" ----- 8" -----
GAS GATE	G.G.
GAS METER	G.M.
TEL-DATA - BURIED	[Symbol]
TEL-DATA MANHOLE	[Symbol]
ELECTRICAL - BURIED	----- UOE-P -----
ELECTRICAL MANHOLE	[Symbol]
ELECTRICAL HANDHOLE	[Symbol]
LIGHT POLE	[Symbol]
UTILITY POLE	[Symbol]

Washington Village Buildings C, D, E

Norwalk, CT

Trinity Washington Village Limited Partnership & the Norwalk Housing Authority



ICON Architecture
38 Chauncy Street
Boston, MA 02111
617-451-3333
www.iconarch.com

CONSULTANT

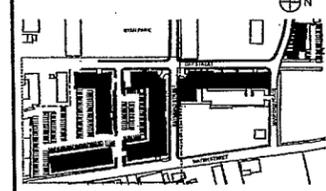


Tighe & Bond
www.tighebond.com
1000 Bridgeport Avenue
Suite 320
Shelton, CT 06484
(203) 712-1100

STAMP



MASTER PLAN



MARK	DATE	DESCRIPTION
4	5-15-2014	REVISED PER CTDEEP COMMENTS

PROJECT NO.: I0071
DRAWN BY: MDS
CHECKED BY: EWL

SHEET TITLE
EXISTING CONDITIONS PLAN

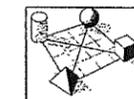
C0.1

May 08, 2014 2:24 PM Plotted By: MDS
Tighe & Bond, Inc. 3110071 Washington Village Buildings C, D, E - C0071-01.dwg

Washington Village Buildings C, D, E

Norwalk, CT

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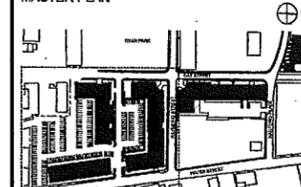


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MASTER PLAN



MARK	DATE	DESCRIPTION
4	5-15-2014	REVISED PER CTDEEP COMMENTS
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2	10-25-2013	ZONING REVISION
1	9-19-2013	SPECIAL PERMIT/CAM SUBMISSION

PROJECT NO.: 10071
DRAWN BY: APW
CHECKED BY: EWL

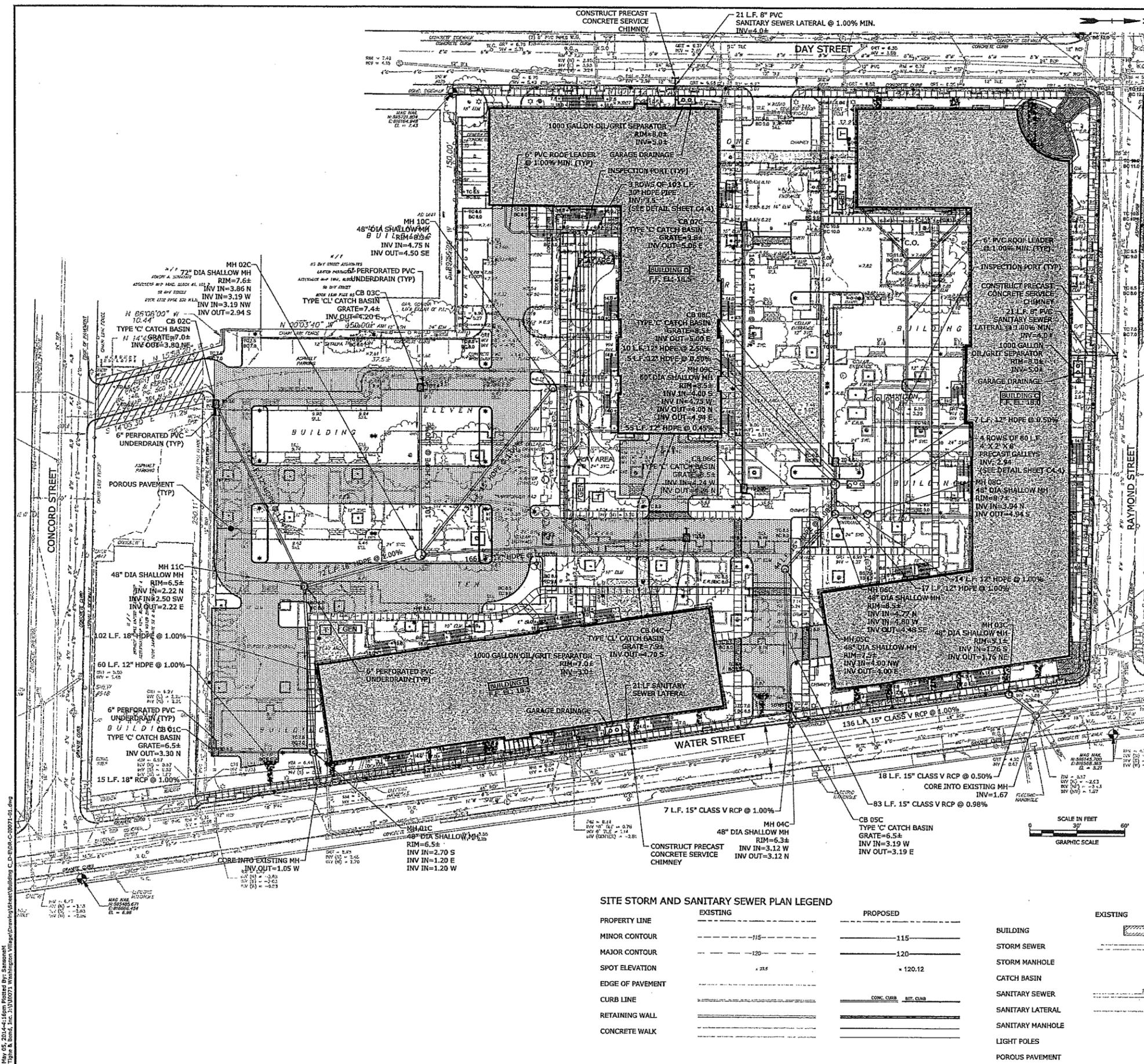
SHEET TITLE

SITE STORM AND SANITARY SEWER PLAN

C1.1

SITE STORM AND SANITARY SEWER PLAN NOTES

- UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND OTHER DATA SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES, GOVERNMENTAL AGENCIES AND/OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH DATA MAY EXIST ON SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO TIGHE & BOND. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION @ CALL-BEFORE-YOU-DIG 1-800-922-4455.
- REFERENCE IS MADE TO PLAN ENTITLED "PROPERTY, TOPOGRAPHIC & ALTA/ACSM LAND TITLE SURVEY" PREPARED FOR TRINITY WASHINGTON VILLAGE LIMITED PARTNERSHIP AND THE NORWALK HOUSING AUTHORITY, PREPARED BY WILLIAM W. SEYMOUR & ASSOCIATES P.C., DATED SEPTEMBER 4, 2013.
- THE CONTRACTOR SHALL OBTAIN A CITY OF NORWALK EXCAVATION PERMIT PRIOR TO ANY WORK BEING PERFORMED WITHIN CITY RIGHT-OF-WAY.
- ANY AND ALL WORK PERFORMED ON THE CITY OF NORWALK RIGHT-OF-WAY SHALL BE REQUIRED TO MEET THE CITY STANDARDS.
- THE GENERAL CONTRACTOR SHALL PROVIDE FIELD ENGINEERING SERVICES TO ESTABLISH AND RECORD GRADES, LINES, AND ELEVATIONS.
- THE CONTRACTOR SHALL ADJUST THE TOP OF FRAME/GRATE ELEVATIONS OF ALL EXISTING AND PROPOSED SANITARY/STORM/WATER MANHOLES, CATCH BASINS, AREA DRAINS, VALVE COVERS AND APPURTENANCES, WITHIN THE PROJECT LIMIT LINE TO MEET THE PROPOSED GRADES.
- THE CONTRACTOR SHALL COORDINATE/VERIFY THE EXACT SIZES, LOCATIONS, ELEVATIONS, OF ALL PROPOSED BUILDINGS' UTILITY SERVICES WITH THE PROJECT MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS PRIOR TO ANY CONSTRUCTION OPERATIONS.
- EXCAVATION OF ANY TYPE SHALL BE ACCOMPLISHED IN SUCH A MANNER THAT UNDERGROUND UTILITIES OR STRUCTURES ARE NOT DAMAGED. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY FOR ANY DAMAGED INCURRED DURING EXCAVATION OPERATIONS. ALL EXCAVATION SHALL BE IN CONFORMANCE WITH THE LATEST OSHA REQUIREMENTS.
- THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THE WORK DONE BY THE RESPECTIVE UTILITY COMPANIES.
- ALL DRIVEWAYS, ROADS, STAIRS, AND SIDEWALKS DISTURBED BY THE CONSTRUCTION IN OR OUTSIDE THE PROJECT LIMIT LINE SHALL BE RETURNED TO THEIR ORIGINAL CONDITION OR BETTER AND SHALL BE GRADED TO MEET THE PROPOSED CONSTRUCTION AS DIRECTED BY THE OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.
- ANY AREAS DISTURBED BY CONSTRUCTION ACTIVITIES AND IS NOT PROVIDED WITH A SPECIFIC SITE IMPROVEMENT (PAVING, SIDEWALK, LANDSCAPING, ETC.) SHALL HAVE 4" TOPSOIL AND TURF ESTABLISHMENT IN ACCORDANCE WITH THE PROJECT LANDSCAPE SPECIFICATIONS.
- THE LOCATIONS OF ITEMS NOT DIMENSIONED ON THE DRAWINGS SHALL BE FIELD STAKED BY THE CONTRACTOR AND THEIR LOCATIONS APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- INSTALL CLEANOUT TO GRADE 5' OFF FACE OF BUILDING ON ALL SANITARY LATERALS.
- THE MANHOLE FRAME AND COVER SHALL BE CENTERED ON THE PRECINCT OPENING. UNDER NO CIRCUMSTANCES WILL AN OFFSET FRAME AND COVER BE ACCEPTABLE. PRIOR TO FINAL PAVING, THE CONTRACTOR SHALL CHECK ALL MANHOLE STRUCTURES TO ASSURE THE FRAME AND COVER IS CENTERED ON THE PRECAST OPENING. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL WORK REQUIRED TO CENTER FRAME AND COVER.
- INSTALL STAINLESS STEEL REPAIR COUPLINGS AT ALL LOCATIONS WHERE JOINING PIPES OF DIFFERENT MATERIALS AND/OR SIZES PER MANUFACTURER'S RECOMMENDATIONS.
- ALL PIPES AND FITTINGS SPECIFIED AS HDPE SHALL BE ADS N-12 WT (WATERTIGHT) PIPE AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS, HILLIARD, OHIO.
- THE CONTRACTOR SHALL MAINTAIN EXISTING STORM SEWER FLOWS BY PUMPING OR OTHER MEANS APPROVED BY THE OWNER'S REPRESENTATIVE DURING CONSTRUCTION OF THE PROPOSED STORM SEWER IN LOCATIONS WHERE STORM SEWER ARE BEING INSTALLED, REPLACED OR RELOCATED.
- THE CONTRACTOR SHALL MAINTAIN SANITARY SEWER FLOWS BY PUMPING OR OTHER MEANS APPROVED BY THE OWNER'S REPRESENTATIVE DURING CONSTRUCTION OF THE PROPOSED SANITARY SEWER IN LOCATIONS WHERE SEWERS ARE BEING INSTALLED, REPLACED OR RELOCATED.
- CHECK VALVES ARE TO BE PROVIDED FOR THE PROPOSED DRAINAGE SYSTEM. FINAL DETERMINATION ON LOCATION IS SUBJECT TO THE CITY OF NORWALK DPW APPROVAL.
- VERTICAL DATUM: NAVD88

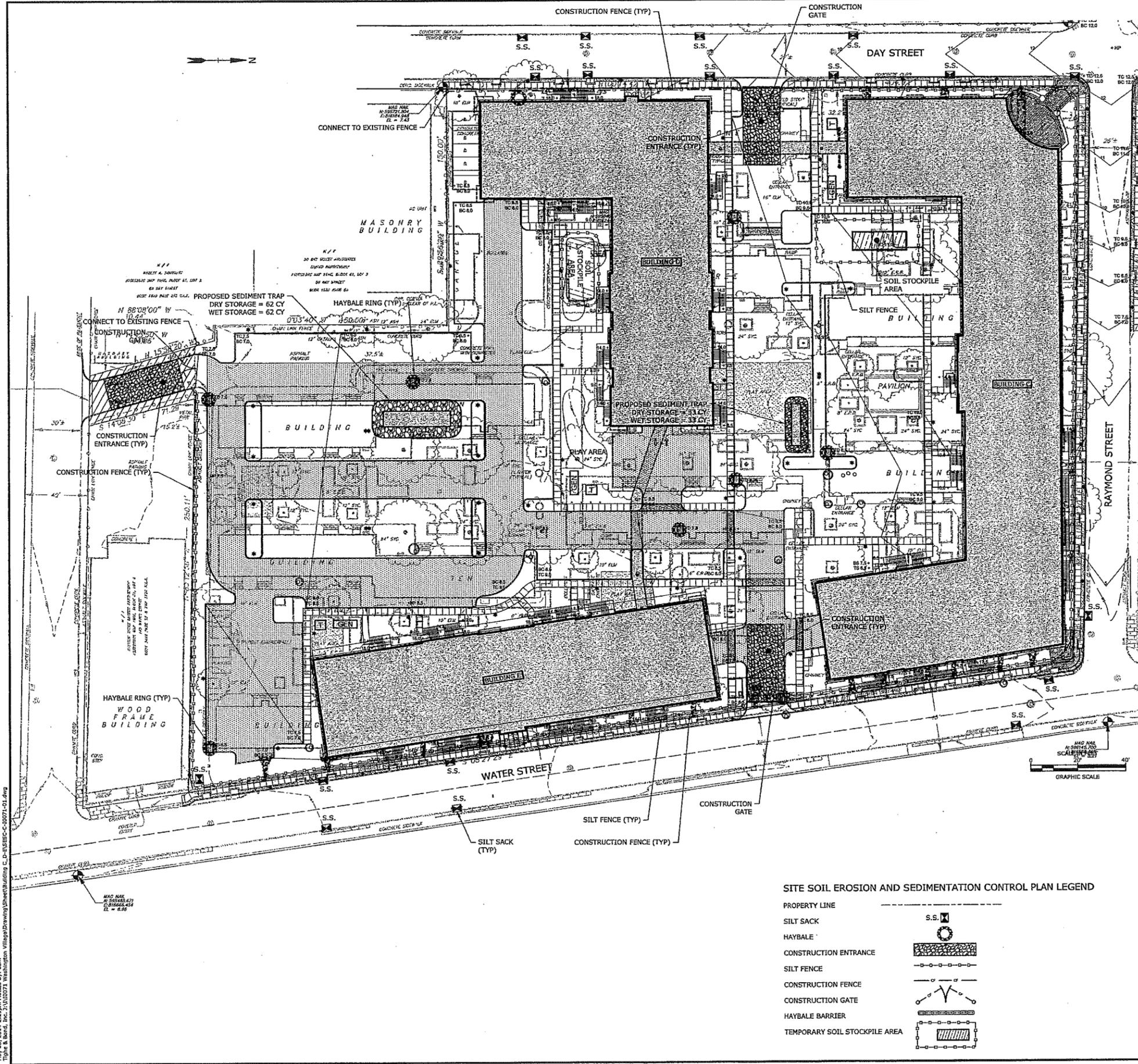


SITE STORM AND SANITARY SEWER PLAN LEGEND

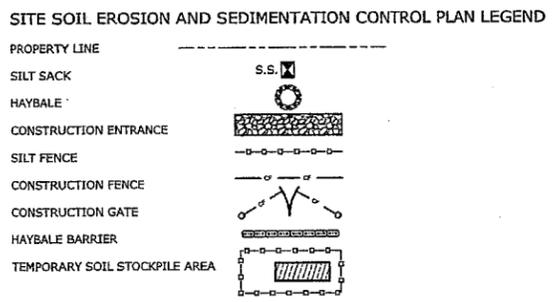
	EXISTING	PROPOSED
PROPERTY LINE	---	---
MINOR CONTOUR	- - - - - 115	- - - - - 115
MAJOR CONTOUR	- - - - - 120	- - - - - 120
SPOT ELEVATION	+ 215	+ 120.12
EDGE OF PAVEMENT	---	---
CURB LINE	---	CONC. CURB, BIT. CURB
RETAINING WALL	---	---
CONCRETE WALK	---	---

	EXISTING	PROPOSED
BUILDING	[Hatched Box]	[Hatched Box]
STORM SEWER	[Dashed Line]	[Dashed Line]
STORM MANHOLE	[Circle]	[Circle]
CATCH BASIN	[Square]	[Square]
SANITARY SEWER	[Dashed Line]	[Dashed Line]
SANITARY LATERAL	[Dashed Line]	[Dashed Line]
SANITARY MANHOLE	[Circle]	[Circle]
LIGHT POLES	[Star]	[Star]
POROUS PAVEMENT	[Dotted Area]	[Dotted Area]

May 05, 2014 4:41pm Printed On: Standard
 Tighe & Bond, Inc. 3/11/2014 Washington Village/DrainageSheet/Building C, D, E/DR-C-0071-01.dwg



- SITE SOIL EROSION AND SEDIMENT CONTROL PLAN NOTES**
- REFERENCE IS MADE TO PLAN ENTITLED "PROPERTY, TOPOGRAPHIC & ALTA/ACSM LAND TITLE SURVEY SHEET 1 OF 3 SHEETS DEPICTING WASHINGTON VILLAGE, 13 & 20 DAY STREET" PREPARED FOR TRINITY WASHINGTON VILLAGE LIMITED PARTNERSHIP AND THE NORWALK HOUSING AUTHORITY, PREPARED BY WILLIAM W. SEYMOUR & ASSOCIATES DATED SEPTEMBER 4, 2013.
 - CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" (1-800-922-4455) AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION OPERATION.
 - UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND OTHER DATA SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES, GOVERNMENTAL AGENCIES AND/OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH DATA MAY EXIST ON SITE, THE EXISTENCE OF WHICH IS UNKNOWN TO TIGHE & BOND. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION @ CALL-BEFORE-YOU-DIG 1-800-922-4455.
 - ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" DEEP BULLETIN NO 34, AND ALL AMENDMENTS AND ADDENDA THERETO AS PUBLISHED BY THE CONNECTICUT DEPARTMENT OF ENERGY AND ENVIRONMENTAL PROTECTION.
 - LAND DISTURBANCE SHALL BE KEPT TO THE MINIMUM NECESSARY FOR CONSTRUCTION.
 - ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND ELSEWHERE AS ORDERED BY THE OWNER'S REPRESENTATIVE, OR THE CITY OF NORWALK.
 - ALL CATCH BASINS SHALL BE PROTECTED WITH SILT SACKS, HAYBALE RING, SILT FENCE OR BLOCK AND STONE INLET PROTECTION THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
 - WHEREVER POSSIBLE, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
 - ADDITIONAL CONTROL MEASURES SHALL BE INSTALLED DURING CONSTRUCTION PERIOD AS ORDERED BY THE OWNER'S REPRESENTATIVE, OR THE CITY OF NORWALK.
 - ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
 - SEDIMENT REMOVED SHALL BE DISPOSED OF LEGALLY OFFSITE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD.
 - THE CONTRACTOR SHALL MAINTAIN A SUPPLY OF SILT FENCE/HAYBALES AND ANTI-TRACKING CRUSHED STONE ON-SITE FOR EMERGENCY REPAIRS.
 - THE CONTRACTOR SHALL UTILIZE APPROVED METHODS/MATERIALS FOR PREVENTING THE BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES ONTO ADJACENT PROPERTIES AND SITE AREAS.
 - ALL DRAINAGE STRUCTURES SHALL BE INSPECTED WEEKLY BY THE CONTRACTOR AND CLEANED TO PREVENT THE BUILD-UP OF SILT.
 - KEEP ALL PAVED ROADWAYS CLEAN. SWEEP BEFORE FORECASTED STORMS OR WEEKLY AS NECESSARY.
 - TREAT ALL UNPAVED SURFACES WITH 4" MINIMUM OF TOPSOIL AND SEEDING PRIOR TO FINAL STABILIZATION.
 - HAYBALE BARRIERS AND SILT FENCING SHALL BE INSTALLED ALONG THE TOE OF CRITICAL CUT AND FILL SLOPES AS SHOWN ON THE PLANS AND AS DIRECTED BY THE OWNER'S REPRESENTATIVE OR THE CITY OF NORWALK.
 - ALL TRUCKS LEAVING THE SITE MUST BE COVERED.
 - ALL SEDIMENTATION AND EROSION CONTROLS SHALL BE CHECKED WEEKLY AND AFTER EACH RAINFALL EVENT BY A QUALIFIED INSPECTOR. NECESSARY REPAIRS SHALL BE MADE WITHOUT DELAY.
 - PRIOR TO ANY FORECASTED RAINFALL, EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED AS NECESSARY.
 - AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED; EROSION CONTROLS MAY BE REMOVED ONCE AUTHORIZATION TO DO SO HAS BEEN SECURED FROM THE CITY OF NORWALK. DISTURBED AREAS SHALL BE SEEDING AND MULCHED.
 - CONTRACTOR IS TO COMPLY WITH THE REQUIREMENTS OF THE SOIL EROSION AND SEDIMENTATION CONTROL PLAN.
 - SEE DRAWING C3.2 FOR SOIL EROSION CONTROL NARRATIVE AND DETAILS.
 - VERTICAL DATUM: NAVD88.
 - SOIL STOCKPILE SHALL BE FLOODPROOFED TO ELEVATION 13 NAVD88. THE DETAIL SHEET, C3.2, PRESENTS ONE POTENTIAL METHOD FOR THE CONTRACTOR TO FLOODPROOF THESE STOCKPILES. CONTRACTOR MAY PROPOSE ALTERNATE MEANS OF FLOODPROOFING STOCKPILE, SUBJECT TO APPROVAL BY ENGINEER.
 - HAZARDOUS MATERIALS INCLUDING, BUT NOT LIMITED TO, FUELS, MAINTENANCE FLUIDS, AND OTHER MATERIALS MUST BE STORED ABOVE THE 500 YEAR FLOODPLAIN AT THE END OF THE DAY.



Washington Village Buildings C, D, E
Norwalk, CT

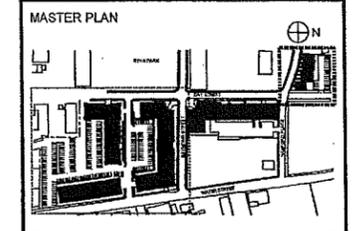
Trinity Washington Village Limited Partnership & the Norwalk Housing Authority



CONSULTANT

Tighe & Bond
www.tighebond.com

1000 Bridgeport Avenue
Suite 320
Shelton, CT 06484
(203) 712-1100



MARK	DATE	DESCRIPTION
4	5-15-2014	REVISED PER CTDEEP COMMENTS
3	11-22-2013	ZONING REVISION
2	10-25-2013	ZONING REVISION
1	9-19-2013	SPECIAL PERMIT/CAM SUBMISSION

PROJECT NO.: I0071
DRAWN BY: MDS
CHECKED BY: EWL

SHEET TITLE

SITE SOIL EROSION AND SEDIMENTATION CONTROL PLAN

C3.1

May 09, 2014 4:22:21 pm Plotted By: edm
 Tighe & Bond, Inc. 313371 Washington Village Drawings Sheet Buildings C, D, E-SERC-C-10071-C3.1.dwg

SOIL EROSION AND SEDIMENT CONTROL NARRATIVE

THE PROJECT PROPOSES TO CONSTRUCT 192 UNITS WITHIN THREE RESIDENTIAL BUILDINGS IN NORWALK, CT. THE PROJECT SITE IS BOUNDED BY RAYMOND STREET TO THE NORTH, DAY STREET TO THE WEST, CONCORD STREET TO THE SOUTH, AND WATER STREET TO THE EAST.

THE PROPOSED PROJECT WILL INCLUDE THE CONSTRUCTION OF THE THREE RESIDENTIAL BUILDINGS, 382 PARKING SPACES, RETAINING WALLS, CURBING, SIDEWALKS, LANDSCAPE AND LIGHTING. PROPOSED BUILDING UTILITIES SUCH AS DOMESTIC WATER, FIRE PROTECTION, TELECOMMUNICATIONS, ELECTRICAL, NATURAL GAS, AND SANITARY SEWER WILL BE PROVIDED FROM EXISTING MAINS LOCATED IN DAY STREET, RAYMOND STREET, AND WATER STREET.

STORMWATER MANAGEMENT WILL BE ACCOMMODATED ON-SITE. SURFACE RUNOFF WILL BE COLLECTED AND CONVEYED THROUGH POROUS PAVEMENT OR AN UNDERGROUND INFILTRATION SYSTEM THAT WILL TREAT THE WATER QUALITY VOLUME AND PROVIDE POLLUTANT REMOVAL IN ACCORDANCE WITH THE 2004 CONNECTICUT STORMWATER QUALITY MANUAL.

SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL CONFORM TO THE STANDARDS OUTLINED IN THE CONNECTICUT DEPARTMENT OF ENERGY AND ENVIRONMENTAL PROTECTION (CTDEEP), "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL", LATEST REVISION.

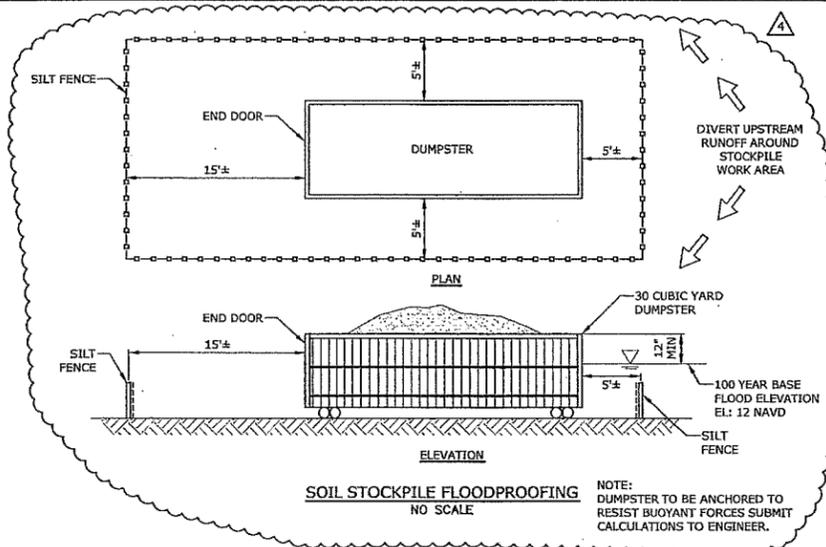
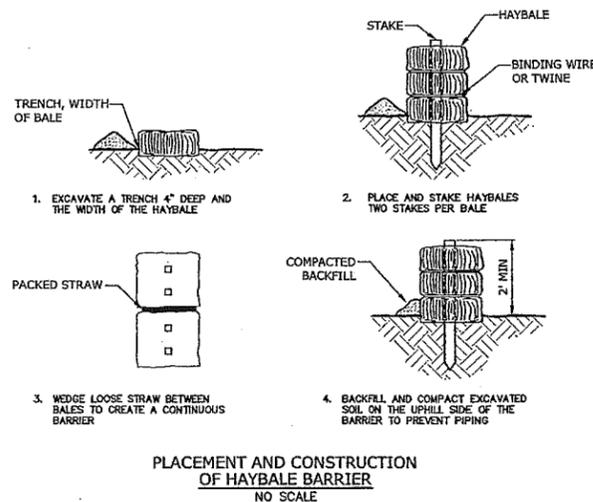
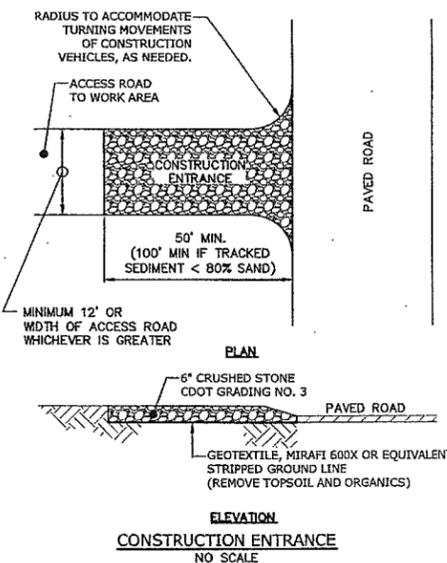
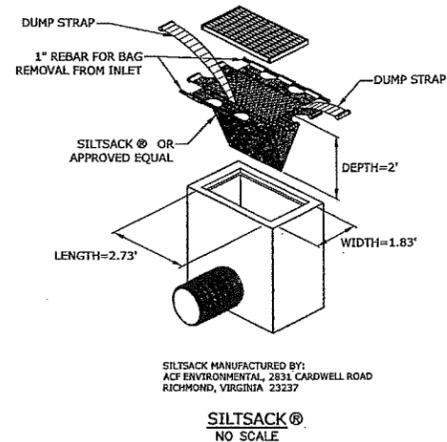
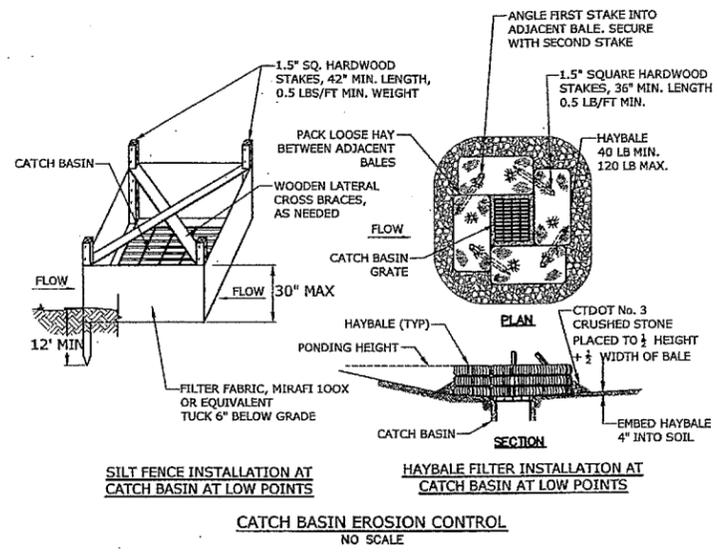
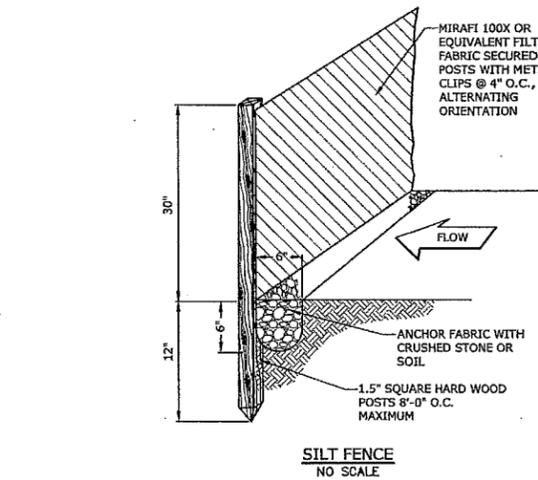
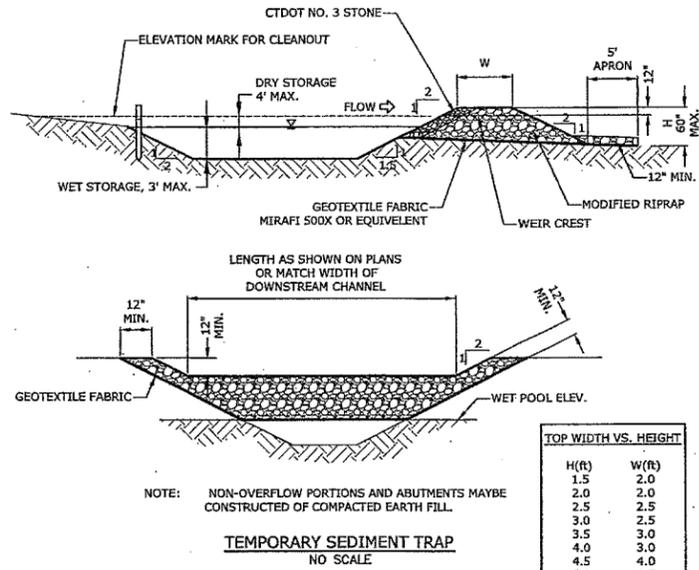
CONSTRUCTION SEQUENCE

GENERAL

1. THE PROPOSED DEVELOPMENT IS ENTITLED "WASHINGTON VILLAGE"
2. ESTIMATED PROJECT TIMELINE:
 - PROJECT START: SPRING 2015
 - PROJECT COMPLETION: SPRING 2017
3. THE SITE IS LOCATED AT THE WASHINGTON VILLAGE IN NORWALK, CONNECTICUT.

CONSTRUCTION SEQUENCE

1. FLAG THE LIMITS OF CONSTRUCTION NECESSARY TO FACILITATE THE PRECONSTRUCTION MEETING.
2. HOLD PRECONSTRUCTION MEETING. (REMEMBER TO CALL BEFORE YOU DIG 1-800-922-4455).
3. FLAG REMAINDER OF THE LIMITS OF CONSTRUCTION AND TREE PROTECTION ZONES.
4. INSTALL THE CONSTRUCTION ENTRANCE.
5. INSTALL PERIMETER EROSION AND SEDIMENT CONTROLS AND TREE PROTECTION DEVICES IN ACCORDANCE WITH THE SESC PLAN.
6. CUT ANY TREES WITHIN THE DEFINED CLEARING LIMITS AND REMOVE CUT WOOD. CHIP BRUSH AND SLASH, STOCKPILE CHIPS FOR FUTURE USE OR REMOVE OFF SITE.
7. CONSTRUCT SETTLING BASINS AND/OR SUMP PITS, AS REQUIRED.
8. STRIP AND STOCKPILE ALL TOPSOIL THAT IS WITHIN THE FOOTPRINT OF THE CONSTRUCTION SITE AND REFERENCE STOCKPILE MANAGEMENT FOR EROSION AND SEDIMENT CONTROLS. (SEE 2002 CT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL CHAPTER 4, PART II ON STOCKPILE MANAGEMENT). EITHER REMOVE TREE STUMPS TO AN APPROVED DISPOSAL SITE OR CHIP IN PLACE AS INDICATED ON THE PLANS.
9. MAKE ALL CUTS AND FILLS REQUIRED. ESTABLISH THE SUBGRADE FOR THE TOPSOIL AREAS, AND PARKING AS REQUIRED AND BENCH THE BUILDING TO A SUBGRADE. ALLOW A REASONABLE AMOUNT OF AREA AROUND THE FOOTPRINT OF THE BUILDING FOR THE CONSTRUCTION ACTIVITIES.
10. BEGIN CONSTRUCTION OF THE BUILDING.
11. PRIOR TO INSTALLING SURFACE WATER CONTROLS SUCH AS TEMPORARY DIVERSIONS AND STONE DIKES, INSPECT EXISTING CONDITIONS TO ENSURE DISCHARGE LOCATIONS ARE STABLE. IF NOT STABLE, REVIEW DISCHARGE CONDITIONS WITH THE DESIGN ENGINEER AND IMPLEMENT ADDITIONAL STABILIZATION MEASURES PRIOR TO INSTALLING WATER SURFACE CONTROLS.
12. INSTALL ALL SANITARY SEWERS, DRAINAGE SYSTEMS AND UTILITIES TO WITHIN 5 FEET OF THE BUILDING OR AS OTHERWISE MODIFIED BY THE DESIGN ENGINEER TO ADJUST FOR UNFORESEEN SITE CONDITIONS.
13. PREPARE SUB-BASE, SLOPES, PARKING AREAS AND ANY OTHER AREA OF DISTURBANCE FOR FINAL GRADING.
14. INSTALL PROCESS AGGREGATE IN PARKING AREAS.
15. PLACE TOPSOIL WHERE REQUIRED. COMPLETE THE PERIMETER LANDSCAPE PLANTINGS.
16. FINE GRADE, RAKE, SEED AND MULCH TO WITHIN 2 FEET OF THE CURBING.
17. UPON SUBSTANTIAL COMPLETION OF THE BUILDINGS, COMPLETE THE BALANCE OF SITE WORK AND STABILIZATION OF ALL OTHER DISTURBED AREAS. INSTALL FIRST COURSE OF PAVING FOR BITUMINOUS ASPHALT AREAS.
18. WHEN ALL OTHER WORK HAS BEEN COMPLETED, REPAIR AND SWEEP ALL PAVED AREAS FOR THE FINAL COURSE OF PAVING. INSPECT THE DRAINAGE SYSTEM AND CLEAN AS NEEDED.
19. INSTALL POROUS PAVEMENT AND FINAL COURSE OF BITUMINOUS ASPHALT PAVEMENT IN REMAINING AREAS.
20. AFTER SITE IS STABILIZED REMOVE TEMPORARY EROSION AND SEDIMENT CONTROLS (E.G. GEOTEXTILE SILT FENCES).



Washington Village Buildings C, D, E

Norwalk, CT

Trinity Washington Village Limited Partnership & the Norwalk Housing Authority



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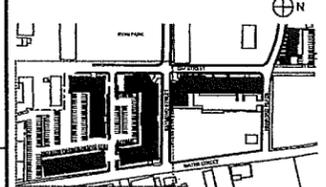


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Suite 320
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STAMP



MASTER PLAN



MARK	DATE	DESCRIPTION
3	11-22-2013	ZONING REVISION
2	10-25-2013	ZONING REVISION
1	9-19-2013	SPECIAL PERMIT/CAM SUBMISSION

PROJECT NO.: 10071
DRAWN BY: MDS
CHECKED BY: EWL

SHEET TITLE

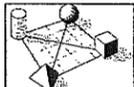
SOIL EROSION AND SEDIMENT CONTROL NARRATIVE AND DETAILS

C3.2

Washington Village Buildings C, D, E

Norwalk, CT

Trinity Washington Village
Limited Partnership &
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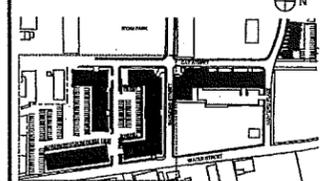


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MASTER PLAN



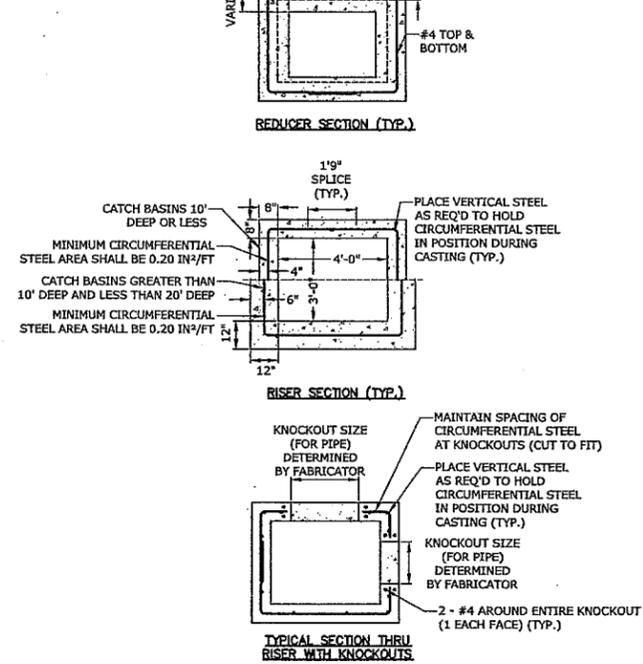
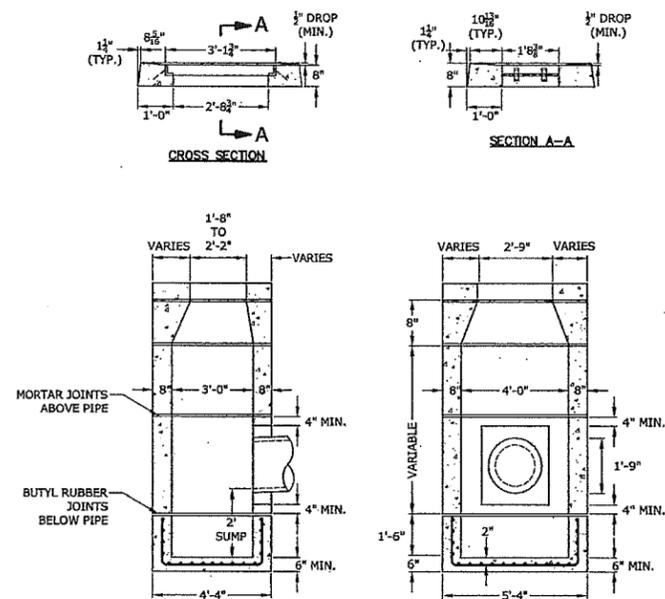
MARK	DATE	DESCRIPTION
3	11-22-2013	ZONING REVISION
2	10-26-2013	ZONING REVISION
1	9-19-2013	SPECIAL PERMIT SUBMISSION

PROJECT NO.: 10071
DRAWN BY: MDS
CHECKED BY: EWL

SHEET TITLE

STORM DRAINAGE DETAILS

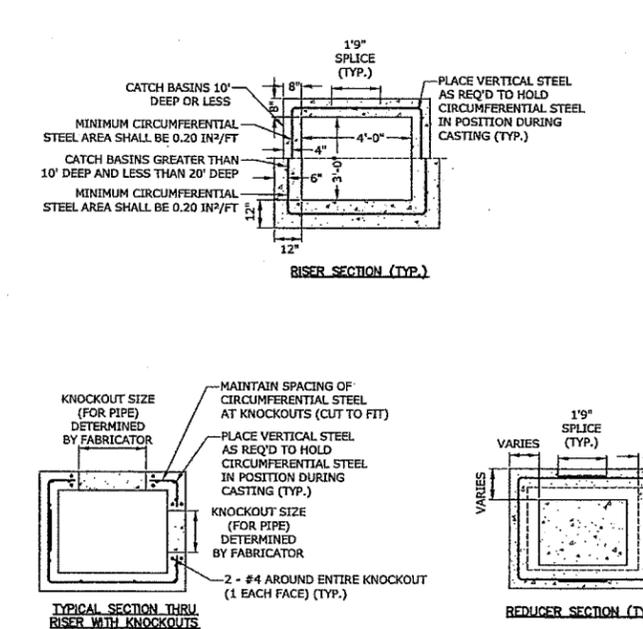
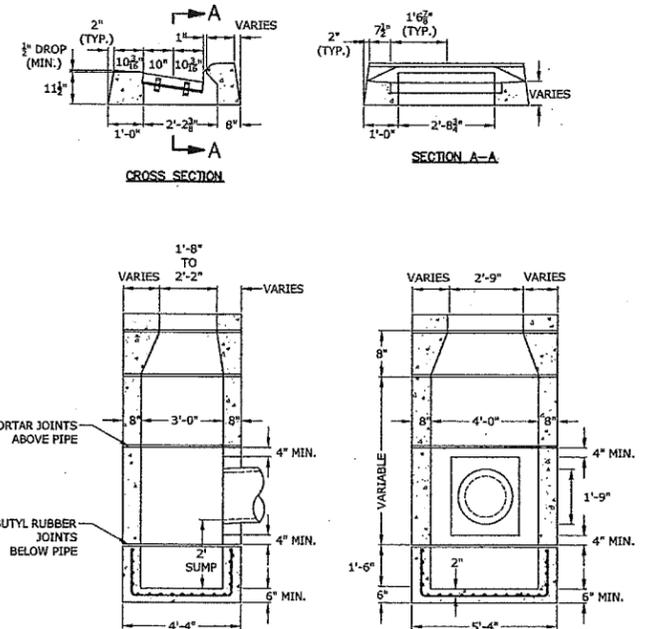
C4.1



TYPE "C-L" CATCH BASIN
NO SCALE

NOTES:

- REINFORCEMENT SHALL CONFORM TO ASTM A615, GRADE 60.
- DETAILS ON THIS SHEET SHOW STANDARD REINFORCEMENT. WELDED WIRE FABRIC WITH AN AREA EQUAL TO OR GREATER THAN THE REINFORCING SHOWN MAY BE SUBSTITUTED.
- ALL LAP SPLICES, DEVELOPMENT LENGTHS, BENDS FOR REINFORCEMENT, AND WELDED WIRE FABRIC SHALL CONFORM TO AASHTO STANDARD SPECIFICATIONS FOR HIGHWAY BRIDGES.
- ALL REINFORCEMENT SHALL HAVE A MINIMUM CLEAR COVER OF 2", EXCEPT FOR BENEATH BOTTOM REINFORCEMENT IN TOP SLABS, WHERE THE MINIMUM MAY BE 1 1/2"
- MINIMUM CONCRETE COMPRESSIVE STRENGTH FC'=4,000PSI SHALL BE OBTAINED BEFORE SHIPPING.
- BASES AND RISERS AT A DEPTH OF 20' AND GREATER SHALL BE DESIGNED BY THE CONTRACTOR AND WORKING DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW.
- SEE STANDARD DRAWING 507-K FOR CATCH BASIN FRAMES AND GRATES.
- FOR DOT MAINTENANCE PERSONNEL, RISERS MAY BE PREFABRICATED WITH PIPE OPENINGS IN ALL FOUR WALLS. ADEQUATE REINFORCING AROUND PIPE OPENINGS TO CONFORMING TO THESE PLANS SHALL BE PROVIDED. ANY RISERS USED WHERE A PIPE OPENING IS TO REMAIN IN PLACE MUST BE FORMED UP WITH BRICK AS DIRECTED BY THE ENGINEER.
- RISERS SHALL NEVER HAVE CORNER PIPE ENTRIES. WHERE THE ALIGNMENT OF THE PIPE WITH RESPECT TO THE CORNER OF THE CATCH BASIN CANNOT BE CHANGED, A ROUND STRUCTURE CONFORMING TO ASTM C478 SHALL BE USED. REINFORCING FOR THE ROUND TOP SLAB WITH A RECTANGULAR OPENING SHALL CONFORM TO DETAILS SHOWN HERE.
- ALL PIPE OPENINGS SHALL BE CLOSED USING MATERIALS WHICH CONFORM TO STATE OF CONNECTICUT STANDARD SPECIFICATIONS SECTION M.08.02. IF THE ENGINEER DETERMINES THAT THE CLOSURE OF ANY PIPE OPENING IS UNSATISFACTORY, THE CONTRACTOR SHALL RECLOSE SAID OPENING AT NO ADDITIONAL COST TO THE STATE. KNOCKOUTS FOR PIPE OPENINGS SHALL NOT RESULT IN A REDUCED WALL THICKNESS.
- THE LATEST STATE OF CONNECTICUT STANDARD SPECIFICATIONS AND SUPPLEMENTALS SHALL GOVERN.
- FOR ADDITIONAL DETAILS, SEE OTHER CATCH BASIN SHEETS.
- WALL THICKNESS OF ALL CB'S OVER 10' DEEP SHALL BE INCREASED TO 12" THICK. INSIDE DIMENSION SHALL REMAIN THE SAME. (THE 12" THICKNESS SHALL START AFTER THE FIRST 10')
- BUTYL RUBBER JOINT SEAL SHALL CONFORM TO AASHTO M-198 AND MORTAR SHALL CONFORM TO THE LATEST STATE OF CONNECTICUT STANDARD SPECIFICATIONS MATERIAL SECTION M11.04.
- SHRINKAGE AND TEMPERATURE REINFORCEMENT SHALL BE PROVIDED IN THE TOPS OF SLABS. THE TOTAL AREA OF REINFORCEMENT PROVIDED SHALL BE AT LEAST 0.125 IN²/FT IN EACH DIRECTION. THE MAXIMUM SPACING OF THIS REINFORCEMENT SHALL NOT EXCEED 18 INCHES.
- THE DETAILS SHOWN IN THE PLAN VIEW FOR THE PRECAST CONCRETE ROUND STRUCTURES SHALL ALSO BE USED FOR CONVERTING MANHOLES TO CATCH BASINS.
- ANY CATCH BASINS CONSTRUCTED, MODIFIED OR DISTURBED IN ANY FASHION SHALL HAVE "NO DUMPING" CURB MARKER APPLIED TO CATCH BASIN TOP OR CURB NEXT TO GRATE USING ADHESIVE PROVIDED BY THE CITY FOLLOWING INSTALLATION DIRECTIONS PROVIDED BY THE MANUFACTURER.



TYPE "C" CATCH BASIN
NO SCALE

NOTES:

- REINFORCEMENT SHALL CONFORM TO ASTM A615, GRADE 60.
- DETAILS ON THIS SHEET SHOW STANDARD REINFORCEMENT. WELDED WIRE FABRIC WITH AN AREA EQUAL TO OR GREATER THAN THE REINFORCING SHOWN MAY BE SUBSTITUTED.
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- ALL REINFORCEMENT SHALL HAVE A MINIMUM CLEAR COVER OF 2", EXCEPT FOR BENEATH BOTTOM REINFORCEMENT IN TOP SLABS, WHERE THE MINIMUM MAY BE 1 1/2"
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- BASES AND RISERS AT A DEPTH OF 20' AND GREATER SHALL BE DESIGNED BY THE CONTRACTOR AND WORKING DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW.
- SEE STANDARD DRAWING 507-K FOR CATCH BASIN FRAMES AND GRATES.
- FOR DOT MAINTENANCE PERSONNEL, RISERS MAY BE PREFABRICATED WITH PIPE OPENINGS IN ALL FOUR WALLS. ADEQUATE REINFORCING AROUND PIPE OPENINGS TO CONFORMING TO THESE PLANS SHALL BE PROVIDED. ANY RISERS USED WHERE A PIPE OPENING IS TO REMAIN IN PLACE MUST BE FORMED UP WITH BRICK AS DIRECTED BY THE ENGINEER.
- RISERS SHALL NEVER HAVE CORNER PIPE ENTRIES. WHERE THE ALIGNMENT OF THE PIPE WITH RESPECT TO THE CORNER OF THE CATCH BASIN CANNOT BE CHANGED, A ROUND STRUCTURE CONFORMING TO ASTM C478 SHALL BE USED. REINFORCING FOR THE ROUND TOP SLAB WITH A RECTANGULAR OPENING SHALL CONFORM TO DETAILS SHOWN HERE.
- ALL PIPE OPENINGS SHALL BE CLOSED USING MATERIALS WHICH CONFORM TO STATE OF CONNECTICUT STANDARD SPECIFICATIONS SECTION M.08.02. IF THE ENGINEER DETERMINES THAT THE CLOSURE OF ANY PIPE OPENING IS UNSATISFACTORY, THE CONTRACTOR SHALL RECLOSE SAID OPENING AT NO ADDITIONAL COST TO THE STATE. KNOCKOUTS FOR PIPE OPENINGS SHALL NOT RESULT IN A REDUCED WALL THICKNESS.
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Washington Village
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Norwalk, CT

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Limited Partnership &
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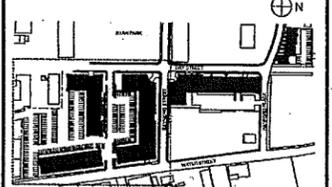


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STAMP



MASTER PLAN



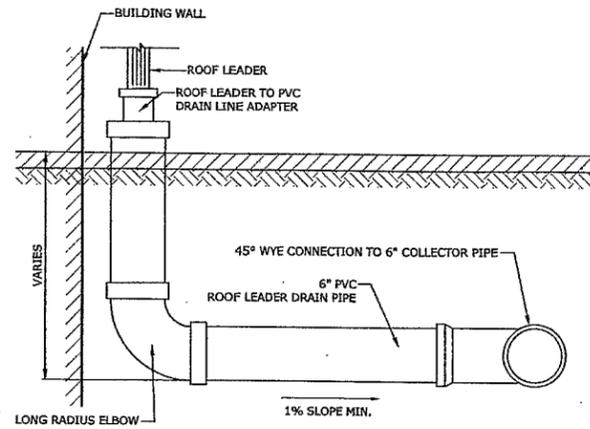
MARK	DATE	DESCRIPTION
3	11-22-2013	ZONING REVISION
2	10-25-2013	ZONING REVISION
1	9-19-2013	SPECIAL PERMIT/CAM SUBMISSION

PROJECT NO.: 10071
DRAWN BY: MDS
CHECKED BY: EWL

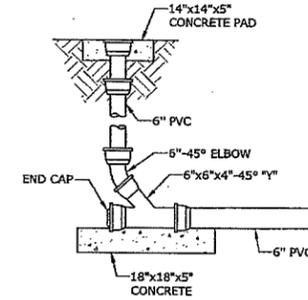
SHEET TITLE

STORM
AND SANITARY
DETAILS

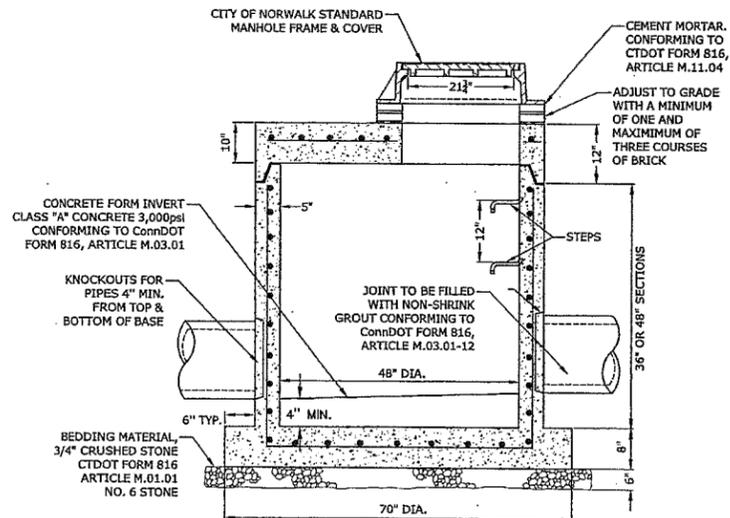
C4.2



ROOF LEADER DRAIN LINE
NO SCALE

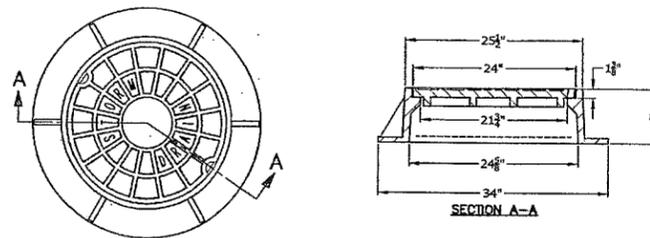


CLEAN-OUT DETAIL
NO SCALE



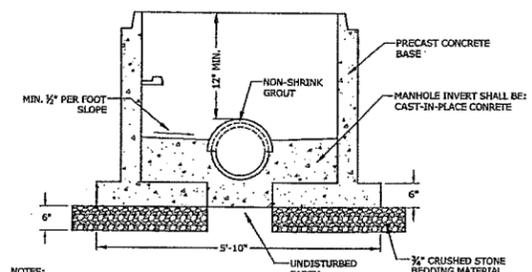
- NOTES
1. REINFORCING ASTM A185 AREA 48" DIA. 0.12 SQ. IN./V.F., AREA 60" DIA. 0.17 SQ. IN./V.F. REINFORCE BELL & SPIGOT.
 2. CONCRETE COMPRESSIVE STRENGTH: 5,000 psi - 28 DAYS
 3. MANHOLE STEP TO CONFORM TO OSHA AND ASTM SPECIFICATIONS.
 4. MONOLITHIC BASE SECTION.

48" DIA. SHALLOW MANHOLE
NO SCALE



NOTE:
MANHOLE FRAMES & COVERS SHALL BE PATTERN #1007D AS
MANUFACTURED BY THE CAMPBELL FOUNDRY COMPANY OF
NORTH HAVEN, CONNECTICUT, OR APPROVED EQUAL.

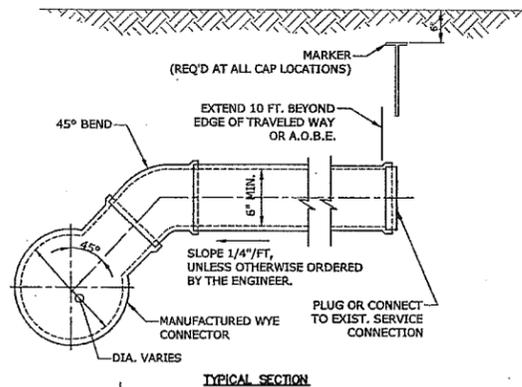
CITY OF NORWALK
MANHOLE FRAME AND COVER
NO SCALE



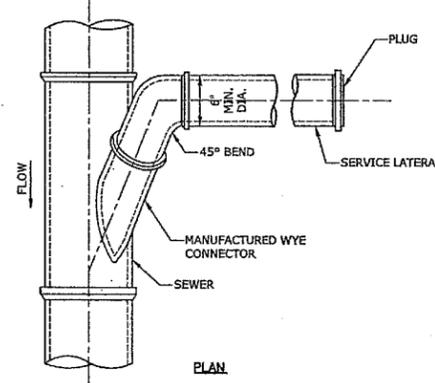
NOTES:

1. MINIMUM 4" DIAMETER MANHOLE.
2. DOGHOUSE OPENING MAY ONLY BE USED WHEN PLACING A NEW MANHOLE OVER AN EXISTING LINE; OTHERWISE, THE OPENING MUST BE CAST. SIZE, LOCATION AND ANGLE OF ENTRY SHOULD BE AS REQUIRED BY THE PLANS.
3. OPENINGS IN PRECAST UNITS ARE TO BE 4" MINIMUM TO 8" MAXIMUM LARGER THAN THE OUTSIDE DIAMETER OF THE EXISTING PIPE.
4. TOP HALF OF EXISTING PIPE TO BE REMOVED FOR FULL LENGTH EXPOSED INSIDE MANHOLE. EXISTING MAIN TO BE NEATLY CUT ALONG THE SPRING LINE OF THE PIPE.
5. SEE STORM MANHOLE DETAIL FOR ADDITIONAL INFORMATION.

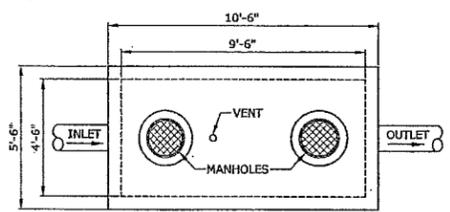
STORM DRAINAGE
DOGHOUSE MANHOLE BASE
NO SCALE



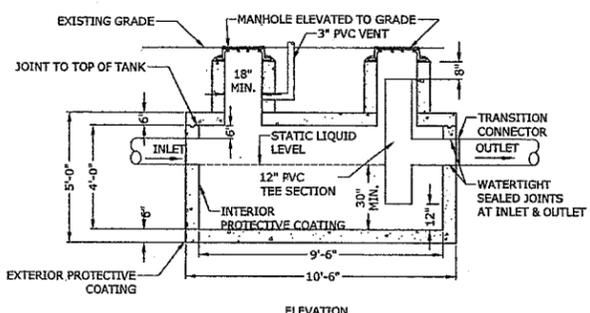
TYPICAL SECTION



STANDARD SERVICE LATERAL CONNECTION
NO SCALE



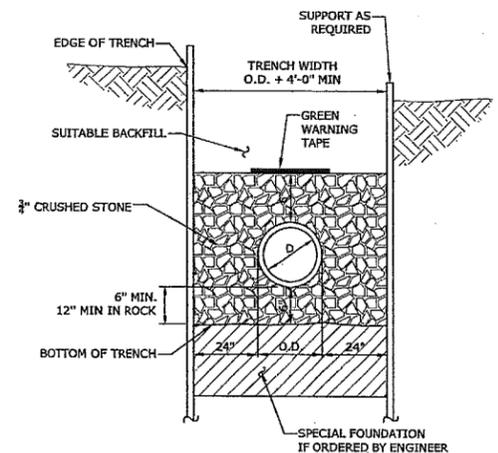
PLAN



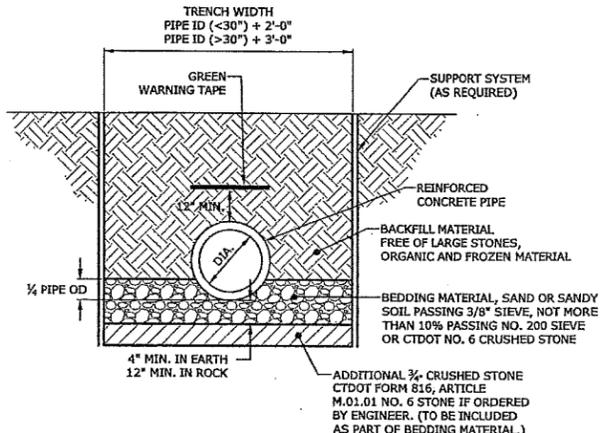
ELEVATION

- NOTES:
- CLEANOUT MANHOLES SHOULD BE ELEVATED TO GRADE WITH WATERTIGHT ACCESS COVERS.
 - HORIZONTAL JOINT SHALL BE ABOVE WATER LINE AT TOP OF TANK.
 - INTERIOR OF TANK SHALL BE COATED WITH AN EPOXY PETROLEUM RESISTANT SEALANT.
 - EXTERIOR OF TANK SHALL BE COATED WITH A WATERPROOF SEALANT.
 - VOIDS BETWEEN INLET AND/OR OUTLET PIPING AND CONCRETE WALLS MUST BE FILLED WITH AN APPROVED WATERTIGHT, NON-SHRINKABLE GROUT MATERIAL, AND COATED WITH WATER GROUT SEALANT.
 - TANK MUST BE VENTED WITH A 3" PVC VENT ATTACHED TO BUILDING WALL TO EXTEND 8'-0" ABOVE FINISHED GRADE. INSTALL MUSHROOM CAP.
 - TANK SHALL BE DESIGNED FOR H2O LOADING.

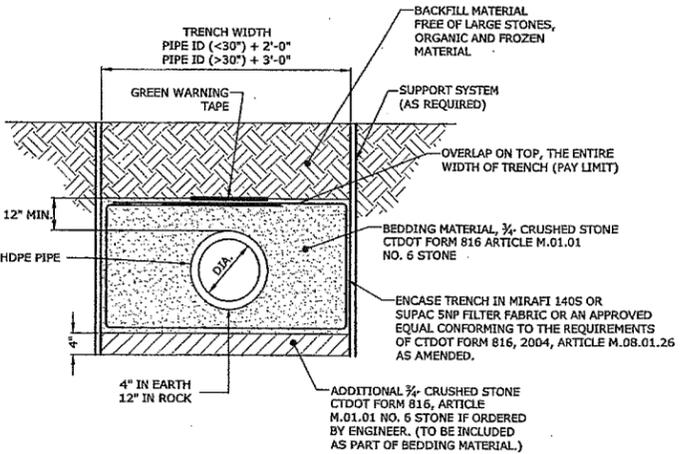
1000 GALLON OIL/GRIT SEPARATOR
NO SCALE



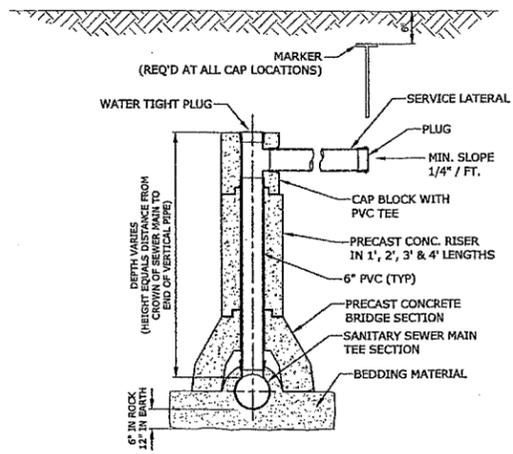
TYPICAL SANITARY SEWER TRENCH SECTION
NO SCALE



CIRCULAR R.C.P. TRENCH BEDDING
NO SCALE

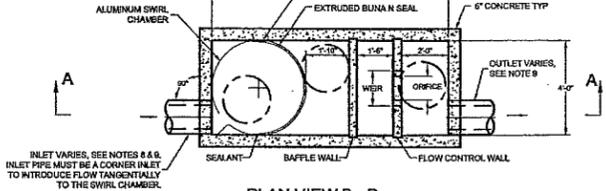


HDPE TRENCH BEDDING
NO SCALE

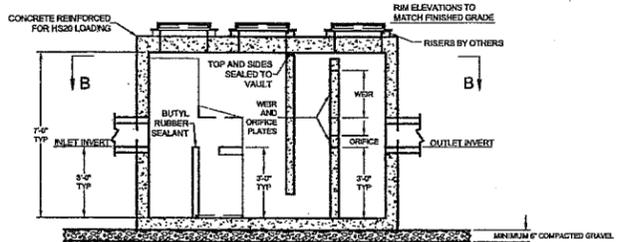


CHIMNEY DETAIL
NO SCALE

NOTE: VORTEXES SYSTEMS INSTALLED IN A BYPASS CONFIGURATION REQUIRE AN UPSTREAM DIVERSION STRUCTURE THAT SHALL BE DESIGNED BY THE CONSULTING ENGINEER WITH ELEVATION AND WEIR WIDTH DATA PROVIDED BY CONTECH STORMWATER SOLUTIONS.



PLAN VIEW B - B



SECTION A - A

- NOTES:
- STORMWATER TREATMENT SYSTEM (SWTS) SHALL HAVE: PEAK TREATMENT CAPACITY: 2.8 CFS; SEDIMENT STORAGE: 1.0 CU YD; SEDIMENT CHAMBER DIA: 4' MIN.
 - SWTS SHALL BE CONTAINED IN ONE RECTANGULAR STRUCTURE.
 - SWTS REMOVAL EFFICIENCY SHALL BE DOCUMENTED BASED ON PARTICLE SIZE.
 - SWTS SHALL RETAIN FLOATABLES AND TRAPPED SEDIMENT UP TO AND INCLUDING PEAK TREATMENT CAPACITY.
 - SWTS INVERT IN AND OUT ARE TYPICALLY AT THE SAME ELEVATION.
 - SWTS SHALL NOT BE COMPROMISED BY EFFECTS OF DOWNSTREAM FLOW.
 - SWTS SHALL HAVE NO INTERNAL COMPONENTS THAT OBSTRUCT MAINTENANCE ACCESS.
 - INLET PIPE MUST BE PERPENDICULAR TO THE STRUCTURE.
 - PIPE ORIENTATION MAY VARY; SEE SITE PLAN FOR SIZE AND LOCATION.
 - PRECASTER SHALL NOT BE RESPONSIBLE FOR ASSEMBLY OF UNIT.
 - MANHOLE FRAMES AND PERFORATED COVERS SUPPLIED WITH SYSTEM, NOT INSTALLED.
 - PURCHASER TO PREPARE EXCAVATION AND PROVIDE CRANE FOR OFF-LOADING AND SETTING AT TIME OF DELIVERY.
 - VORTEXES SYSTEMS BY CONTECH STORMWATER SOLUTIONS; PORTLAND, OR (800) 548-4667; SCARBOROUGH, ME (877) 907-8676; LINTHICHAH, MD (888) 740-3318.

PROPRIETARY INFORMATION - NOT TO BE USED FOR CONSTRUCTION PURPOSES

This CAD file is for the purpose of providing stormwater treatment equipment to be furnished by CONTECH Stormwater Solutions and may only be furnished to other documents ready as provided by CONTECH Stormwater Solutions. The block information, including the CONTECH Stormwater Solutions logo and the Vortexes Stormwater Treatment System designation and panel number, may be deleted if necessary. Revisions to any part of this CAD file without prior consultation with CONTECH Stormwater Solutions shall be considered unauthorized use of proprietary information.

CONTECH STORMWATER SOLUTIONS. STANDARD DETAIL STORMWATER TREATMENT SYSTEM VORTEXES® MODEL 2000

DATE: 10/4/05 SCALE: NONE FILE NAME: STD2X DRAWN: JBS CHECKED: NDG

Washington Village Buildings C, D, E

Norwalk, CT

Trinity Washington Village Limited Partnership & the Norwalk Housing Authority



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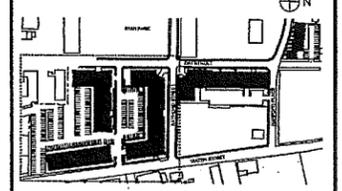


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MASTER PLAN



MARK	DATE	DESCRIPTION
3	11-22-2013	ZONING REVISION
2	10-25-2013	ZONING REVISION
1	9-19-2013	SPECIAL PERMIT/CAM SUBMISSION

PROJECT NO.: I0071
DRAWN BY: MDS
CHECKED BY: EWL

SHEET TITLE

STORM DRAINAGE DETAILS

C4.3

May 05, 2014 4:18pm Plotted By: SarasonM Tighe & Bond, Inc. J:\10071 Washington Village\Drawings\Sheet\Building C, D, E\SDS-C-10071-01.dwg

Washington Village Buildings C, D, E

Norwalk, CT

Trinity Washington Village Limited Partnership & the Norwalk Housing Authority



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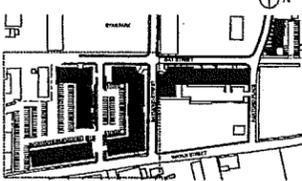


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MASTER PLAN



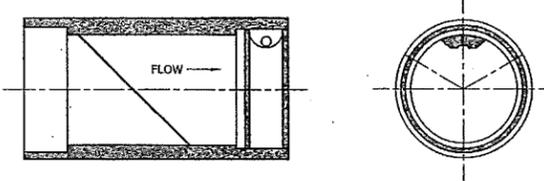
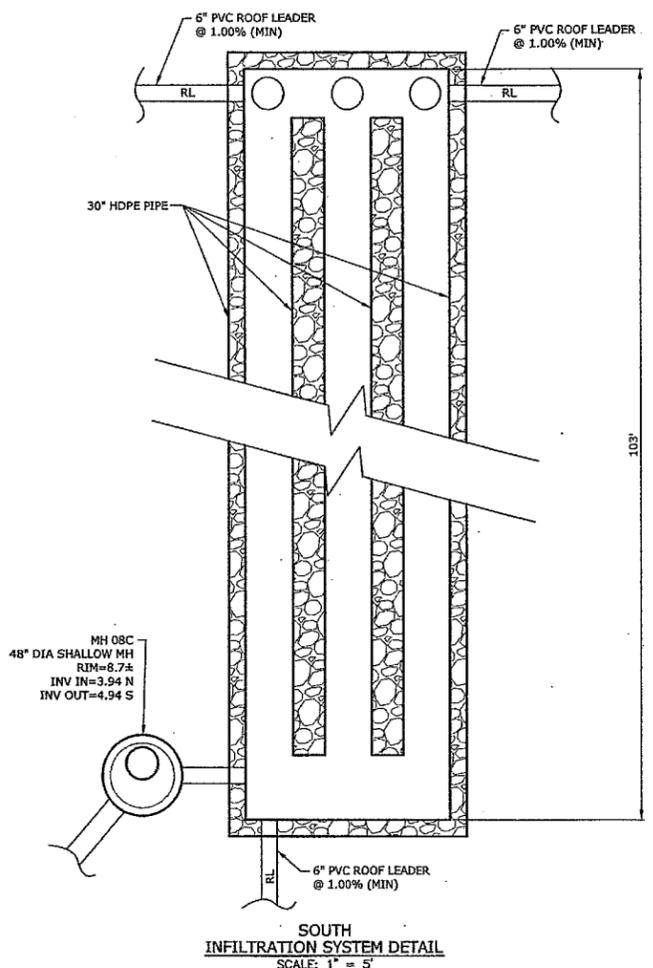
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1	9-19-2013	SPECIAL PERMIT/CAM SUBMISSION

PROJECT NO.: 10071
DRAWN BY: MDS
CHECKED BY: EWL

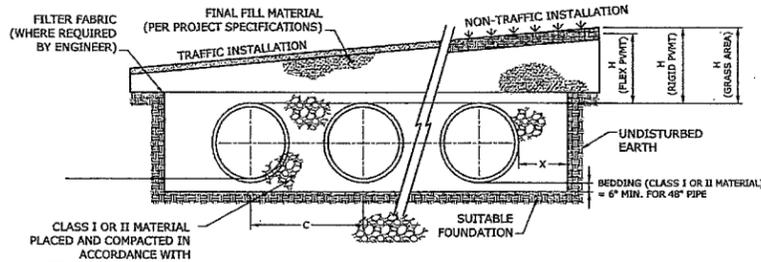
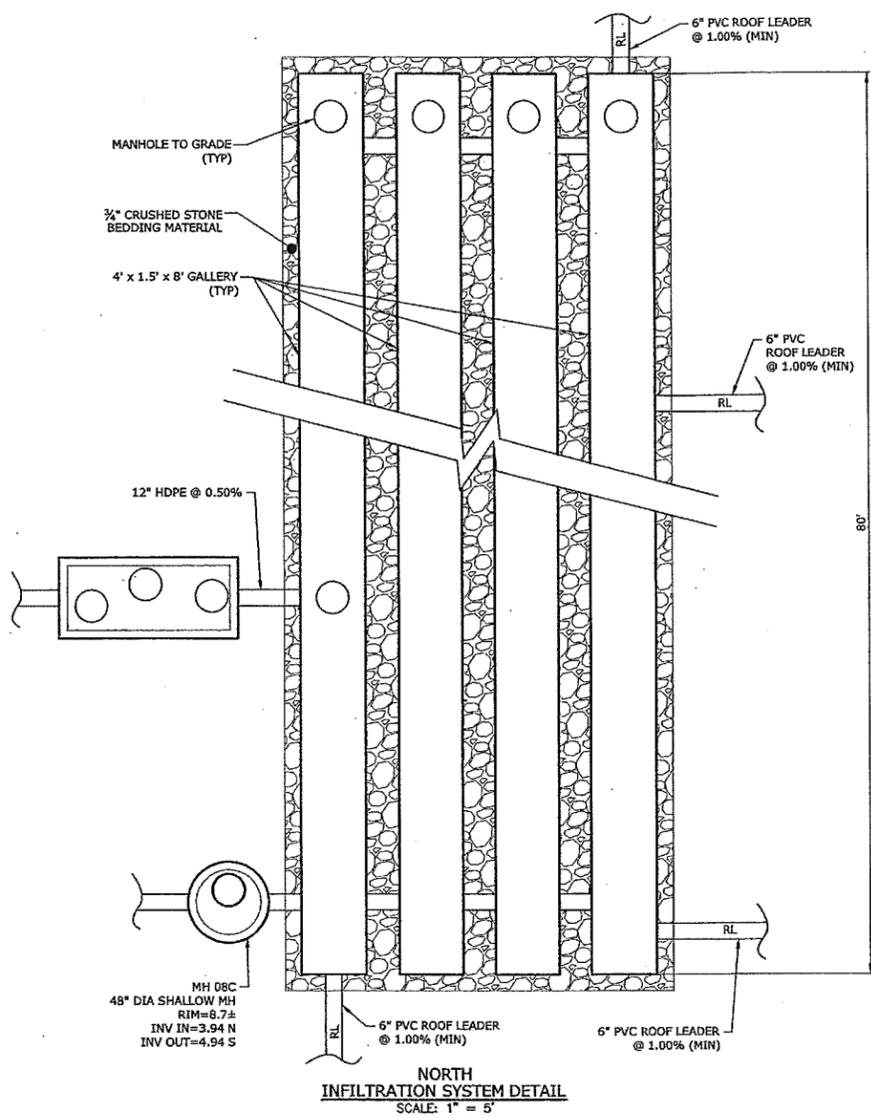
SHEET TITLE

INFILTRATION SYSTEM DETAILS

C4.4



CHECKMATE VALVE									
NOMINAL PIPE SIZE I.D.*		OVERALL LENGTH*		NUMBER OF CLAMPS	CUFF DEPTH		BACK PRESSURE RATING		
Inches	Millimeters	Inches	Millimeters		Inches	Millimeters	Feet	Meters	
12	300	23	584	1	2	51	40	12	
14	350	25.75	654	1	4	102	20	6	
16	400	28.61	727	1	4	102	20	6	
18	450	31	787	1	4	102	20	6	
20	500	42.14	1070	2	8	203	20	6	
24	600	47.5	1207	2	8	203	20	6	

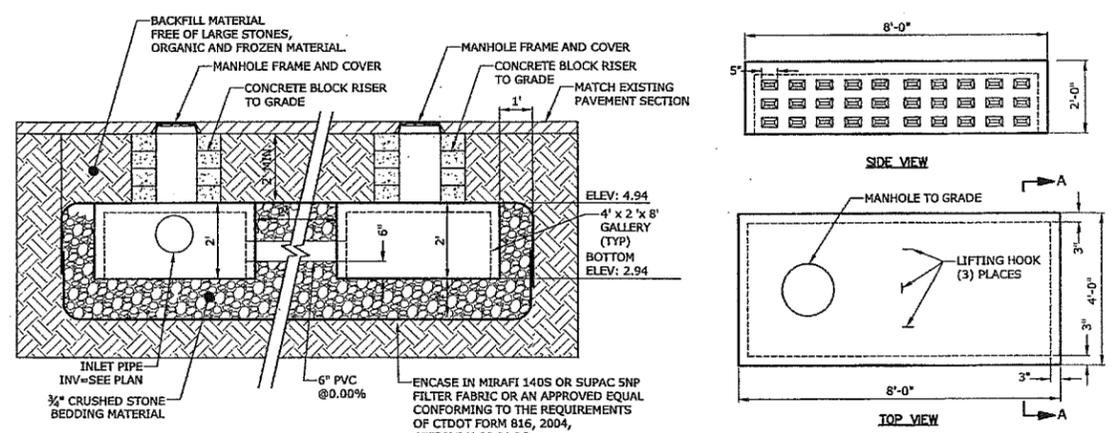


NOMINAL DIAMETER	NOMINAL O.D.	TYPICAL SPACING "C"	TYPICAL SIDE WALL "X"	MIN. H NON-TRAFFIC	MIN. H (TRAFFIC)	MAX. H*
48"	54"	78.5"	18"	12"	24"	6"
(1200 MM)	(1372 MM)	(1994 MM)	(457 MM)	(292 MM)	(610 MM)	(2-4 M)

* MAXIMUM FILL HEIGHTS OVER MANHOLE FITTINGS. CONTACT MANUFACTURER'S REPRESENTATIVE FOR INSTALLATION CONSIDERATIONS WHEN COVER EXCEEDS 8-FT.

NOTES:

- ALL REFERENCES TO CLASS I OR II MATERIAL ARE PER ASTM D2321 "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
- ALL RETENTION AND DETENTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, LATEST EDITION AND THE MANUFACTURER'S PUBLISHED INSTALLATION GUIDELINES.
- MEASURES SHOULD BE TAKEN TO PREVENT THE MIGRATION OF NATIVE FINES INTO THE BACKFILL MATERIAL, WHEN REQUIRED. SEE ASTM D2321.
- FILTER FABRIC:** A GEOTEXTILE FABRIC MAY BE USED AS SPECIFIED BY THE ENGINEER TO PREVENT THE MIGRATION OF FINES FROM THE NATIVE SOIL INTO THE SELECT BACKFILL MATERIAL.
- FOUNDATION:** WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
- BEDDING:** SUITABLE MATERIAL SHALL BE CLASS I OR II. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm); 6" (150mm) FOR 30"-60" (750mm-900mm).
- INITIAL BACKFILL:** SUITABLE MATERIAL SHALL BE CLASS I OR II IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
- COVER:** MINIMUM COVER OVER ALL RETENTION/DETENTION SYSTEMS IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATION.
- FOR TRAFFIC APPLICATIONS, MINIMUM COVER IS 12" UP TO 36" DIAMETER PIPE AND 24" OF COVER FOR 42" - 60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT. MAXIMUM FILL HEIGHT LIMITED TO 8-FT OVER FITTINGS FOR STANDARD INSTALLATIONS. CONTACT A SALES REPRESENTATIVE WHEN MAXIMUM FILL HEIGHTS EXCEED 8-FT FOR INSTALLATION CONSIDERATIONS.



- SPECIFICATIONS:**
- GALLERY TO BE 4'x2'x8' GALLERY BY CONNECTICUT PRECAST CORP., MONROE, CONNECTICUT, OR APPROVED EQUAL.
 - CONCRETE 4000 PSI MINIMUM STRENGTH AT 28 DAYS.
 - STEEL REINFORCEMENT ASTM A-615, GRADE 60.
 - DESIGN LOADING MUST MEET AASHTO HS20-44.

4' x 2' x 8' PRECAST GALLERY
NO SCALE

May 05, 2014 4:18pm Plotted By: Srinivasan, Tighe & Bond, Inc. 21010272 Washington Village (Drawings) Sheet (Building C, D, E) DS-C-10071-01.dwg

Washington Village
Buildings C, D, E

Norwalk, CT

Trinity Washington Village
Limited Partnership &
the Norwalk Housing Authority



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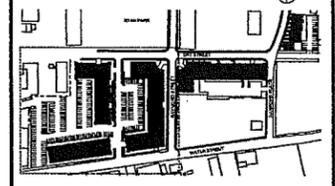


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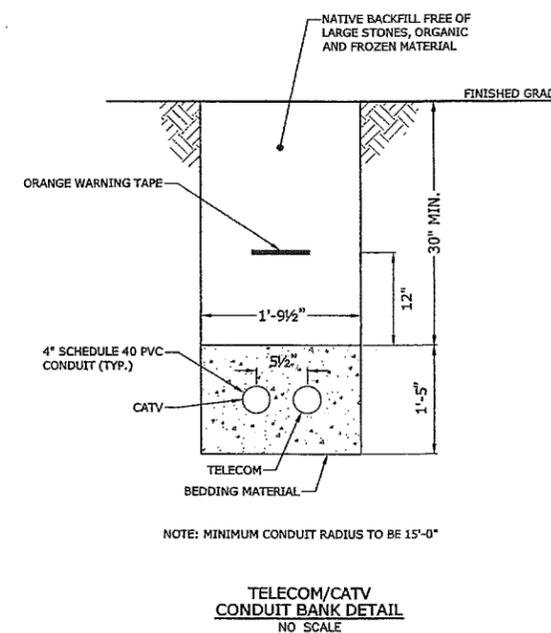
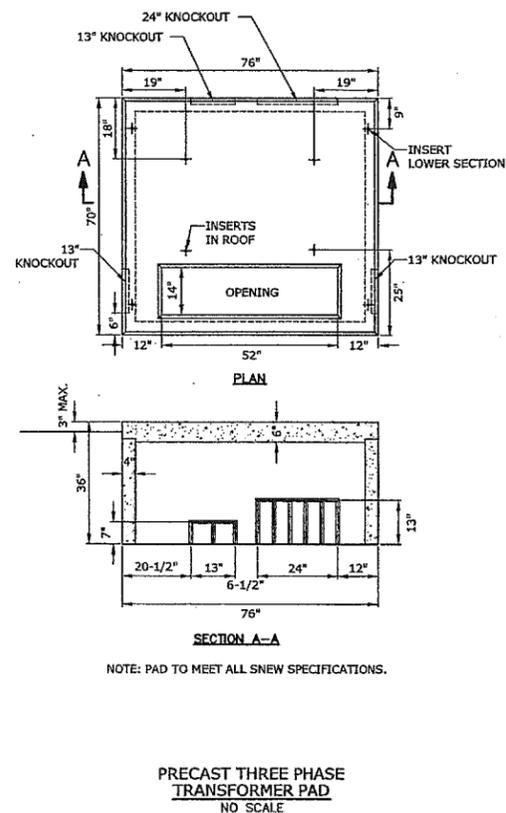
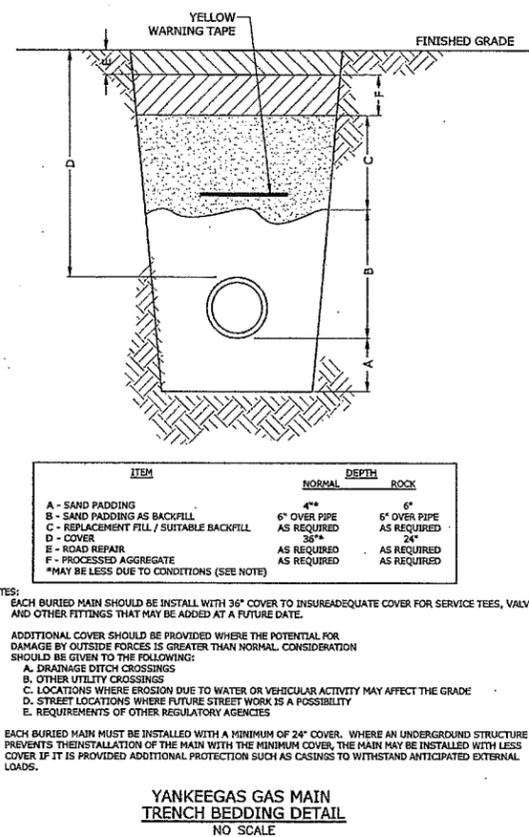
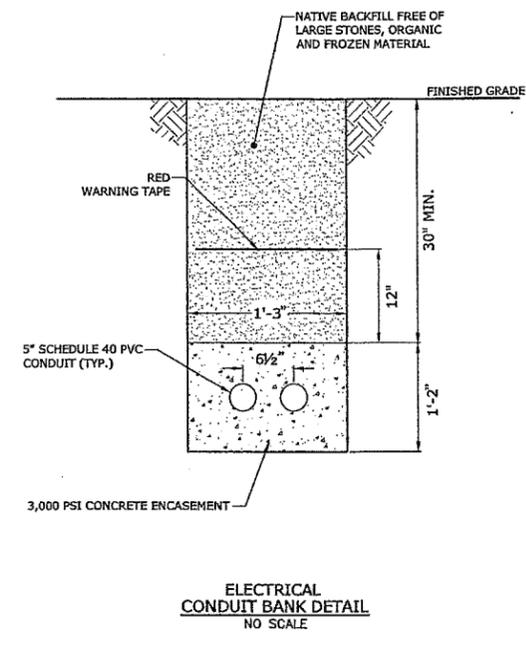
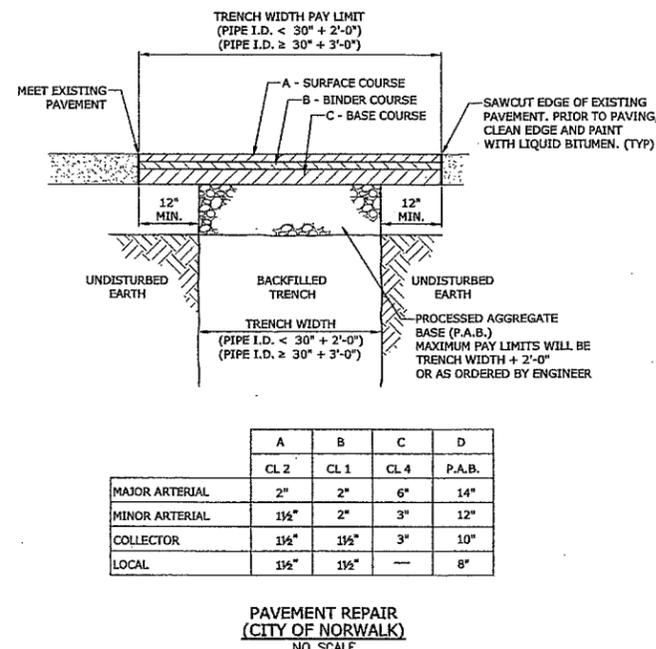
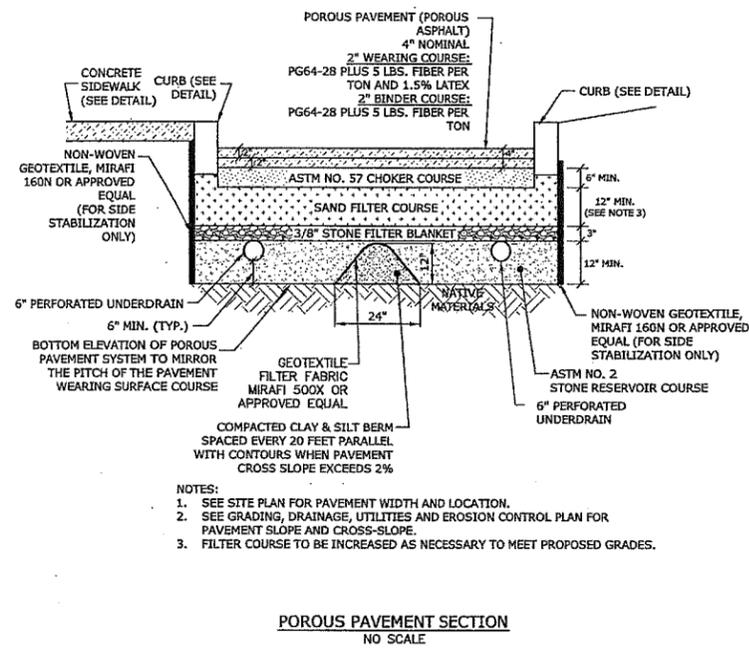
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2	10-25-2013	ZONING REVISION
1	9-19-2013	SPECIAL PERMIT/CAM SUBMISSION

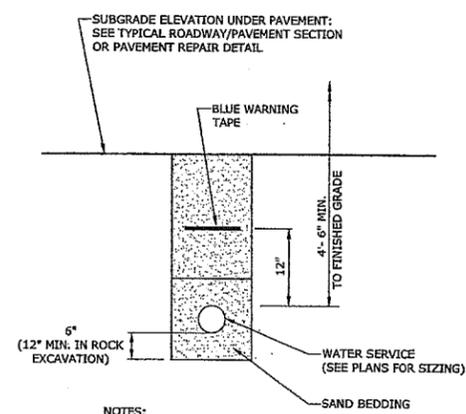
PROJECT NO.: 10071
DRAWN BY: MDS
CHECKED BY: EWL

SHEET TITLE

UTILITY, SITE
DETAILS

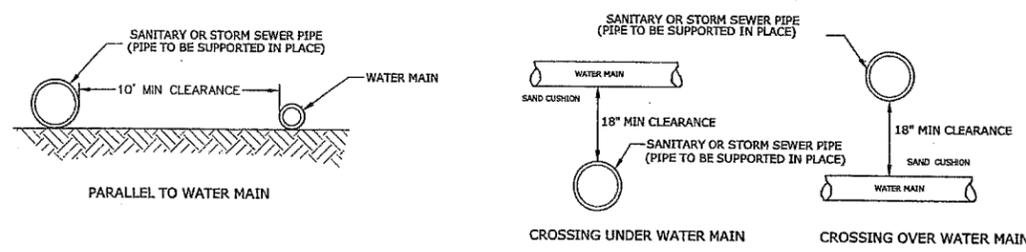
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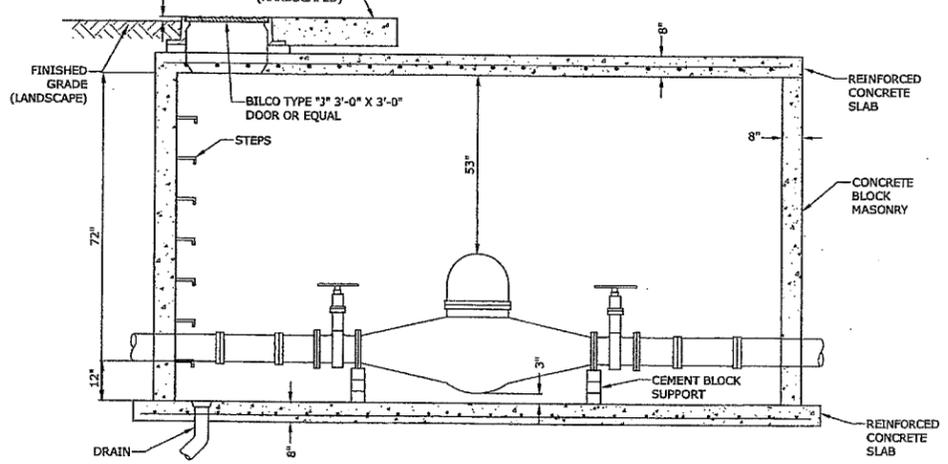
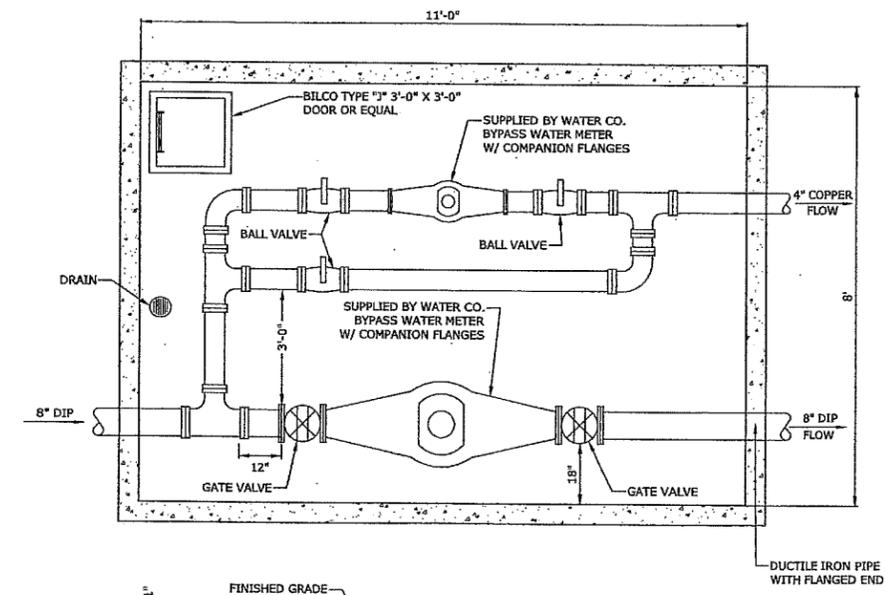
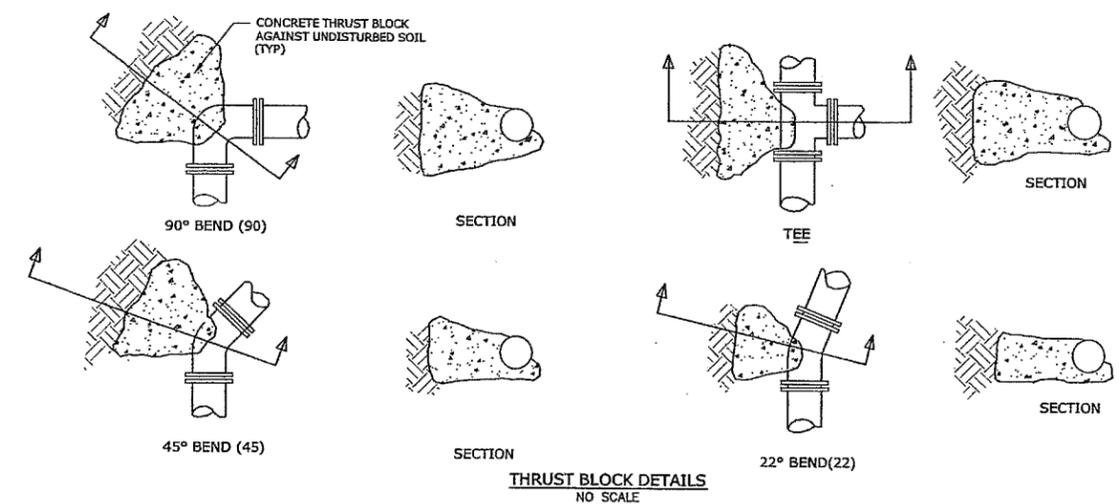
- NOTES:
1. SAND BEDDING MATERIAL TO BE PLACED A MINIMUM OF 1'-0" OVER THE TOP OF WATER SERVICE.
 2. BEDDING MATERIAL TO BE PLACED ON UNDISTURBED FOUNDATION.
 3. REMOVE ANY UNSUITABLE FOUNDATION MATERIAL AND REPLACE WITH COMPACTED BEDDING MATERIAL.

WATER SERVICE TRENCH
NO SCALE



- CROSSING WATER MAIN**
1. IF THE SANITARY SEWER CROSSES LESS THAN 18" ABOVE OR UNDER THE WATER MAIN, THE SANITARY SEWER MUST BE ENCASED IN CONCRETE TO A DISTANCE OF 10 FEET (10') ON BOTH SIDES OF THE WATER MAIN OR BE APPROVED TIGHT JOINTED PIPE AS PER THE STATE OF CONNECTICUT D.O.H.S.
- PARALLEL TO WATER MAIN**
2. IF THE SANITARY SEWER IS WITHIN 10 HORIZONTAL FEET (10') OF THE WATER MAIN AND EITHER ABOVE THE WATER MAIN INVERT OR LESS THAN 18 INCHES (18") UNDER THE WATER MAIN, THE SANITARY SEWER MUST BE ENCASED IN CONCRETE OR BE APPROVED TIGHT JOINTED PIPE AS PER THE STATE OR CONNECTICUT D.O.H.S.

SEWER PIPE CROSSING DETAIL
NO SCALE



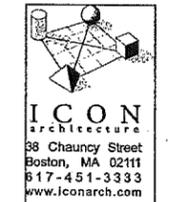
- NOTES:
1. VAULT AND PIPING TO MEET ALL SNEW DETAILS AND SPECIFICATIONS.
 2. VAULT TO BE DESIGNED FOR HS-20 LOADING.

WATER METER VAULT
NO SCALE

Washington Village Buildings C, D, E

Norwalk, CT

Trinity Washington Village Limited Partnership & the Norwalk Housing Authority



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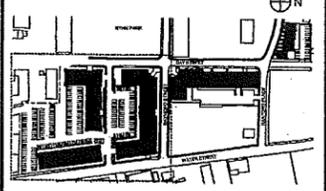


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MASTER PLAN



MARK	DATE	DESCRIPTION
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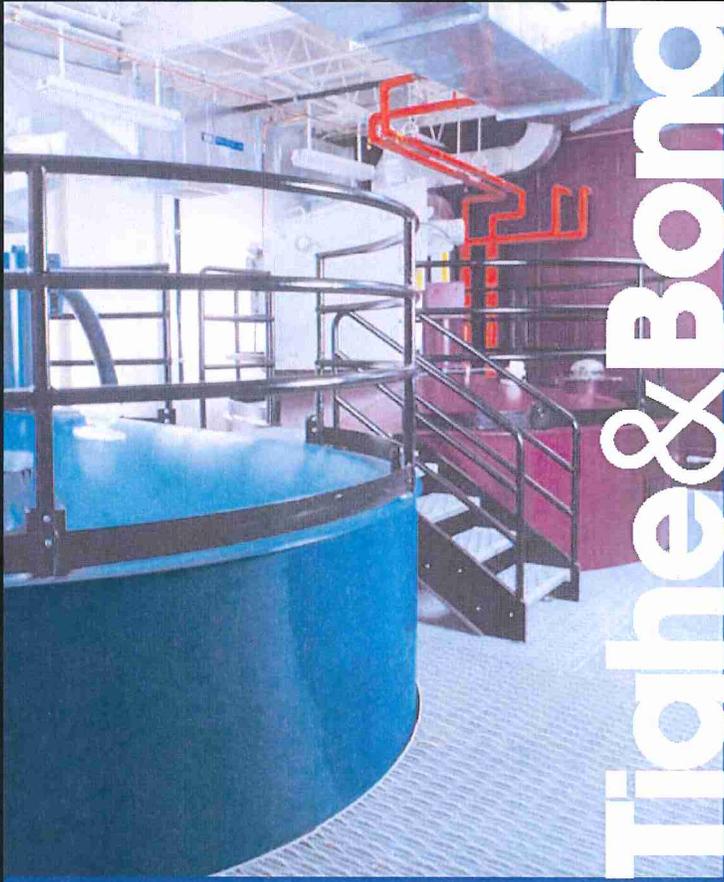
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DRAWN BY: MDS
CHECKED BY: EWL

SHEET TITLE

WATER SERVICE DETAILS

C4.6

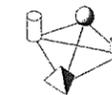
Nov 15, 2014 4:28PM Plotted By: Samsara
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 Washington Village Buildings C, D, E\DWG-C-10071-01.dwg



Tighe & Bond

Parcel 1
 Building A
 13 Day Street
 Norwalk, CT

Trinity Washington Village
 Limited Partnership &
 the Norwalk Housing Authority



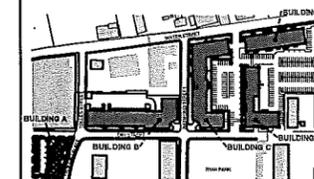
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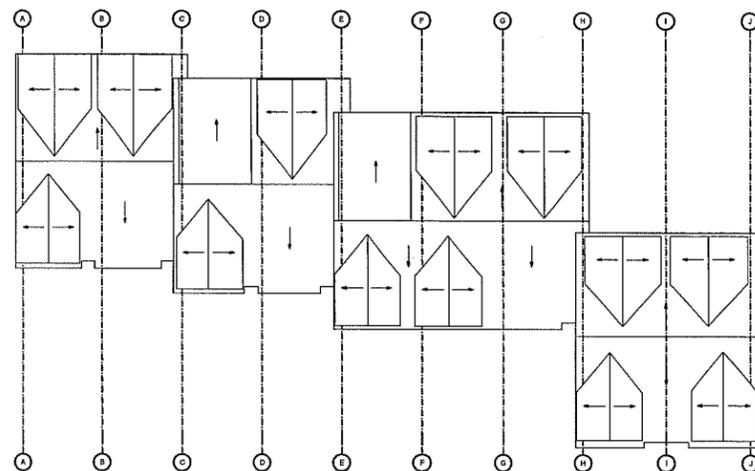
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	2013-09-19	MASTER PLAN SUBMISSION

PROJECT NO.: 21222
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 CHECKED BY:

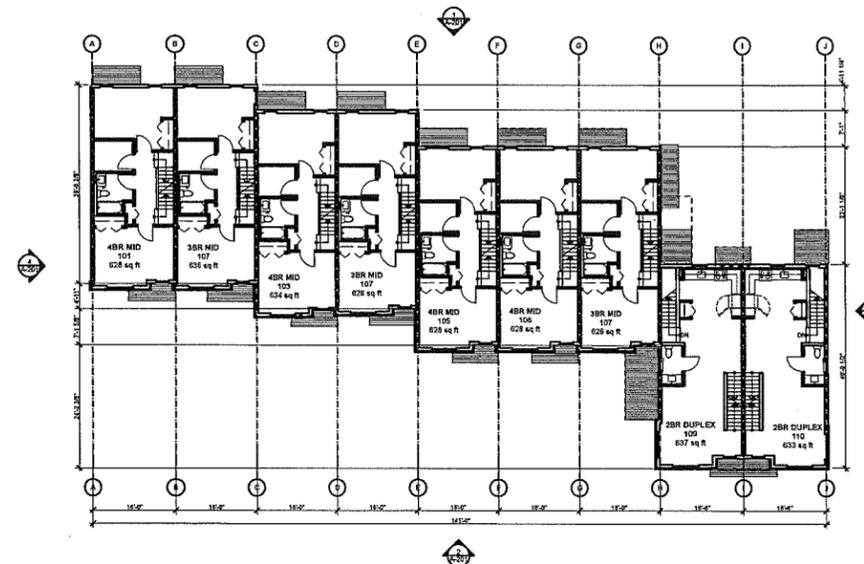
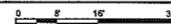
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BUILDING A FLOOR
 PLANS

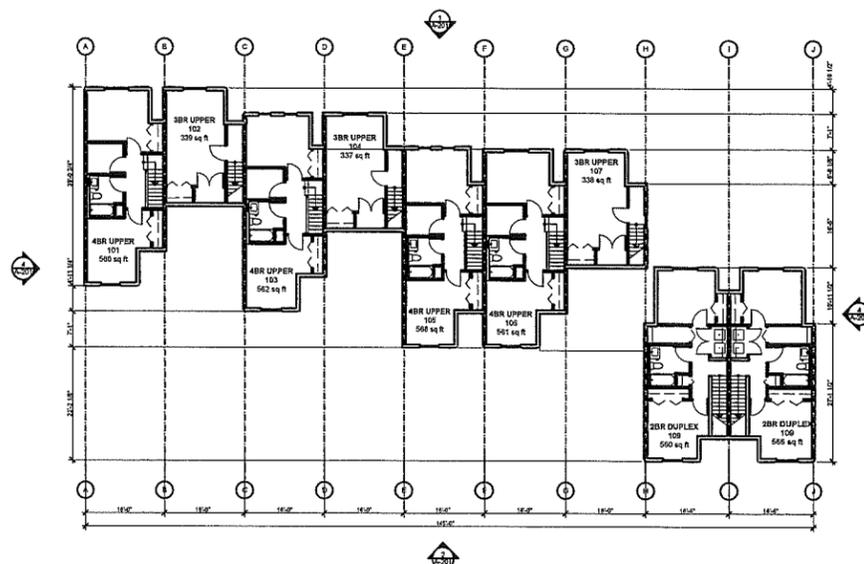
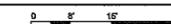
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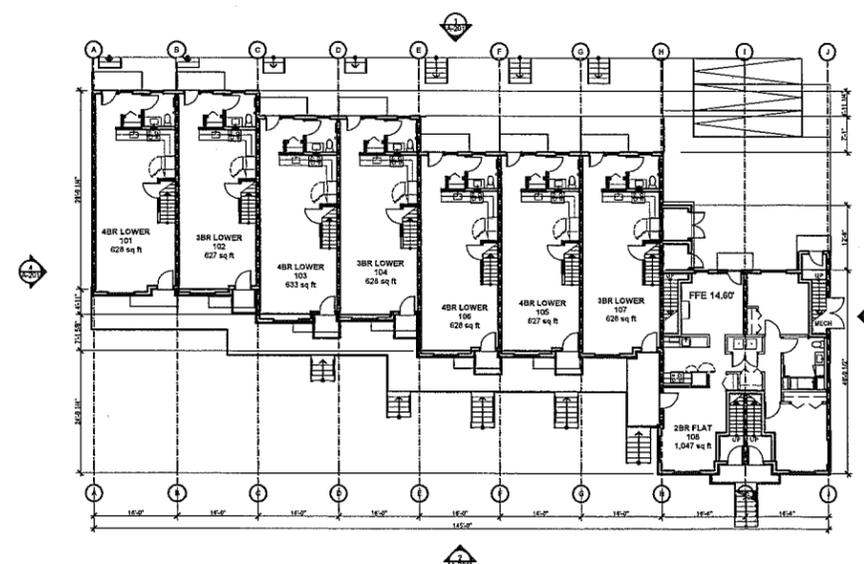
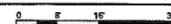
4 ROOF
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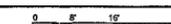
2 SECOND FLOOR
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3 THIRD FLOOR
 SCALE: 1/16" = 1'-0"



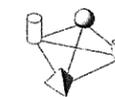
1 FIRST FLOOR
 SCALE: 1/16" = 1'-0"



Parcel 2
Building B
20 Day Street

Norwalk, CT

Trinity Washington Village
Limited Partnership &
the Norwalk Housing Authority



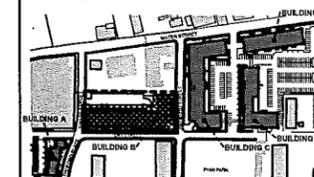
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MASTER PLAN



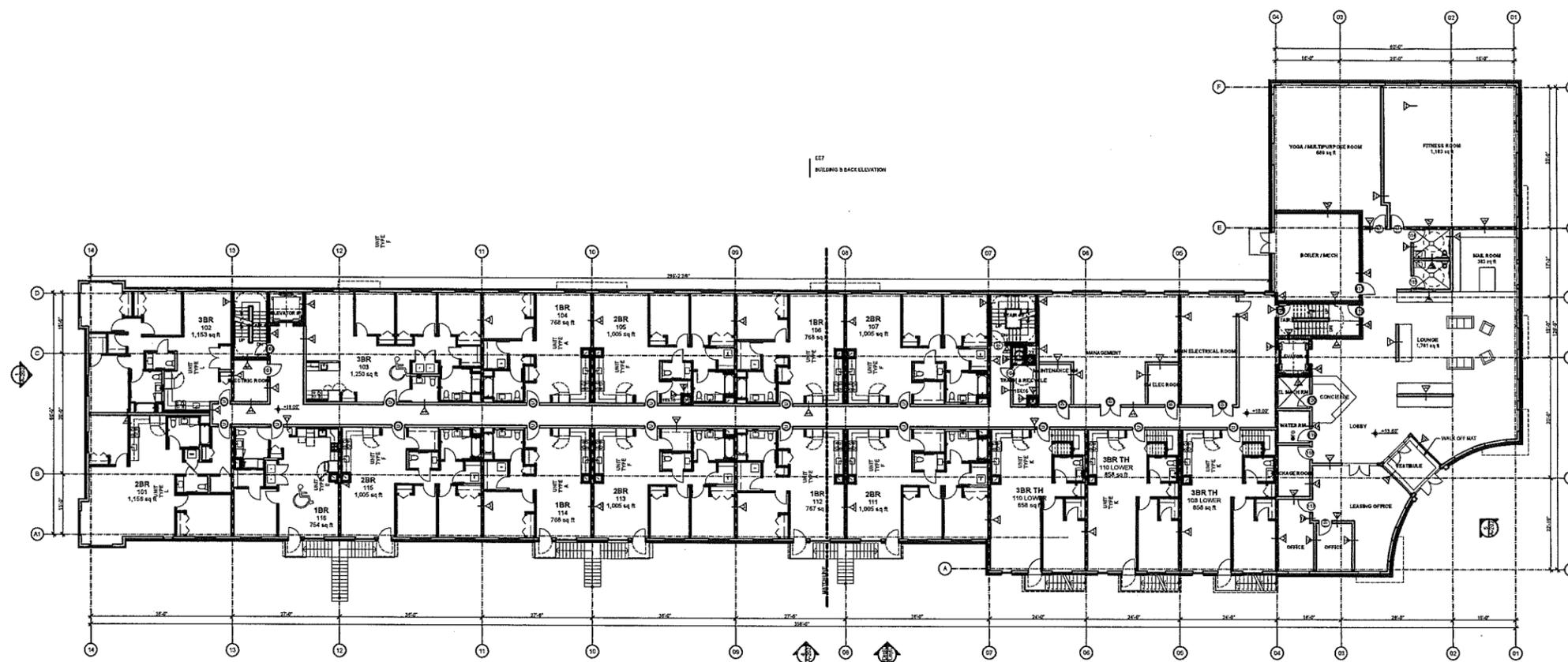
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	2013-09-19	MASTER PLAN SUBMISSION

PROJECT NO.: 21222
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CHECKED BY:

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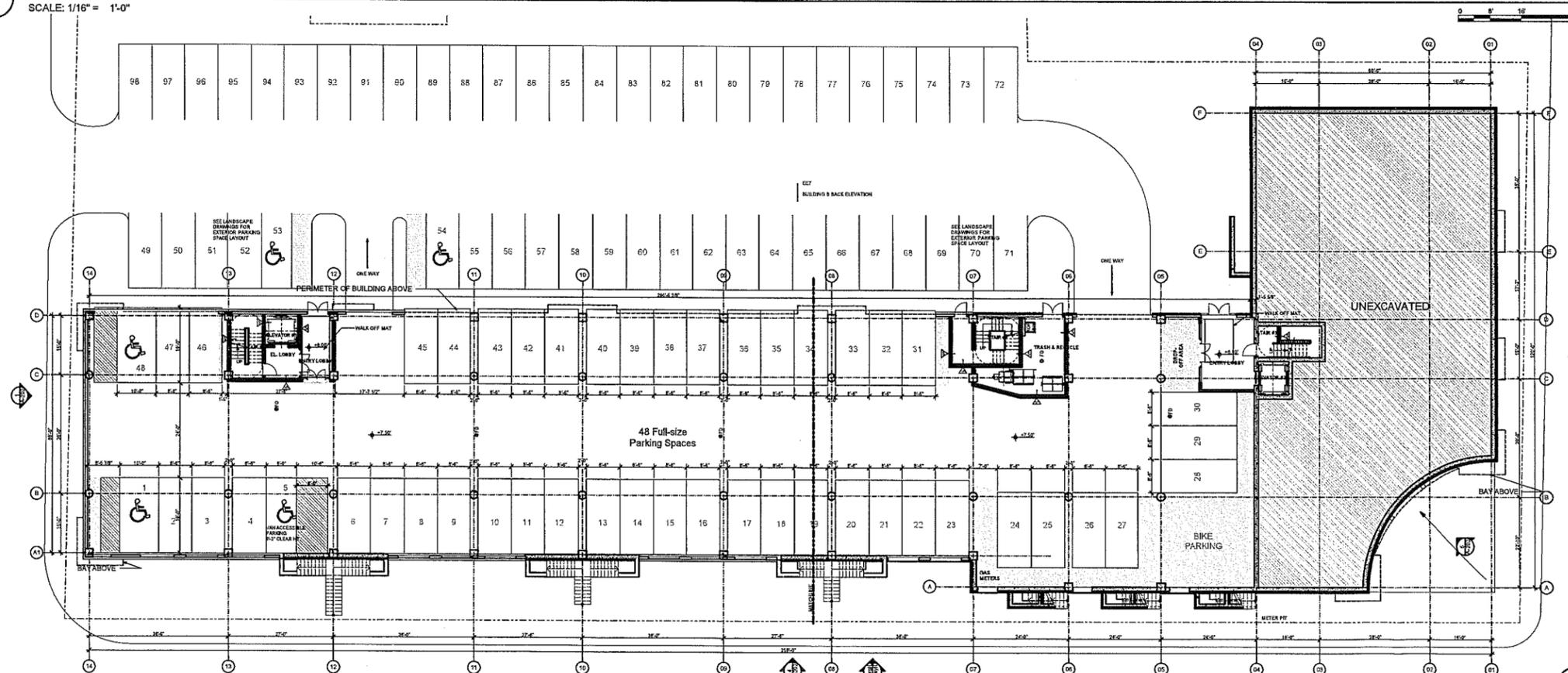
BUILDING B GROUND
LEVEL AND FIRST
FLOOR PLAN

A-106



2 FIRST FLOOR PLAN

SCALE: 1/16" = 1'-0"



1 GROUND LEVEL PLAN

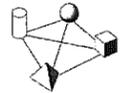
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11/18/2013 7:49 PM

Parcel 3
Buildings C,D,E
Washington Village

Norwalk, CT

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Limited Partnership &
the Norwalk Housing Authority



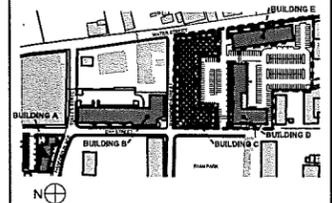
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Architecture
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STAMP



MASTER PLAN



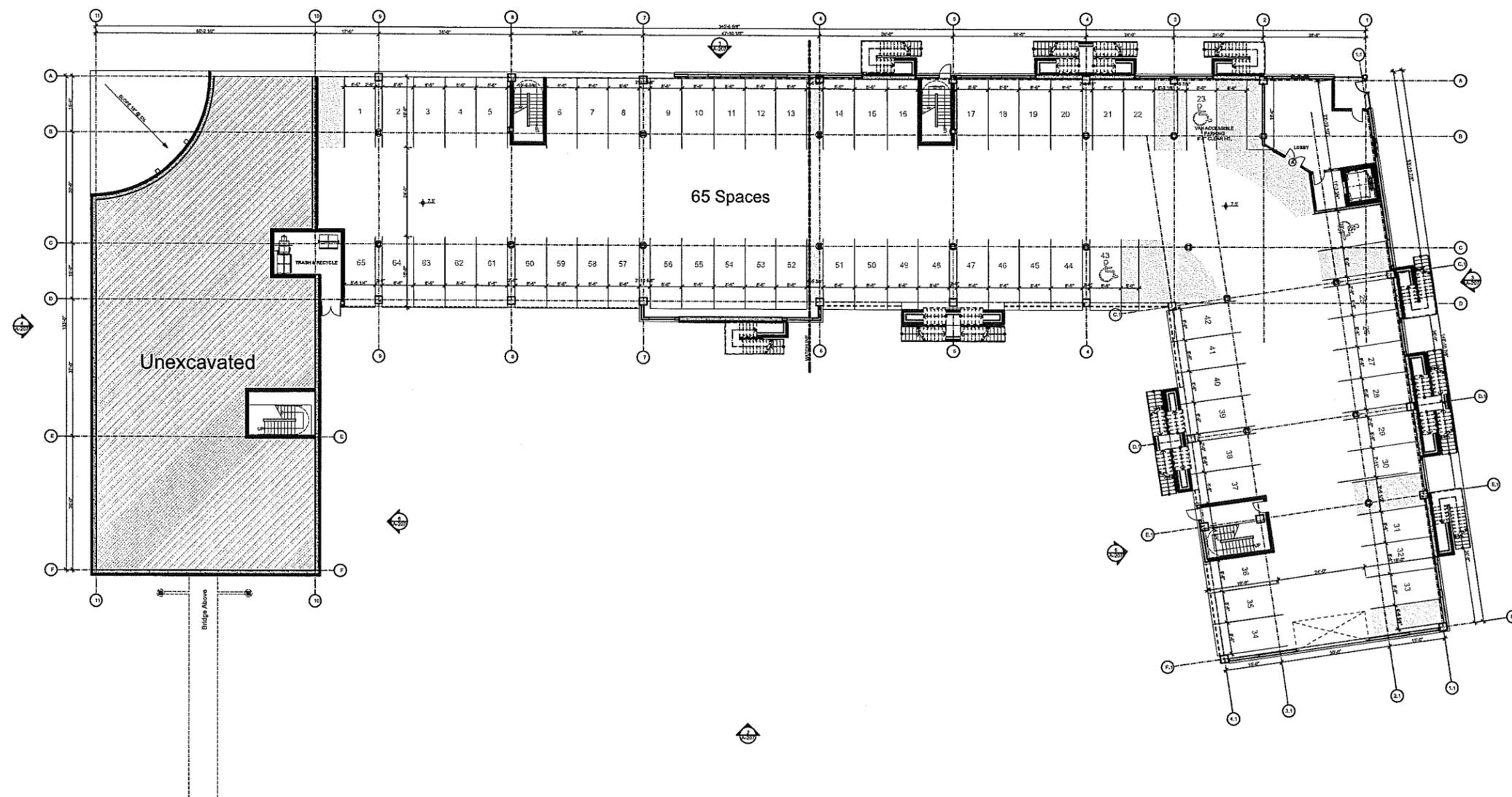
2014-05-07	DOH/ DEEP APPLICATION	
2013-11-26	ZONING REVISION	
2013-11-22	ZONING REVISION	
09-19-2013	MASTER PLAN SUBMISSION	
MARK	DATE	DESCRIPTION

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CHECKED BY: KH

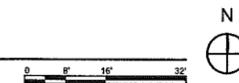
SHEET TITLE

**BUILDING C GROUND
LEVEL PLAN**

A-121



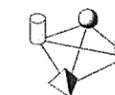
1 GROUND LEVEL
SCALE: 1/16" = 1'-0"



Parcel 3
Buildings C,D,E
Washington Village

Norwalk, CT

Trinity Washington Village
Limited Partnership &
the Norwalk Housing Authority



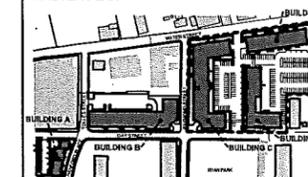
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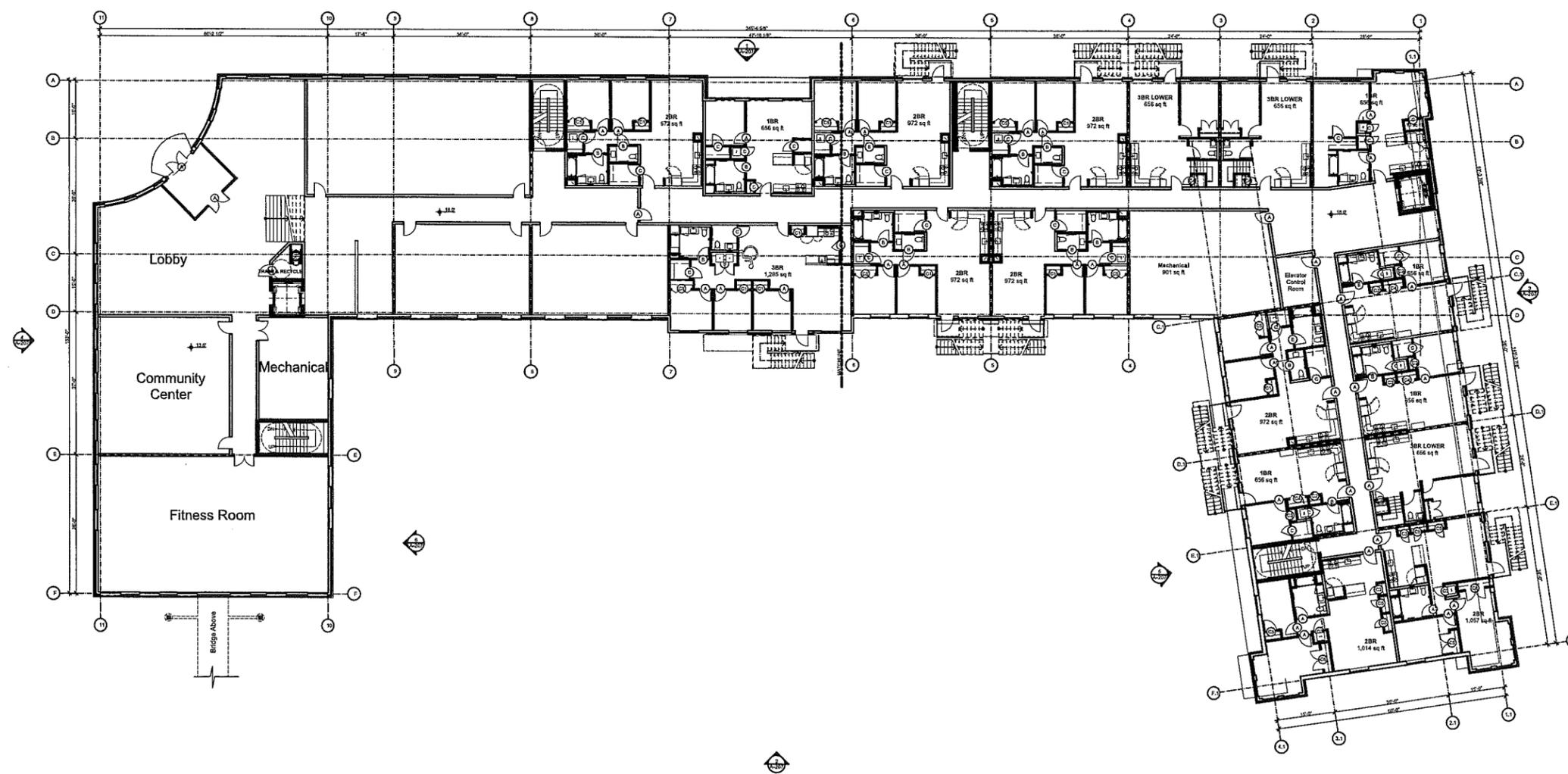
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	2013-11-26	ZONING REVISION
	2013-11-22	ZONING REVISION
	09-19-2013	MASTER PLAN SUBMISSION
MARK	DATE	DESCRIPTION

PROJECT NO.: 21222
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CHECKED BY: KH

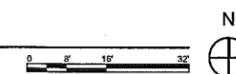
SHEET TITLE

BUILDING C FIRST
FLOOR PLAN

A-122



1 FIRST FLOOR
SCALE: 1/16" = 1'-0"



Parcel 3
Buildings C,D,E
Washington Village

Norwalk, CT

Trinity Washington Village
Limited Partnership &
the Norwalk Housing Authority



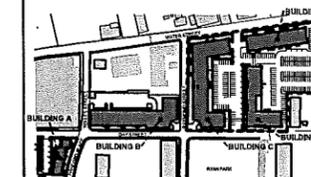
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Architecture
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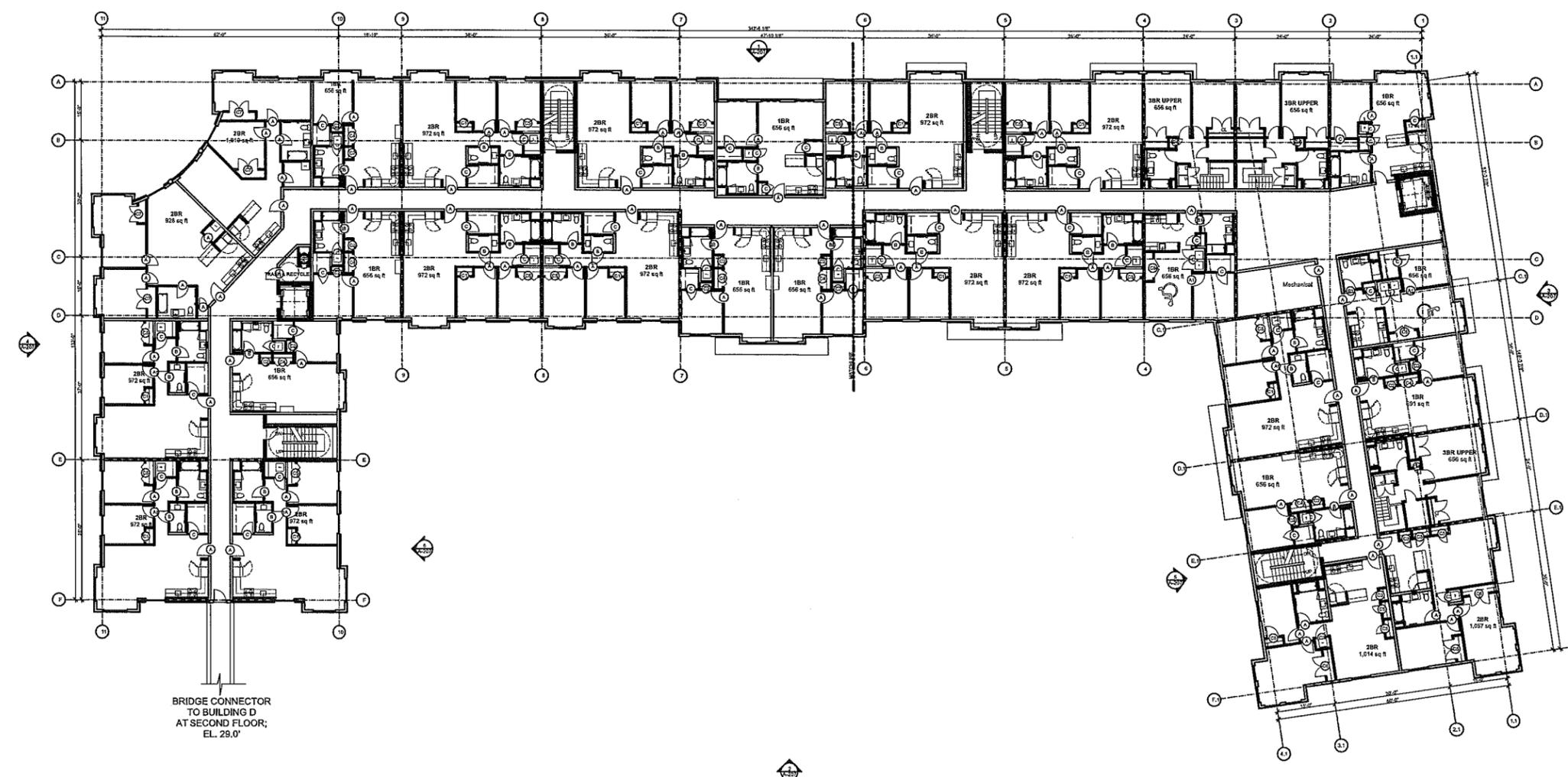
MARK	DATE	DESCRIPTION
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	2013-11-26	ZONING REVISION
	2013-11-22	ZONING REVISION
	09-19-2013	MASTER PLAN SUBMISSION

PROJECT NO.: 21222
DRAWN BY: AF,RA,MM,CC
CHECKED BY: KH

SHEET TITLE

**BUILDING C SECOND
FLOOR PLAN**

A-123

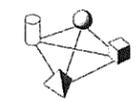


1 SECOND FLOOR
SCALE: 1/16" = 1'-0"

Parcel 3
Buildings C,D,E
Washington Village

Norwalk, CT

Trinity Washington Village
Limited Partnership &
the Norwalk Housing Authority



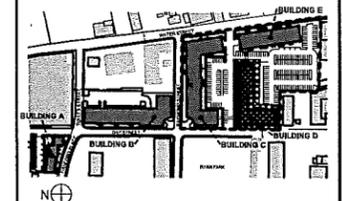
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Architecture
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MASTER PLAN



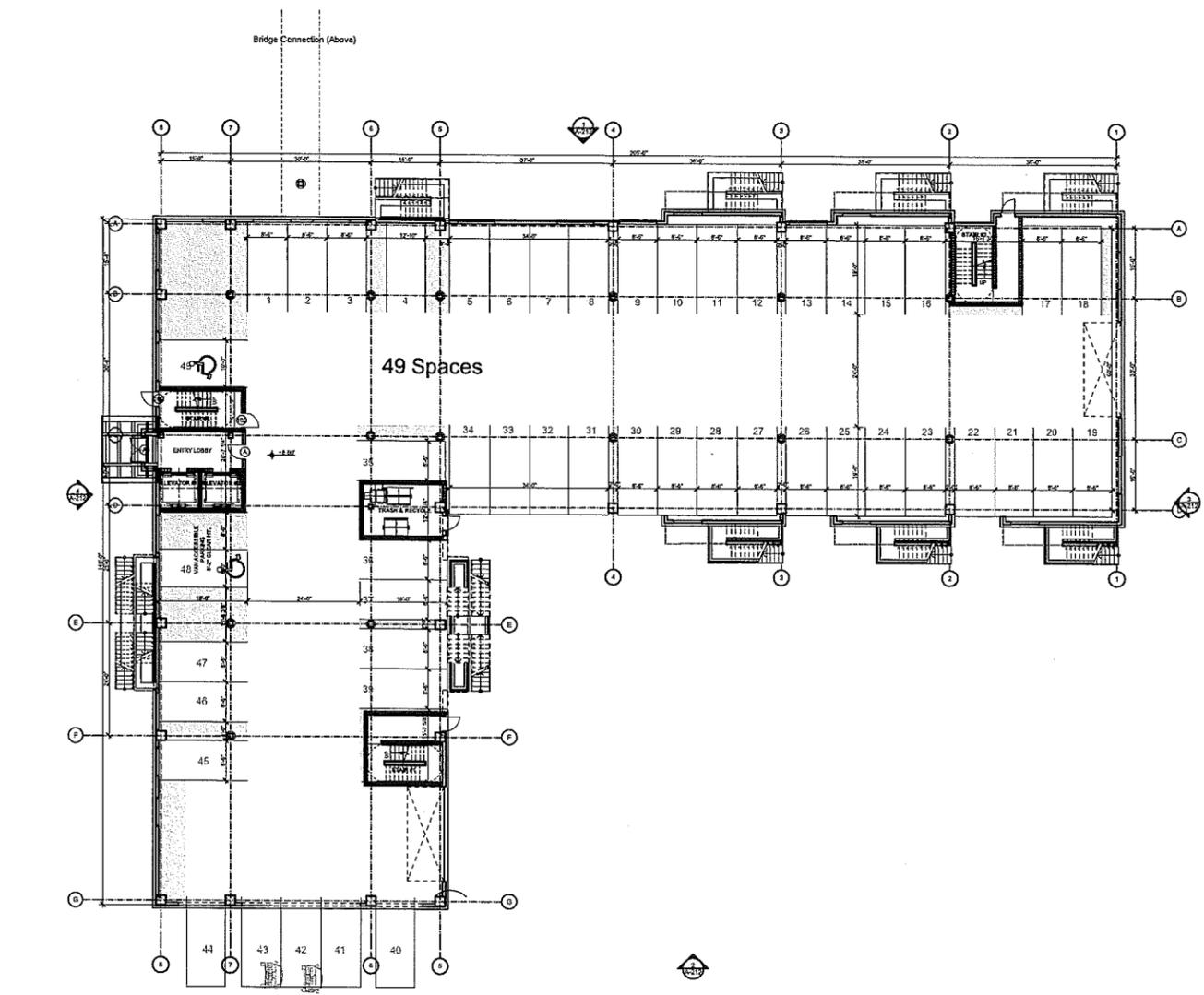
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	2013-11-26	ZONING REVISION
	2013-11-22	ZONING REVISION
	09-19-2013	MASTER PLAN SUBMISSION

PROJECT NO.: 21222
DRAWN BY: AF,RA,MM,CC
CHECKED BY: KH

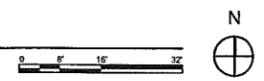
SHEET TITLE

**BUILDING D GROUND
LEVEL PLAN**

A-138



1 GROUND LEVEL
SCALE: 1/16" = 1'-0"

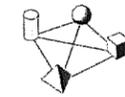


5/9/2014 9:46 AM

Parcel 3
Buildings C,D,E
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Norwalk, CT

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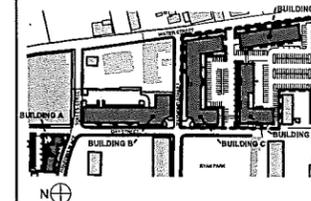
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Architecture
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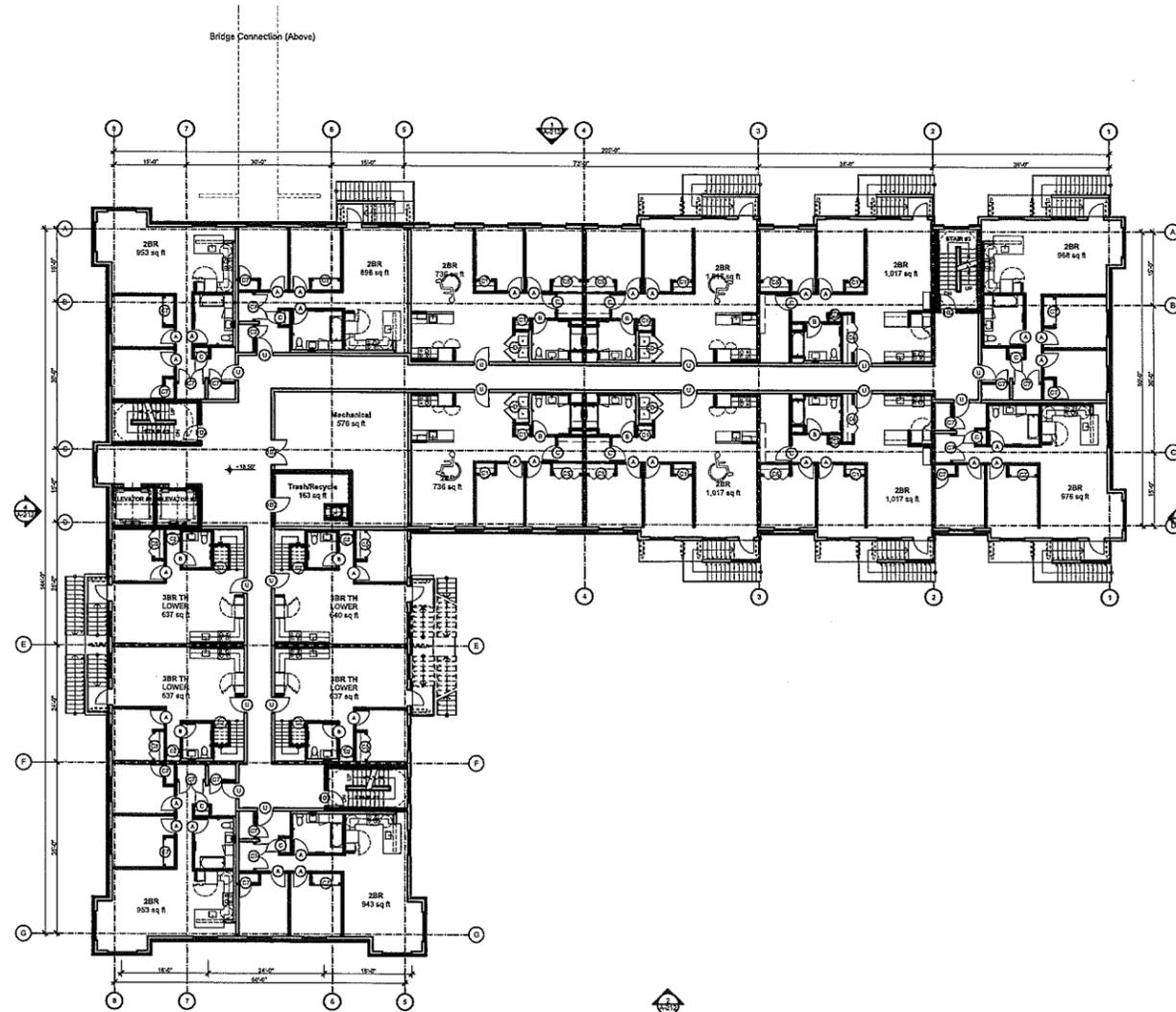
MARK	DATE	DESCRIPTION
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	2013-11-26	ZONING REVISION
	2013-11-22	ZONING REVISION
	09-19-2013	MASTER PLAN SUBMISSION

PROJECT NO.: 21222
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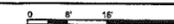
SHEET TITLE

**BUILDING D FIRST
FLOOR PLAN**

A-139



1 FIRST FLOOR
SCALE: 1/16" = 1'-0"



N

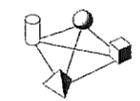


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Parcel 3
Buildings C,D,E
Washington Village

Norwalk, CT

Trinity Washington Village
Limited Partnership &
the Norwalk Housing Authority



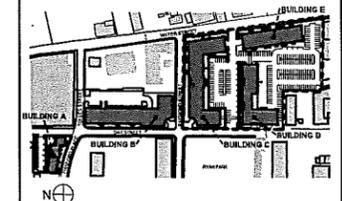
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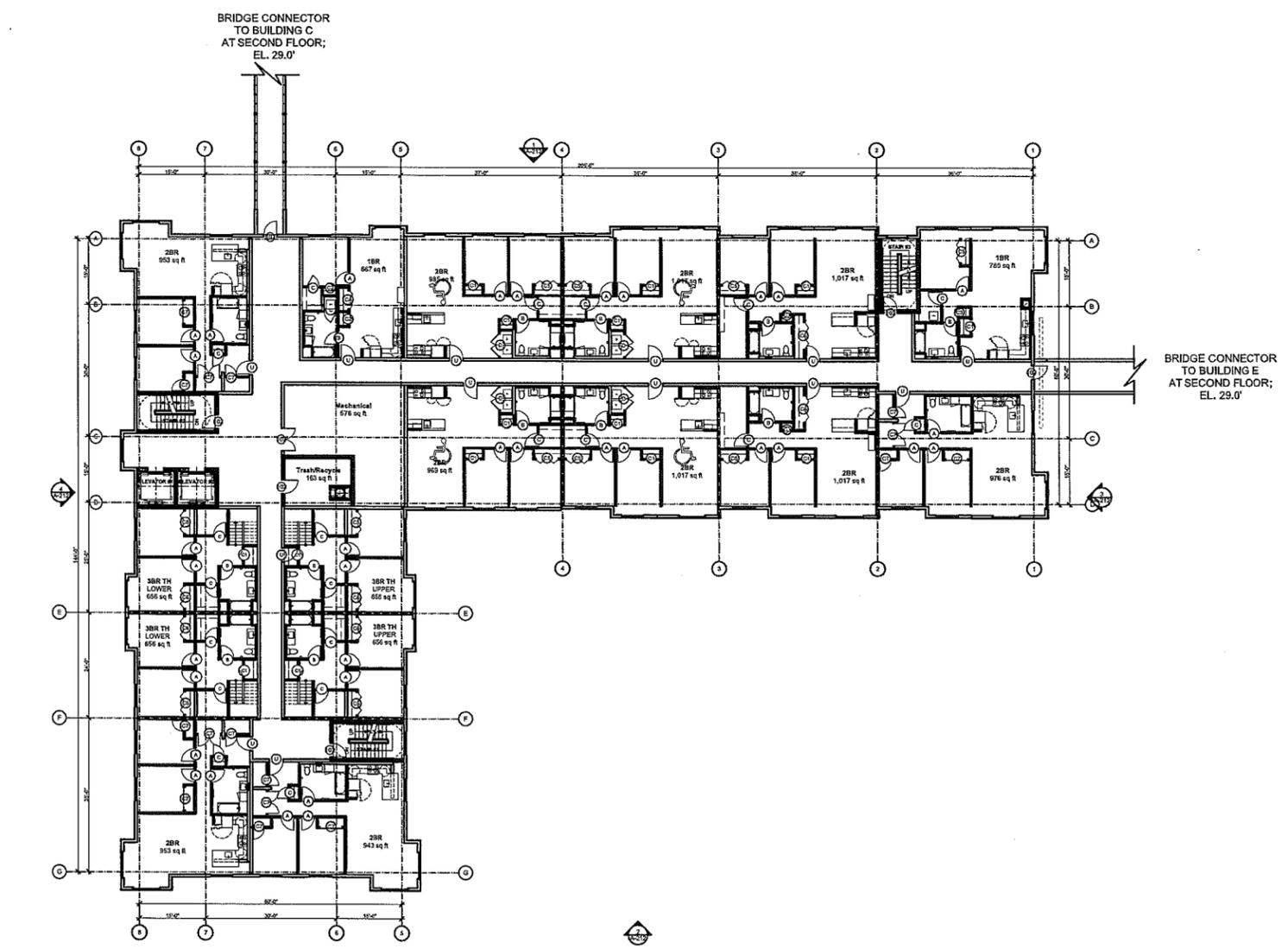
MARK	DATE	DESCRIPTION
	2014-05-07	DOH/ DEEP APPLICATION
	2013-11-26	ZONING REVISION
	2013-11-22	ZONING REVISION
	09-19-2013	MASTER PLAN SUBMISSION

PROJECT NO.: 21222
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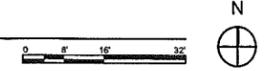
SHEET TITLE

**BUILDING D SECOND
FLOOR PLAN**

A-140



1 SECOND FLOOR
SCALE: 1/16" = 1'-0"

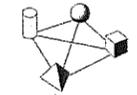


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Parcel 3
Buildings C,D,E
Washington Village

Norwalk, CT

Trinity Washington Village
Limited Partnership &
the Norwalk Housing Authority



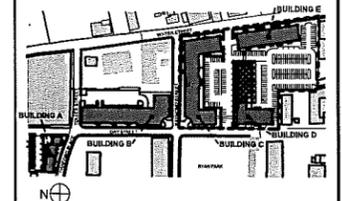
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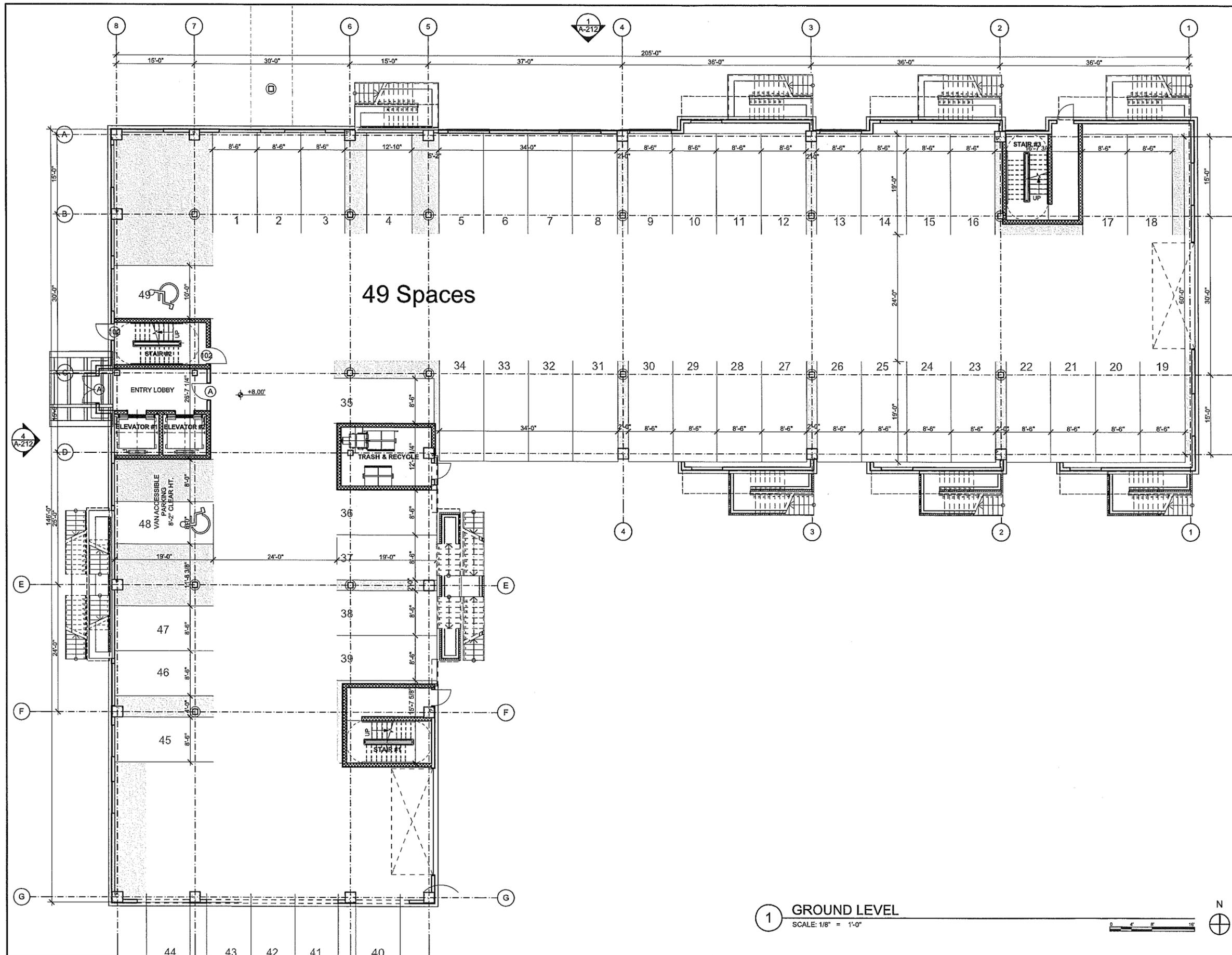
MARK	DATE	DESCRIPTION
	2013-11-26	ZONING REVISION
	2013-11-22	ZONING REVISION
	09-19-2013	MASTER PLAN SUBMISSION

PROJECT NO.: 21222
DRAWN BY:
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SHEET TITLE

**BUILDING D GROUND
LEVEL PLAN**

A-144



5/9/2014 9:17 AM

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Buildings C,D,E
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Norwalk, CT

Trinity Washington Village
Limited Partnership &
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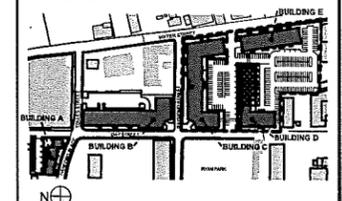


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MASTER PLAN



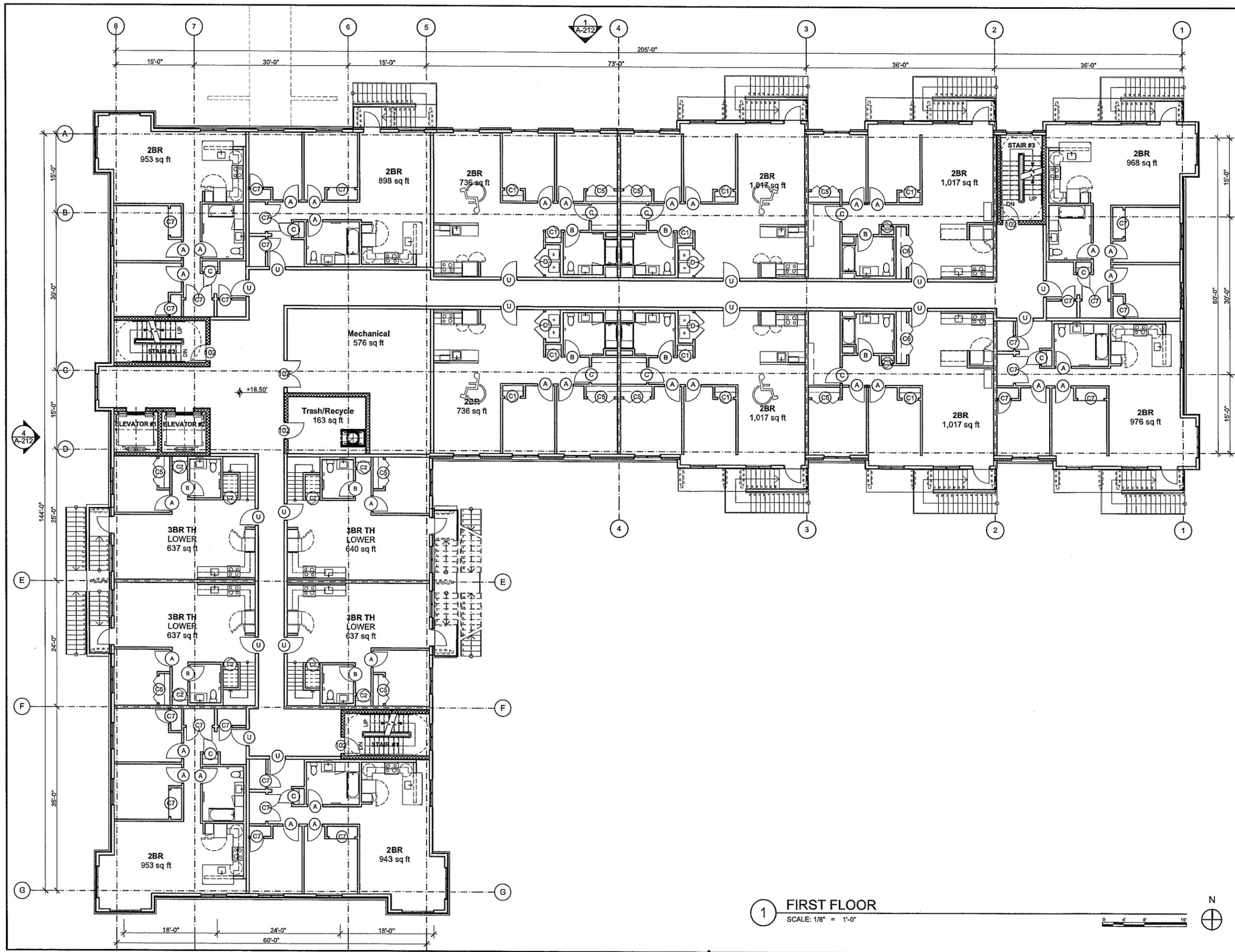
MARK	DATE	DESCRIPTION
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	09-19-2013	MASTER PLAN SUBMISSION

PROJECT NO.: 21222
DRAWN BY:
CHECKED BY:

SHEET TITLE

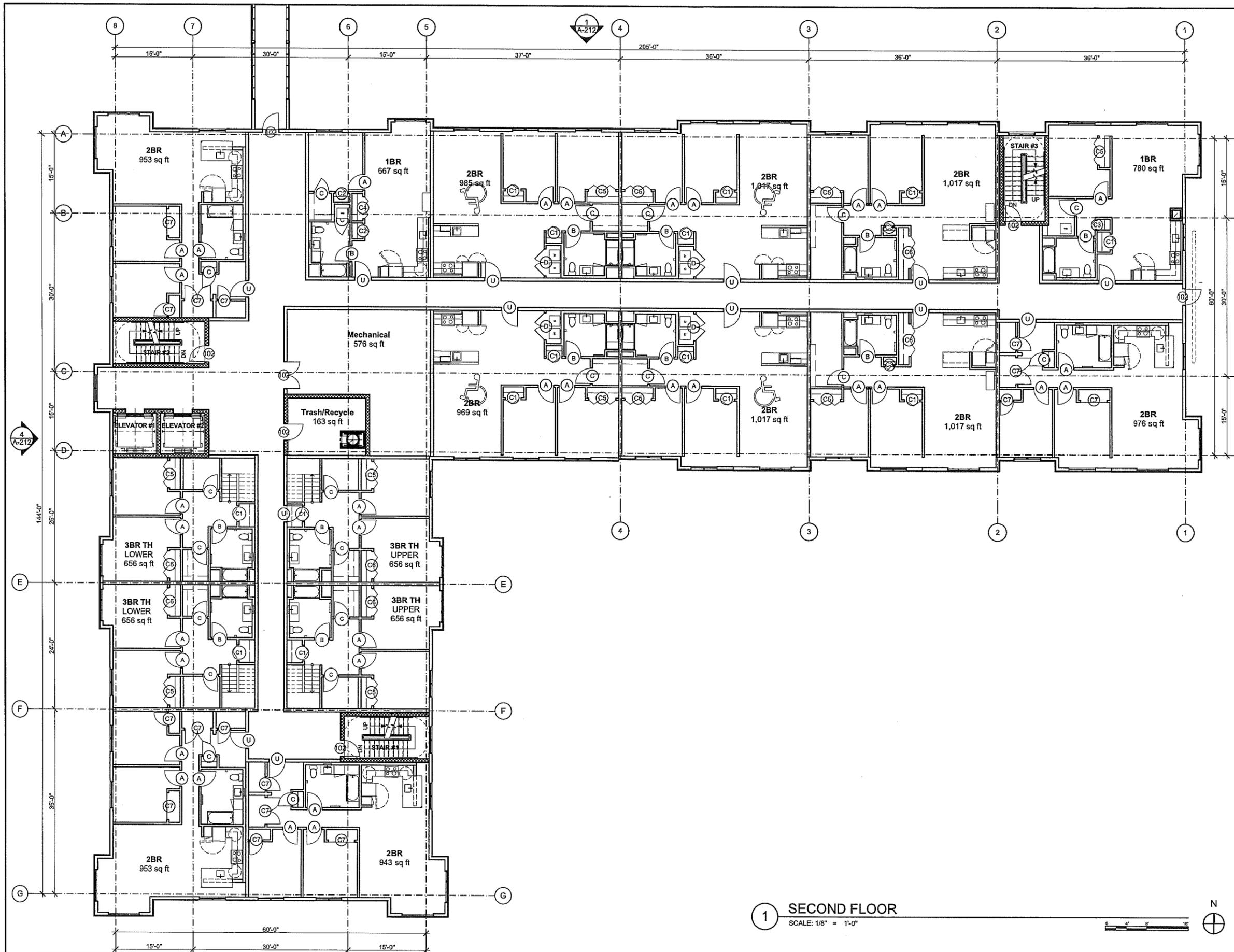
BUILDING D FIRST
FLOOR PLAN

A-145



1 FIRST FLOOR
SCALE: 1/8" = 1'-0"



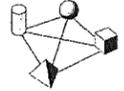


1 SECOND FLOOR
SCALE: 1/8" = 1'-0"

Parcel 3
Buildings C,D,E
Washington Village

Norwalk, CT

Trinity Washington Village
Limited Partnership &
the Norwalk Housing Authority



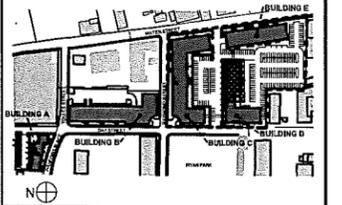
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MARK	DATE	DESCRIPTION
	2013-11-26	ZONING REVISION
	2013-11-22	ZONING REVISION
	09-19-2013	MASTER PLAN SUBMISSION

PROJECT NO.: 21222
DRAWN BY:
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SHEET TITLE

BUILDING D SECOND
FLOOR PLAN

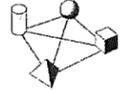
A-146

5/9/2014 9:47 AM

Parcel 3
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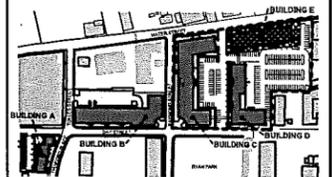
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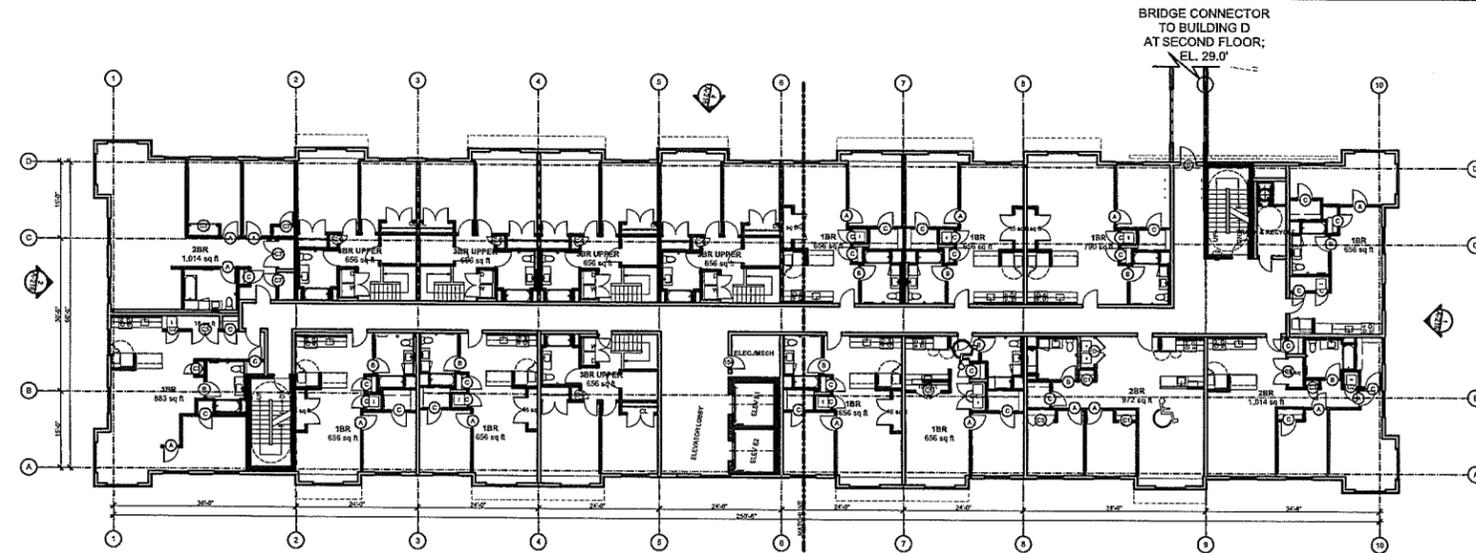
MARK	DATE	DESCRIPTION
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	2013-11-26	ZONING REVISION
	2013-11-22	ZONING REVISION
	09-19-2013	MASTER PLAN SUBMISSION

PROJECT NO.: 21222
DRAWN BY: AF,RA,MM,CC
CHECKED BY: KH

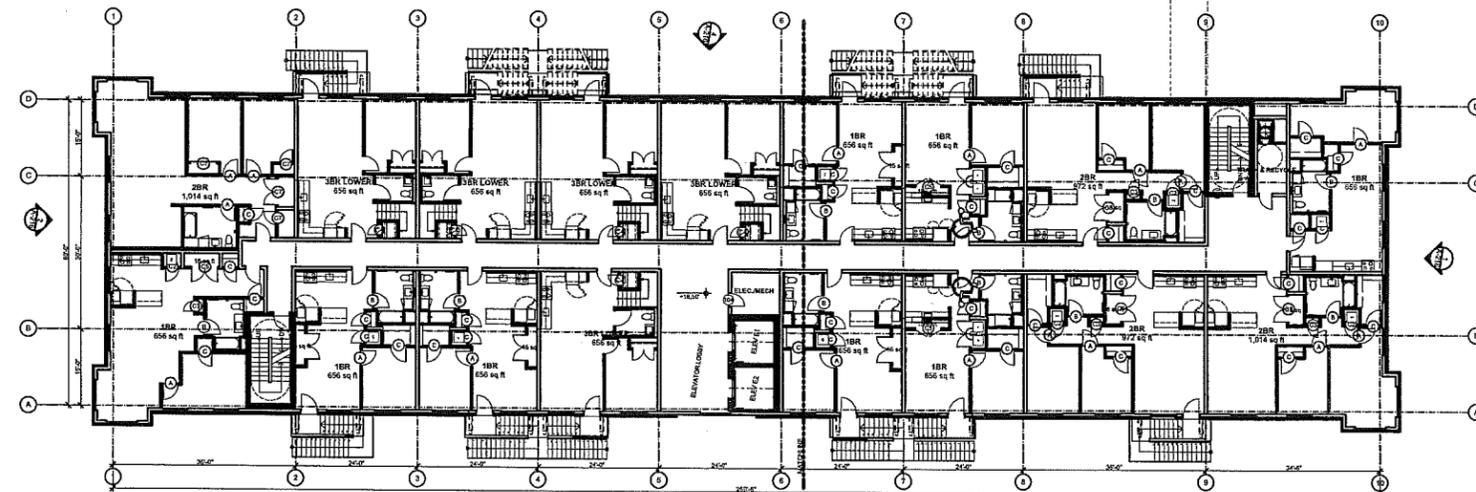
SHEET TITLE

BUILDING E GROUND
LEVEL, FIRST AND
SECOND FLOOR PLAN

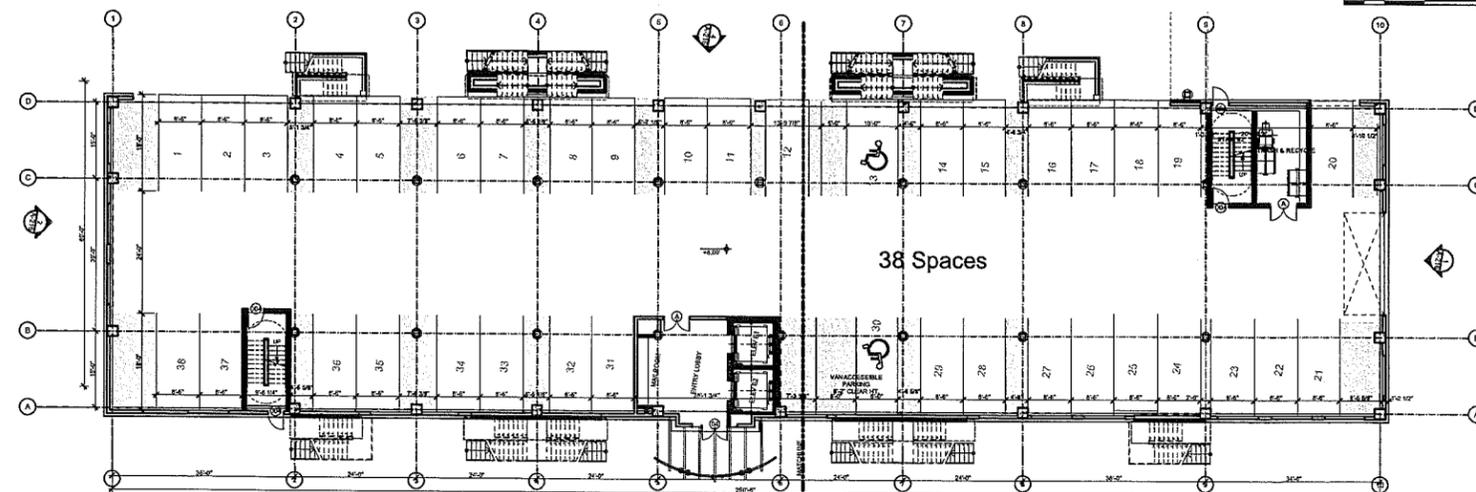
A-150



3 SECOND FLOOR
SCALE: 1/16" = 1'-0"



2 FIRST FLOOR
SCALE: 1/16" = 1'-0"

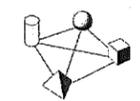


1 GROUND LEVEL
SCALE: 1/16" = 1'-0"

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Parcel 1
 Building A
 13 Day Street
 Norwalk, CT

Trinity Washington Village
 Limited Partnership &
 the Norwalk Housing Authority



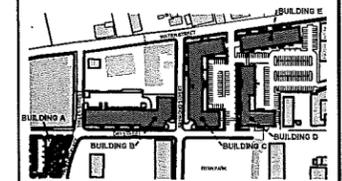
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MARK	DATE	DESCRIPTION
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	2013-10-25	ZONING REVISION
	2013-09-19	MASTER PLAN SUBMISSION

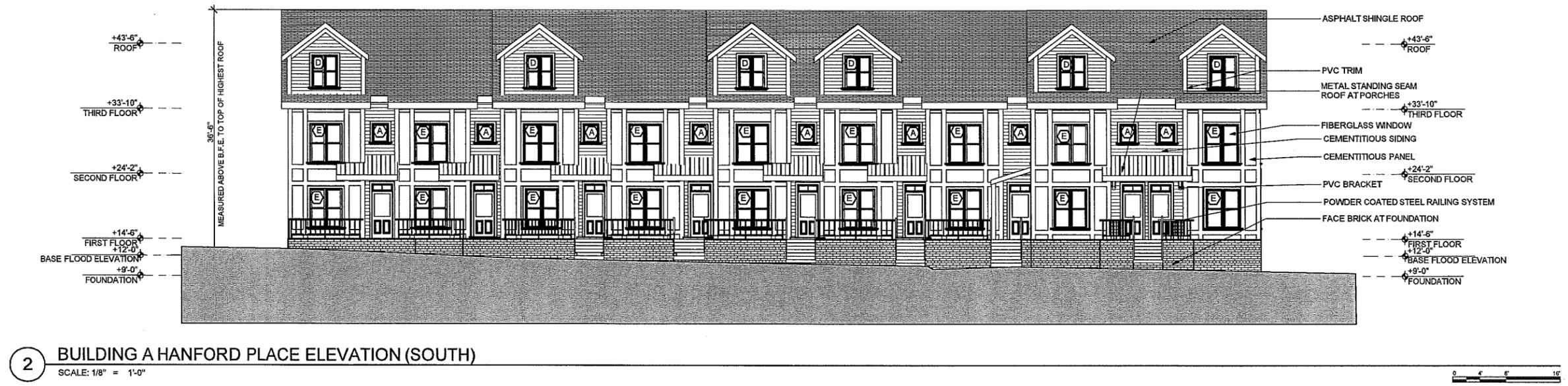
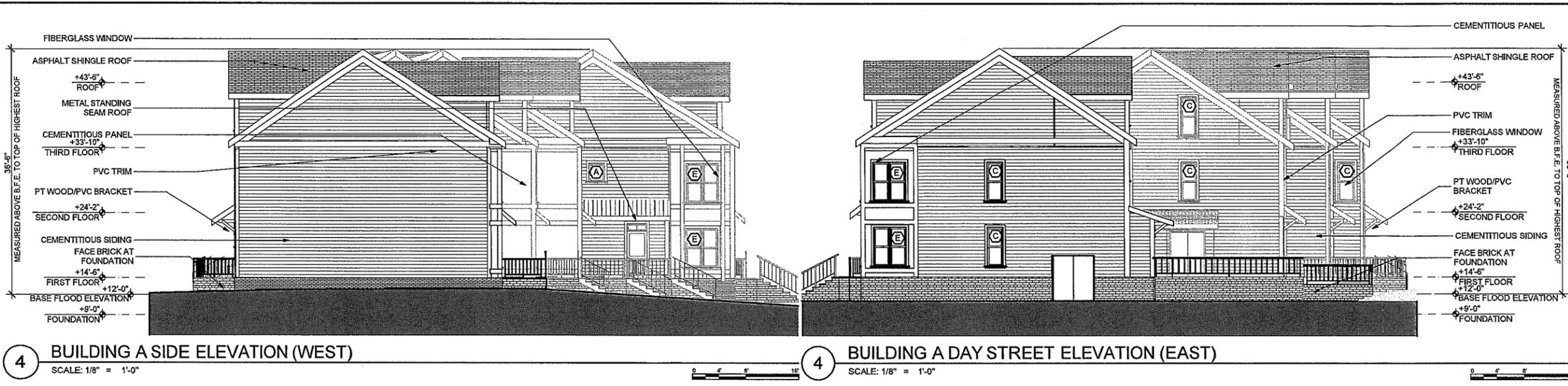
PROJECT NO.: 21222
 DRAWN BY:
 CHECKED BY:

SHEET TITLE

BUILDING A
 ELEVATIONS

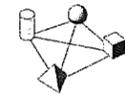
A-201

11/16/2013 7:43 PM



Parcel 2
 Building B
 20 Day Street
 Norwalk, CT

Trinity Washington Village
 Limited Partnership &
 the Norwalk Housing Authority



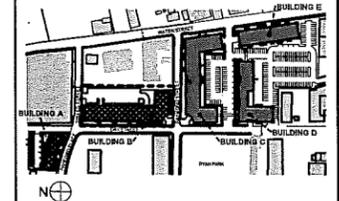
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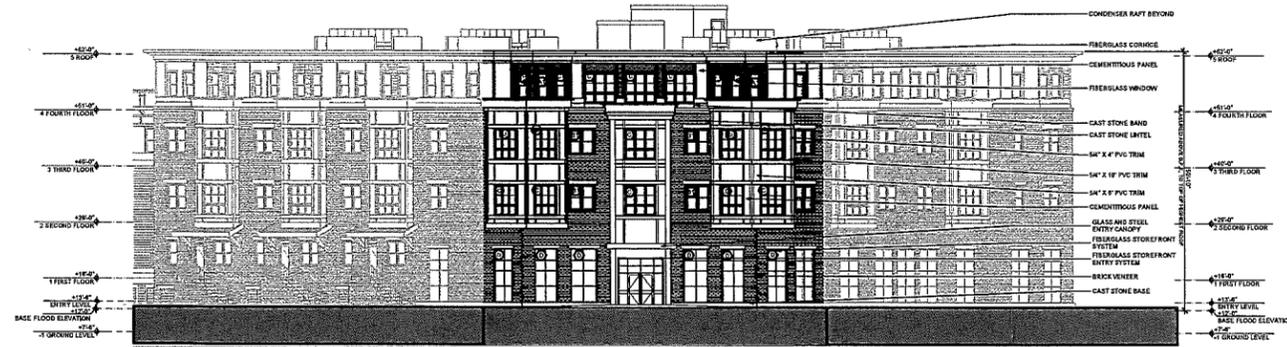
MARK	DATE	DESCRIPTION
	2013-11-22	ZONING REVISION
	2013-10-25	ZONING REVISION
	2013-09-19	MASTER PLAN SUBMISSION

PROJECT NO.: 21222
 DRAWN BY:
 CHECKED BY:

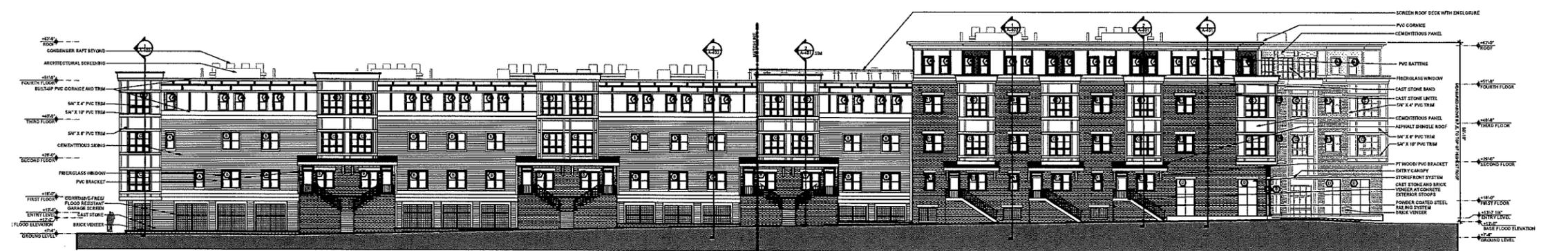
SHEET TITLE

BUILDING B
 ELEVATIONS

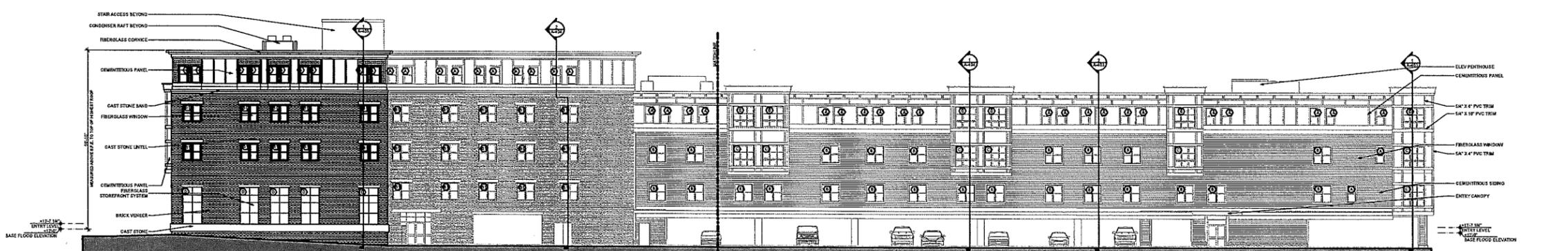
A-202



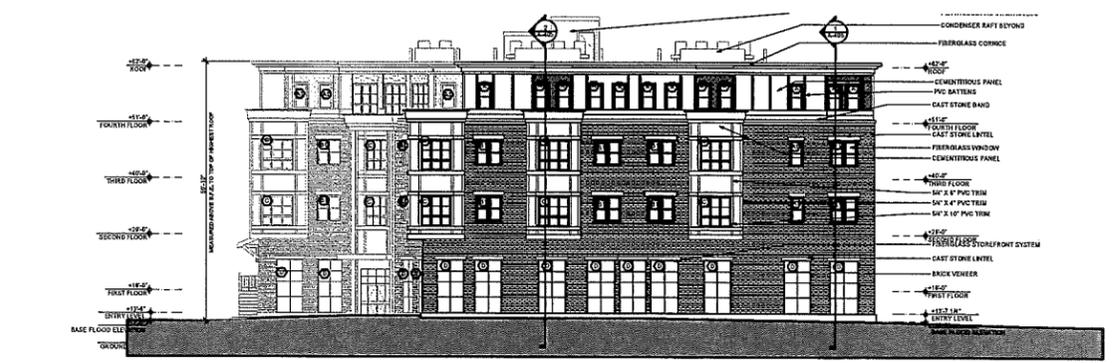
5 BUILDING B ELEVATION AT CORNER OF DAY & RAYMOND STREET
 SCALE: 1/16" = 1'-0"



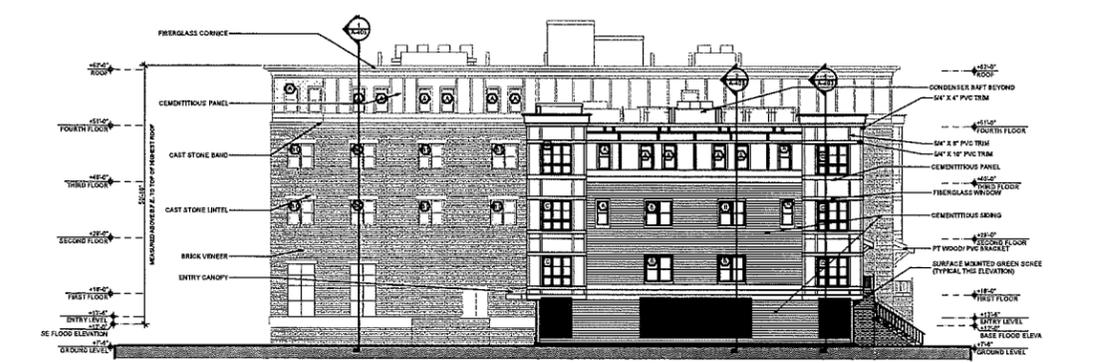
4 BUILDING B WEST (DAY STREET) ELEVATION
 SCALE: 1/16" = 1'-0"



4 BUILDING B EAST ELEVATION
 SCALE: 1/16" = 1'-0"



2 BUILDING B SOUTH (RAYMOND STREET) ELEVATION
 SCALE: 1/16" = 1'-0"

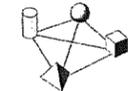


1 BUILDING B HANFORD PLACE ELEVATION (NORTH)
 SCALE: 1/16" = 1'-0"

Parcel 3
Buildings C,D,E
Washington Village

Norwalk, CT

Trinity Washington Village
Limited Partnership &
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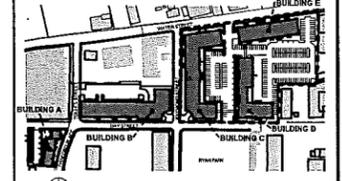
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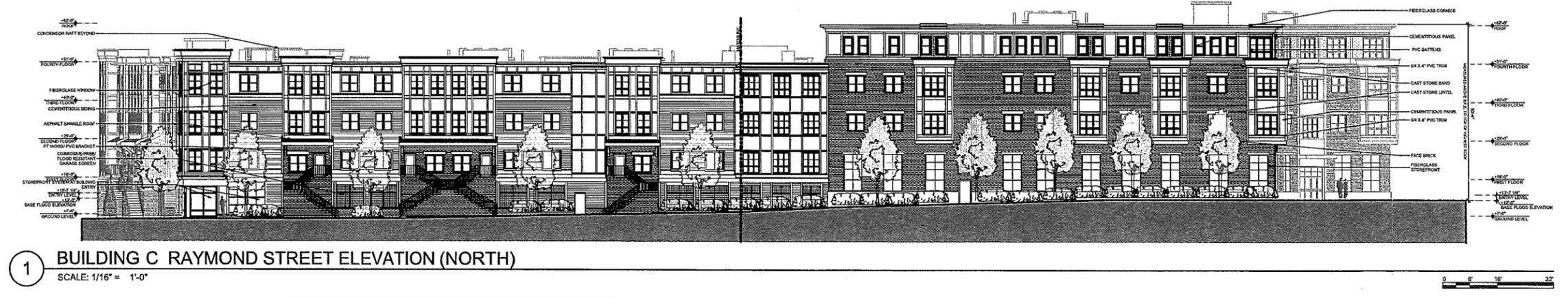
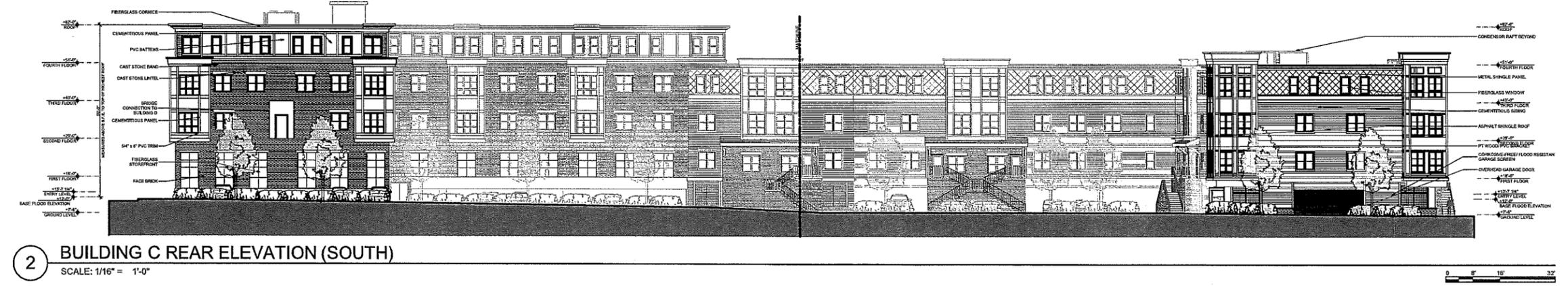
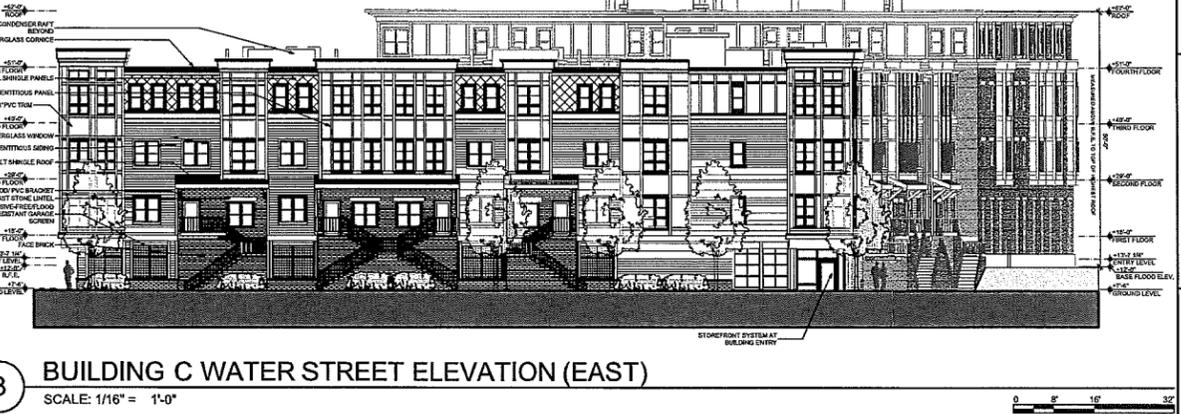
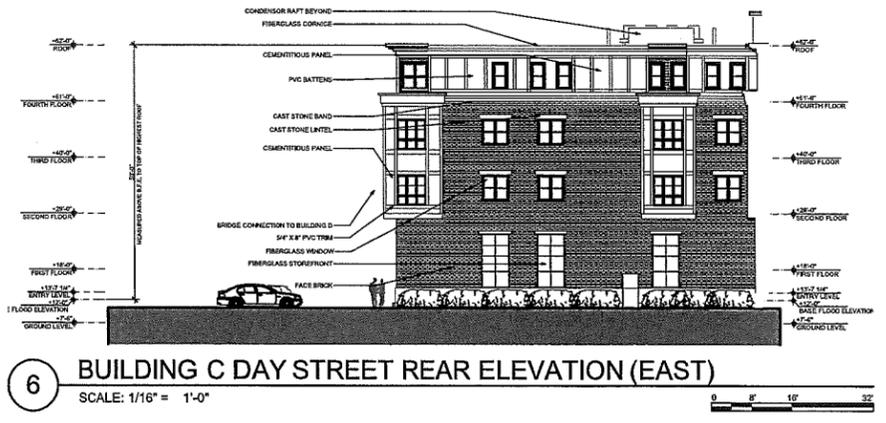
MARK	DATE	DESCRIPTION
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	2013-11-26	ZONING REVISION
	2013-11-22	ZONING REVISION
	09-19-2013	MASTER PLAN SUBMISSION

PROJECT NO.: 21222
DRAWN BY: AF,RA,MM,CC
CHECKED BY: KH

SHEET TITLE

BUILDING C
ELEVATIONS

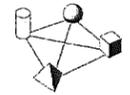
A-207



Parcel 3
Buildings C,D,E
Washington Village

Norwalk, CT

Trinity Washington Village
Limited Partnership &
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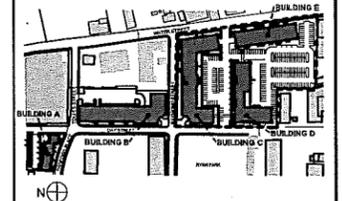
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ARCHITECTURE
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MASTER PLAN



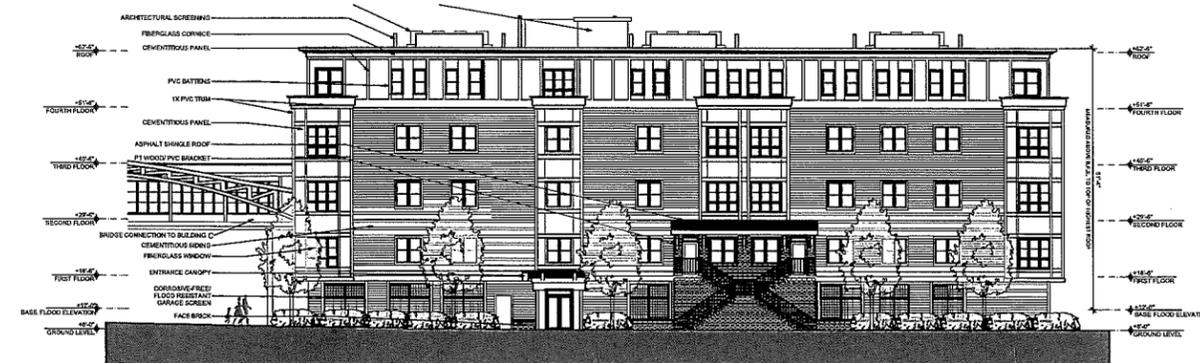
MARK	DATE	DESCRIPTION
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	2013-11-26	ZONING REVISION
	2013-11-22	ZONING REVISION
	09-19-2013	MASTER PLAN SUBMISSION

PROJECT NO.: 21222
DRAWN BY: AF,RA,MM,CC
CHECKED BY: KH

SHEET TITLE

**BUILDING D
ELEVATIONS**

A-212



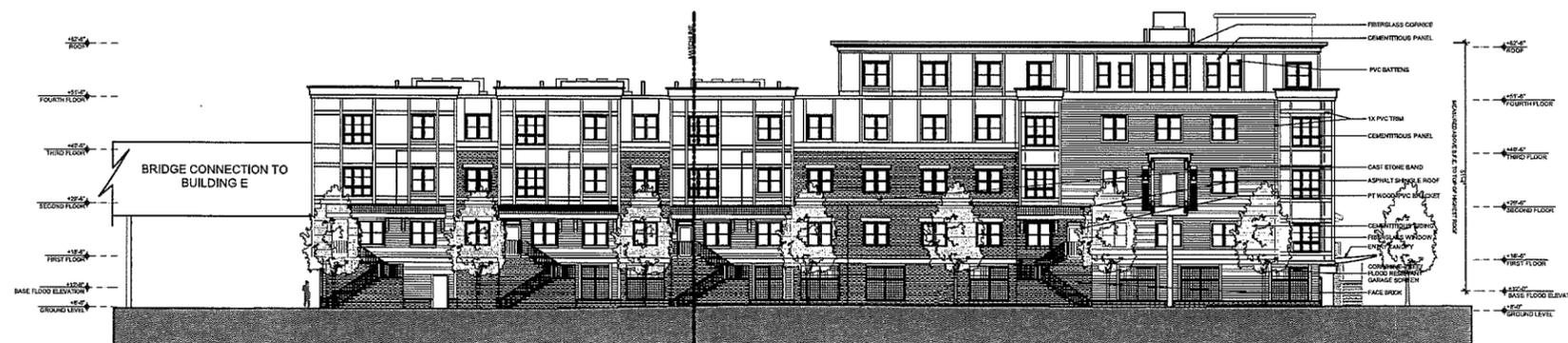
4 BUILDING D WEST (DAY STREET) ELEVATION
SCALE: 1/16" = 1'-0"



3 BUILDING D EAST ELEVATION
SCALE: 1/16" = 1'-0"



2 BUILDING D SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

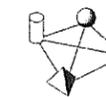


1 BUILDING D NORTH ELEVATION
SCALE: 1/16" = 1'-0"

Parcel 3
Buildings C,D,E
Washington Village

Norwalk, CT

Trinity Washington Village
Limited Partnership &
the Norwalk Housing Authority



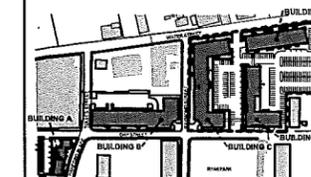
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STAMP



MASTER PLAN



MARK	DATE	DESCRIPTION
	2014-05-07	DOH/ DEEP APPLICATION
	2013-11-26	ZONING REVISION
	2013-11-22	ZONING REVISION
	09-19-2013	MASTER PLAN SUBMISSION

PROJECT NO.: 21222
DRAWN BY: AF, RA, MM, CC
CHECKED BY: KH

SHEET TITLE

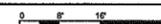
BUILDING E
ELEVATIONS

A-216



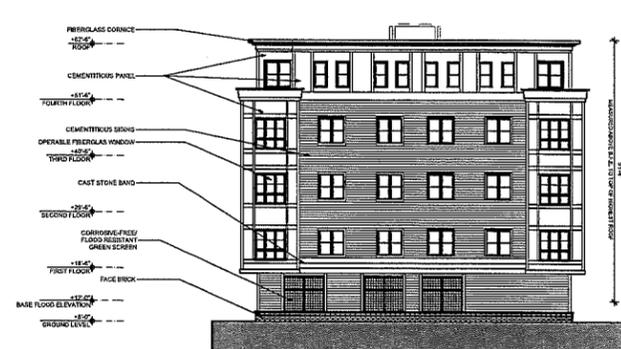
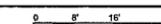
4 BUILDING E ELEVATION (WEST)

SCALE: 1/16" = 1'-0"



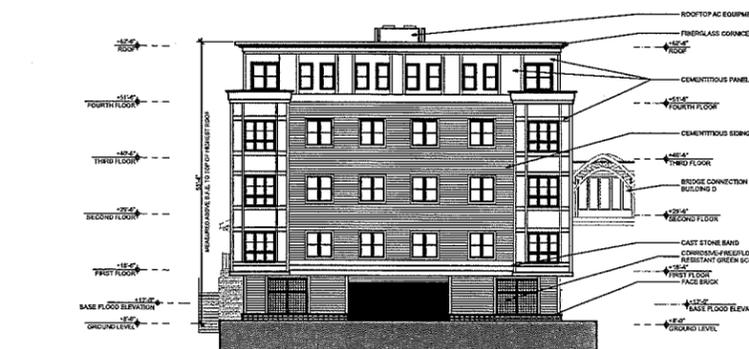
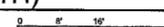
3 BUILDING E WATER STREET ELEVATION (EAST)

SCALE: 1/16" = 1'-0"



2 BUILDING E ELEVATION (SOUTH)

SCALE: 1/16" = 1'-0"



1 BUILDING E ELEVATION (NORTH)

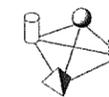
SCALE: 1/16" = 1'-0"



Parcel 1
Building A
13 Day Street

Norwalk, CT

Trinity Washington Village
Limited Partnership &
the Norwalk Housing Authority



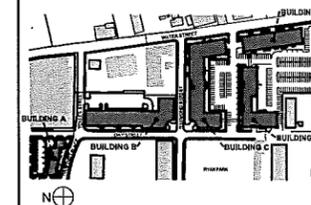
ICON
ARCHITECTS
38 Chauncy Street
Boston, MA 02111
617-451-3333
www.iconarch.com

CONSULTANT

STAMP



MASTER PLAN



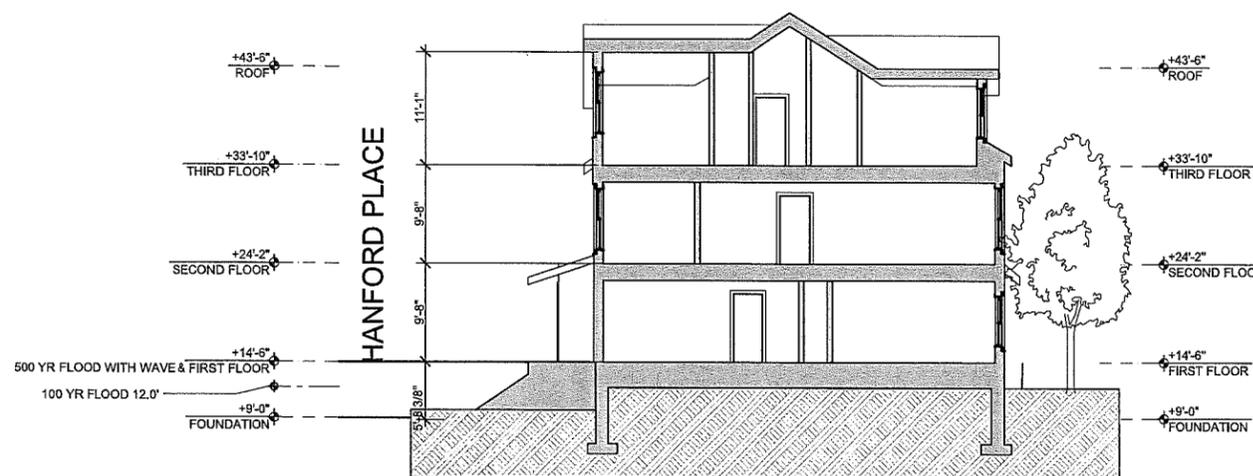
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	2014-04-04	ZONING REVISION
	2013-12-11	ZONING REVISION
	2013-11-22	ZONING REVISION
	2013-10-25	ZONING REVISION
	2013-09-19	MASTER PLAN SUBMISSION

PROJECT NO.: 21222
DRAWN BY: AF, RA, MM, CC
CHECKED BY: KH

SHEET TITLE

BUILDING A SECTION

A-301

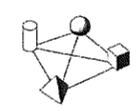


1 BUILDING A SECTION
SCALE: 1/8" = 1'-0"

Parcel 2
Building B
20 Day Street

Norwalk, CT

Trinity Washington Village
Limited Partnership &
the Norwalk Housing Authority



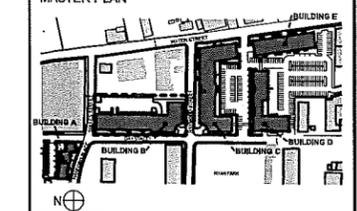
ICON
Architecture
38 Chauncy Street
Boston, MA 02111
617-451-3333
www.iconarch.com

CONSULTANT

STAMP



MASTER PLAN



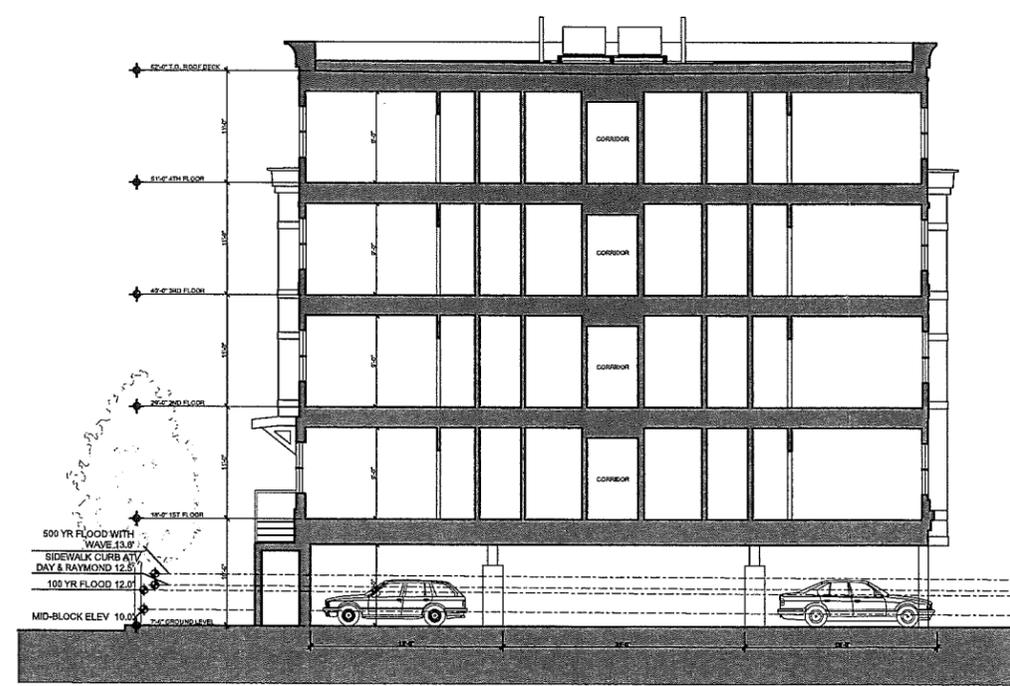
MARK	DATE	DESCRIPTION
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	2013-12-11	ZONING REVISION
	2013-11-22	ZONING REVISION
	2013-10-25	ZONING REVISION
	2013-09-19	MASTER PLAN SUBMISSION

PROJECT NO.: 21222
DRAWN BY: AF, RA, MM, CC
CHECKED BY: KH

SHEET TITLE

BUILDING B SECTION

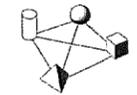
A-302



Parcel 3
Buildings C,D,E
Washington Village

Norwalk, CT

Trinity Washington Village
Limited Partnership &
the Norwalk Housing Authority



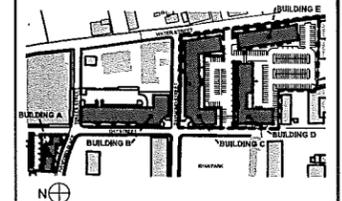
ICON
Architecture
38 Chauncy Street
Boston, MA 02111
617-451-3333
www.iconarch.com

CONSULTANT

STAMP



MASTER PLAN



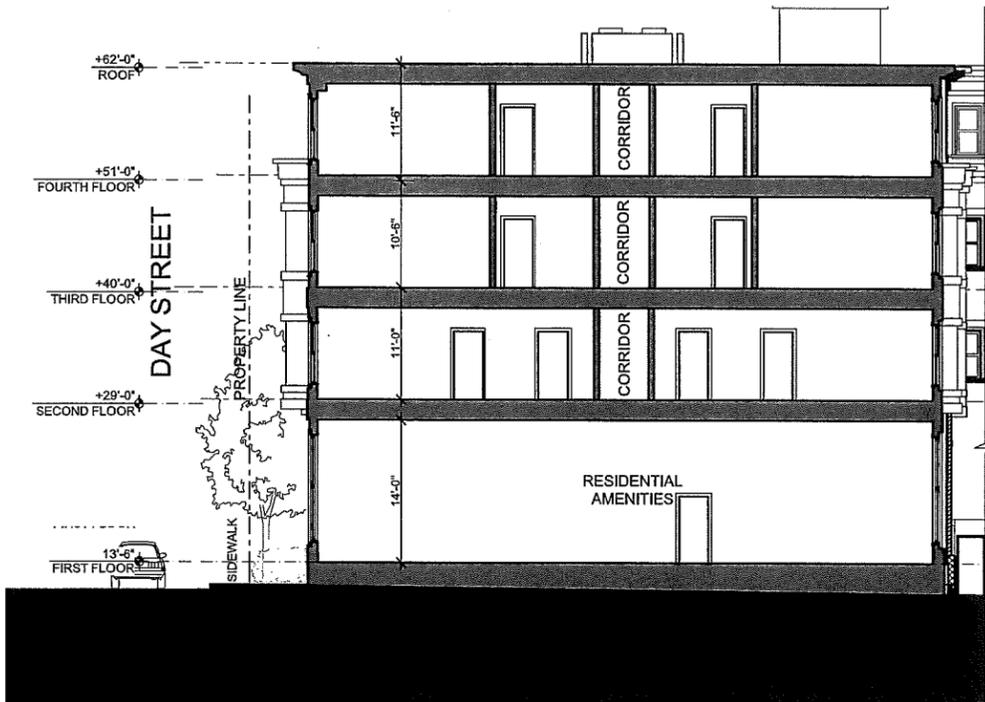
MARK	DATE	DESCRIPTION
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	2013-11-26	ZONING REVISION
	2013-11-22	ZONING REVISION
	09-19-2013	MASTER PLAN SUBMISSION

PROJECT NO.: 21222
DRAWN BY: AF, RA, MM, CC
CHECKED BY: KH

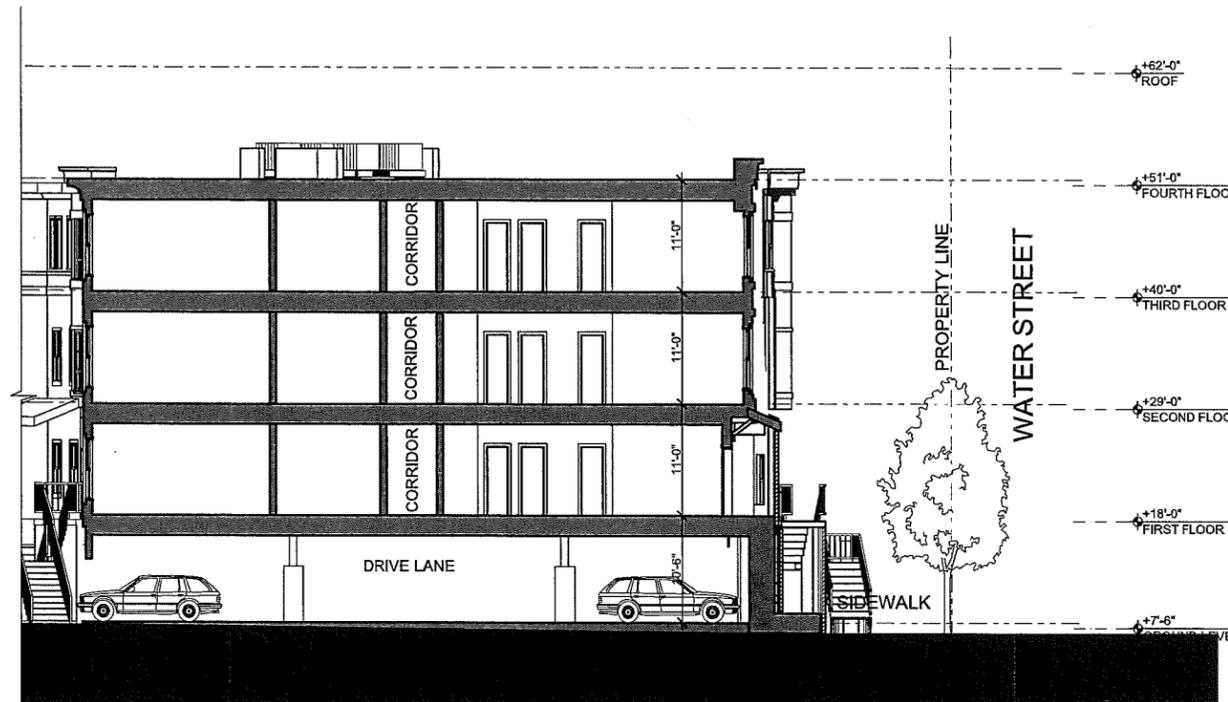
SHEET TITLE

BUILDING C
SECTIONS

A-303



3 DAY STREET SECTION
SCALE: 1/8" = 1'-0"



2 WATER STREET SECTION
SCALE: 1/8" = 1'-0"

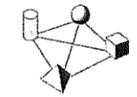


1 BUILDING C SECTION
SCALE: 1/16" = 1'-0"

Parcel 3
Buildings C,D,E
Washington Village

Norwalk, CT

Trinity Washington Village
Limited Partnership &
the Norwalk Housing Authority



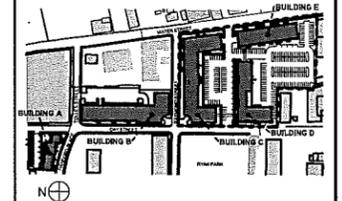
ICON
Architecture
38 Chauncy Street
Boston, MA 02111
617-451-3333
www.iconarch.com

CONSULTANT

STAMP



MASTER PLAN



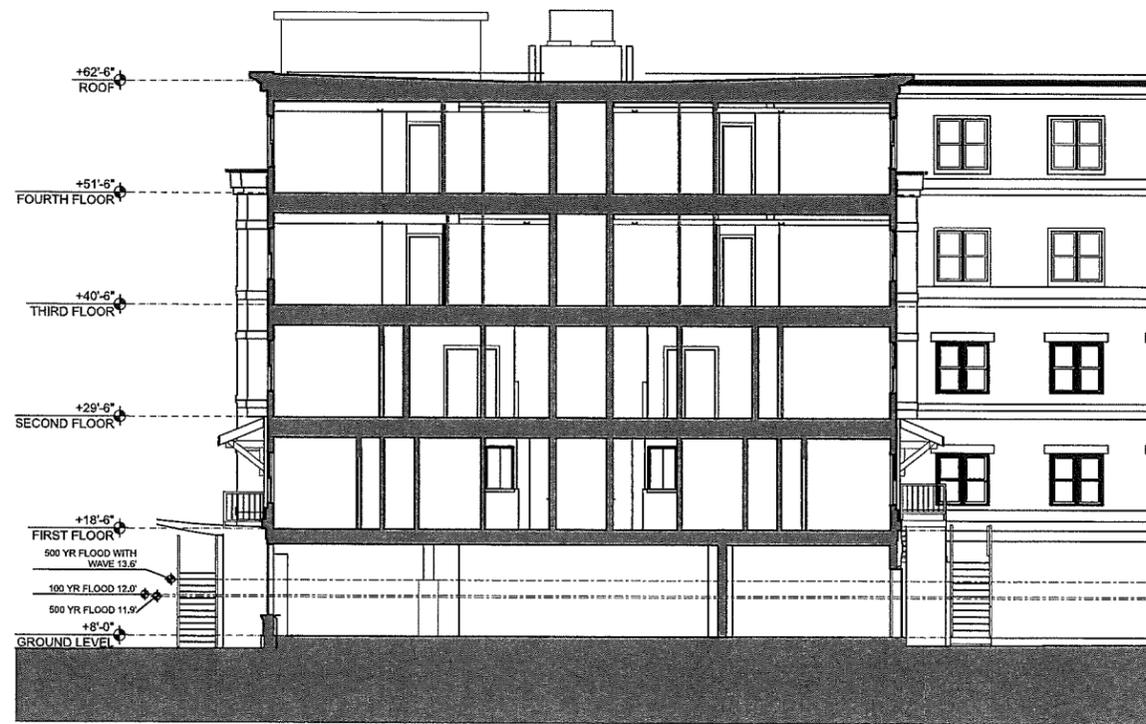
MARK	DATE	DESCRIPTION
	2014-05-07	DOH/ DEEP APPLICATION
	2013-11-26	ZONING REVISION
	2013-11-22	ZONING REVISION
	09-19-2013	MASTER PLAN SUBMISSION

PROJECT NO.: 21222
DRAWN BY: AF, RA, MM, CC
CHECKED BY: KH

SHEET TITLE

BUILDING D SECTION

A-304



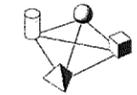
1 BUILDING D SECTION
SCALE: 1/8" = 1'-0"



Parcel 3
Buildings C,D,E
Washington Village

Norwalk, CT

Trinity Washington Village
Limited Partnership &
the Norwalk Housing Authority



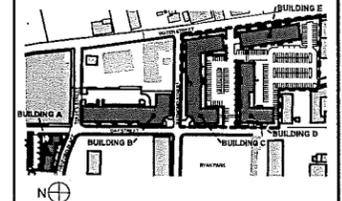
ICON
Architecture
38 Chauncy Street
Boston, MA 02111
617-451-3333
www.iconarch.com

CONSULTANT

STAMP



MASTER PLAN



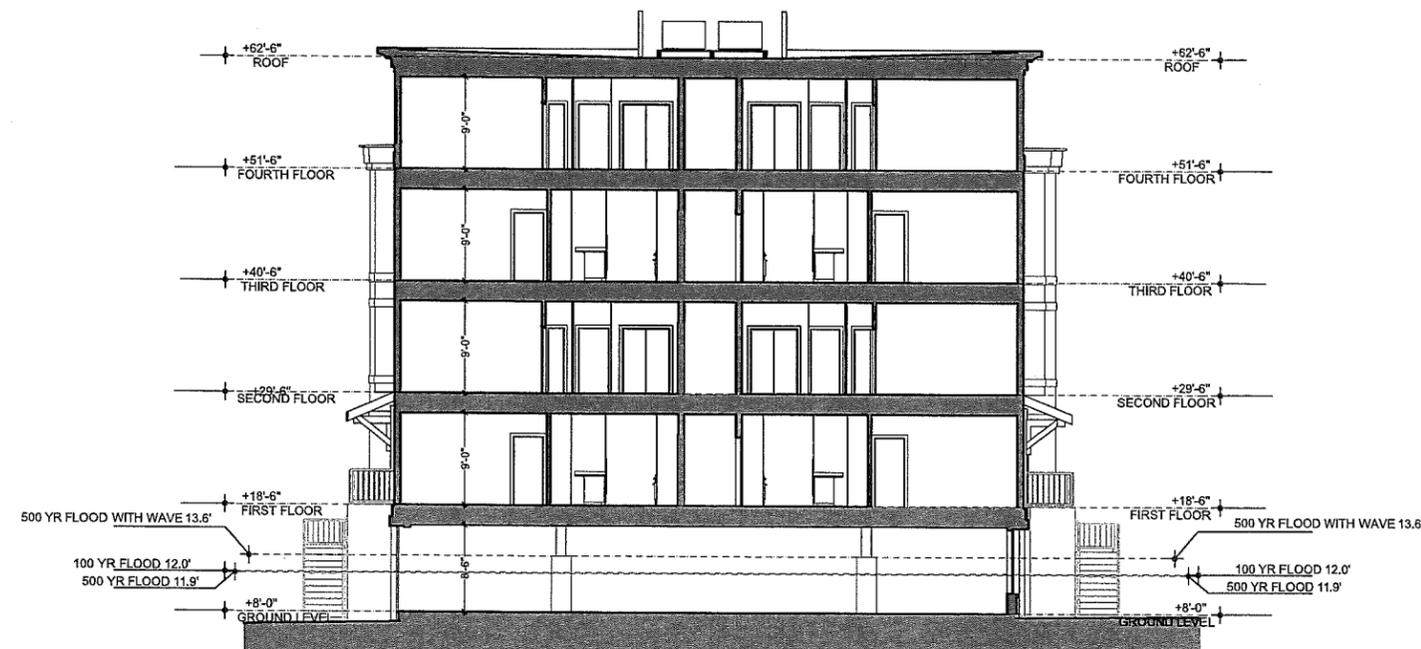
MARK	DATE	DESCRIPTION
	2014-05-07	DOH/ DEEP APPLICATION
	2013-11-26	ZONING REVISION
	2013-11-22	ZONING REVISION
	09-19-2013	MASTER PLAN SUBMISSION

PROJECT NO.: 21222
DRAWN BY: AF,RA,MM,CC
CHECKED BY: KH

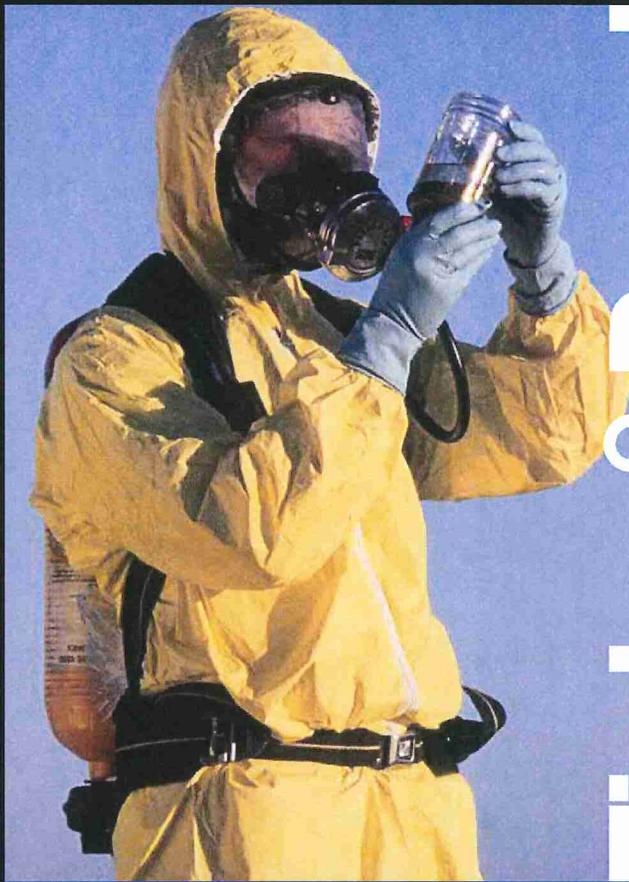
SHEET TITLE

BUILDING E SECTION

A-305



1 BUILDING SECTION E
SCALE: 1/8" = 1'-0"



Tighe & Bond

APPENDIX E



RECREATION AND PARKS

May 9, 2014

Cheryl A. Chase
Director
Inland Water Resources Division
Connecticut Department of Energy and Environmental Protection
79 Elm Street
Hartford, CT 06106-5127

Dear Ms. Chase:

In my capacity as the Director of the City of Norwalk's Recreation and Parks Department I have had the opportunity to meet on several occasions with Trinity Financial the designated redeveloper of the Washington Village Project, as well as the Norwalk Redevelopment Agency and representatives of Tighe & Bond their engineering consultants on this project. In so doing I have reviewed the design drawings relative to dry egress through Ryan Park which service the proposed project and improve the entire neighborhood's emergency egress in the event of flooding incident.

The Recreation and Park's Department is in the process of advancing a request for proposals for the development of master plan for this neighborhood recreational amenity. As the City works through the master planning process the need to accommodate the public safety issue of dry egress will be fully integrated into the design documents assuming such integration remains reasonably consistent with the attached Tighe & Bond plan.

If I can be of any further assistance regarding this matter please do not hesitate to contact me at (203) 854-7869 extension 4-7725.

Sincerely,

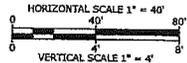
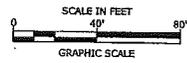
Michael Moccia
Director

Enclosure

Tighe & Bond

www.tighebond.com

1000 Bridgeport Avenue
Suite 320
Shelton, CT 06484
(203) 712-1100



Raymond Street/Day Street Intersection Improvements

Norwalk Redevelopment Agency

Norwalk, CT

May 15, 2014

MARK	DATE	DESCRIPTION

PROJECT NO:	N0956
FILE:	PP-N0956-1.dwg
DRAWN BY:	MDS
CHECKED:	JAR
APPROVED:	JWB

DAY STREET PLAN AND PROFILE - 2

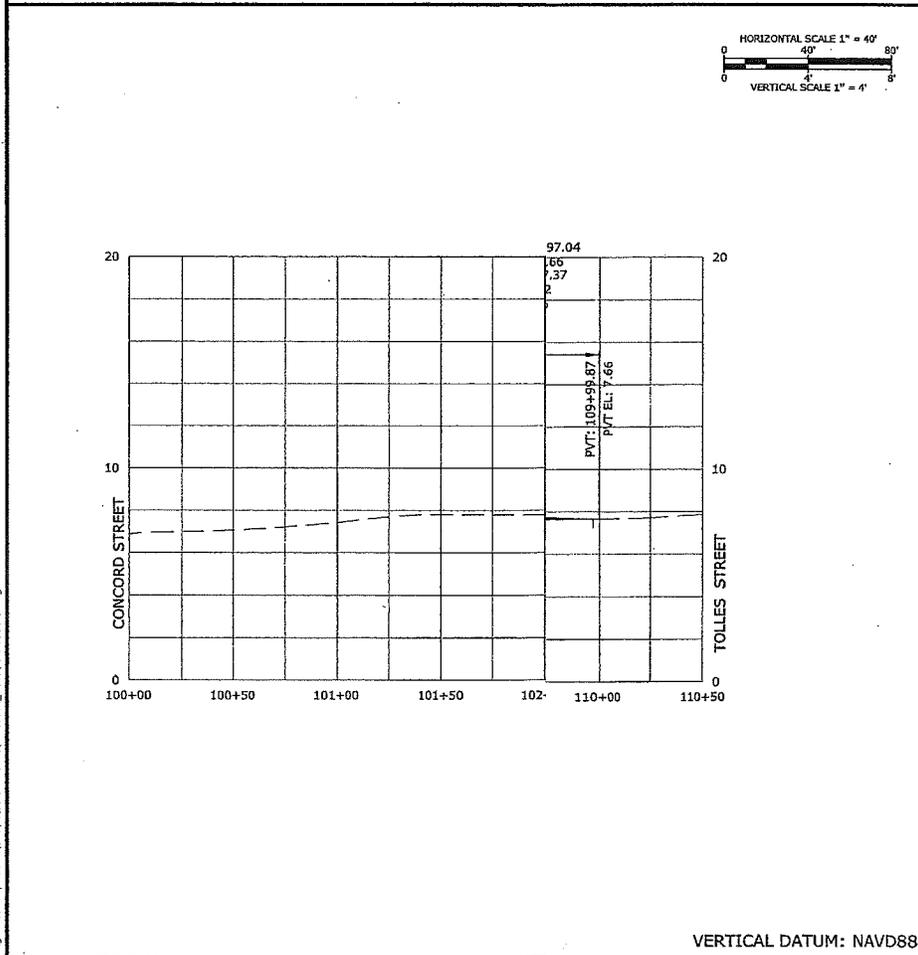
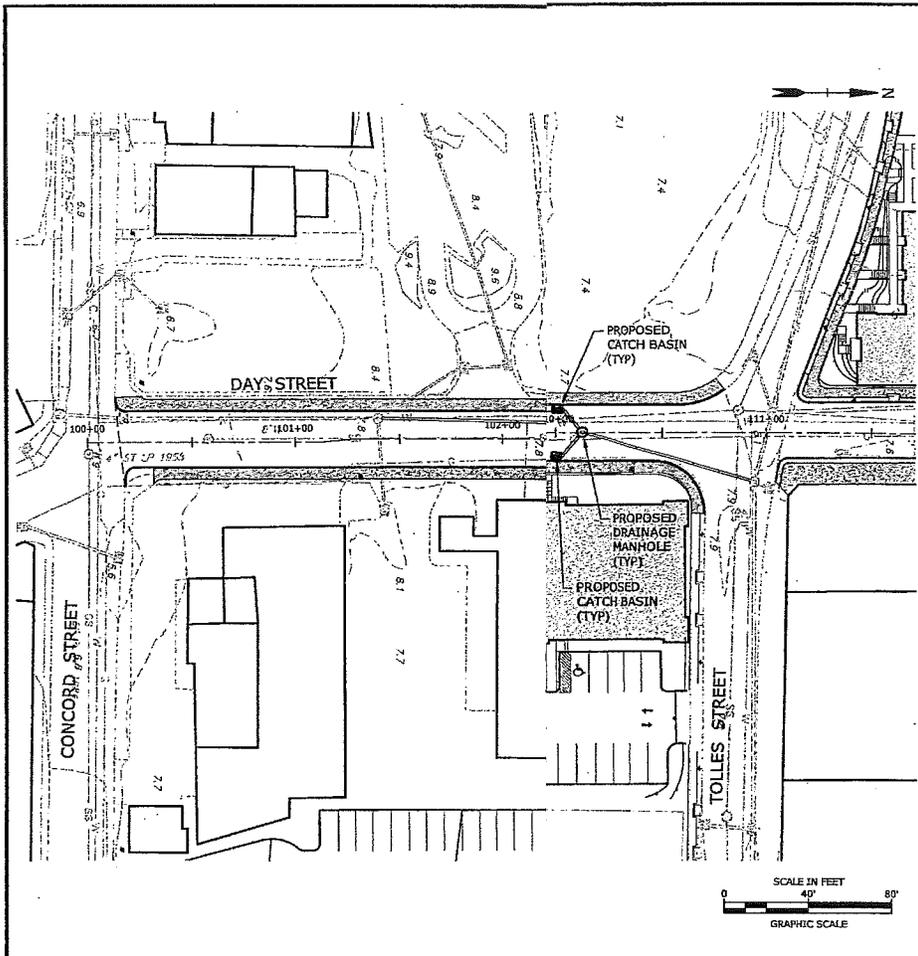
SCALE: AS NOTED

C2.1

VERTICAL DATUM: NAVD88

May 12, 2014 7:46am Plotted By: Cmsal
Tighe & Bond, Inc. J:\M\N0956\Drawing\Sheet\PP-N0956-1.dwg

1000 Bridgeport Avenue
Suite 320
Shelton, CT 06484
(203) 712-1100



Raymond Street/Day Street Intersection Improvements

Norwalk Redevelopment Agency

Norwalk, CT

May 15, 2014

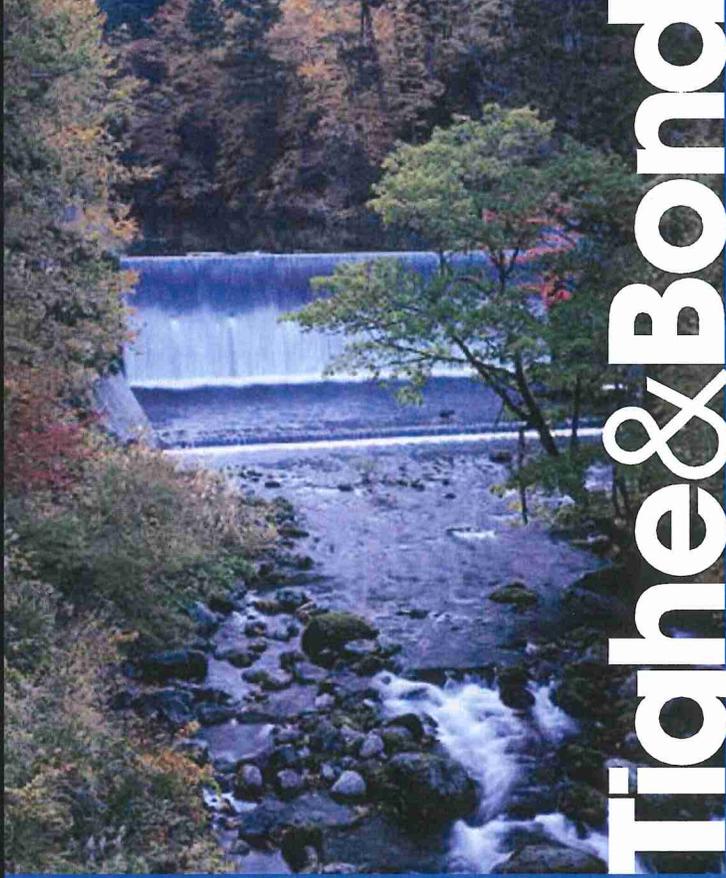
MARK	DATE	DESCRIPTION
PROJECT NO:		N0956
FILE:		PP-N0956-1.dwg
DRAWN BY:		RAS
CHECKED BY:		JAR
APPROVED:		JWB

DAY STREET PLAN AND PROFILE - 1

SCALE: AS NOTED

C2.0

May 09, 2014 4:43pm Plotted By: Samonek
 Tighe & Bond, Inc. C:\Temp\AutoCAD\Drawings\2014\PP-N0956-1.dwg



Tighe & Bond

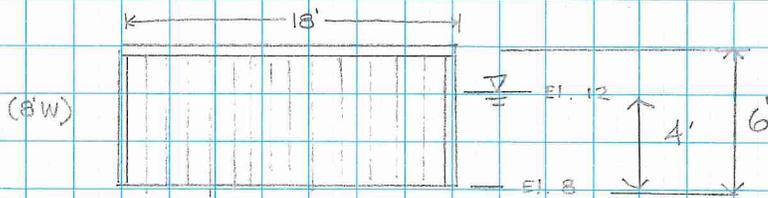
APPENDIX F

Dumpster Buoyancy calculation

Weight, 30cy dumpster = 3,500 lbs

$\rho_{\text{seawater}} = 64 \text{ lb/ft}^3$

$\rho_{\text{soil}} = 85 \text{ lb/ft}^3$



$$V_{\text{dumpster submerged}} = 18' \times 4' \times 8' = 576 \text{ ft}^3$$

$$\text{Buoyancy } (\uparrow) = 576 \text{ ft}^3 \times \frac{64.1 \text{ lb}}{\text{ft}^3} = 36,921 \text{ lb}$$

Dumpster weight (\downarrow) 3,500 lb

empty dumpster must be anchored

Height of soil inside where forces balance

$$36,921 \text{ lb} = 3,500 \text{ lb} + \left[(18' \times 8' \times H') \frac{85 \text{ lb}}{\text{ft}^3} \right]$$

$$33,421 \text{ lb} = 144 H \left(\frac{85 \text{ lb}}{\text{ft}^3} \right) \text{ ft}^2$$

$$33,421 \text{ lb} = \frac{12,240 H \text{ lb}}{\text{ft}}$$

$$273 \text{ ft} = H$$

CAPITAL INDUSTRIES INC.

Structural Drop-Box

Standard Features:

- 10 ga floor / 12 ga body
- 2 piece barn door
- Heavy duty 't' lock
- 8"/10" 'bogey' wheels
- 8"/10" legs
- 3" channel x-mbrs
- 3" top tubing
- Walk rails, ladders
- Rust inhibiting primer
- Rust Inhibiting Industrial Enamel (2 coats)

**CAPITAL
INDUSTRIES INC.**

5801 3rd Avenue South
Seattle, WA 98108

Phone: 206.762.8585

Fax: 206.762.5455

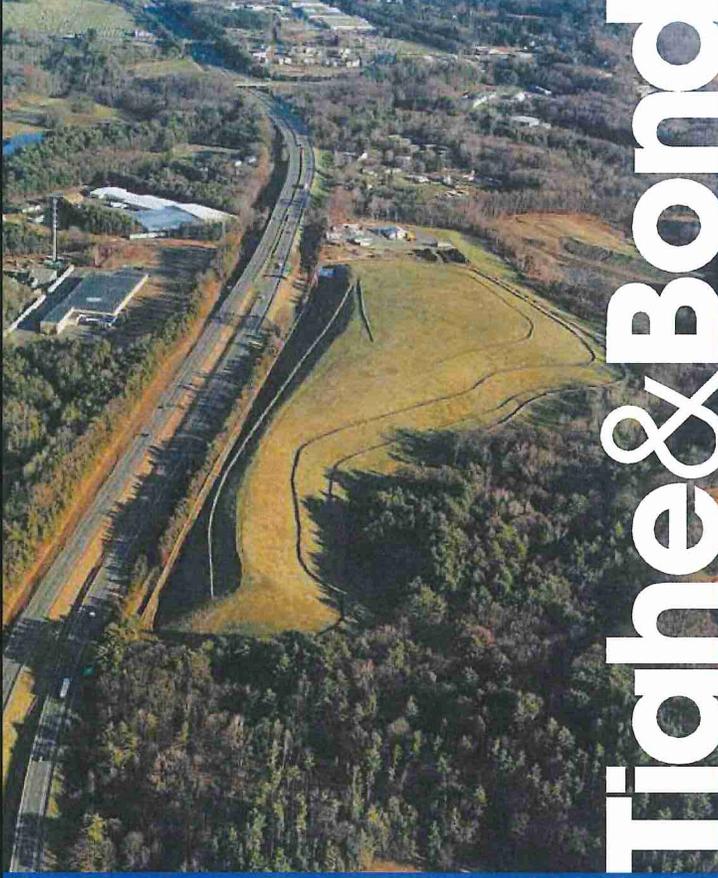
Email: sales@capitalind.com

www.capitalind.com



Capacity	20 cu. yd	25 cu. yd	30 cu. yd	40 cu. yd
Inside Dim.	90"	90"	90"	90"
Length	16'	18'	18'	20'
inside height	62"	62"	74"	90"
Weight	2800 lbs	3200 lbs	3500 lbs	4000 lbs

Options	
Screen or Solid EZ Reverse lid	Single door
Safety release door handle	Pick up system
gauge material	Multiple sizes available



Tighe & Bond

NORWALK

ZONING COMMISSION

February 20, 2014

Christopher J. Smith, Esq.
Shipman & Goodwin, LLP
One Constitution Plaza
Hartford, CT 06103-1919

Re: #3-13R/#15-13SP/#21-13CAM – Trinity Washington Village Ltd Partnership/City of Norwalk – Raymond, Water & Day Sts - Proposed amendments to Industrial Zone #1 regarding the location of parking for TOD properties in flood zones & new 193 unit multifamily development

#13-13SP/#19-13CAM – Trinity Washington Village Limited Partnership /City of Norwalk – 13 Day St - New 10 unit multifamily development

#14-13SP/#20-13CAM – Trinity Washington Village Limited Partnership /Norwalk Housing Authority - 20 Day St - New 70 unit multifamily development

Dear Attorney Smith:

At a meeting of the Norwalk Zoning Commission held on Wednesday, February 19, 2014 the following actions were taken:

*** ZONING AMENDMENT RESOLUTION ***

BE IT RESOLVED that the proposed amendments to the Building Zone Regulations as shown on a certain document entitled "#3-13R – Trinity Washington Village Limited Partnership – Proposed amendment to Industrial Zone #1 regarding the location of parking in relation to principal use for properties in Flood Zone AE and in Transit Oriented Development (TOD) areas" and dated October 1, 2013 regarding the location of parking for Transit Oriented Development (TOD) properties in flood zones, be approved;

BE IT FURTHER RESOLVED that the reasons for this action are:

- 1) To implement the Plan of Conservation and Development E.2.2.5 to "Consider designating a redevelopment area at the South Norwalk Station to help achieve goals for transit enhancements and transit-oriented development here" (p. 37); and
- 2) To implement the Plan of Conservation and Development A.2.1.2 to "Pursue mixed income development when renovating, rebuilding, or developing new public housing units" (p. 11); and
- 3) To implement the Plan of Conservation and Development B.1.1.2 to "Encourage new development
- 4) around transit access and allow new development which does not exceed the capacity of infrastructure systems (roads, sewers, water, etc)" (p. 16); and
- 5) That the proposed amendment complies with Plan of Conservation and Development A.2.2.5 to "Maximize the number of affordable units available in the Norwalk Housing Authority inventory, within current resources, to address the shortage of affordable housing for all eligible populations (p. 12); and
- 6) That the proposed amendment complies with Plan of Conservation and Development A.2.2 to "Rehabilitate Norwalk's existing inventory of public, private, and non-profit housing" (p. 11); and
- 7) That the proposed amendment complies with Plan of Conservation and Development A.2.4 to "Use publicly owned land to provide long-term affordability" (p. 12); and

BE IT FURTHER RESOLVED that the effective date of this action be February 28, 2014.

*** #13-13SP/#19-13CAM -SPECIAL PERMIT/COASTAL SITE PLAN RESOLUTION ***

BE IT RESOLVED that site plan application #13-13SP and coastal site plan application #19-13CAM – Trinity Washington Village Limited Partnership – 13 Day Street - New 10 unit multifamily development in Flood Zone AE and in a Transit Oriented Development (TOD) area as shown on a set of plans entitled "Parcel 1: 13 Day Street and Hanford Place Building A Norwalk, CT. Trinity Washington Village Limited Partnership & the Norwalk Housing

Authority" by Icon Architecture; Tighe & Bond Engineers & Surveyors; Eric Rains Landscape Architecture and other related plans dated September 19, 2013 as revised to November 22, 2013 be approved, subject to the following conditions:

- 1) That the architectural and site plans be modified as shown on the staff modified drawing dated November 27, 2013 to comply with the required maximum front setback and to confirm that the plans comply with the required recreation area prior to the issuance of a zoning permit; and
- 2) That the draft deed restriction as shown on a certain document entitled "Washington Village/South Norwalk Redevelopment 13 Day St (10 units) Workforce Housing Affordability Plan" dated revised November 21, 2013 and related documents showing 1 three-bedroom unit, for a total of **one (1) workforce housing unit**, shall run with the land in perpetuity and shall be filed on the Norwalk Land Records prior to the issuance of a final Certificate of Zoning Compliance; and
- 3) That a surety be submitted (in an amount to be determined by staff) and approved by the Zoning Commission to ensure the installation of all on and off-site improvements necessary to accommodate the final grades of proposed site utilities and driveway access for this development, including but not limited to: raising the grade of Raymond and Day St to Elevation 12.0 (SPL 0.0), the removal of on street parking along Water Street, and the extension of Day Street (one way) from Hanford Place north to Elizabeth Street (TOP.01) and related improvements; and
- 4) That all of the above referenced off-site improvements be complete prior to the issuance of a Certificate of Zoning Compliance (CZC); and
- 5) That a certificate of special permit and mylar of the approved site plan (as revised by any conditions of approval) be filed on the Norwalk Land Records prior to the issuance of a zoning permit; and
- 6) That the staff be notified prior to any work, construction or demolition being undertaken to ensure that all soil and erosion controls are installed and maintained; that silt sacks be installed in all existing and proposed catch basins, and that any additional controls be installed at the direction of the Commission's staff, as needed; and
- 7) That the security plan dated November 22, 2013 be implemented to ensure the safety of residents; and
- 8) That an emergency parking plan to assist residents in the relocation of vehicles during flooding events be submitted; and
- 9) That within six months of the issuance of the Certificate of Zoning Compliance a follow-up traffic study be submitted to the Commission; and
- 10) That the stormwater maintenance plan including the Porous Pavement Maintenance Schedule dated November 21, 2013 be implemented to ensure the maintenance of onsite drainage systems; and
- 11) That all CEAC signoffs shall be submitted prior to the start of construction; and
- 12) That a Connecticut licensed engineer certify that all of the required improvements, including any required off-site improvements, were installed to City standards and that the development as constructed complies with all relevant Federal flood regulations and that such certification be submitted prior to the issuance of a Certificate of Zoning Compliance; and
- 13) That all signage, existing and proposed, comply with the zoning regulations and that any graffiti on the site, now or in the future, be immediately removed and that all signs conform to the zoning regulations; and
- 14) That any and all HVAC units shall be located in conformance with the applicable zoning setbacks; and

BE IT FURTHER RESOLVED that the reason for this action is that this application complies with applicable coastal resource and use policies; and

BE IT FURTHER RESOLVED that this application complies with Section 118-700 Industrial Zone. No. 1, as amended, and with applicable sections of the Building Zone Regulations for the City of Norwalk.

BE IT FURTHER RESOLVED that the effective date of this action be February 28, 2014.

*** #14-13SP/#20-13CAM -SPECIAL PERMIT/COASTAL SITE PLAN RESOLUTION ***

BE IT RESOLVED that site plan application #14-13SP and coastal site plan application #20-13CAM – Trinity Washington Village Limited Partnership – 20 Day Street - New 70 unit multifamily development in Flood Zone AE and in a Transit Oriented Development (TOD) area as shown on a set of plans entitled " Parcel 1: 13 Day Street and Day Street Building B Norwalk, CT. Trinity Washington Village Limited Partnership & the Norwalk Housing Authority" by Icon Architecture; Tighe & Bond Engineers & Surveyors; Eric Rains Landscape Architecture and other related plans dated September 19, 2013 as revised to November 22, 2013 be approved, subject to the following conditions:

1. That the architectural and site plans be modified as shown on the staff modified drawing dated November 27,

2013 to comply with the required maximum front setback and to confirm that the plans comply with the required recreation area prior to the issuance of a zoning permit; and

2. That the draft deed restriction as shown on a certain document entitled "Washington Village/South Norwalk Redevelopment 20 Day St (70 units) Workforce Housing Affordability Plan" dated revised November 21, 2013 and related documents showing 2 one-bedroom, 4 two-bedroom units and 1 three-bedroom units, for a total of **seven (7) workforce housing units**, shall run with the land in perpetuity and shall be filed on the Norwalk Land Records prior to the issuance of a final Certificate of Zoning Compliance; and
3. That a signed 25 year lease agreement to provide twenty-nine (29) parking spaces needed for this development on an adjacent property located at Raymond Street (Washington Village) be filed on the Norwalk Land Records prior to the issuance of a zoning permit; and
4. That a surety be submitted (in an amount to be determined by staff) and approved by the Zoning Commission to ensure the installation of all on and off-site improvements necessary to accommodate the final grades of proposed site utilities and driveway access for this development, including but not limited to: raising the grade of Raymond and Day St to Elevation 12.0 (SPL 0.0), the removal of on street parking along Water Street, and the extension of Day Street (one way) from Hanford Place north to Elizabeth Street (TOP.01) and related improvements; and
5. That all of the above referenced off-site improvements be complete prior to the issuance of a Certificate of Zoning Compliance (CZC); and
6. That a certificate of special permit and mylar of the approved site plan (as revised by any conditions of approval) be filed on the Norwalk Land Records prior to the issuance of a zoning permit; and
7. That all soil and erosion controls be installed and maintained prior to the start of any construction or site work; that silt sacks be installed in all existing and proposed catch basins, and that additional controls be installed at the direction of the Commission's staff, as needed; and
8. That the security plan dated November 22, 2013 be implemented to ensure the safety of residents; and
9. That an emergency parking plan to assist residents in the relocation of vehicles during flooding events be submitted; and
10. That within six months of the issuance of the Certificate of Zoning Compliance a follow-up traffic study be submitted to the Commission; and
11. That the stormwater maintenance plan including the Porous Pavement Maintenance Schedule dated November 21, 2013 be implemented to ensure the maintenance of onsite drainage systems; and
12. That all CEAC signoffs shall be submitted prior to the start of construction; and
13. That a Connecticut licensed engineer certify that all of the required improvements, including any required off-site improvements, were installed to City standards and that the development as constructed complies with all relevant Federal flood regulations and that such certification be submitted prior to the issuance of a Certificate of Zoning Compliance; and
14. That all signage, existing and proposed, comply with the zoning regulations and that any graffiti on the site, now or in the future, be immediately removed and that all signs conform to the zoning regulations; and
15. That any and all HVAC units shall be located in conformance with the applicable zoning setbacks; and

BE IT FURTHER RESOLVED that the reason for this action is that this application complies with applicable coastal resource and use policies; and

BE IT FURTHER RESOLVED that this application complies with Section 118-700 Industrial Zone. No. 1, as amended, and with the applicable sections of the Building Zone Regulations for the City of Norwalk.

BE IT FURTHER RESOLVED that the effective date of this action be February 28, 2014.

*** #15-13SP/#21-13CAM -SPECIAL PERMIT/COASTAL SITE PLAN RESOLUTION ***

BE IT RESOLVED that site plan application #15-13SP and coastal site plan application #21-13CAM – Trinity Washington Village Limited Partnership and the Norwalk Housing Authority – Raymond Street – New 193 unit multifamily development in Flood Zone AE and in a Transit Oriented Development (TOD) area as shown on a set of plans entitled "Washington Village Buildings C, D, E Norwalk, CT. Trinity Washington Village Limited Partnership & the Norwalk Housing Authority" by Icon Architecture; Tighe & Bond Engineers & Surveyors; Eric Rains Landscape Architecture and other related plans dated September 19, 2013 as revised to November 22, 2013 be approved, subject to the following conditions:

1. That the plans be revised to make Raymond Street a two-way street from Water Street to Day Street and to retain on-street parking on south side and to revise the Water Street frontage to remove the existing on-street parking spaces, add a seven (7) foot sidewalk, provide a Wheels bus pull-off and a bus kiosk to the north of the new site driveway; and
2. That the draft deed restriction as shown on a certain document entitled "Washington Village/South Norwalk Redevelopment **Raymond St** (193 units) Workforce Housing Affordability Plan" dated revised November 21, 2013 and related documents showing 7 one-bedroom, 10 two-bedroom units and 3 three-bedroom units, for a total of **twenty (20) workforce housing units**, shall run with the land in perpetuity and shall be filed on the Norwalk Land Records prior to the issuance of a final Certificate of Zoning Compliance (CZC); and
3. That a signed 25 year lease agreement to provide twenty-nine (29) parking spaces for an adjacent property at 20 Day Street be filed on the Norwalk Land Records prior to the issuance of a zoning permit; and
4. That a surety be submitted (in an amount to be determined by staff) and approved by the Zoning Commission to ensure the installation of all on and off-site improvements necessary to accommodate the final grades of proposed site utilities and driveway access for this development, including but not limited to: raising the grade of Raymond and Day St to Elevation 12.0 (SPL 0.0), the removal of on street parking along Water Street, and the extension of Day Street (one way) from Hanford Place north to Elizabeth Street (TOP.01) and related improvements; and
5. That all of the above referenced off-site improvements be complete prior to the issuance of a Certificate of Zoning Compliance (CZC); and
6. That the security plan dated November 22, 2013 be implemented to ensure the safety of residents; and
7. That an emergency parking plan to assist residents in the relocation of vehicles during flooding events be submitted; and
8. That the applicant work with the Department of Public Works (DPW) to determine the feasibility of additional flood control measures including the addition of check valves for the proposed drainage system as noted on the Site Storm and Sanitary Sewer Plan (C1.1) and that such work be included in the above referenced surety; and
9. That a certificate of special permit and mylar of the approved site plan (as revised by any conditions of approval) be filed on the Norwalk Land Records prior to the issuance of a zoning permit; and
10. That the staff be notified prior to any work, construction or demolition being undertaken to ensure that all soil and erosion controls are installed and maintained; that silt sacks be installed in all existing and proposed catch basins, and that any additional controls be installed at the direction of the Commission's staff, as needed; and
11. That within six months of the issuance of the Certificate of Zoning Compliance a follow-up traffic study be submitted to the Commission; and
12. That the stormwater maintenance plan including the Porous Pavement Maintenance Schedule dated November 21, 2013 be implemented to ensure the maintenance of onsite drainage systems; and
13. That all CEAC signoffs shall be submitted prior to the start of construction; and
14. That a Connecticut licensed engineer certify that all of the required improvements, including any required off-site improvements, were installed to City standards and that the development as constructed complies with all relevant Federal flood regulations and that such certification be submitted prior to the issuance of a Certificate of Zoning Compliance; and
15. That all signage, existing and proposed, comply with the zoning regulations and that any graffiti on the site, now or in the future, be immediately removed and that all signs conform to the zoning regulations; and
16. That any and all HVAC units shall be located in conformance with the applicable zoning setbacks; and

BE IT FURTHER RESOLVED that the reason for this action is that this application complies with applicable coastal resource and use policies; and

BE IT FURTHER RESOLVED that this application complies with Section 118-700 Industrial Zone. No. 1, as amended, and with applicable sections of the Building Zone Regulations for the City of Norwalk.

BE IT FURTHER RESOLVED that the effective date of this action be February 28, 2014.

You must obtain a zoning approval and a building permit prior to any work on each of the above-referenced sites. A building permit must be obtained within one year of the effective date or these approvals will automatically become null and void.

A zoning approval will not be issued until the plans have been revised to comply with any of the above conditions of approval and a surety is submitted to this office to guarantee the installation and maintenance of the required erosion

and sediment controls. The bond for this part of the project is set at Five Thousand Dollars (\$5,000.00). Regarding all non-cash bonds: Corporation Counsel and the Commission reserve the right to approve the surety as to form and issuing financial institution.

A Certificate of Zoning Compliance will not be issued until a surety to guarantee the installation of any incomplete improvements is submitted to this office. The contractor or owner is responsible for alerting this office regarding the status of any incomplete improvements prior to any request for a certificate of zoning compliance. The applicant must post a bond sufficient to cover the cost of any incomplete improvements or of any work that is not in compliance with City standards.

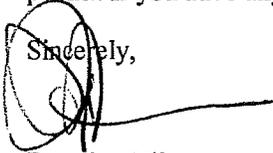
To ensure that the special permit approval becomes effective, the applicant must file a certificate of special permit and a mylar of the approved plan for each site on the Norwalk Land Records. In addition, the applicant must provide a signed 25 year lease agreement for the twenty nine (29) off-site parking spaces on the Norwalk Land Records. Prior to filing this lease agreement, the applicant must review the terms of the lease with Corporation Counsel and obtain their approval. Once these filings have occurred, an application for a zoning permit may be requested.

Prior to the issuance of a Certificate of Zoning Compliance, the applicant must file deed restriction documents for the required workforce housing units at each location (a total of 28 workforce units) on the Norwalk Land Records and must verify that a minimum of thirty percent (30%) of the units at 20 Day Street and Raymond Street will be restricted as affordable in compliance with CGS 8-30g. Prior to filing these deed restriction documents, the applicant must review the draft deed restrictions with Corporation Counsel and obtain their approval. These filings must precede any request for a Certificate of Zoning Compliance.

Enclosed please find a copy of the Policy on Construction Inspection in the City of Norwalk and As-Built Plan requirements. You are responsible for obtaining permits from the Department of Public Works prior to any work in a street right-of-way. All work must comply with the standards for the City of Norwalk, whether or not those standards were specifically discussed in the process of reviewing the application.

Please relay this information to the applicant and contact this office after the effective date shown above to begin the process for posting the bond and filing the required documents on the Land Records, prior to obtaining to a zoning permit. If you have any questions regarding the enclosed, please contact me at (203) 854-7780.

Sincerely,



Dorothy Wilson
Senior Planner

enclosures

20 Day St: Pkg. lease for 29 spaces
Letter of agreement



December 10, 2013

Zoning Commission of the City of Norwalk
c/o Michael B. Greene, Director
Norwalk City Hall
125 East Avenue, Room 223
Norwalk, CT 06856

- CECIL RAMIREZ
Chairman
- JEFFREY INGRAM
Vice Chairman
- BERNARDINE TATEM
President
- BEVERLY KRIDGER
Commissioner
- LARRY A. KATZ
Commissioner
- CURTIS O. LAW
Executive Director
- CANDACE E. MAVER
Deputy Director
- LATTARULO LAW FIRM, LLC
General Counsel
- UNITED WAY
COMMUNITY PARTNER

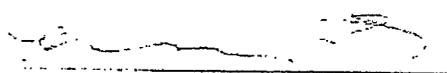
Re: Washington Village Mixed-Income Development Permitting Application - Parking Lease Agreement for 29 off-site parking spaces to be Located at the Raymond Street Parcel (designated as District 2, Block 61, and Lot No. 4) for the benefit of the proposed improvements to be located at the 20 Day Street Parcel (designated as District 2; Block 60 and Lot No. 1)

Dear Chairman Santo and Members of the Commission:

We are writing to express our understanding to the City of Norwalk Zoning Commission (the "Commission") that in order to obtain all necessary approvals for the construction of the proposed improvements at the 20 Day Street Parcel, designated as District 2, Block 60, Lot No. 1 ("Parcel Two") it is required that the Norwalk Housing Authority ("NHA") agree to enter into 25-year lease agreement (the "Lease Agreement") with Trinity Washington Village Limited Partnership (the "Applicant") to provide 29 off-street parking spaces situated on the Raymond Street Parcel, designated as District 2 Block 61, and Lot No. 4 as by the Assessor of the City of Norwalk ("Parcel Three"), for use by the tenants and occupants of the proposed improvements at Parcel Two. We further understand that execution of this Lease Agreement will be a condition of the issuance of Parcel Two's Certificate of Occupancy and will therefore need to be signed at the time of its issuance. Both the Lease Agreement and the demolition of buildings on the parcel to create the required parking spaces are subject to the review and approval of the U.S. Department of Housing and Urban Development ("HUD"). The NHA will require HUD approval before it can enter into the Lease Agreement.

Very Truly Yours,

NORWALK HOUSING AUTHORITY
LIMITED PARTNERSHIP


CURTIS O. LAW, EXECUTIVE DIRECTOR

TRINITY WASHINGTON VILLAGE Limited Partnership
BY: TRINITY WASHINGTON VILLAGE,
INC., ITS GENERAL PARTNER


PATRICK A.T. LEE, PRESIDENT

#3-13R – Trinity Washington Village Limited Partnership – Amendment to Industrial Zone #1 regarding the location of parking in relation to principal use for properties in Flood Zone AE and in Transit Oriented Development (TOD) areas

Approved: February 19, 2014
Effective: February 28, 2014

Amend Article 70, Section 118-700 Industrial Zone # 1 to revise Subsection D. Off street parking and loading requirements to revise subparagraph 1 to read as follows:

- D. Off-street parking and loading requirements. See Sections 118-1200 through 118-1260, except that:
- (1) The principal use and structure shall be located between the street and all parking facilities. Underground parking facilities, the roofs of which are less than three (3) feet above the center-line elevation of the street, shall be exempt from this requirement. **Above-ground parking facilities, proposed for properties located in the “Designated Properties for the Transit Oriented Development at South Norwalk Railroad Station” area, that are within the Industrial No. 1 Zone District and “Flood Zone AE,” where new construction for residential dwellings at street level would be at or below base flood level, may be exempt from this requirement subject to the Commission finding that suitable architectural enhancements are provided to mitigate the exemption.**

New text shown in **bold**
Deleted text shown in **[[double brackets]]**

ZONING COMMISSION
P.O. BOX 5125
125 EAST AVENUE
NORWALK, CT. 06856-5125

SPECIAL PERMIT APPROVAL INSTRUCTIONS

Your application for Special Permit has been approved by the Zoning Commission; however, it will not become effective until the following steps are taken:

- 1) The site plan must be amended to comply with any conditions placed upon the approval as contained in the resolution. Once the revisions are made, or if no revisions are called for, the approved plan must be submitted on an original mylar which has the raised seal of an architect or engineer and must be certified as a Class A-2 survey and signed and sealed by a Licensed Land Surveyor.

An approval block must be placed on the site plan with the appropriate approval and effective dates & file number filled in as noted below:

APPROVED BY THE ZONING COMMISSION ON (<u>DATE OF APPROVAL</u>) EFFECTIVE ON (<u>EFFECTIVE DATE</u>) . See Special Permit # (<u>Special permit file #</u>) ATTEST: _____ <p style="text-align: center;">Secretary/Chair</p>

Overall sheet size must be either: 12" X 18", 18" X 24", or 24" X 36". A map recording fee, payable by the applicant, will be required by the Town Clerk's office.

- 2) A signed Certificate of Special Permit prepared by the Zoning Commission staff is recorded on the Norwalk Land Records along with the site plan. A document recording fee, payable by the applicant, will be required by the Town Clerk's office.
- 3) If required, a performance bond must be posted in the amount specified in the approval. The bond must be submitted on the form available from the Zoning office.

The bond must be posted prior to the recording of the Special Permit.

Upon completion of items 1, 2, and 3, above, you may proceed to the Town Clerk's office to file the certificate and site plan map. The Clerk will assign a number to the map and a Volume/page number to the certificate. You must call the staff person in charge of the file and report these numbers to them.

Once the above steps are complete, you may proceed to the Zoning Inspector to begin the process for obtaining a zoning permit.

SURETY FOR ZONING COMMISSION APPROVALS

The Surety to be submitted as a condition of approval by the Zoning Commission shall be submitted in one of the two following forms:

- a. A combination of a cash surety and surety bond, with the cash surety amount being set a base of 25% of the total amount and the surety bond consisting of the remaining 75%.
- b. A cash bond totaling 100% of the surety.

All cash bonds shall be in the form of a cash deposit, accepted in the form of a bank or personal check to be made payable to *Treasurer – City of Norwalk*, unless otherwise approved by the Commission.

The Commission reserves the right to verify the rating of the surety company and to ensure that the bonds are issued from a licensed and admitted surety company covered by the Connecticut Insurance Guaranty Association.

BOND NO. _____

ZONING COMMISSION
125 EAST AVENUE
NORWALK, CONNECTICUT 06856-5125

BOND FOR COMPLETION OF SPECIAL PERMIT DEVELOPMENTS

KNOW ALL MEN BY THESE PRESENTS:

THAT, WE _____
of the City of _____, County of _____
and State of _____, as PRINCIPAL and _____

_____ a corporation duly licensed to conduct a surety business in the State of Connecticut and having its principal office at _____ as SURETY, are jointly and severally bond unto the City of Norwalk, Connecticut in the sum of _____ Dollars (\$ _____) for which payment, well and truly to be made, we jointly and severally bind ourselves, our heirs, executors, administrators, successors and assigns, firmly by these presents.

Signed, sealed and delivered this _____ day of _____ 20 _____.

THE CONDITION OF THIS OBLIGATION IS SUCH THAT:

WHEREAS, said PRINCIPAL has made application to the Zoning Commission for the approval of a plan for the development of certain land located in the City of Norwalk, which plan is entitled " _____"

_____ said plan was made by _____, and is dated _____, and revised to _____.

WHEREAS, the Zoning Commission has approved said plan on condition that the PRINCIPAL file with the Commission a bond in the amount of \$ _____ with surety and conditions satisfactory to the Commission securing to the City the actual completion within one Year of certain work and installations required by the Commission, as more fully appears in the record of the hearings of the Commission on the PRINCIPAL'S application, which record is hereby made a part hereof;

NOW, THEREFORE, if the PRINCIPAL shall on or before _____ 20 _____, make and complete to the satisfaction of the Zoning Commission, the work and installation herein referred to, this obligation shall be null and void; otherwise the PRINCIPAL and SURETY shall pay to the City of Norwalk the amount of the bond or the amount of any reasonable estimate to complete said work and installations; provided; however, the amount which the PRINCIPAL and SURETY shall be required to pay hereunder shall not, in any event exceed the penal sum hereof.

BOND INSTRUCTIONS

1. The Bond form, obtainable from the Zoning Commission, is the only one acceptable to the Zoning Commission of the City of Norwalk.
2. The Bond should be completed and filed with the Zoning Commission of the City of Norwalk after notification of approval of the development by the Zoning Commission.
3. The penalty of the Bond is the Zoning Commission's estimate of the amount necessary to complete required improvements.
4. The file on the development plan may be inspected by a representative of a surety or prospective surety at the office of the Zoning Commission.
5. A copy of the Building Zone Regulations is available upon request to the Zoning Commission.
6. Power of Attorney of persons signing on behalf of the surety must be attached to the Bond if not already on file with the Zoning Commission.
7. If the person acting as Attorney for the surety company is not a licensed Connecticut resident agent of the State of Connecticut, then this Bond shall be countersigned by a licensed Connecticut resident agent of the company.
8. The signature of two (2) witnesses is required on the Bond.
9. If the development Sponsor is a Corporation, then the Corporate seal must be shown in addition to the Seal of the Bonding Company.
10. The Bond must show the Bond Number and the name of the Bonding Company's local agent.
11. The City of Norwalk requires a completion date of one year, although the Bond is of longer duration. Therefore, the date, shown on the Bond for completing to the satisfaction of the City of Norwalk, should be ONE YEAR LATER than the date the Bond is signed, sealed and delivered.
12. The Commission will consider applications for extension of time to complete improvements when good cause for delay is shown.
13. Upon request of the Developer or Surety, the Plan Review Committee will, at reasonable intervals, report on the partial completion of improvements.
14. Application for release of the Bond, upon completion of the required work, must include "As-Built" drawings of a Plan and Profile showing location, dimensions, elevations, profiles, etc. of all improvements, including fire hydrants and monuments as they exist. The "As-Built" drawings must be signed by a surveyor licensed in the State of Connecticut.
15. The Zoning Commission shall not release any Road Bonds until the "As-Built" drawings and all improvements have been approved by the Zoning Commission and the road has been accepted by the Common Council. No road completed after October 31st shall be accepted prior to April 1st of the succeeding year.

NORWALK PLANNING & ZONING COMMISSIONS

125 East Avenue P.O. Box 5125
Norwalk, Connecticut 06856-5125
(203) 854-7780

POLICY ON CONSTRUCTION INSPECTION IN THE CITY OF NORWALK

The Planning and Zoning staff is to be notified by the developer, contractor or the property owners prior to commencing the following stages of development:

1. Site Clearing
2. Rough grading
3. Installation of storm drainage
4. Installation of sanitary sewers
5. Placing of road base and final grading
6. Installation of bituminous concrete paving
7. Installation of landscaping
8. Installation of curbs and sidewalks
9. Receipt of certification of foundation location (as per Section 118-1420G).
10. Receipt of Certificate of Zoning Compliance

A set of as-built plans must be submitted along with a certificate from a professional engineer stating that the construction has been built according to city standards. Please contact the engineer of record so that an acceptable inspection program can be instituted in order to enable the engineer to certify the project.

All development proposals approved by the Planning & Zoning Commissions are subject to this policy on construction. Responsibility for compliance with this policy shall be upon the property owner. Any violation of this procedure could mean loss of time and money to the developer or contractor through delay in release of the surety or delay in the issuance of a Certificate of Zoning Compliance.

Messages concerning these matters will be received at the Planning & Zoning Commissions' office at City Hall, 125 East Avenue, Norwalk, CT.; Telephone (203) 854-7780, between the hours of 8:30 am and 4:30 pm, Monday through Friday.

If any changes in the construction plans are proposed, the Site Planner's approval shall be obtained before proceeding. If the change is substantial, a revised Utility Plan shall be submitted for approval before the work is done.

If the construction plans call for excavation in an existing public street for any reason, a permit for such work shall be obtained from the Department of Public Works prior to the beginning of work. No additional bond from the Planning or Zoning Commissions shall be required.

NORWALK PLANNING & ZONING COMMISSIONS

125 East Avenue
P.O. Box 5125
Norwalk, Connecticut 06856-5125
(203) 854-7780

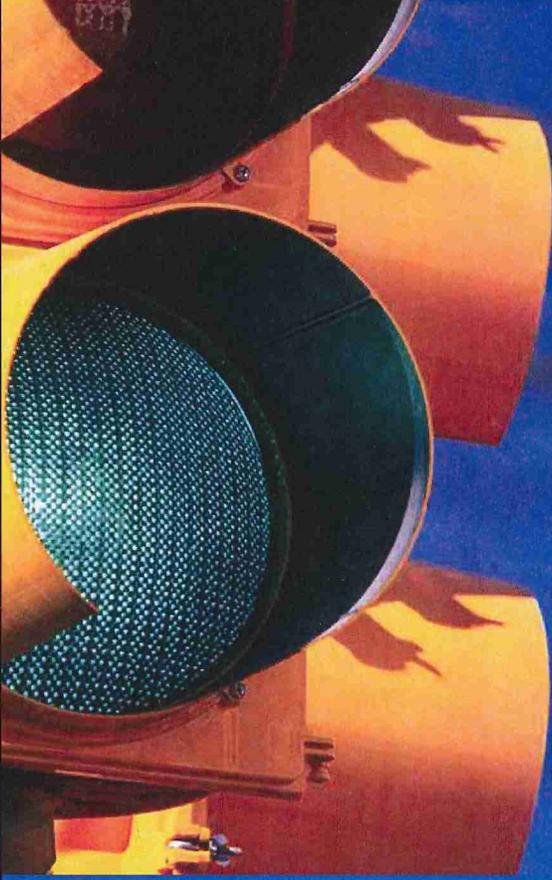
AS-BUILT PLAN (IMPROVEMENTS LOCATION MAP, RECORD)

The following information will be required to be submitted to satisfy the as-built requirement:

- Building Location Map showing:
 - All zoning setback lines
 - Structures & distances from property lines
 - Coverage calculations as required (Building, building & parking, open space, F.A.R.)
- Parking & loading spaces with total # of spaces and typical dimensions & aisle width
- Site improvements (sidewalks, curbs, planting islands, lights, ground signs, retaining walls, etc.)
- All utility pipes & structures, plan view showing rim and invert elevations, pipe size and material, slope, length

A set of as-built plans must be submitted along with a certificate from a professional engineer stating that the construction has been built according to city standards. Please contact the engineer of record so that an acceptable inspection program can be instituted in order to enable the engineer to certify the project.

If any changes in the construction plans are proposed, the Site Planner's approval shall be obtained before proceeding. If the change is substantial, a revised Utility Plan shall be submitted for approval before the work is done.



Tighe & Bond

APPENDIX H

**Washington Village Redevelopment
Norwalk, Connecticut**

FLOOD CONTINGENCY PLAN

May 2014

The purpose of the flood contingency plan is to describe measures to be taken to protect life and property and to prevent pollution during significant precipitation events. The plan discusses contingency plans during and after construction.

1.0 General Overview

1.1 Site Location and Relationship to Flooding Source

The site is located approximately 800 to 1000 feet from Norwalk Harbor, as shown in **Figure 1**. Norwalk Harbor is subject to coastal flooding as a result of coastal storms, particularly winter nor'easters, tropical storms and hurricanes. Based upon the Flood Insurance Rate Map (FIRM) Panel Number 09001C0531G, effective July 8, 2013, the site is located landward of the limit of moderate wave action (LiMWA), in Zone AE, as shown in **Figure 2**. Since the site is located landward of the LiMWA, it is not within the coastal high hazard area. Based upon FEMA mapping, the area will flood up to elevation 12 NAVD88 in a 100-year event, and elevation 13.6 NAVD88 in a 500-year event.

1.1 Flooding Impact Overview

Existing ground elevations at the site range between 6.5 and 12 NAVD88. The lowest elevations are at Water Street, and generally increase moving landward. Therefore, during a 100-year event, portions of Water Street could potentially be inundated to a depth of 5.4 feet. West of the site, FEMA mapping shows that South Main Street would not be flooded during a 100-year or 500-year event.

1.2 Definition of National Weather Service Watches and Warnings

Typically, the National Weather Service issues hurricane warnings 36 hours in advance, and tropical storm warnings 48 hours in advance. It is expected that floodwaters would recede within 48 to 72 hours, but this could vary depending upon the direction of the prevailing wind after the storm.

Tropical Storm Watch. A tropical storm watch is an announcement that tropical-storm conditions (sustained winds of 39 to 73 mph) are *possible* within the specified area. A tropical storm watch is issued 48 hours in advance of the anticipated onset of tropical storm force winds in the area.

Tropical Storm Warning. Tropical storm warnings indicate that tropical storm conditions (sustained winds of between 39 and 73 mph) are *expected* somewhere within the specified area. Because preparedness activities become difficult once winds reach tropical storm force (sustained winds of 39 to 73 mph), the tropical storm warning is issued 36 hours in advance of the anticipated onset of tropical storm force winds to allow for important preparation.

Hurricane Watch. A hurricane watch means that hurricane conditions (sustained winds of 74 mph or higher) are **possible** within the specified area. A hurricane watch is issued 48 hours in advance of the anticipated onset of tropical storm force winds in an area.

Hurricane Warning Hurricane warnings indicate that hurricane conditions (sustained winds of 74 mph or higher) are **expected** somewhere within the specified area. Because hurricane preparedness activities become difficult once winds reach tropical storm force (sustained winds of 39 to 73 mph), the hurricane warning is issued 36 hours in advance of the anticipated onset of tropical storm force winds to allow for important preparation.

1.3 Overview of Building Relationship to Flood Elevations

Under the completed project, all of the residential units will be above the 100-year flood elevation of 12.0 NAVD88 and the 500-year flood elevation of 13.6 NGVD, but the parking beneath the building will be below the flood elevation. It is anticipated that in advance of flood events, residents will need to move their cars to one of the nearby parking garages as made available by the City.

Dry access from the buildings will be limited because of flooding in surrounding streets. Dry access is provided for the 100-year event, should residents desire to leave the building and to allow emergency personnel and vehicles to access the buildings during a flooding event.

1.3.1 Dry Access From Building A

The first floor elevation of Building A will be set above the 500-year flood elevation. Dry access can be achieved by going through the front doors of the units and utilizing the walkway immediately in front of the units to travel west, above the floodwaters, and then travelling west to dry ground on Hanford Place. Please refer to **Figure 3A**.

1.3.2 Dry Access From Building B

The intersection of Raymond and Day Streets will be raised above the 100-year flood elevation. Additionally, the City has plans to reconstruct Ryan Park and provide a path across the park and above the base flood elevation. The path will be wide enough to facilitate the movement of emergency vehicles between South Main Street and the Raymond and Day Intersection.

Dry access from Building B can be achieved by proceeding to the intersection of Raymond and Day, and then using the new path across Ryan Park to South Main Street. Please refer to **Figure 3B**.

1.3.3 Dry Access From Building C

The intersection of Raymond and Day Streets will be raised above the 100-year flood elevation. Additionally, the City has plans to reconstruct Ryan Park and provide a path across the park and above the base flood elevation. The path will be wide enough to facilitate the movement of emergency vehicles between South Main Street and the Raymond and Day Intersection.

Dry access from Building C can be achieved by proceeding to the intersection of Raymond and Day, and then using the new path across Ryan Park to South Main Street. Please refer to **Figure 3C**.

1.3.4 Dry Access From Building D

The intersection of Raymond and Day Streets will be raised above the 100-year flood elevation. Additionally, the City has plans to reconstruct Ryan Park and provide a path across the park and above the base flood elevation. The path will be wide enough to facilitate the movement of emergency vehicles between South Main Street and the Raymond and Day Intersection.

Dry access from Building D can be achieved by crossing over to Building C using the pedestrian bridge linking the two buildings, and then proceeding to the ground floor of Building C. Once on the ground floor of Building C, proceed to the intersection of Raymond and Day, and then using the new path across Ryan Park to South Main Street. Please refer to **Figure 3D**.

1.3.5 Dry Access From Building E

The intersection of Raymond and Day Streets will be raised above the 100-year flood elevation. Additionally, the City has plans to reconstruct Ryan Park and provide a path across the park and above the base flood elevation. The path will be wide enough to facilitate the movement of emergency vehicles between South Main Street and the Raymond and Day Intersection.

Dry access from Building E can be achieved by crossing over to Building D using the pedestrian bridge linking the two buildings, and then across the pedestrian bridge linking Building D to Building C. Proceed to the ground floor of Building C. Once on the ground floor of Building C, cross the intersection of Raymond and Day, and then using the new path across Ryan Park to South Main Street. Please refer to **Figure 3E**.

2.0 Flood Contingency Operation Plan During Construction

The objective of the construction flood contingency plan is to minimize the impact of flooding on adjoining properties and the environment by limiting the amount of material that would be transported off-site by floodwaters. The principal controls to meet this objective will be to manage construction such that on-site material stockpiles are minimized. Therefore, the Developer shall retain a Construction Manager who will have the responsibility for implementing the construction flood contingency plan outlined below.

All activities are to be carried out in accordance with the City's sedimentation and erosion control regulations, and control measures shall conform to the 2002 Connecticut Erosion and Sedimentation Control Guidelines.

Materials that are hazardous, flammable, explosive, soluble, or expansive, or otherwise injurious to human, animal or plant life are to be stored above the 500-year floodplain elevation of 13.6 NAVD88, or stored off-site, outside of the floodplain at the end of a day's work. These materials will need to be transported to the site on a daily basis from off-site storage as needed. Examples of such materials include, but are not limited to gasoline, oil, solvents, paints, and maintenance fluids.

Other construction materials, such as wood and piping may be stored below the floodplain elevation, but only in reasonable quantities necessary to complete small, discrete tasks. Such materials shall be stored as close to the floodplain boundary as possible, and shall be

adequately anchored with strapping and block to prevent flotation in advance of forecast storm events.

Soil stockpiles shall be floodproofed to the 100-year floodplain elevation plus one foot, which is elevation 13 NAVD88 on the sites. Potential methods of floodproofing the soil stockpiles include:

1. Coralling stockpiles in dumpsters with a minimum size of 30 cubic yards, and securely anchoring them to protect against flotation, especially when the dumpster is less than half empty. Dumpsters shall be watertight, with the top of the dumpster no lower than elevation 13 NAVD88 to provide one foot of freeboard over the 100-year flooding event.
2. Constructing a gabion or concrete block enclosure with an interior lining on the floor and walls to prevent infiltration of flood waters. The enclosure would need to be closed off in advance of predicted storm events in order to floodproof the soil stockpiles. The top of the enclosure would need to be elevated to a minimum elevation of 13 NAVD88.

3.0 Coordination with Norwalk's Emergency Plan

The City of Norwalk has established guidelines for protective actions before, during and after a hurricane, tropical storm, or other major flooding event. The Building Manager is expected to communicate and cooperate with the City through the Norwalk Housing Authority in the execution of the City's Emergency Operations Plan (EOP).

4.0 Post-Construction Flood Contingency Operation Plan Overview

The objective of the post-construction contingency plan is to protect the lives and property of residents in the event of a flood, and prepare residents for downtime and compromised access during flooding events to the maximum extent practicable. The Building Manager is the primary entity responsible for the implementation of the plan, and coordination with the Norwalk Housing Authority and the City of Norwalk Office of Emergency Management.

The goal of this plan is to prepare residents and give them sufficient warning in advance of a storm event so they can make the decision to evacuate or to prepare and have sufficient provisions to shelter in place when access to and from the site would be limited. It is anticipated that there would be warning in advance of most flooding events. In the event of a disaster without warning, the timeline below would be compressed, and would require the participation of all available response personnel, with some of the tasks performed concurrently.

The Building Manager shall also designate a secondary person responsible for implementing the post-construction flood contingency plan in the event that the Building Manager is not available, and communicate that person's contact information to the Norwalk Housing Authority and the City's Office of Emergency Management.

The Building Manager shall also monitor weather reports and notify the City of Norwalk Housing Authority once the plan is implemented, and advise of the status of the implementation of the individual plan elements.

4.0.1 Persons Responsible

The following is a list of phone numbers of of Flood Contingency Plan leaders and emergency agencies:

Leader	Home Telephone	Cell Phone
(Building Manager Contact)	xxx-xxxx	xxx-xxxx
(Alternate Contact)	xxx-xxxx	xxx-xxxx
Dan Williamson (Housing Authority Contact)	203-515-4271	203-515-4271
Peter Agosta (Alternate Housing Authority Contact)	203-515-4265	203-515-4265
Emergency Agencies		
Norwalk Police		203-854-3000
Norwalk Fire / Emergency Management		203-854-0238
CTDEMHS, Region 1		203-696-2640

4.1 Normal Operations

During the year, under normal weather circumstances a number of tasks should be performed to ensure that participants are trained and recognize their roles, to maintain the plan to ensure that it is current, and to review procedures and ensure that materials and resources to implement the plan are in place:

The Building Manager is responsible for the following tasks:

1. Maintain the Flood Contingency Plan as outlined in the Section "Maintaining the Plan".
2. Monitor and track tropical systems in coordination with City of Norwalk Office of Emergency Management.
3. Review staffing and resource needs.
4. Coordinate with the City of Norwalk Office of Emergency Management to ensure consistency between plans and reinforce working relationships.
5. Coordinate with volunteer organizations to reinforce working relationships.
6. Determine the number of potential evacuees from general and special populations and confirm appropriateness of evacuation plans.
7. Encourage and educate residents regarding preparedness and increase self-sufficiency in coordination with the City of Norwalk Office of Emergency Management.

8. Identify and participate in available training activities.
9. Create and maintain lists of critical resources, vendors and personnel.
10. Review hazards and risks.
11. Conduct mitigation activities to protect residents, property, supplies and services as appropriate.
12. Identify special needs groups within the building to ensure that they have contingency plans.

4.1.1 Maintaining the Plan

The plan should be reviewed annually by the Building Manager to ensure that staff are familiar with the contents and are aware of how it shall be implemented.

Please refer to the following table.

Timing	Person	Action
September of Every Year	Building Manager	Building manager shall review the plan and forward to the Norwalk Housing Authority to incorporate their comments into the plan for updates.
October of Every Year	Building Manager	Conduct training for staff members who will need to help implement the Plan, assure that staff members have access to the Plan.
October of Every Year	Building Manager	Ensure electric and gas utility shutoff procedures are current and posted.
Year-Round	Building Manager	Monitor weather reports

4.2 Implementing the Plan

There may be times when a storm or series of storms in excess of the 100-year event may require individuals to take appropriate emergency actions. These actions may range from the careful monitoring of the progress of a storm to the evacuation of the property. The State of Connecticut Department of Energy and Environmental Protection and National Weather Service maintain a series of rain gauges, water level sensors and other technological resources throughout the area to monitor the progress of severe storm and flood events. As conditions dictate, flood watches, warnings, evacuation notices and/or other important information may be broadcast on local radio and television stations. During the days and hours preceding a major storm event, building management should carefully monitor local radio and television reports for relevant weather and flood hazard information and coordinate with the City Emergency Management Officer.

The intent is to convey warnings and recommendations regarding potential flood threats to building residents. The Building Manager shall inform the Norwalk Housing Authority of these warnings. The Building Manager shall inform the Norwalk Housing Authority of these warnings. The Building Manager is to disseminate this information to building residents through by e-mail, text or phone messages, and also through the City's CodeRed notification system.

Additionally, Local news and information may be obtained on the following stations:

RADIO		TELEVISION	
WSTC	1400 AM	WTNH Channel 8	New Haven
WEBE	107.1 FM	Cablevision 12	Norwalk
WFOX	95.9 FM	Public Access 79	Norwalk
WEZN	99.9 FM		
WNLK	1350 AM		
WCUM	1450 AM		
WDJZ	1530 AM		
WEDW	88.5 FM		
WGCH	1490 AM		
WICC	600 AM		
WNLK	1350 AM		
WSHU	1260 AM		
WSHU-FM	91.1 FM		

The plan will be implemented in phases, dependent upon the timeframe before a projected event:

1. Readiness Phase (72 hours or more in advance)
2. Increased Rediness Phase (48 to 72 hours in advance)
3. Pre-Landfall Phase (Watch/Warning Issued, 24 to 48 hours in advance)
4. Response Phase (24 hours in advance)
5. Recovery

4.2.1 Readiness Phase

This phase represents identification of a situation that could potentially require the Building Manager to activate the emergency response plan.

1. Coordinate with the City Office of Emergency Management.
2. Monitor tropical system advisories and projected storm path, and assess potential impact to the facility in coordination with the City’s Office of Emergency Management.
3. Disseminate storm timeline and sequence of events based on current storm track and forecast developed by the City of Norwalk Office of Emergency Management.
4. Participate in conference calls with the City’s Office of Emergency Management.
5. Review WebEOC updates obtained from the City and contribute updates to the City as needed.
6. Coordinate CodeRed/e-mail dissemination of information as needed, specifically tailored to the Washington Village site.
7. Estimate potential number of evacuees with special needs and communicate to City Office of Emergency Management.

8. Evaluate potential staffing and resources required to implement plan and assist with evacuation, if required. Communicate available resources to City of Norwalk Office of Emergency Management.
9. Post notices in conspicuous places in public common areas in each of the buildings, including preparation recommendations, and evacuation routes.
10. Confirm that needed mechanical equipment is in working order.
11. Review emergency response plans.
12. Review contingencies for power disruption.
13. Review evacuation route across Ryan Park and report to City Office of Emergency Management.
14. Test generators and ensure ample fuel.
15. Relocate equipment as needed.

4.2.2 Increased Readiness Phase

This phase addresses a situation where the Building Manager will take action. A State of Emergency may be in place at this time.

1. Re-evaluate threat in cooperation with the City of Norwalk Office of Emergency Management.
2. Participate in conference calls with the City Office of Emergency Management.
3. Review WebEOC updates from the City Office of Emergency Management, and contribute updates as warranted.
4. Coordinate with City Office of Emergency Management regarding implementation of plan.
5. Begin event log.
6. Send "stand-by" notification to personnel assigned to emergency operations at the facility.
7. Disseminate advisory information to building residents. Ensure availability in multiple languages as needed.
8. Track personnel and financial costs related to implementation of the plan.
9. Coordinate with the Office of Emergency Management's Public Information Officer regarding necessary preparedness/evacuation information.
10. Test communications equipment, including phones, radios and fax lines.

11. Coordinate with City regarding potential shelter locations for building residents, and for pets.

4.2.3 Pre-Landfall Phase

Under this phase, the City has partially staffed its Emergency Operations Center, and has implemented its Emergency Operations Plan.

1. Coordinate with the City of Norwalk Emergency Operations Center.
2. Provide information for City of Norwalk EOC briefing.
3. Ensure provision of food/shelter for emergency operations staff.
4. Participate in conference calls with the City of Norwalk EOC.
5. Review WebEOC updates from the City Office of Emergency Management, and contribute updates as warranted.
6. Monitor the track of the storm based upon updates provided by the City of Norwalk EOC.
7. Update events log.
8. Mobilize emergency response staff after declaration of State of Emergency.
9. Disseminate updates to building residents, including warnings and preventative measures via phone, text and e-mail.
10. Coordinate with City EOC regarding necessity of evacuation and/or removal of vehicles.
11. Consider need for additional local assets in implementing the plan.
12. Coordinate with City EOC and disseminate information to residents regarding recommended or ordered evacuation, and sheltering locations.
13. Send deployment notification to emergency operations staff.
14. Consider provisions for security for residents remaining in the building if not evacuated.
15. Continue to track financial expenditures of implementing the plan.
16. Outreach to vulnerable populations within building.

4.2.4 Response Phase

The City's Emergency Operations Plan will begin evacuations 24 hours prior to projected landfall, and are anticipated to end approximately 3 hours prior to landfall.

1. Monitor the level of the Norwalk River and the surrounding area from within the building or from a safe distance. Never enter or approach flooded areas.
2. Monitor utilities for disruptions and report same to City of Norwalk EOC.
3. Monitor local radio and television broadcasts for up to date weather and flood hazard information.
4. Assess the availability and condition of available modes of transportation.
5. Ensure that telephone capacity is available to allow for important phone messages or emergency calls.
6. Provide for any persons having special needs (the elderly, ill or physically handicapped) such as individuals that would be unable to rapidly evacuate the building in an emergency situation. Arrange for any special transportation needs as required.
7. Coordinate with City as to where residents can move cars parked beneath the building and disseminate information accordingly. Provide return transportation from designated off-site parking area as needed.
8. Coordinate with City EOC and terminate operations when sustained wind speeds exceed 39 mph.
9. Communicate status reports back to City EOC.
10. Obtain feedback from City EOC on condition of evacuation routes.
11. Post signage and directions for evacuating residents, and for residents relocating vehicles.
12. Communicate with City EOC regarding status of shelters.
13. Disseminate information regarding shelters from City EOC to building residents.
14. Monitor systems around building, assess needs.
15. Deploy second shift if needed.
16. Communicate damage reports back to City EOC.
17. Address damages that can be safely addressed with existing on-hand resources.

Additionally, those responsible for building maintenance should initiate action to reduce potential damages caused by adverse weather conditions and flood. Appropriate action may include the following:

1. Store, elevate or make provisions for safe, dry storage of important building documents, and other readily damaged items.

2. Bring outdoor items inside the building to prevent them from floating or blowing away. These items include unsecured outdoor furnishings, benches, trash receptacles, tools, signs, building supplies and other moveable objects.
3. Tape windows to prevent shattering if it is anticipated that the storm will be accompanied by strong winds.

The following table will assist the Building Manager in the implementation of the plan from the time a flood warning is issued:

Timing	Action
0 hours	Notify Housing Authority contact of flood warning. <ul style="list-style-type: none"> • If Housing Authority contact is not present, call cell phone • If Housing Authority contact is not available, call Housing Authority alternate contact.
Every 2 hours	Monitor progress of implementation and flood warnings. Communicate changes in the warning to other staff members implementing the plan.
0 hours	Activate flood contingency plan.
0 hours	Bring outdoor possessions inside the building to prevent them floating or blowing away.
0 hours	Advise building residents to move cares to higher ground.
0 hours	Notify building residents of the flood hazard and urge precautions to stock up on food and medicine.
0 hours	Tape windows to prevent shattering.
0 hours	Confirm backup power systems are functional.
3 hours	Relocate valuable equipment and files in common rooms and administrative areas to higher shelving or storage locations to the maximum extent practicable, if they are currently stored below the flood elevation.
3 hours	Apply rust preventative compounds to equipment subject to flooding that cannot be easily moved or relocated.
6 hours	Deploy sandbags as an additional measure near lobby door locations as an additional backup measure. Sandbags should be placed to an elevation of 13.6, or approximately 18 inches above the floor level.
72 hours	Turn off the electric and natural gas supply when water is within 1 foot of entering the building. Engage backup power supply.

4.2.5 Recovery Phase

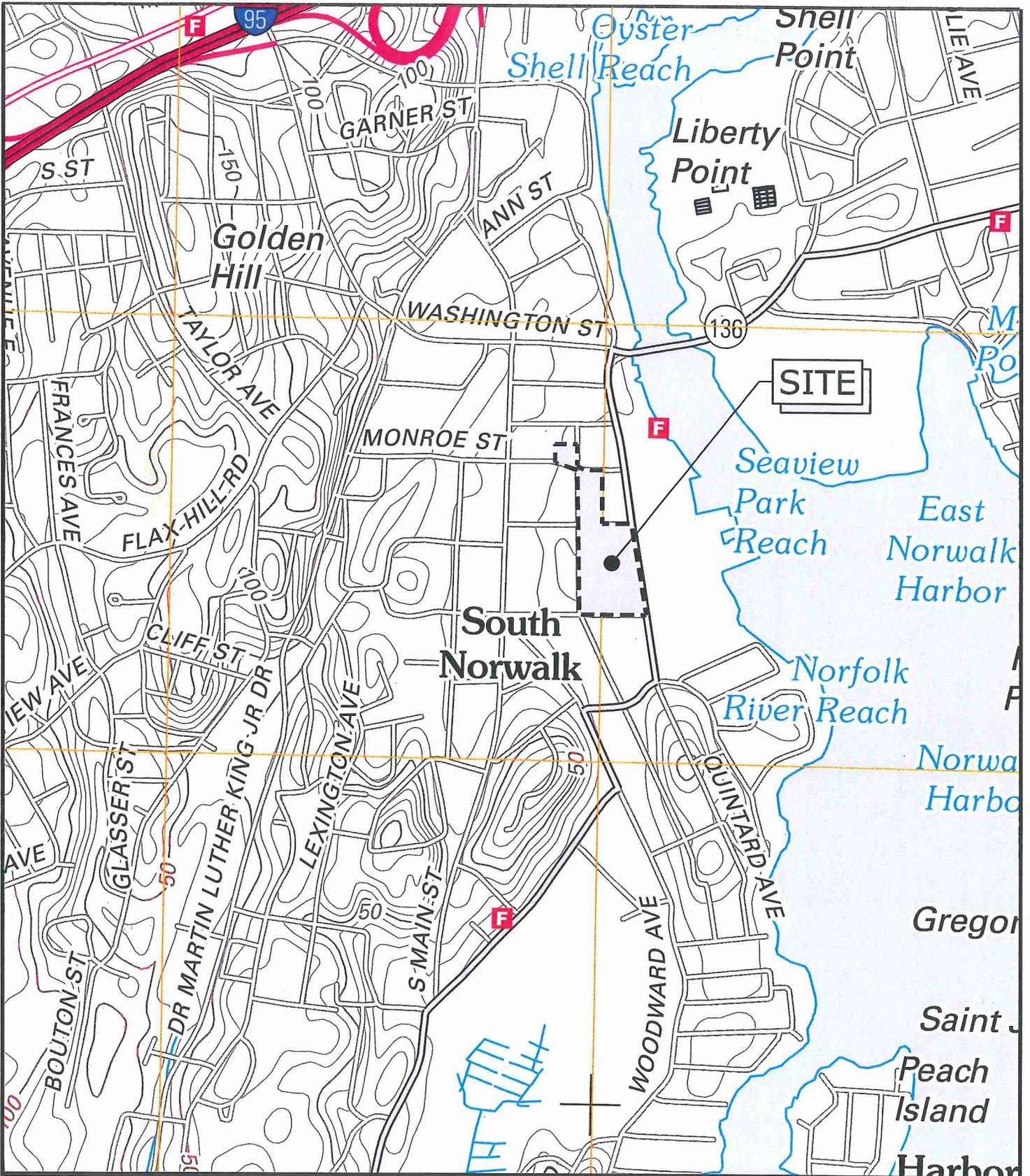
The Recovery Phase begins when weather hazards have abated.

1. Assess status of occupants.
2. Assess damage around building.
3. Provide assistance to residents as needed.
4. Prioritize resources and staff for repair of building damage.
5. Communicate observations with City EOC.
6. Begin to restore critical services.
7. Communicate with residents any specific information released by City EOC to be disseminated.
8. Secure buildings from looting and vandalism.
9. Document damages to building.
10. Arrange for transportation for residents from building to locations where cars have been temporarily parked.
11. Arrange for disposal of debris.

4.2.6 Post-Recovery Phase

1. Identify plan successes and failures
2. Complete and submit necessary paperwork and forms.
3. Obtain feedback from building residents.
4. Disseminate recovery information, such as disaster recovery loans.

May 08, 2014 2:27pm Plotted By: caraj
Tighe & Bond, Inc. J:\NW1020 Washington Village FPM Services\Administration\Permits\QUAD MAP.dwg



WASHINGTON VILLAGE FLOODPLAIN MANAGEMENT
NORWALK, CONNECTICUT

SITE LOCATION MAP

NORWALK SOUTH QUADRANGLE
CONNECTICUT-NEW YORK
7.5 MINUTE SERIES



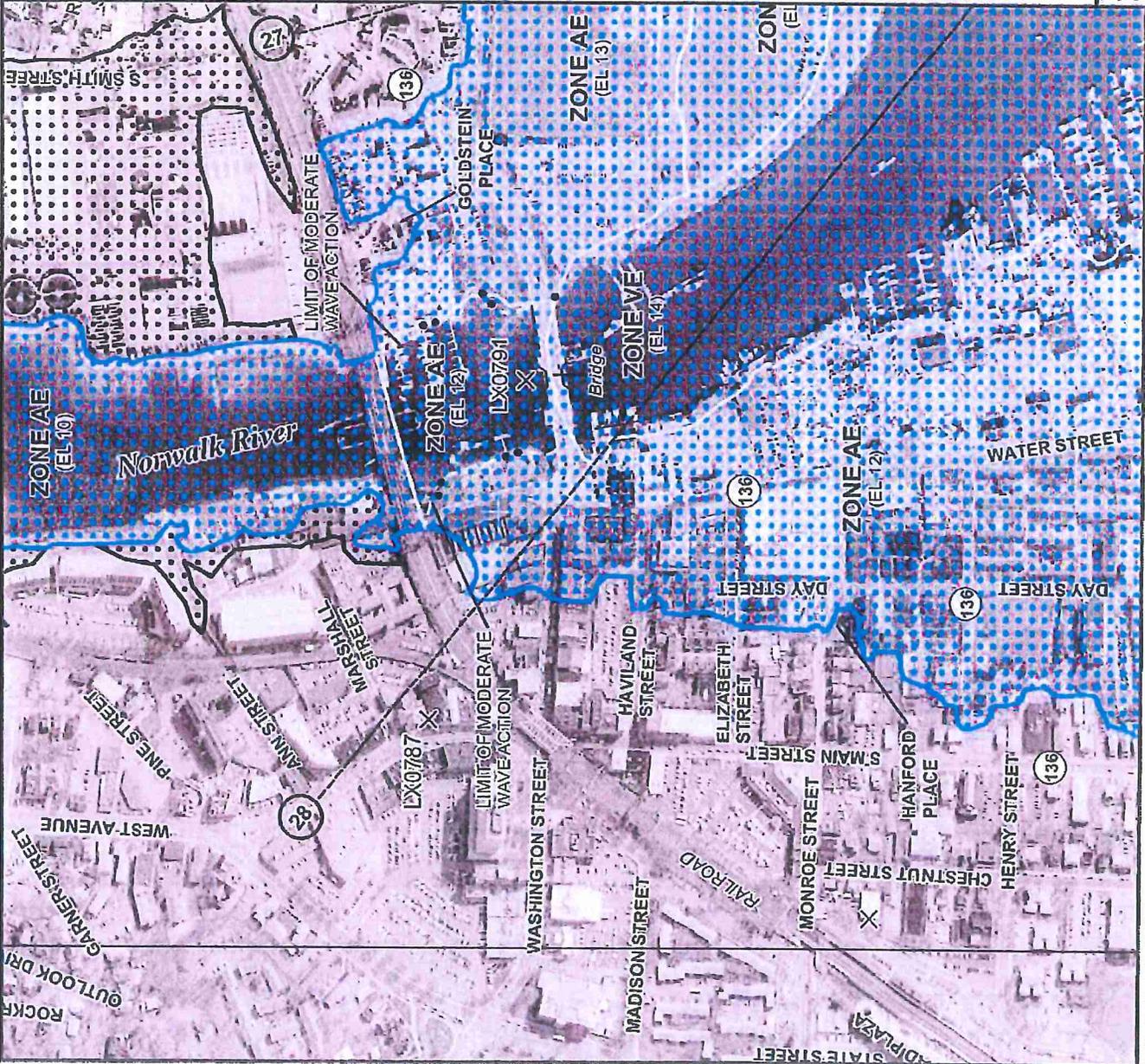
SCALE: 1:24,000

1" = 1000'

FIGURE 1

Tighe & Bond

www.tighebond.com



NS PANEL 0533



MAP SCALE 1" = 500'



NATIONAL FLOOD INSURANCE PROGRAM

PANEL 0531G

FIRM
FLOOD INSURANCE RATE MAP
FAIRFIELD COUNTY,
CONNECTICUT
(ALL JURISDICTIONS)

PANEL 531 OF 626
 (SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:
 COMMUNITY NUMBER 09001C0531G
 NORWALK, CITY OF NUMBER 0531

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.



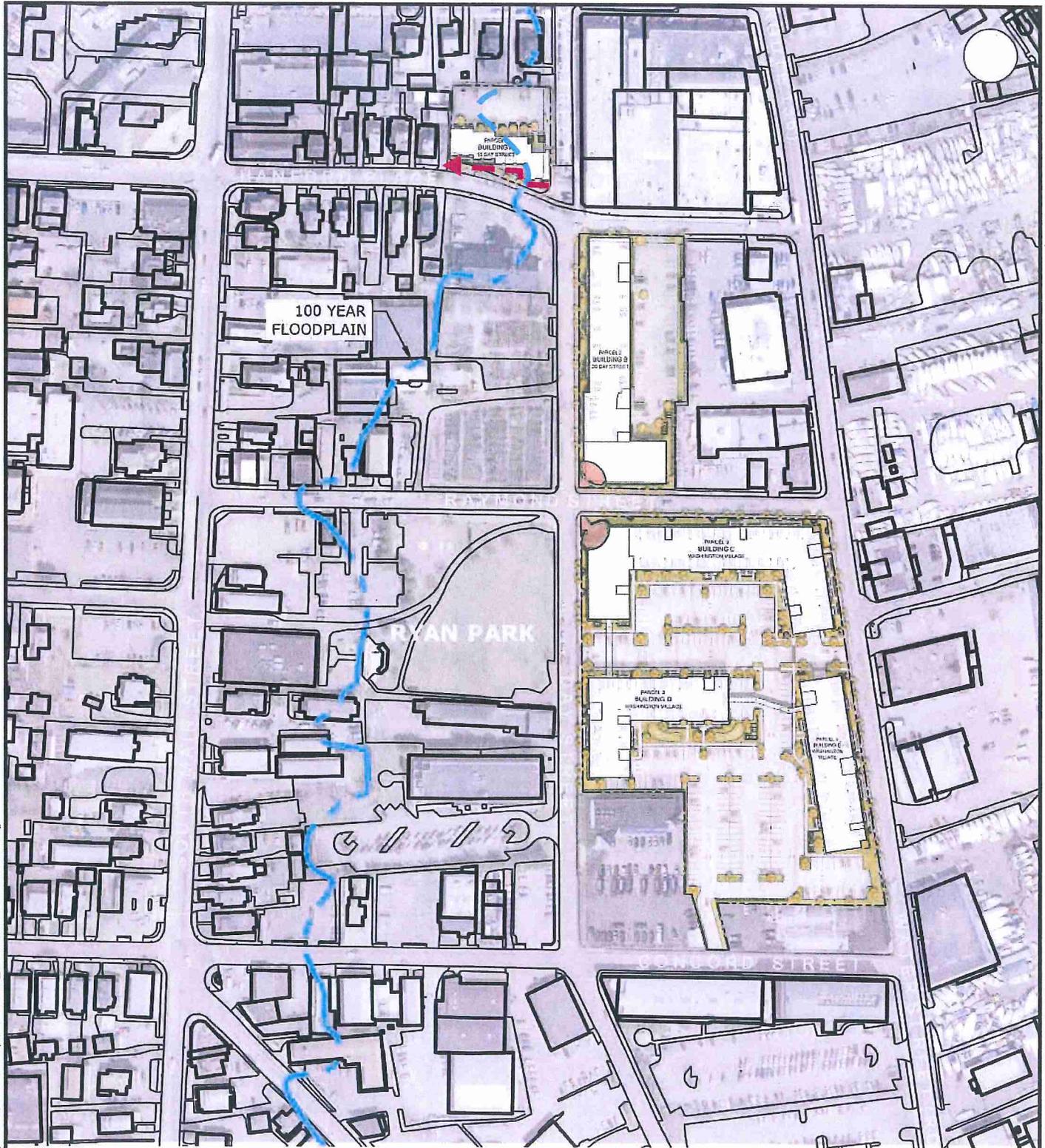
MAP NUMBER
 09001C0531G
 MAP REVISED
 JULY 8, 2013

Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov

Figure 2

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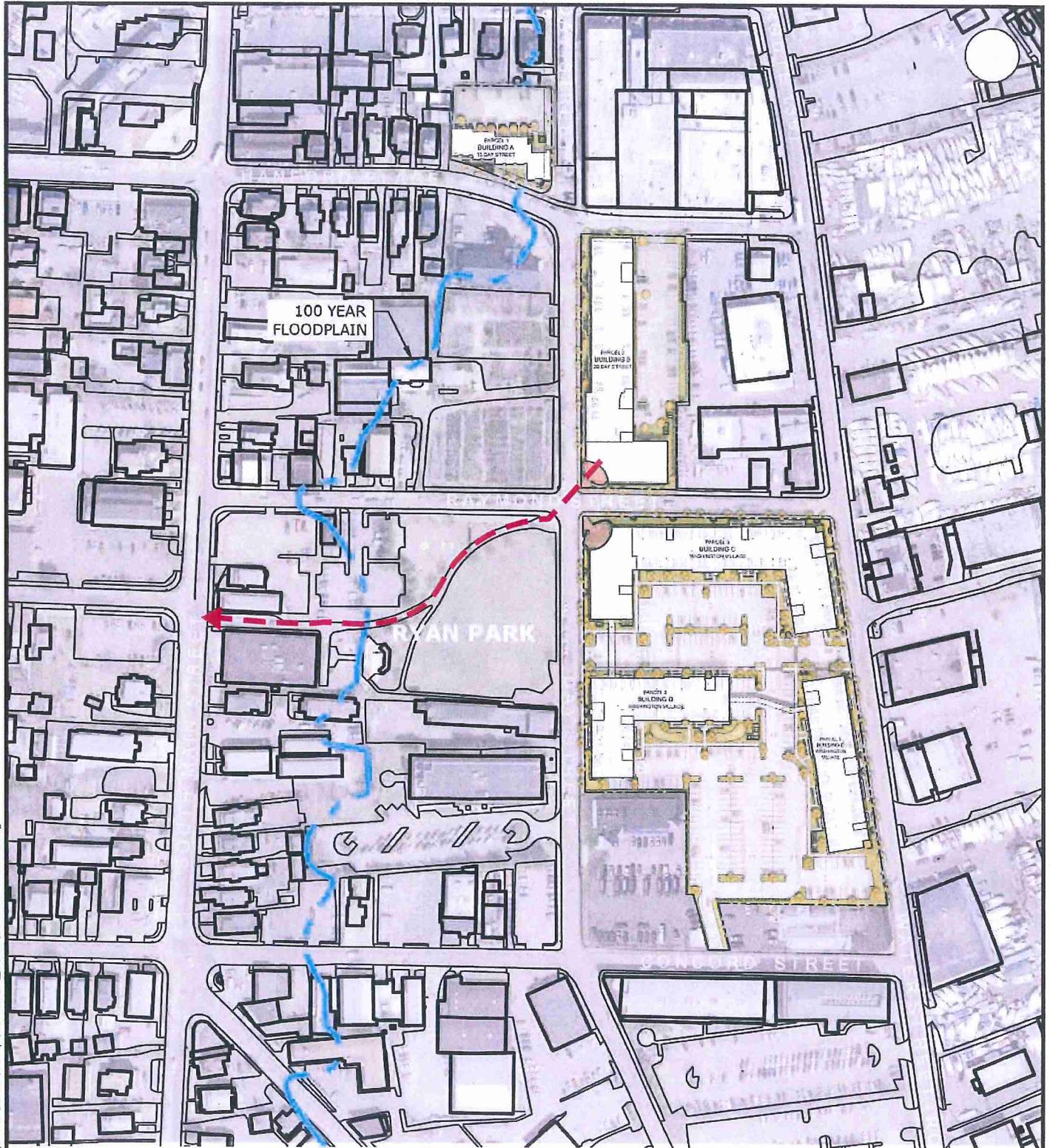
PROCEED WEST ALONG WALKWAY IMMEDIATELY IN FRONT OF BUILDING A TO DRY GROUND ON HANFORD PLACE.

LEGEND:

100 YEAR FLOODPLAIN 

WASHINGTON VILLAGE NORWALK, CONNECTICUT	
DRY ACCESS BUILDING A	
DATE: 05/08/2014	
SCALE: 1"=200'	
FIGURE 03A	

Tighe & Bond, Inc. C:\Users\AOM~1\Documents\Temp\AcPublish_9340\DAX-10071-01.dwg



PROCEED TO RAYMOND/DAY INTERSECTION THROUGH RYAN PARK TO SOUTH MAIN STREET.

LEGEND:

100 YEAR FLOODPLAIN 

WASHINGTON VILLAGE
NORWALK, CONNECTICUT

DRY ACCESS
BUILDING B

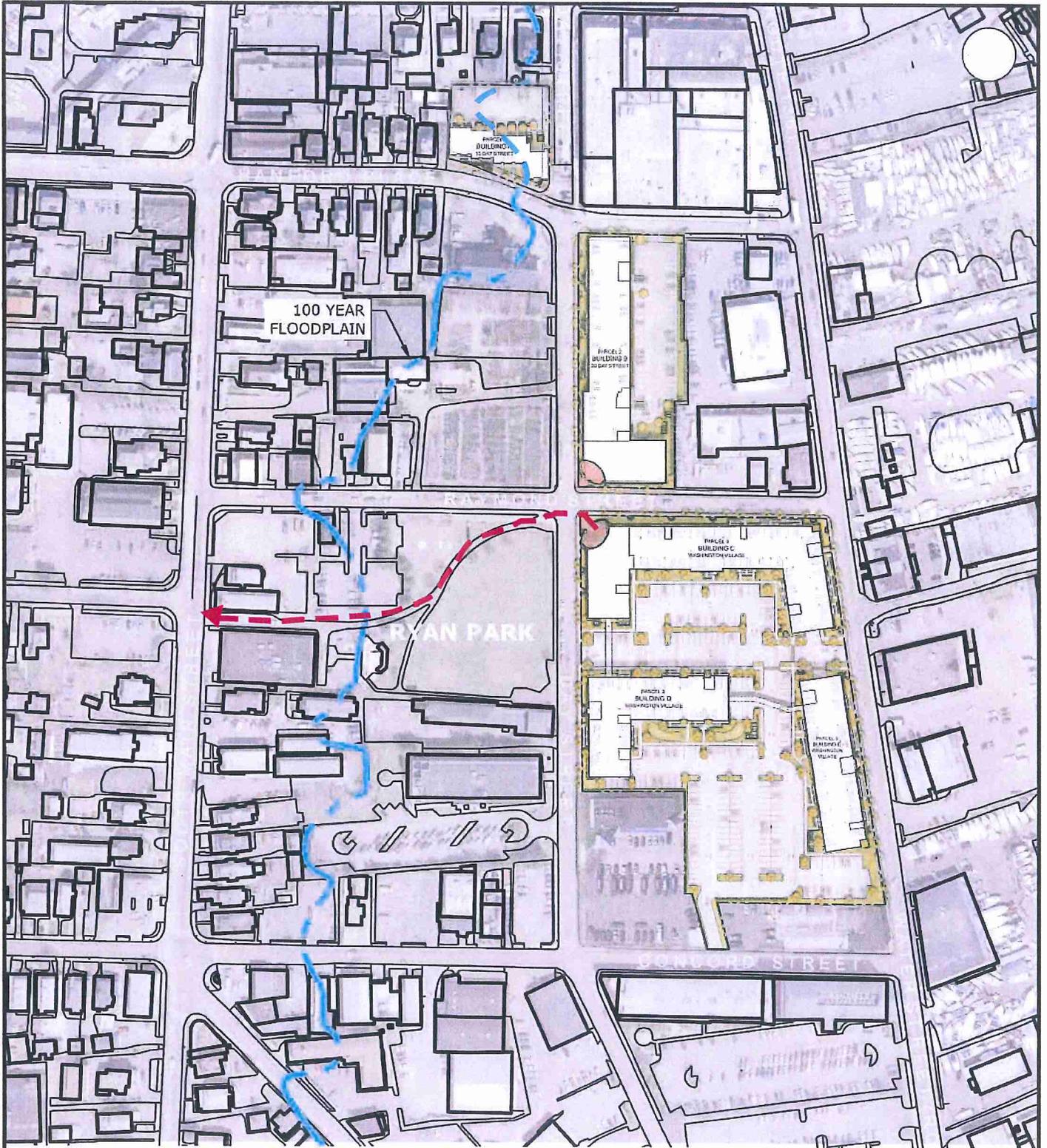
DATE: 05/08/2014

SCALE: 1"=200'

FIGURE 03B



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PROCEED TO RAYMOND/DAY INTERSECTION
 THROUGH RYAN PARK TO SOUTH MAIN STREET.

LEGEND:

100 YEAR FLOODPLAIN 

WASHINGTON VILLAGE
 NORWALK, CONNECTICUT

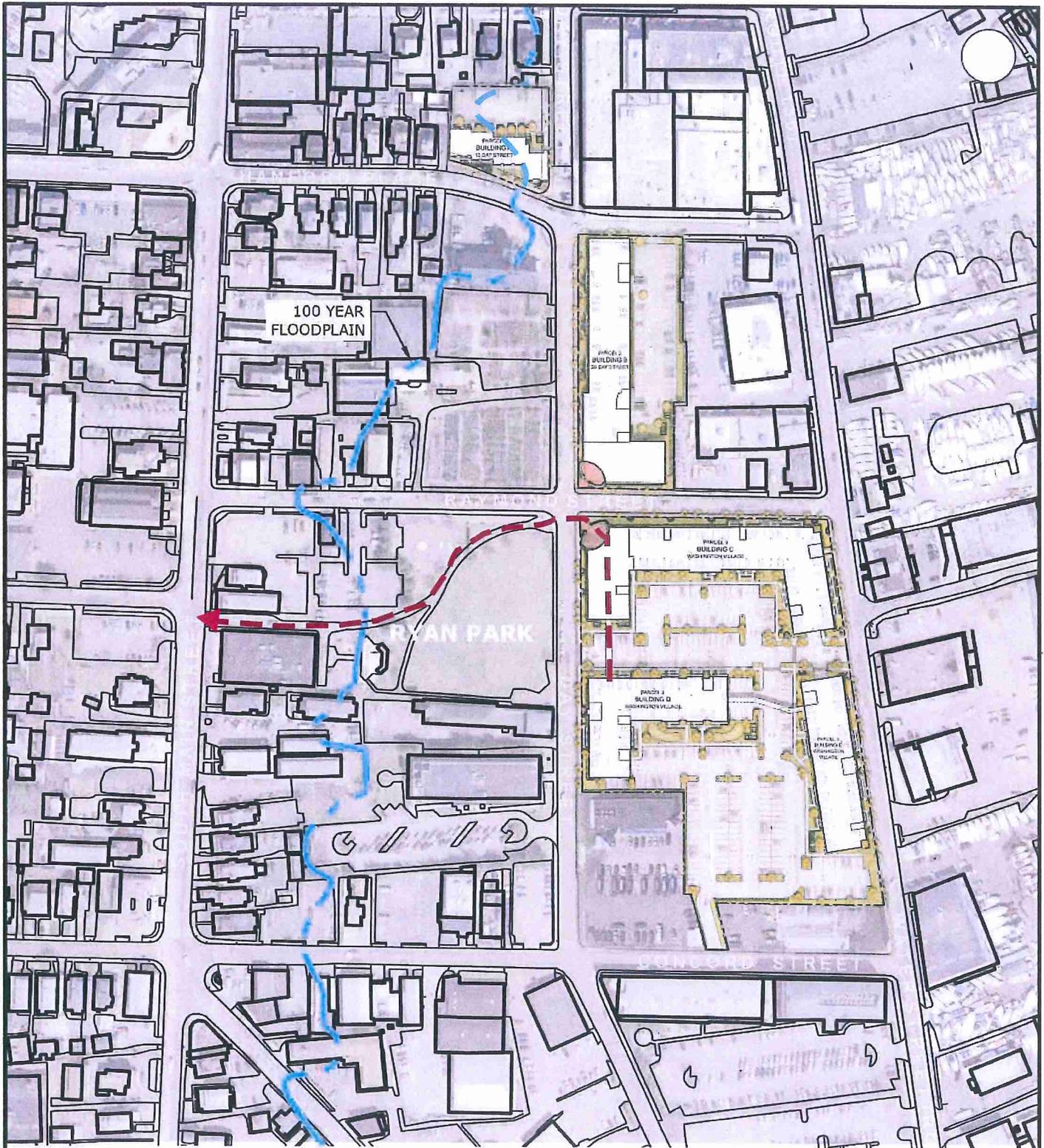
DRY ACCESS
 BUILDING C

DATE: 05/08/2014

SCALE: 1"=200'

FIGURE 03C





PROCEED TO BUILDING C USING THE PEDESTRIAN BRIDGE. ACCESS GROUND FLOOR AT BUILDING C, AND GO TO RAYMOND/DAY INTERSECTION. PROCEED THROUGH RYAN PARK TO SOUTH MAIN STREET.

LEGEND:

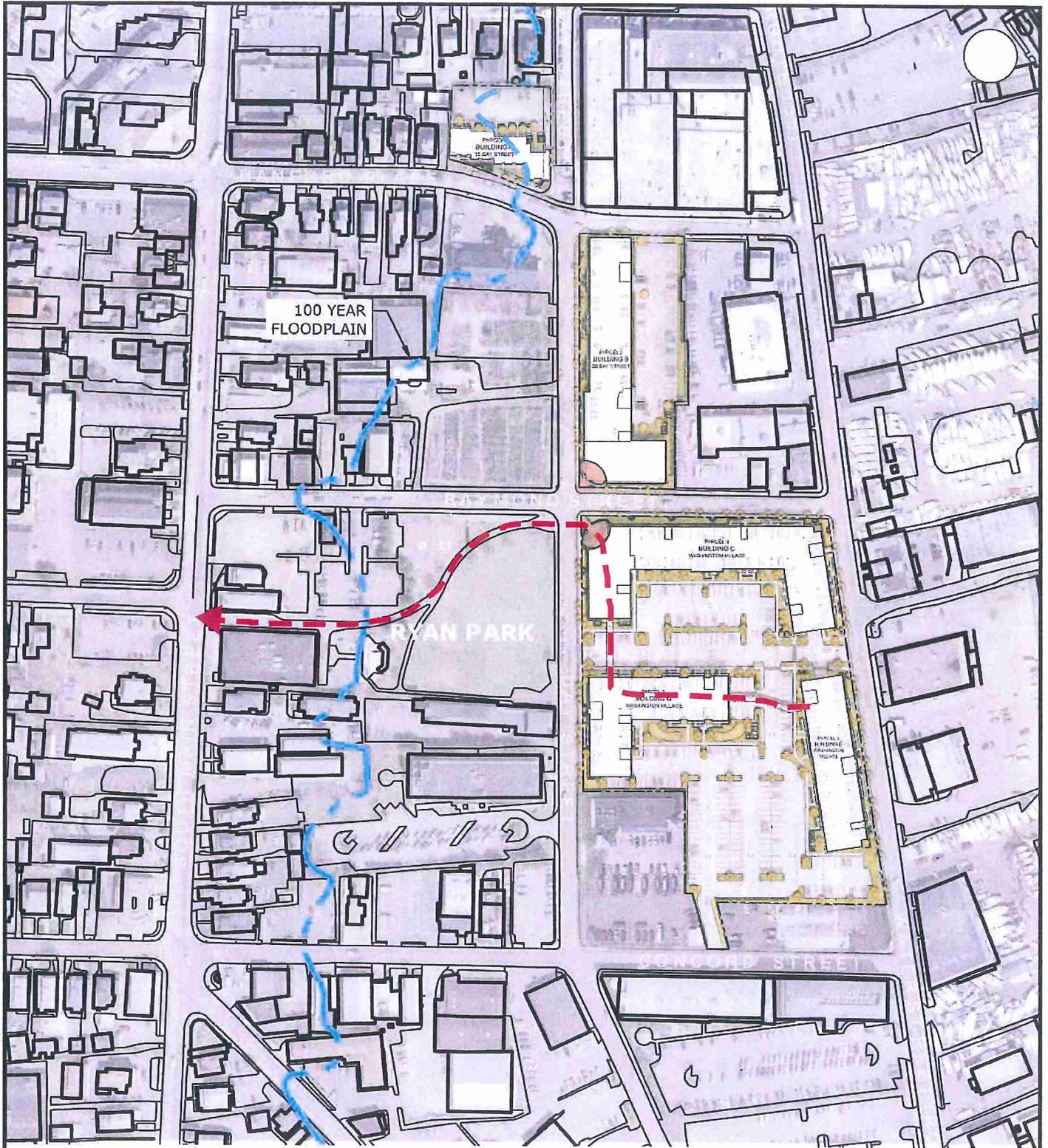
100 YEAR FLOODPLAIN 

WASHINGTON VILLAGE
NORWALK, CONNECTICUT

DRY ACCESS
BUILDING D

DATE: 05/08/2014
SCALE: 1"=200'
FIGURE 03D





PROCEED ACROSS PEDESTRIAN BRIDGE TO BUILDING D. CONTINUE THROUGH BUILDING D AND ACROSS PEDESTRIAN BRIDGE TO BUILDING C. ACCESS GROUND FLOOR, GO TO RAYMOND/DAY INTERSECTION AND PROCEED THROUGH RYAN PARK TO SOUTH MAIN STREET.

LEGEND:

100 YEAR FLOODPLAIN 

WASHINGTON VILLAGE
NORWALK, CONNECTICUT

DRY ACCESS
BUILDING E

DATE: 05/08/2014
SCALE: 1"=200'
FIGURE 03E

