

SUPER STORM SANDY *Response and Recovery*

STATE OF CONNECTICUT DEPARTMENT OF HOUSING COMMUNITY DEVELOPMENT BLOCK GRANT DISASTER RECOVERY PROGRAM

**OWNER OCCUPIED REHABILITATION
AND REBUILDING PROGRAM (OORR)**

GOVERNOR OF CONNECTICUT:
DANNEL P. MALLOY



COMMISSIONER OF HOUSING:
EVONNE M. KLEIN

APPLICATION NO. 2447

ANTIGUA RESIDENCE

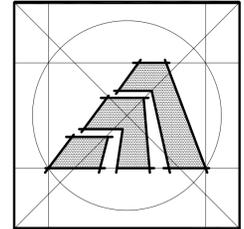
384 HENRY AVE.

STRATFORD, CONNECTICUT 06614

MARCH 10, 2015



ARCHITECT:



Amaya Architects

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284 RACEBROOK RD.
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GENERAL NOTES

- SCOPE OF WORK INCLUDES: WATER DAMAGE REPAIR - REPLACE EXISTING EXTERIOR WALL, WINDOW, REAR DOOR, DECK FLASHING, AND REPAIR INTERIOR FINISH, REPLACE EXISTING BASEMENT NON-BEARING STUD WALLS AND BASEMENT WINDOW, NEW DECK BALUSTERS.
- THE WORK DESCRIBED IN THESE DOCUMENTS IS TO MEET HIGHEST QUALITY STANDARDS IN BOTH MATERIAL AND WORKMANSHIP. ANY SUBSTANDARD WORK WILL BE REJECTED.
- ALL WORK SHALL CONFORM TO THE MUNICIPALITY'S APPLICABLE BUILDING CODE, FIRE DEPT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE BUILDING DEPT, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES AS REQUIRED BY GOVERNING MUNICIPAL AGENCIES.
- THE CONTRACTOR SHALL VERIFY ALL DRAWING DIMENSIONS AND FIELD CONDITIONS, AND SHALL REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCING WORK.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWING.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH THE REQUIREMENTS OF LOCAL AUTHORITIES.
- THE CONTRACTOR SHALL LAYOUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR ALL OTHER TRADES (PLUMBING, ELECTRICAL, ETC.) IF APPLICABLE
- PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGNING IF APPLICABLE.
- THE CONTRACTOR UPON COMPLETION OF JOB, SHALL APPLY FOR CERTIFICATE OF OCCUPANCY, AND SHALL ARRANGE FOR BUILDING DEPT INSPECTIONS AND SIGN-OFFS REQUIRED TO OBTAIN CERTIFICATE OF OCCUPANCY.
- MANUFACTURED ARTICLES ARE TO BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS IN ALL CASES. CONTRACTOR SHALL NOTIFY DESIGNER OF ANY CONDITIONS THAT IS IN CONFLICT WITH MANUFACTURER'S SPECIFICATIONS OR INSTRUCTIONS THAT MIGHT VOID A MANUFACTURER'S WARRANTY.
- THE CONTRACTOR SHALL ASSEMBLE IN A BINDER AND PASS ALONG TO THE OWNER ALL EQUIPMENT AND MATERIAL WARRANTIES THAT MAY EXTEND BEYOND THE BASE GUARANTEE PERIOD, AS WELL AS INSTALLATION AND MAINTENANCE INSTRUCTIONS IF APPLICABLE.
- NO SUBSTITUTIONS FOR MATERIALS SPECIFIED HEREIN SHALL BE PERMITTED WITHOUT PRIOR APPROVAL BY ARCHITECT.
- ARCHITECT AND ASSOCIATED CONSULTANTS DISCLAIMS ANY ACTUAL OR CONSEQUENTIAL DAMAGES ARISING FROM THIRD PARTY RELATIONSHIPS. THESE DRAWINGS DO NOT PROVIDE ALL OR ANY SPECIFIC DETAIL IN AREAS INCLUDING BUT NOT LIMITED TO NAILING, GLUING, CAULKING, FLASHING, PAINTING AND WATERPROOFING, OR CRAFTSMANSHIP. G.C. IS RESPONSIBLE TO PROVIDE PROPER SUPERVISED WORKMANSHIP.
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- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR "REINSTATING" THE SITE TO ORIGINAL CONDITIONS. (INCLUDING, BUT NOT LIMITED TO TOPSOIL, WALKWAYS, GRAVEL DRIVEWAYS AND BITUMINOUS PAVEMENT). STRIPPED TOPSOIL SHALL BE RE-SPREAD TO FINISH GRADE ELEVATION AND SEEDED.

ABBREVIATIONS

AC AIR CONDITIONING	L LENGTH
ACU AIR CONDITIONING UNIT	LAM LAMINATE
AFF ABOVE FINISHED FLOOR	LAV LAVATORY
AHU AIR HANDLING UNIT	LAB LABORATORY
ALUM ALUMINUM	LBS POUNDS
ANOD ANODIZED	LH LEFT HAND
AT ACOUSTICAL TILE	LIN FT LINEAR FEET
BD BOARD	LT LIGHT
BLDG BUILDING	LTG LIGHTING
BO BY OTHERS	MAS MASONRY
CAB CABINET	MAX MAXIMUM
CD CEILING DIFFUSER	MECH MECHANICAL
CFM CUBIC FEET PER MINUTE	MFR MANUFACTURE(R)
< CENTER LINE	MIN MINIMUM
CLG CEILING	MISC MISCELLANEOUS
CLL CONTRACT LIMIT LINE	MM MILLIMETER
CMU CONCRETE MASONRY UNIT	MO MASONRY OPENING
COL COLUMN	MTD MOUNTED
CONC CONCRETE	MTL METAL
CONST CONSTRUCTION	MULL MULLION
CONT CONTINUOUS	MW MILLWORK
CS CARPET(ED)	NA NOT APPLICABLE
CPT COUNTER SINK	NIC NOT IN CONTRACT
CT CERAMIC TILE	NO NUMBER
CTR COUNTER	NOM NOMINAL
CU FT CUBIC FEET	NTS NOT TO SCALE
CU IN CUBIC INCHES	OC ON CENTER
CW COLD WATER (CITY)	OD OUTSIDE DIAMETER
D DEPTH	OPNG OPENING
DEMO DEMOLITION	OPP OPPOSITE
DET DETAIL	PART PARTITION
DF DRINKING FOUNTAIN	PL PLATE
DHW DOMESTIC HOT WATER	PL LAM PLASTIC LAMINATE
DIAG DIAGONAL	PLB PLUMBING
DIAM DIAMETER	PLYWD PLYWOOD
DN DOWN	PNL PANEL
DR DOOR	PNT PAINT
DS DOOR STOP	PT POINT
DW DISH WASHER	Q QUARRY TILE
DWG DRAWING	R RISER
DWR DRAWER	RA RETURN AIR
EA EACH	RAD RADIUS
EF EXHAUST FAN	RD ROOF DRAIN
EH ELECTRIC HEATER	REF REFERENCE
EL/ELEV. ELEVATION	REIN REINFORCE
ELEC ELECTRIC	REMO REMOVE
EMER EMERGENCY	REO REQUIRED
ENG ENGINEER	REV REVISION
EP ELECTRIC PANEL	RH RIGHT HAND
EQ EQUAL	RM ROOM
EQUIP EQUIPMENT	RO ROUGH OPENING
EXIST'G EXISTING	RPM REVOLUTIONS PER MINUTE
EXP EXPANSION	SA SUPPLY AIR
EXT EXTERIOR	SC SOLID CORE
FACT FIN FACTORY FINISH	SHT SHEET
FBO FURNISHED BY OTHERS	SIM SIMILAR
FE FIRE EXTINGUISHER	SP SPEAKER
FEC FIRE EXTINGUISHER CABINET	SPEC(S) SPECIFICATION(S)
FFE FINISH FLOOR ELEVATION	SQ SQUARE
FIN FINISHED	SQ FT SQUARE FOOT (FEET)
FL FLUORESCENT	SQ IN SQUARE INCH
FOF FACE OF FINISH	SS STAINLESS STEEL
FP FIRE PROOFING	ST STREET
FPSC FIRE PROOF SOLID CORE	STL STEEL
FR FIRE RESISTANT	STD STANDARD
FS FULL SCALE	SUSP SUSPENDED
FT FEET	SYM SYMMETRICAL
FTR FINNED TUBE RADIATION	SYS SYSTEM
GA GAUGE	T & G TONGUE & GROOVE
GC GENERAL CONTRACTOR	TEL TELEPHONE
GL GLASS	TEMP TEMPERATURE
GWB GYPSUM WALLBOARD	THERM THERMOSTAT
HC HOLLOW CORE	THK THICKNESS
HD HEAVY DUTY	THRU THROUGH
HDW HARDWARE	TOS TOP OF SLAB
HDWD HARDWOOD	TR TREAD
HM HOLLOW METAL	TST TOP OF STEEL
HOR HORIZONTAL	TV TELEVISION
HT HEIGHT	TYP TYPICAL
HTG HEATING	UNLESS OTHERWISE NOTED
HVAC HEATING, VENT, AIR COND.	V VOLTS
HWH HOT WATER HEATER	VAC VACUUM
ID INSIDE DIAMETER	VCT VINYL COMPOSITE TILE
IN INCH	VERT VERTICAL
INCL INCLUDE(ING)	VIF VERIFY IN FIELD
INFO INFORMATION	W WIDTH
INSUL INSULATION	W/ WITH
INTR INTERIOR	W/OUT WITHOUT
INV INVERT	WB WOOD BASE
IRC INTERNATIONAL RESIDENTIAL CODE	WC WATER CLOSET
J-BOX JUNCTION BOX	WD WOOD
JT JOINT	WP WATERPROOF
KO KNOCK OUT	WPT WORKING POINT
KPL KICKPLATE	WR WATER RESISTANT
	WT WEIGHT
	YD YARD

LIST OF DRAWINGS

ARCHITECTURAL DRAWINGS	
CS	COVERSHEET
T-1	TITLE SHEET: GENERAL NOTES, DRAWING LIST, APPLICABLE CODES, SITE MAP, SYMBOL LEGEND, ETC.
Ex-1	EXISTING PLANS
Ex-2	EXISTING ELEVATIONS
R-1	REMOVAL PLANS
A-1	PROPOSED FLOOR PLANS
A-2	PROPOSED ELEVATIONS
A-3	PROPOSED SECTION AND DETAILS
A-4	SCHEDULES AND DETAILS

LOCATION MAP



BUILDING DESIGN DATA

GROUP R-3 FOR SINGLE FAMILY (1) STORY DWELLING
 BUILDING CATEGORY: II
 CONSTRUCTION TYPE: V
 WIND SPEED 100 MPH [PER IRC 2009 AND 2013 CT AMENDMENT(S) (AMD)]
 WIND IMPORTANCE FACTOR - (I_w)=1.49 - PER TABLE R301.2(3)
 WIND EXPOSURE - "B"
 BUILDING MEAN HEIGHT 14.5'

APPLICABLE CODES

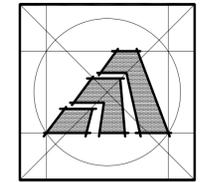
APPLICABLE CODES: 2009 INTERNATIONAL RESIDENTIAL CODE AND CT 2013 AMENDMENTS.
 PER SECTION R102 APPLICABILITY -
 R102.7 EXISTING STRUCTURES
 R102.7.1 ADDITIONS, ALTERATIONS, OR REPAIRS - MEETS REQUIREMENTS
 PER SECTION AJ101 PURPOSE AND INTENT -
 AJ301 REPAIRS -
 AJ301.1.2 - PLUMBING MATERIALS AND SUPPLIES - MEETS REQUIREMENTS
 AJ301.4 - ELECTRICAL - MEETS REQUIREMENTS
 PER SECTION R301 DESIGN CRITERIA -
 R301.1 APPLICATION / MEETS REQUIREMENTS
 R301.2 - CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA / MEETS REQUIREMENTS
 R301.2.1 (AMD) - WIND LIMITATIONS / MEETS REQUIREMENTS
 TABLE R301.2.1(1) (AMD) - CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA:
 (AMD) - GROUND SNOW LOAD - 30 LBS PSF / PROVIDED
 (AMD) - WIND SPEED (MPH) - 100 MPH PER APPENDIX R / MEETS REQUIREMENTS
 (AMD) - SEISMIC DESIGN CATEGORY - CATEGORY B - (NA)
 (AMD) - FLOOD HAZARD - NA
 (AMD) - SUBJECT TO DAMAGE - FROST LINE DEPTH - 42 INCHES / EXISTING
 R301.2(2) - COMPONENT AND CLADDING LOADS:
 Roof Zone 1, 2, & 3 - W/ 100 MPH - WIND - 10.0 / -27.3 PRESSURE MAX. (30 D.P. PROVIDED)
 Wall Zone 4 - W/ 100 MPH - WIND - +18.0 / -19.5 PRESSURE MAX. (30 D.P. PROVIDED)
 Wall Zone 5 - W/ 100 MPH - WIND - 18.0 / -24.1 PRESSURE MAX. (30 D.P. PROVIDED)
 R301.2(3) - HEIGHT AND EXPOSURE COEFFICIENTS FOR TABLE R301.2(2):
 1.00 ADJUSTMENT PROVIDED
 R301.2.1.4 (AMD) - EXPOSURE CATEGORY / EXPOSURE 'B'
 R301.6 (AMD) - ROOF LOAD - EXISTING
 R301.7 - ALLOWABLE DEFLECTION / NA
 PER SECTION R302 - FIRE-RESISTANT CONSTRUCTION:
 R302.1 (AMD) - EXTERIOR WALLS - MINIMUM FIRE SEPERATION / EXISTING WALLS - NO RATING REQUIRED

PROJECT DATA

OWNER: YNGRI ANTIGUA
 384 HENRY AVENUE
 STRATFORD, CONNECTICUT 06614
 SITE LOCATION: 384 HENRY AVENUE
 STRATFORD, CONNECTICUT 06614

LEGEND

- GRAVEL
- CONCRETE
- MORTAR, GROUT
- STEEL
- FRAMING LUMBER
- HARDWOOD
- PLYWOOD
- BATT INSULATION
- GYPSUM WALLBOARD
- KEY NOTE
- DETAIL DRAWING NO.
- BUILDING SECTION
- WALL SECTION
- SECTION DETAIL
- COLUMN GRID
- PLAN / WALL DETAIL
- INTERIOR ELEVATION DRAWING NO.
- DATUM POINT (ELEVATION)
- DOOR NUMBER
- WINDOW NUMBER
- PARTITION TYPE
- REVISION FLAG
- REFERENCE KEY
- REMOVAL NOTE
- ROOM NUMBER
- EQUIPMENT TYPE
- CABINET TYPE
- C.O.D. CARBON MONOXIDE DETECTOR
- S.D. SMOKE DETECTOR (HARD WIRE)
- H.D. HEAT DETECTOR (HARD WIRE)
- CEILING FANLIGHT



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Sheet Title:
TITLE SHEET

APPLICATION # 2447

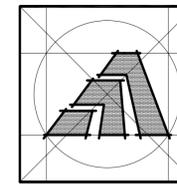
ANTIGUA RESIDENCE
 384 Henry Ave.
 Stratford, Connecticut 06614

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 DEPARTMENT OF HOUSING
 COMMUNITY DEVELOPMENT BLOCK GRANT
 DISASTER RECOVERY PROGRAM
 OWNER OCCUPIED REHABILITATION
 AND REBUILDING PROGRAM (OORP)

Date: 03/10/2015

Project Number: 2447
 Drawn By: J.V.L.

Sheet Number:
T1



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Sheet Title:
EXISTING PLANS

APPLICATION # 2447

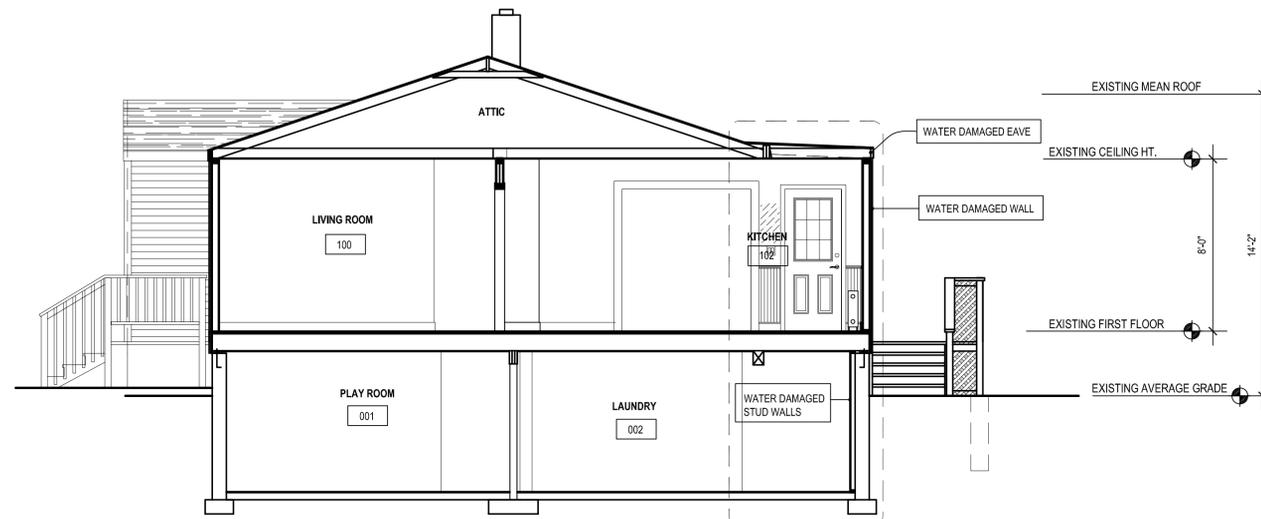
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STATE OF CONNECTICUT
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COMMUNITY DEVELOPMENT BLOCK GRANT
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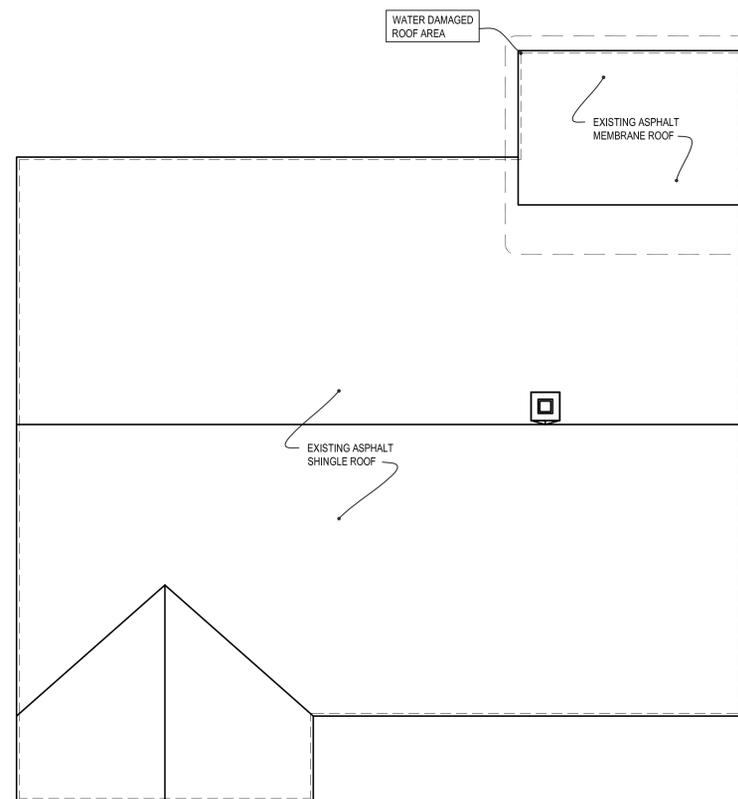
Date:
ISSUED 03/10/2015

Job Number: 2447
Drawn By: J.V.L.

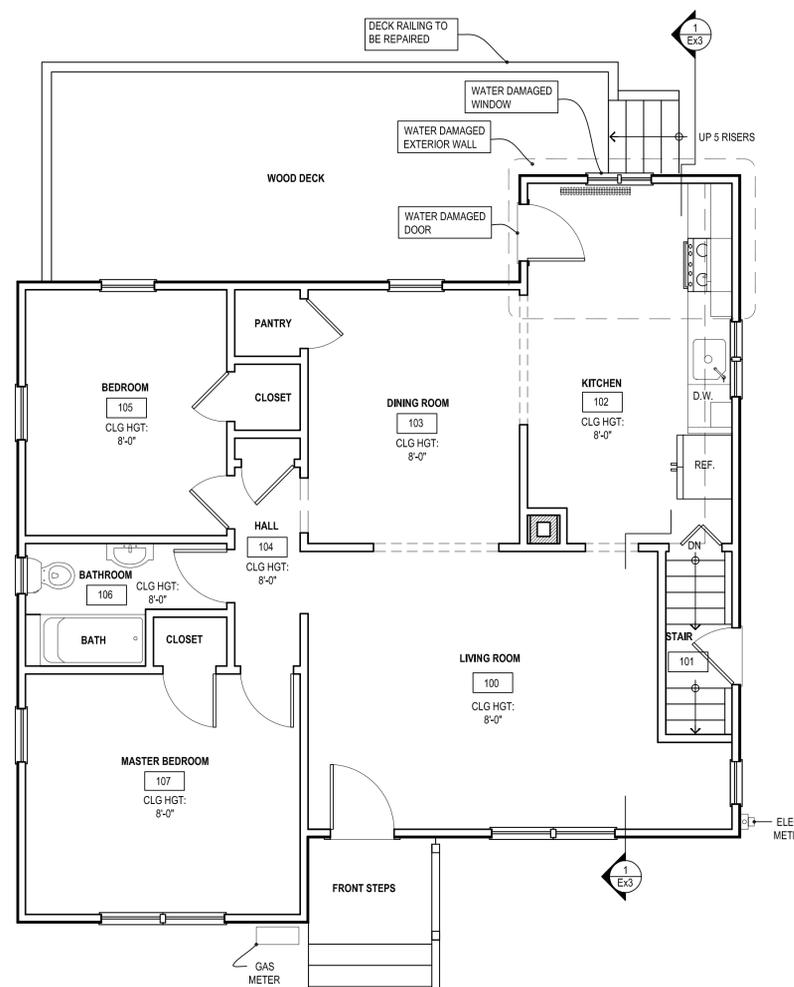
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Ex1



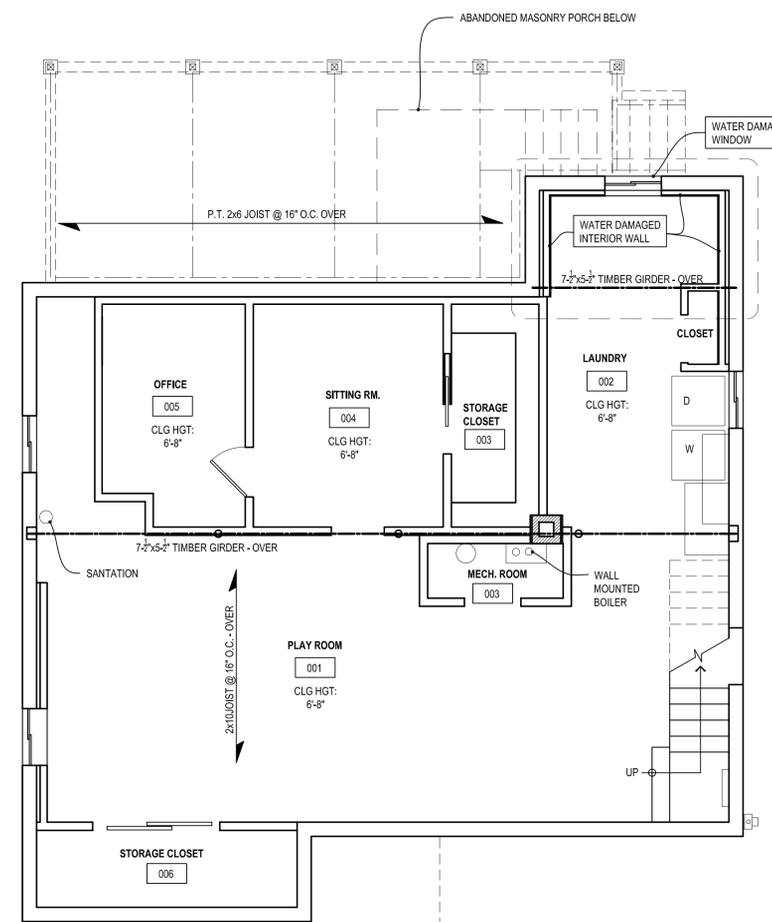
4 EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 EXISTING ROOF PLAN
SCALE: 1/4" = 1'-0"



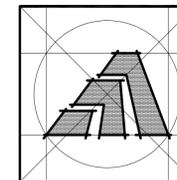
2 EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 EXISTING BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

LEGEND

- DENOTES DAMAGE
- EXTENT OF WATER DAMAGED AREA
NOTE: REPAIRS MAY EXTEND BEYOND AREA OF DAMAGE FOR THE PURPOSE OF REPAIR.



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Sheet Title:
EXISTING ELEVATIONS

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ANTIGUA RESIDENCE
384 Henry Ave
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**STATE OF CONNECTICUT
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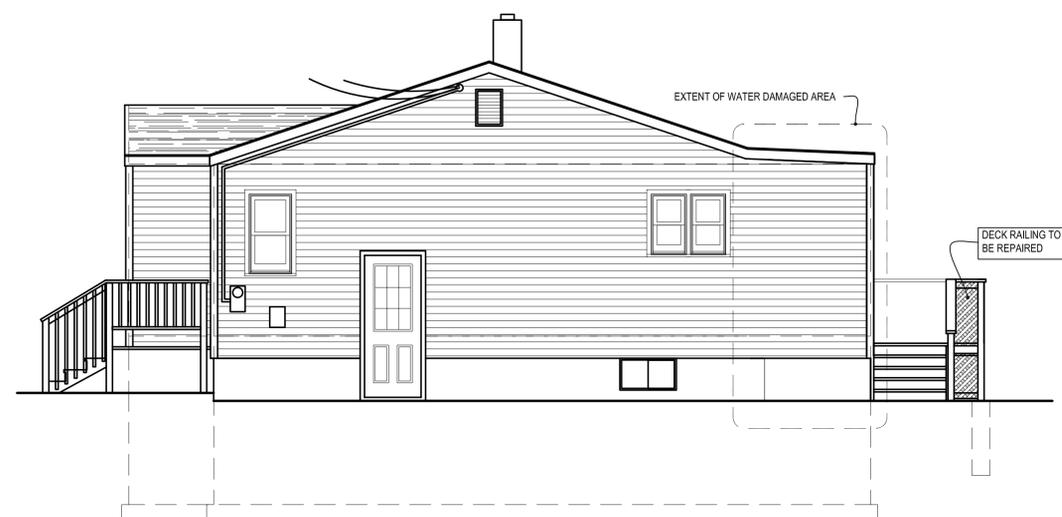
Sheet Number:
Ex2



4 EXISTING LEFT SIDE ELEVATION
Ex2 SCALE: 1/4" = 1'-0"



3 EXISTING REAR ELEVATION
Ex2 SCALE: 1/4" = 1'-0"



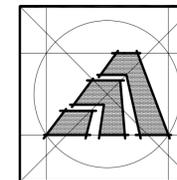
2 EXISTING RIGHT SIDE ELEVATION
Ex2 SCALE: 1/4" = 1'-0"



1 EXISTING FRONT ELEVATION
Ex2 SCALE: 1/4" = 1'-0"

LEGEND

- DENOTES DAMAGE
- EXTENT OF WATER DAMAGED AREA
- NOTE: REPAIRS MAY EXTEND BEYOND AREA OF DAMAGE FOR THE PURPOSE OF REPAIR.



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Sheet Title:
REMOVAL PLANS

APPLICATION # 2447

ANTIGUA RESIDENCE
384 Henry Ave
Stratford, Conn., 06614

**STATE OF CONNECTICUT
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DISASTER RECOVERY PROGRAM
(CDBG-DR)**

Date:
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Job Number: 2447
Drawn By: J.V.L.

Sheet Number:

R1

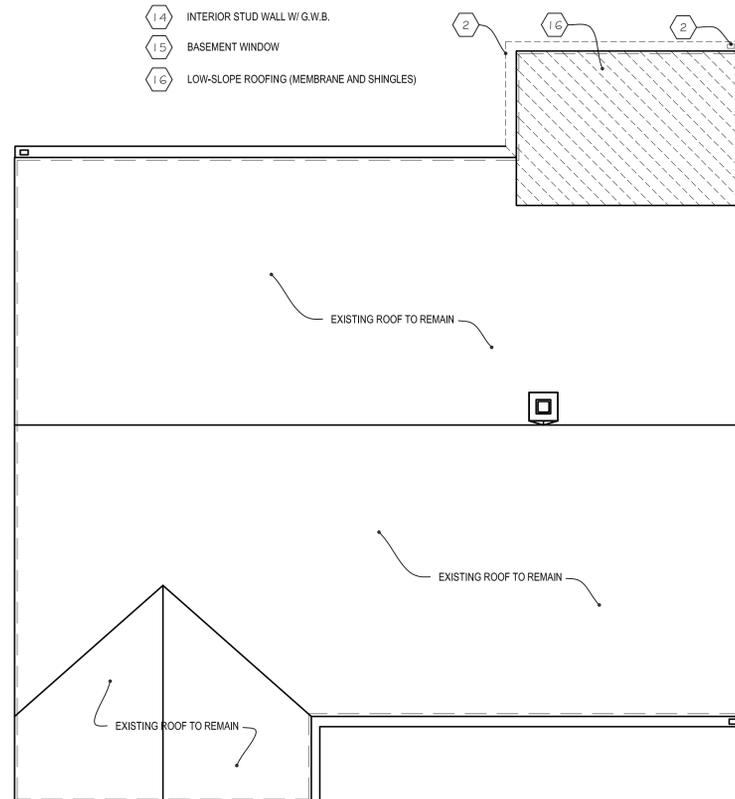
WALL LEGEND

- EXISTING
- REMOVED (MISC. ITEMS MAY NOT BE NOTED)
VERIFY WITH G.C. ITEMS TO BE SET ASIDE.

REMOVAL KEY NOTES

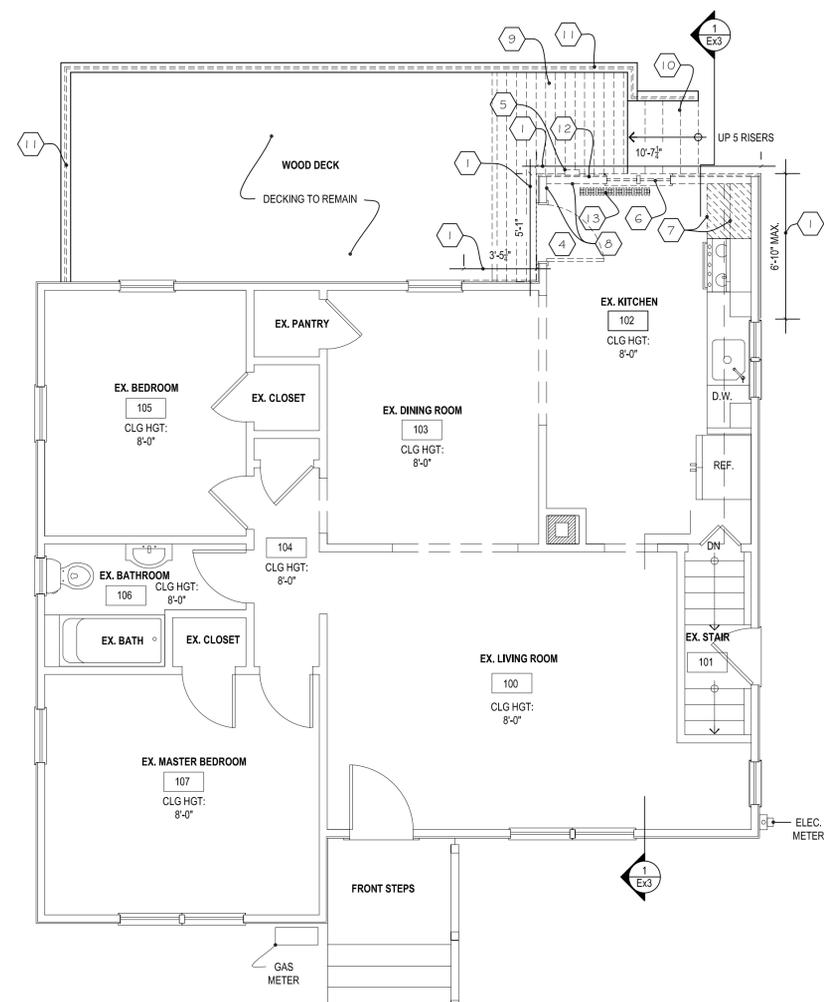
ELECTRICAL AND PLUMBING MISC. NOT DENOTED
ALL UTILITIES SHALL BE LOCATED AND DISCONNECTED PRIOR TO COMMENCING WORK.
ALL SHORING SHALL BE IN PLACE PRIOR TO REMOVAL OF STRUCTURAL ELEMENTS.

- 1 VINYL SIDING (SET ASIDE FOR REUSE)
- 2 GUTTERS & R.W.L.
- 3 FASCIA BOARD AND ALUM.
- 4 DOOR, FRAME AND TRIM
- 5 WALL VENT
- 6 WINDOW, FRAME AND TRIM
- 7 KITCHEN CABINETS & COUNTERS
- 8 36" HIGH BEAD BOARD, CHAIR RAIL & BASE TRIM
- 9 DECKING (INDICATED IN HATCHED AREA)
- 10 DECK STAIR TREADS (SET ASIDE FOR REUSE)
- 11 LATTICE GUARDRAIL PANEL FROM DECKING TO TOP OF RAIL
LOWER LATTICE TO GRADE SHALL REMAIN
- 12 EXTERIOR WD. STUD WALL SYSTEM
(SHEATHING, STUDS, INSUL., G.W.B., CROWN TRIM
36" HIGH BEAD BOARD, CHAIR RAIL & BASE TRIM)
- 13 CAST IRON HEATING RADIATOR TO BE SET ASIDE FOR REUSE
- 14 INTERIOR STUD WALL W/ G.W.B.
- 15 BASEMENT WINDOW
- 16 LOW-SLOPE ROOFING (MEMBRANE AND SHINGLES)



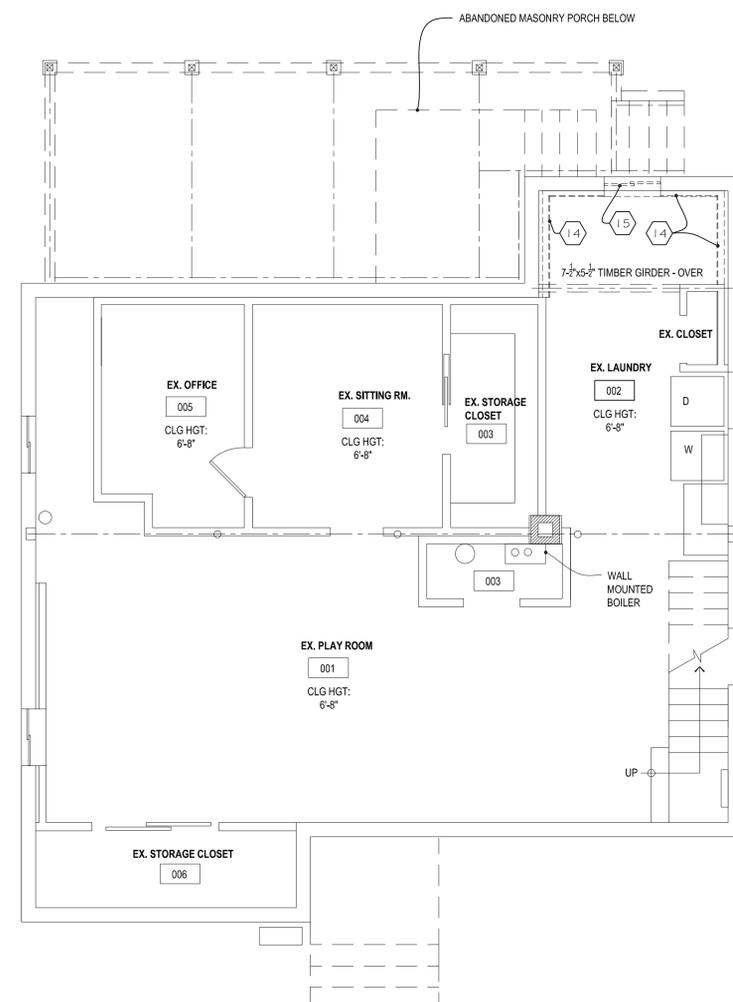
3 ROOF REMOVAL PLAN

SCALE: 1/4" = 1'-0"



2 FIRST FLOOR REMOVAL PLAN

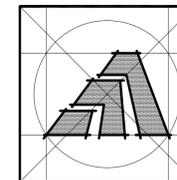
SCALE: 1/4" = 1'-0"



1 BASEMENT REMOVAL PLAN

SCALE: 1/4" = 1'-0"





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Sheet Title:
PROPOSED PLANS

APPLICATION # 2447

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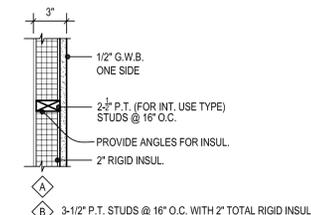
Sheet Number:
A1

REPAIR KEY NOTES

GENERAL NOTE: CLEAN / REMOVE ALL MOLD AND G.C. SHALL PROVIDE 3RD PARTY MOLD TEST / INSPECTION TO BE COMPLETED PRIOR TO COMMENCING REPAIRS.

- 1 REPLACE EXISTING EXTERIOR WALL AND FINISH TO MATCH EXISTING (SEE SECTION FOR WALL DETAIL)
- 2 REPLACE EXISTING CL.G. GYP. BOARD 24" FROM NEW WALL MIN. REPLACE CROWN MOULDING TO MATCH EXISTING.
- 3 REPLACE EXISTING HARDWOOD FLOORING 24" FROM NEW WALL MIN.
- 4 REPLACE EXISTING WINDOW WITH NEW DOUBLE HUNG WINDOW
- 5 REPLACE EXISTING DOOR & TRIM (MATCH EXISTING)
- 6 REINSTALL EXISTING UPPER CABINET AND BASE CABINET AND COUNTER TOP ONCE NEW WALL HAS BEEN COMPLETED.
- 7 REPLACE LOW-SLOPE ROOFING
- 8 REINSTALL AND / OR REPLACE SIDING AS NEEDED
- 9 REPLACE GUTTERS AS SHOWN
- 10 REPLACE DECK FLASHING
- 11 REINSTALL AND / OR REPLACE P.T. DECKING AND TREADS AFTER FLASHING INSTALLATION (MATCH EXISTING)
- 12 REPLACE EXISTING LATTICE RAILINGS WITH P.T. 2x2 BALUSTERS TO CONFORM WITH EXISTING CODE REGULATIONS SEE DETAIL #6/A3
- 13 REINSTALL RADIATOR

NOTE: 1. RADIATOR SHALL BE REMOVED AND INSTALL PLUMBING REPAIRS.
2. PAINT EXIST. UPPER HALF OF WALL TO MATCH REPAIRED LOWER HALF OF WALL.



PARTITION TYPES

SCALE: 1-1/2" = 1'-0"

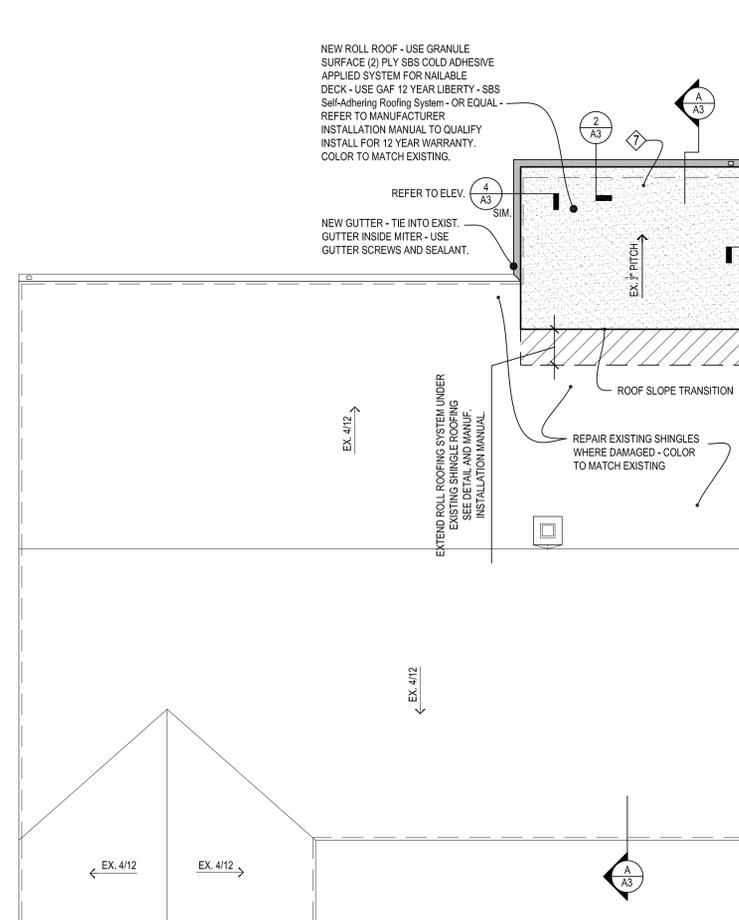
- NOTES:
- ALL GYP. BD. IN BASEMENT SHALL BE MOLD RESISTANT TYPE GYP. BD. Use: National Gypsum - Gold Bond eXP Interior Extreme, CertainTeeds M2Tech, DensArmor Plus, or Equal - REFER TO SPECS.
 - ALL GYP. BD. TO BE TAPED AND COMPOUNDED (3) COATS.
 - ALL GYP. BD. TO BE PRIMED (1) COAT AND PTD. (1) COAT.
 - ALL STUDS TO BE P.T. (MUST BE ALLOWED FOR INTERIOR USE)

WALL LEGEND

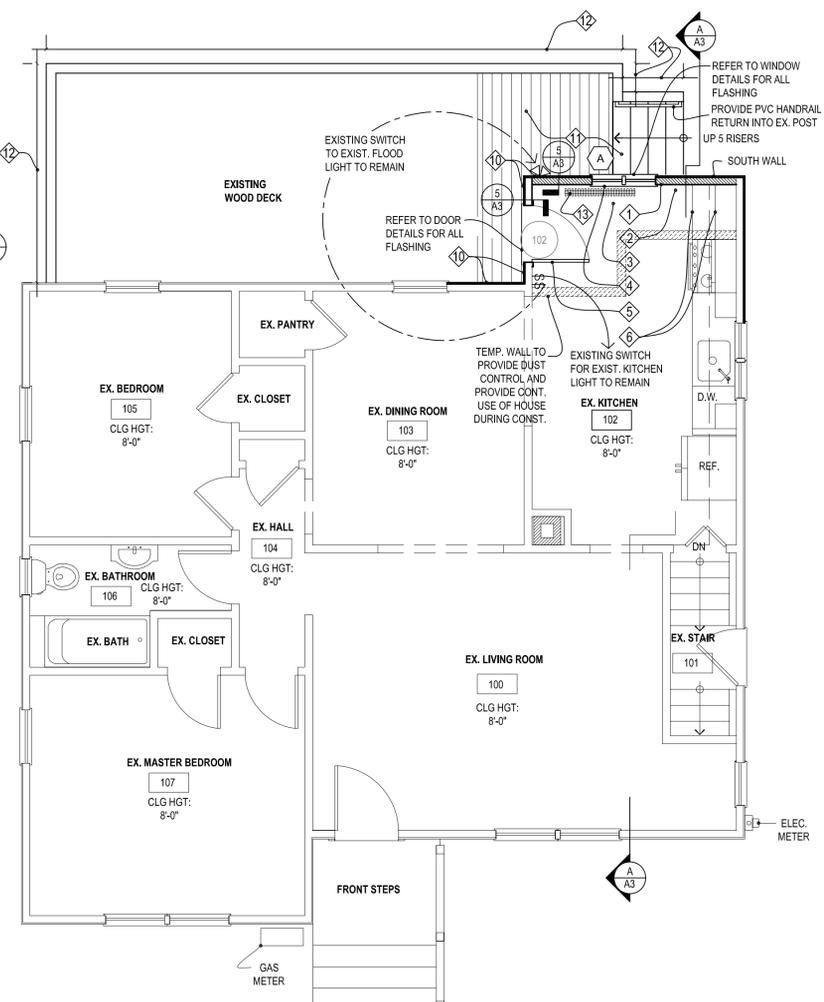


NOTE: REFER TO PARTITION TYPES FOR PARTITION WALLS.

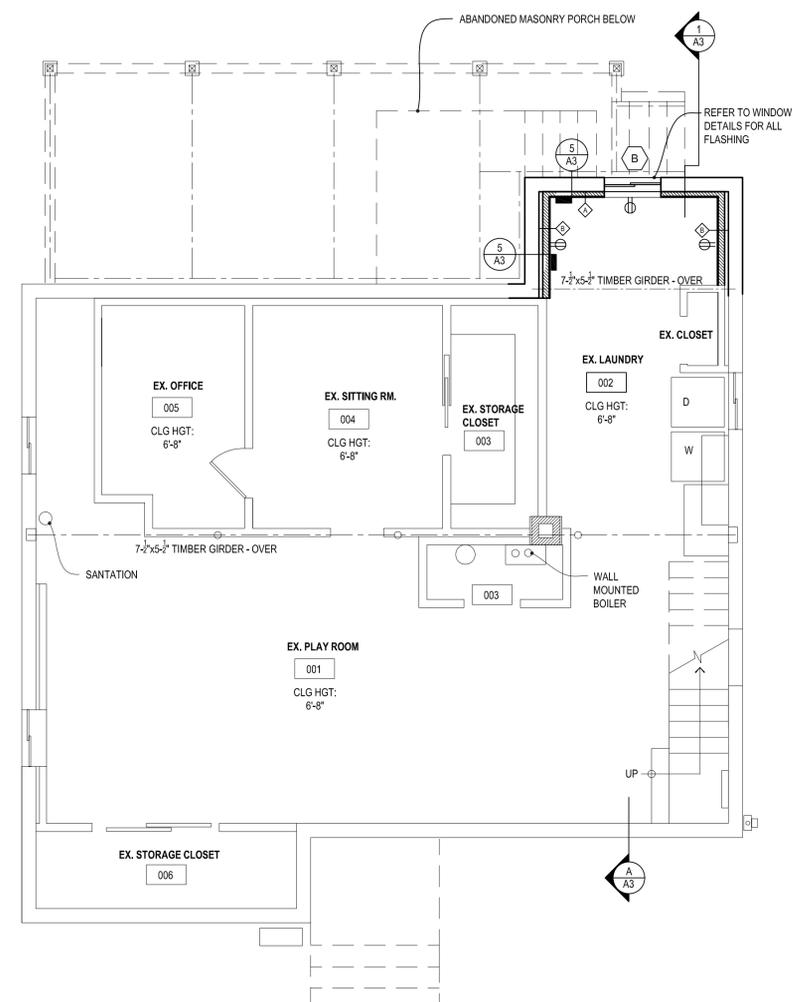
ELECTRIC LEGEND



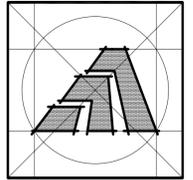
3 PROPOSED ROOF REPAIR PLAN
SCALE: 1/4" = 1'-0"



2 PROPOSED FIRST FLOOR REPAIR PLAN
SCALE: 1/4" = 1'-0"



1 PROPOSED BASEMENT FLOOR REPAIR PLAN
SCALE: 1/4" = 1'-0"



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Sheet Title:
PROPOSED ELEVATIONS

APPLICATION # 2447

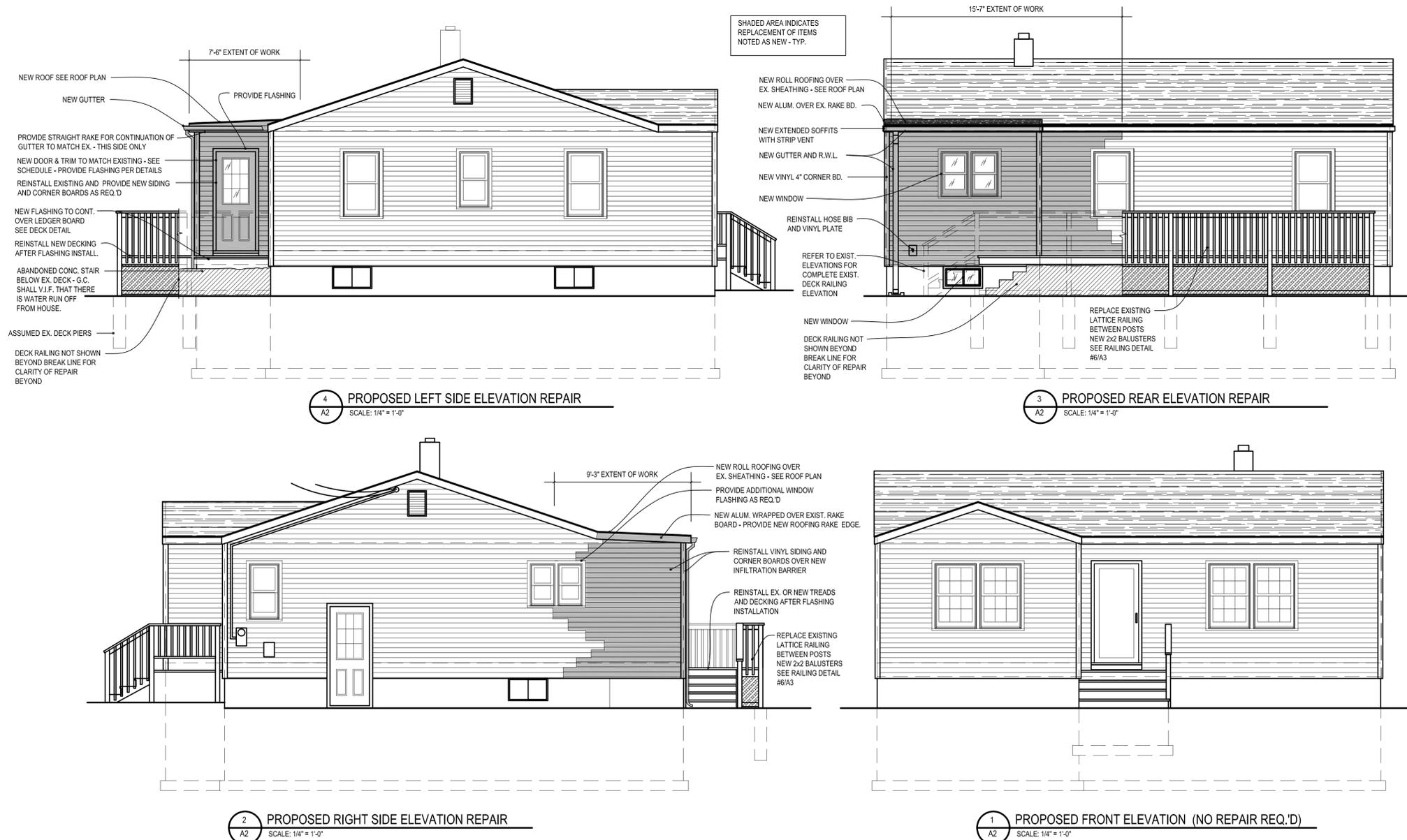
ANTIGUA RESIDENCE
384 Henry Ave
Stratford, Conn., 06614

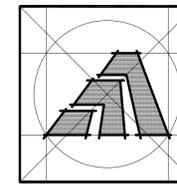
STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
(CDBG-DR)

Date:
ISSUED 03/10/2015

Job Number: 2447
Drawn By: J.V.L.

Sheet Number:
A2





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Sheet Title:
PROPOSED SECTION AND DETAILS

APPLICATION # 2447

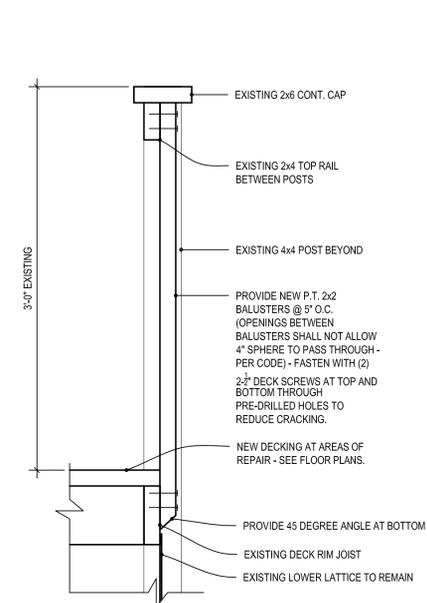
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**STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
(CDBG-DR)**

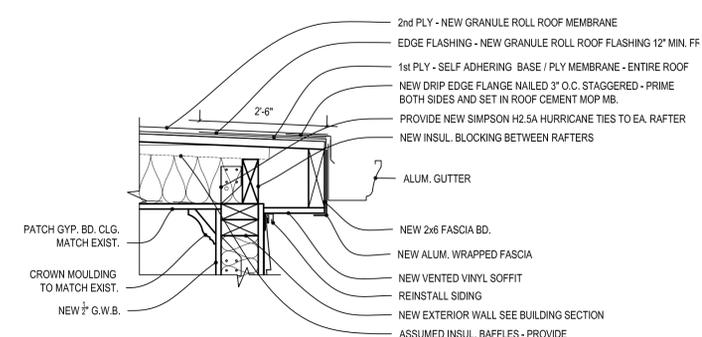
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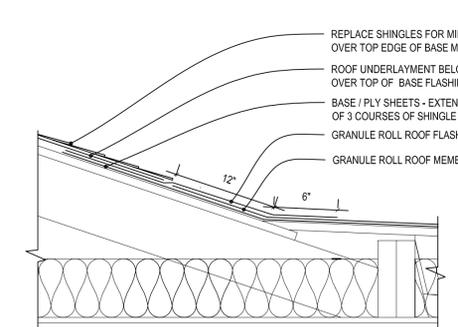
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A3



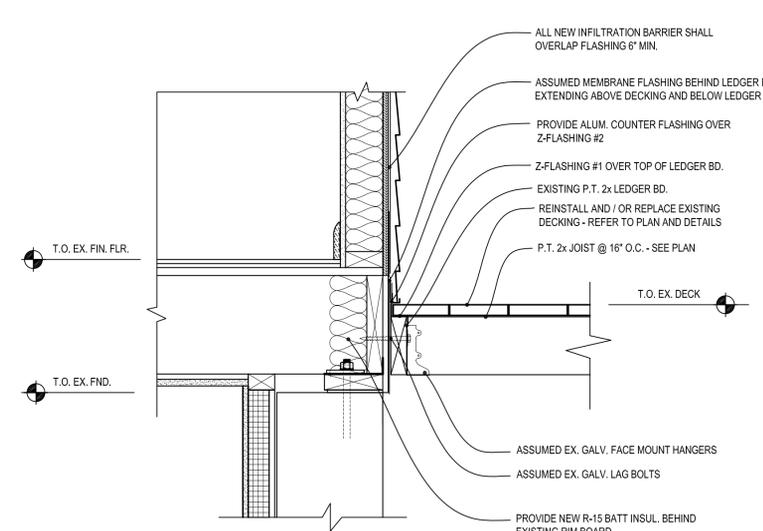
7 DECK GUARDRAIL REPAIR DETAIL
SCALE: 1-1/2" = 1'-0"



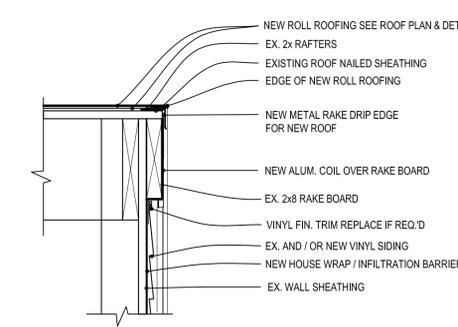
2 EAVE EXTENSION DETAIL
SCALE: 1-1/2" = 1'-0"



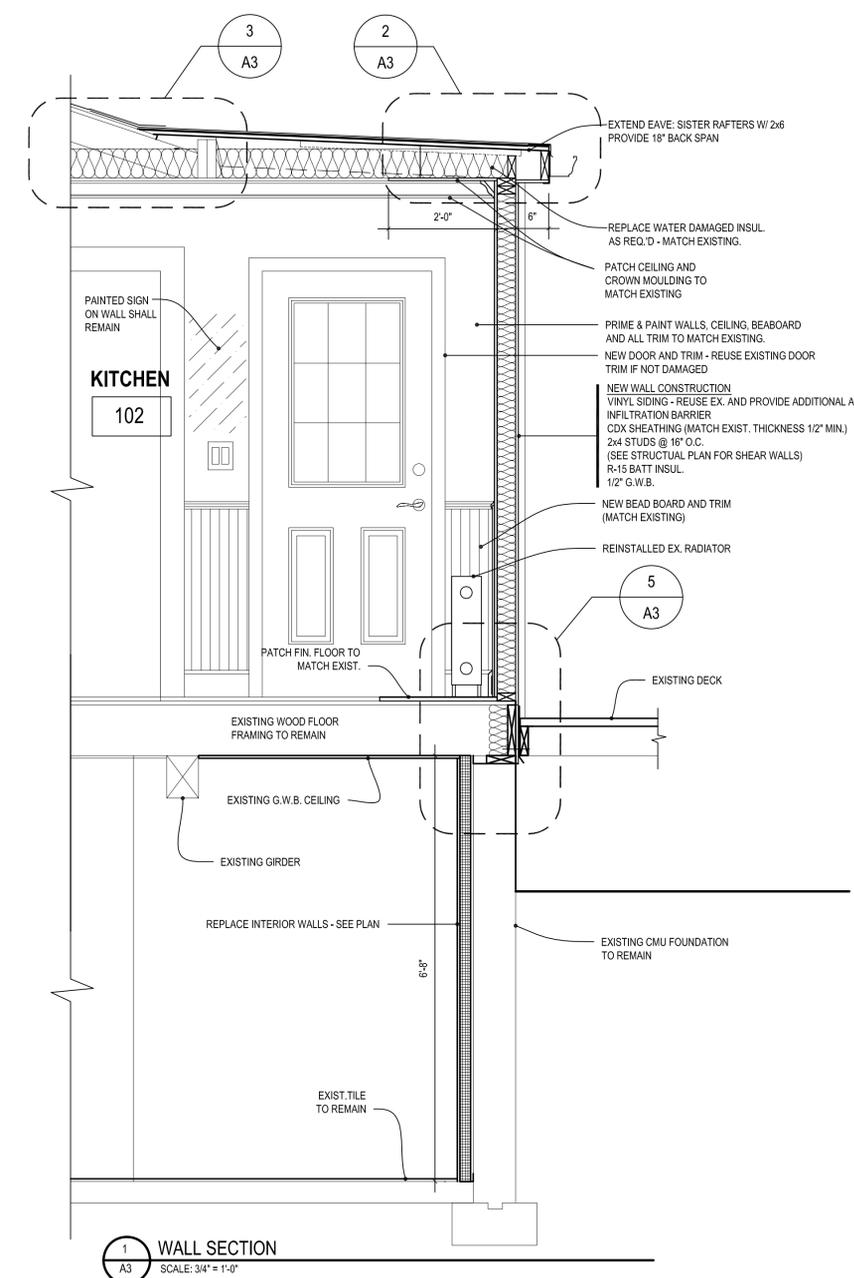
3 ROLL ROOF / SHINGLE TIE-IN DETAIL
SCALE: 1-1/2" = 1'-0"



5 TYPICAL DECK / FLASHING DETAIL
SCALE: 1-1/2" = 1'-0"



4 TYPICAL RAKE REPAIR DETAIL
SCALE: 1-1/2" = 1'-0"



1 WALL SECTION
SCALE: 3/4" = 1'-0"

FRAMING GENERAL NOTES

DESIGN LOAD:
WALL FOR ROOF SNOW: 30 PSF SL /15 PSF DL

MATERIALS:
DIMENSIONAL LUMBER: No. 2 OR BETTER DOUGLAS FIR-LARCH MEETING THE FOLLOWING REQUIREMENTS:
E: 1,600 ksi
Fb: 875 psi for bending
Fc: 1,300 psi for compression parallel to grain
Fv: 625 (perpendicular) psi
Fv: 95 psi horizontal shear

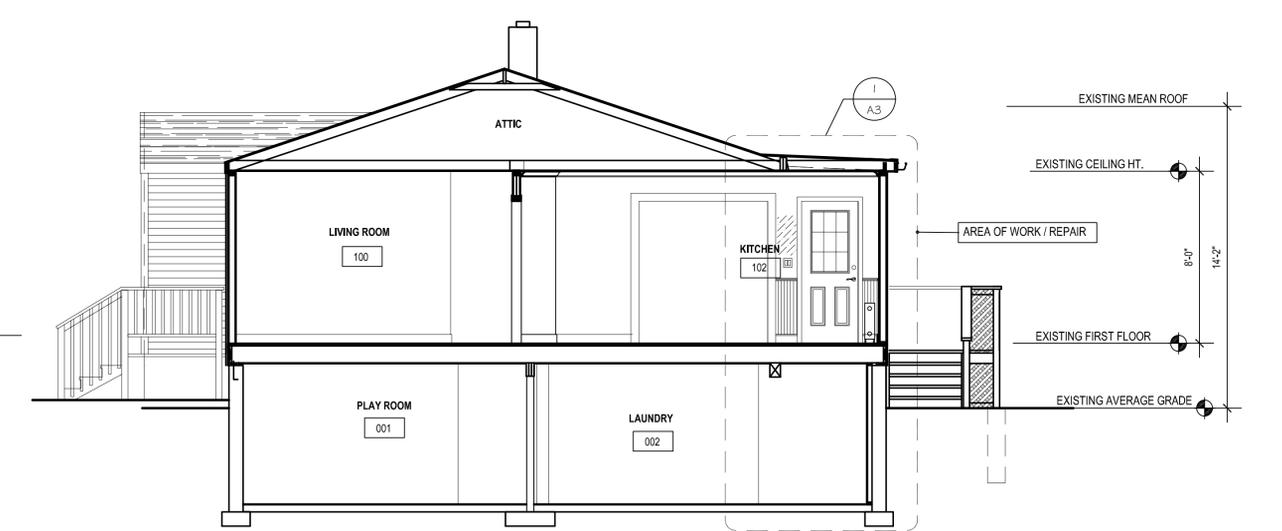
NOTE:
USE SIMPSON, USP OR EQUAL CONNECTORS AND FASTENERS

WINDOW NOTES

1. WINDOW U-FACTOR = 0.31 MIN.
2. WINDOW D.P. RATING SHALL EXCEED REQ'D D.P. RATING (REFER TO COVER SHEET)
3. REFER TO MANUF. SPECIFICATIONS FOR R.O. AND INSTALLATION DETAILS.
4. PROVIDE FLASHING OVER WINDOW AS REQ'D
5. INTERIOR CASING TO MATCH EXIST.
6. ALL NEW WINDOWS SHALL RECEIVE BUILT-UP ALUM. SURROUND TRIM TO MATCH EXIST.
7. INSULATION SHALL BE PROVIDED AS REQ'D AROUND WINDOW

DOOR NOTES

1. U-FACTOR = 0.31 MIN.
2. DOOR D.P. RATING SHALL EXCEED REQ'D D.P. RATING (REFER TO COVER SHEET)
3. REFER TO MANUF. SPECIFICATIONS FOR R.O. AND INSTALLATION DETAILS.
4. PROVIDE FLASHING OVER DOOR AS REQ'D
5. ALL DOORS SHALL RECEIVE BUILT-UP ALUM. SURROUND TRIM TO MATCH EXIST.
6. INSULATION SHALL BE PROVIDED AS REQ'D AROUND DOOR



AA PROPOSED SECTION REPAIR
SCALE: 1/4" = 1'-0"

FINISH SCHEDULE

REV.#	NUM.	ROOM NAME	FLOOR		BASE		NORTH WALL			EAST WALL			SOUTH WALL			WEST WALL			CEILING HEIGHT	CEILING MAT.L	REMARKS
			SUBSTRATE	FINISH	COLOR	MAT.L	FINISH	COLOR	MAT.L	FINISH	COLOR	MAT.L	FINISH	COLOR	MAT.L	FINISH	COLOR	MAT.L			
	102	KITCHEN	EX. WD.	HWYD	CLR.	WOOD	PTD	WHITE	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	EXIST.	G.W.B.	BEAD BD. 3/8" HT. SYSTEM AND CROWN AT CLG. (MATCH EXIST.)
	002	LAUNDRY	EX. CONC.																		

MSG. ABBREVIATIONS
 PTD - PAINTED
 NP - NOT PAINTED
 NA - NOT APPLICABLE
 HWYD - HARDWOOD (W/ WHITE OAK)
 CMT. BD. - CEMENT BOARD
 CPT - CARPET
 CT - CERAMIC TILE
 STD - STANDARD
 LWG - LAMINATED WOOD
COLORS BY FAMILY
 WRMH - WARM NEUTRAL
 GRN - GREENS
 BLU - BLUES

NOTE:
 1. ALL CEILING SHALL BE PRIMED AND PAINTED FLAT WHITE.
 2. 1. ALL WINDOW AND DOOR CASING SHALL BE PRIMED & PAINTED (MATCH COLOR)

DOOR SCHEDULE

REV.#	DR. NUM.	ROOM NUMBER	DOOR SIZE OR UNIT NUMBER (WIDTH x HEIGHT)	DOOR			FRAME			DETAILS			LABEL	HARDWARE SET	REMARKS
				TYPE	MAT.L	FINISH	TYPE	MAT.L	FINISH	HEAD	JAMB	SILL			
	102	102	2'-8" x 8'-0" (SINGLE DOOR)	HG	FGLS	STD	WD	PTD	2x4	3x4	1x4	1	EXISTING	MATCH EXISTING	

ABBREVIATIONS:
 CMST - COMPOSITE
 ALUM. - ALUMINUM
 WD - WOOD
 MTL - MTL
 STD - STANDARD
FGLS - FIBERGLASS
 PTD - PAINTED
 INT - INTERIOR
 EXT - EXTERIOR
PERFORMANCE NOTE: EXTERIOR DOORS SHALL BE 0.31 U-FACTOR - MIN. DP 30 RATING

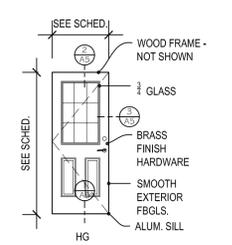
***NOTE:** DOOR SUPPLIER IS TO REVIEW ALL PLANS, ELEVATIONS & SCHEDULES. WINDOW & DOOR SUPPLIER IS TO REVIEW ALL ASPECTS OF DOOR SPECIFICATIONS & FUNCTIONS WITH THE OWNER AND/OR GENERAL CONTRACTOR. DOOR SUPPLIER IS TO PROVIDE SUBMITTALS FOR APPROVAL OF ALL SUPPLIED ITEMS BEFORE PLACING DOOR ORDER.
HARDWARE:
 1# ENTRY LEVER SET - REUSE EXISTING

WINDOW SCHEDULE

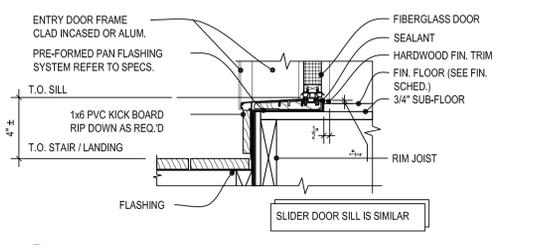
REV.#	NO.	TYPE & FRAME SIZE (WIDTH x HEIGHT)	UNIT #	GRILLE	QTY/SETS	TYPE	DETAILS			REMARKS
							HEAD	JAMB	SILL	
	A	3'-7.38" x 5'-7.87"	TW18210-2	-	1	D.H.	8/4	6/4	4/4	ANDERSON NON-REINF. MULLION
	B	2'-8" x 1'-8" (V.I.F.)			1	SLIDING	8/4	7/4	8/4	DUO-CORP DOUBLE SLIDER VINYL WINDOW WITH LOW-E GLASS VINYL OR EQUAL

1ST FLR. WINDOW BASED ON ANDERSON 400 SERIES OR EQUAL
PERFORMANCE NOTE: WINDOW U-FACTOR SHALL BE 0.31
 DP 30 RATING MIN.
BASEMENT WINDOW BASED ON DUO-CORP (330-549-2149)
 VINYL OR EQUAL

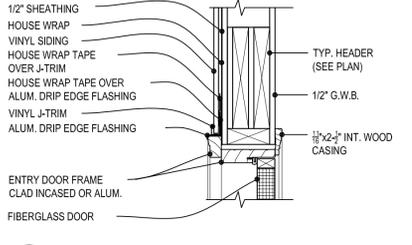
ALL WINDOWS AND EXTERIOR DOORS SHALL HAVE VINYL OR ALUM CLAD EXT. WITH PAINTED WOOD INTERIOR - ALL WINDOWS SHALL BE 0.31 ALL DBL HUNG SHALL BE TILT-WASH AND ALL WINDOWS AND DOORS SHALL HAVE DESIGN PRESSURE 50 (DP50). PROVIDE SCREENS AND HARDWARE. ALL SOLID INSULATED EXTERIOR DOORS ARE TO BE SMOOTH FIBERGLASS UNLESS NOTED OTHERWISE. VERIFY PRIOR TO ORDERING UNITS.



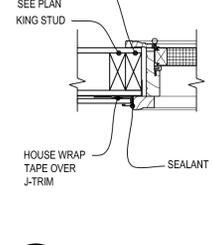
1 DOOR TYPES
SCALE: 1/4" = 1'-0"



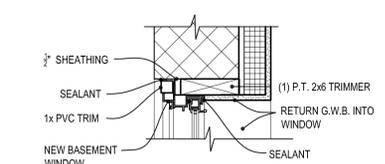
2 EXT. DOOR SILL DETAIL
SCALE: 1-1/2" = 1'-0"



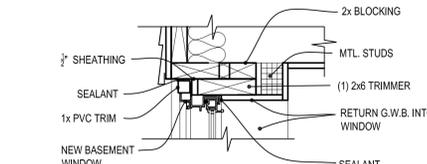
3 EXT. HEAD DETAIL
SCALE: 1-1/2" = 1'-0"



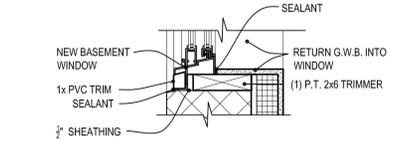
4 EXT. JAMB DETAIL
SCALE: 1-1/2" = 1'-0"



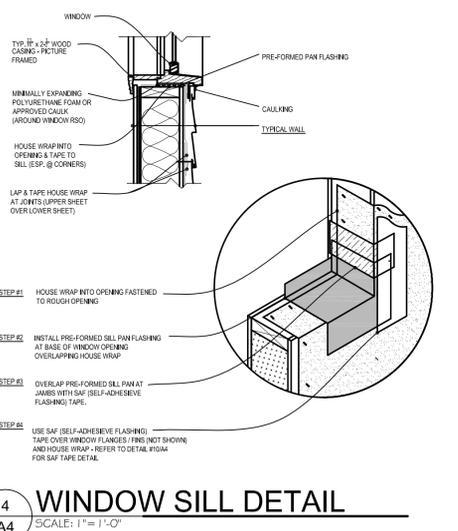
7 JAMB DETAIL
SCALE: 1-1/2" = 1'-0"



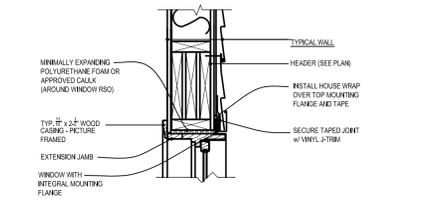
8 HEAD DETAIL
SCALE: 1-1/2" = 1'-0"



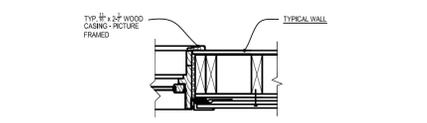
9 SILL DETAIL
SCALE: 1-1/2" = 1'-0"



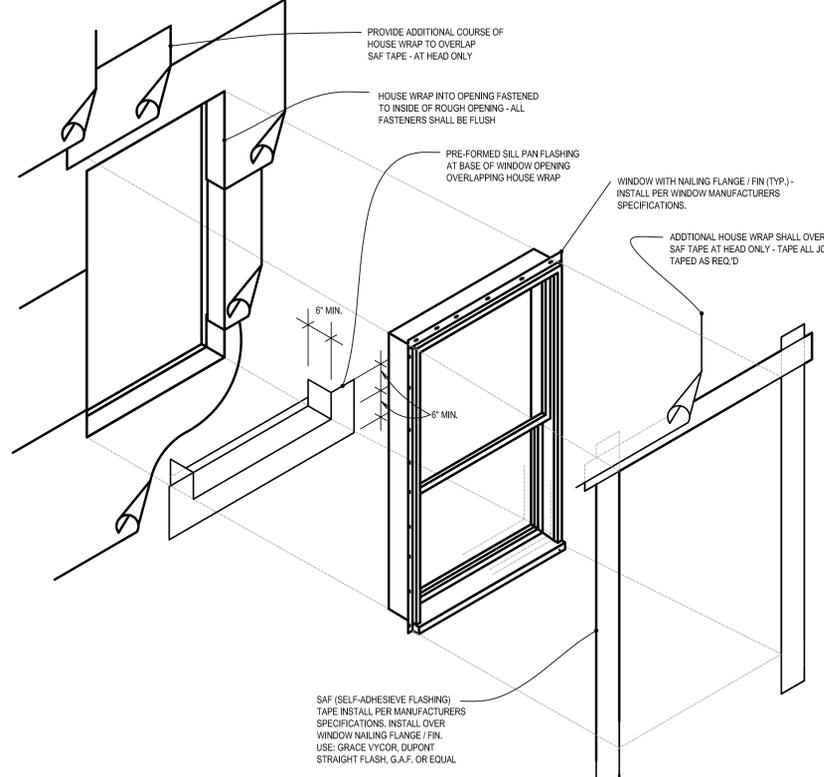
4 WINDOW SILL DETAIL
SCALE: 1" = 1'-0"



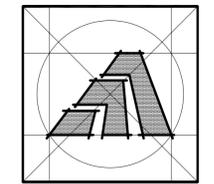
5 WINDOW HEAD DETAIL
SCALE: 1" = 1'-0"



6 WINDOW JAMB DETAIL
SCALE: 1" = 1'-0"



10 TYP. WINDOW FLASHING DETAIL
SCALE: N.T.S.



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Sheet Title:
SCHEDULES AND DETAILS

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