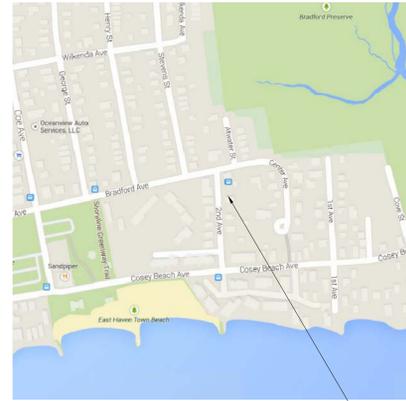
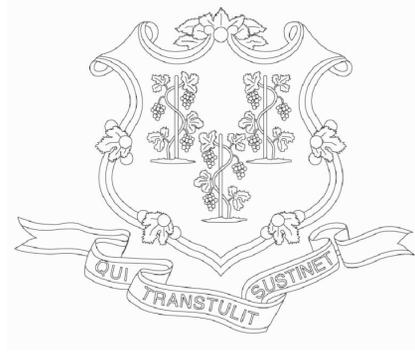


STATE OF CONNECTICUT DEPARTMENT OF HOUSING CDBG–COMMUNITY DEVELOPMENT BLOCK GRANT SUPERSTORM SANDY DISASTER RECOVERY PROGRAM



AREA MAP

PROJECT SITE

SPONSOR
State of Connecticut
Department of Housing
505 Hudson Street
Hartford, Connecticut 06106

OWNER
Application No. 2339
Gloria Silvia
45 Second Avenue
East Haven, Connecticut 06512

ARCHITECT:
Lothrop Associates LLP
333 Westchester Avenue, White Plains, New York 10604
510 Clinton Square, Rochester, New York 14620
125 Half Mile Road, Suite 200, Red Bank, New Jersey 07701
100 Pearl Street, 14th Floor, Hartford, Connecticut 06103

ENVIRONMENTAL ENGINEER:
Fuss & O'Neill EnviroScience, LLC
146 Hartford Road, Manchester, Connecticut 06040
56 Quarry Rd, Trumbull, Connecticut 06611

STRUCTURAL ENGINEER:
Cuoco Structural Engineers, LLC
60 Katona Drive, Fairfield, Connecticut 06824

SURVEYOR:
Freeman Companies, LLC
36 John Street, Hartford, Connecticut 06106

ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	HORIZ	HORIZONTAL
ADJ	ADJACENT	HW	HOT WATER HEATER
ALUM	ALUMINUM	JB	JUNCTION BOX
APPROX	APPROXIMATE	LDR	LEADER
ARCH	ARCHITECTURAL	LO	LINE OF
BTM	BOTTOM	LVL	LAMINATE VENEER LUMBER
B.O.	BOTTOM OF	MAX	MAXIMUM
CJ	CEILING JOISTS	MC	MEDICINE CABINET
CL	CENTERLINE	MI	MIRRORED MEDICINE CABINET
CLOS	CLOSED	MIN	MINIMUM
CMU	CONCRETE MASONRY UNIT	MO	MASONRY OPENING
COL	COLUMN	MV	MICROWAVE
CONC	CONCRETE	NIC	NOT INCLUDED IN CONTRACT
CONT	CONTINUOUS	OA	OVERALL
COORD	COORDINATE	OC	ON CENTER
CT	CERAMIC TILE	OPP	OPPOSITE
DW	DISHWASHER	PSL	PARALLEL STRAND LUMBER
DWG	DRAWING	PT	PRESSURE TREATED
E/F	EXHAUST FAN	REF	REFRIGERATOR
EX	EXISTING	REINF	REINFORCED
EL	ELEVATION	RO	ROUGH OPENING
EP	ELECTRICAL PANEL	RM	ROOM
EQ	EQUAL	RR	ROOF RAFTERS
EQUIP	EQUIPMENT	SD	SMOKE DETECTOR
EQUIV	EQUIVALENT	SIM	SIMILAR
F/D	FLOOR DRAIN	SPEC	SPECIFICATIONS
FIN	FINISH	STD	STANDARD
FDN	FOUNDATION	STL	STEEL
FJ	FLOOR JOISTS	STRUCT	STRUCTURAL
FLR	FLOOR	S.S.	STAINLESS STEEL
FLHB	FROST PROOF HOSE BIB	T.O.	TOP OF
FV	FLOOR VENT	TYP	TYPICAL
GALV	GALVANIZED	VCT	VINYL COMPOSITE TILE
GB1	GRADE BEAM 1	VERT	VERTICAL
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	VIF	VERIFY IN FIELD
GWB	GYP SUM WALL BOARD	W/D	WASHER/ DRYER COMBO
GYP	GYP SUM	WD	WOOD
HDWD	HARDWOOD FLOORING	WP	WEATHERPROOF
HM	HOLLOW METAL	WMF	WELDED WIRE FABRIC (MESH)
		U/C	UNDER CABINET (LIGHTING)

SYMBOLS LEGEND

	EXISTING PARTITION/ WALL TO REMAIN		DETAIL TAG: SECTION NUMBER DRAWING NUMBER
	NEW PARTITION/ WALL		SECTION KEY: SECTION NUMBER DRAWING NUMBER
	NEW FOUNDATION WALL AND FOOTINGS		ELEVATION KEY: ELEVATION NUMBER DRAWING NUMBER
	EXISTING TO BE REMOVED		KEYED NOTE TAG
	EXISTING ITEM ABOVE		ROOF SLOPE
	EXISTING WINDOW TO REMAIN		REVISION
	NEW WINDOW		SETBACK LINE
	NEW DOOR		SILT BARRIER
	EXISTING DOOR TO REMAIN		CONSTRUCTION FENCE
	NEW "SMART VENT" FLOOR VENT		PROPERTY LINE
	PLYWOOD		GRAVEL
	CONCRETE		WOOD DECKING
	RIGID INSULATION		NEW GAS METER
	NEW WATER METER		

ELEC./ UTILITY LEGEND

	ELECTRICAL PANEL		CEILING MOUNTED EXHAUST FAN WITH LIGHT
	DUPLEX OUTLET		UNDER CABINET TASK LIGHTING
	DUPLEX OUTLET - GROUND FAULT CIRCUIT INTERRUPTER		RECESSED DOWN LIGHT
	DEDICATED OUTLET - STOVE		WALL MOUNTED LIGHT
	DUPLEX OUTLET - DISHWASHER		WALL MOUNTED EXTERIOR LIGHT
	DUPLEX OUTLET - MICROWAVE		CEILING MOUNTED FAN WITH LIGHT
	DUPLEX OUTLET - WEATHER PROOF		
	TV/ CABLE JACK		
	TELEPHONE/ DATA JACK		
	GAS CONNECTION		
	SWITCH		
	3 WAY SWITCH		
	WIRING		
	CEILING MOUNTED SMOKE DETECTOR		
	CEILING MOUNTED CARBON MONOXIDE DETECTOR		

GENERAL NOTES

- DO NOT OBSTRUCT ACCESS TO THE SITE.
- PROTECT ALL AREAS FROM FALLING DEBRIS.
- MAINTAIN ALL EXISTING SITE ELEMENTS (PAVING, FENCES, BUILDINGS, ETC.) AND PLANTINGS & LAWNS. CONTRACTOR SHALL REPLACE OR REPAIR ALL DAMAGE, AT THE CONTRACTORS' EXPENSE.
- MAINTAIN A SECURED AREA FOR ALL CONSTRUCTION MATERIALS & EQUIPMENT STORED ON SITE.
- PROVIDE TARPED DUMPSTER FOR REMOVAL OF ALL RUBBISH AND CONSTRUCTION DEBRIS. DUMPSTER SHOULD BE ADEQUATELY PROTECTED DURING PROJECT. CONTRACTOR IS RESPONSIBLE FOR ALL TRASH PLACED IN AND AROUND DUMPSTER. DUMPSTER PERMIT COSTS TO BE INCLUDED IN THE BASE BID.
- WORK SHALL COMPLY WITH ALL STATE & LOCAL CODES, REGULATIONS AND ORDINANCES.
- AT PROJECT COMPLETION, REMOVE ALL CONSTRUCTION DEBRIS AND PATCH/REPAIR ALL SURFACES DAMAGED BY CONTRACTOR ACTIVITIES. THOROUGHLY CLEAN ALL WORK AREAS OF ALL DEBRIS RESULTING FROM WORK OF THIS CONTRACT.
- DISCONNECT AND RECONNECT ALL UTILITIES AS REQUIRED. COORDINATE WITH UTILITY COMPANIES AND AUTHORITIES HAVING JURISDICTION
- THE SPECIFICATION MANUAL IS AN INTEGRAL PART OF THESE DOCUMENTS AND SHALL BE CONSIDERED A COMPONENT OF THESE DOCUMENTS AS IF INCLUDED HEREIN.
- ALL DIMS TAKEN TO F.O. FRAMING & FACE OF CONC/MANSONRY UNLESS OTHERWISE NOTED.
- DO NOT SCALE DRAWINGS

DRAWING LIST

ARCHITECTURAL

- G-001 COVER SHEET
- G-002 SITE PLAN AND ZONING DATA
- AD-101 DEMOLITION FOUNDATION PLAN, FIRST FLOOR PLAN, DEMOLITION ELEVATIONS
- A-101 FIRST FLOOR PLAN, FOUNDATION PLAN & NOTES
- A-102 SECOND FLOOR PLAN AND DETAILS
- A-201 BUILDING ELEVATIONS
- A-301 SECTIONS AND DETAILS
- A-302 BUILDING SECTION AND WALL SECTION

HAZARDOUS MATERIAL

- HM-01 LEAD BASED PAINT ABATEMENT PLAN - FOUNDATION
- HM-02 LEAD BASED PAINT ABATEMENT PLAN - FIRST FLOOR
- HM-03 LEAD BASED PAINT ABATEMENT PLAN - SECOND FLOOR

STRUCTURAL

- S-101 FOUNDATION PLAN, FIRST FLOOR FRAMING PLAN, SECOND FLOOR FRAMING PLAN
- S-102 STRUCTURAL SECTIONS
- S-103 TYPICAL STRUCTURAL DETAILS-I
- S-104 TYPICAL STRUCTURAL DETAILS-II
- S-105 FIRST AND SECOND FLOOR SHEAR WALL PLAN, SHEAR WALL SCHEDULE AND SECTIONS
- S-106 STRUCTURAL NOTES & SOIL BORING LOGS

ALTERNATES

- ADD ALT 1 STONE VENEER OVER FIRST FLOOR AND FOUNDATION WALLS



Lothrop Associates LLP Architects
100 Pearl Street
14th Floor
Hartford, Connecticut 06103
860-249-7251

White Plains Red Bank Hartford Rochester

STRUCTURAL ENGINEER:



SURVEYOR:



ENVIRONMENTAL ENGINEER:



ISSUE NO.	ISSUE DATE	DESCRIPTION
1	1 JUNE 2015	ISSUED FOR BID

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Department Of Housing
505 Hudson Street
Hartford, Connecticut 06106

Application No. 2339
HAZARDOUS MATERIAL ABATEMENT
CONSTRUCTION OF NEW FOUNDATIONS
RAISING EXISTING RESIDENCE , ADDITION
AND ALTERATIONS
FOR
GLORIA SILVIA
45 Second Avenue
East Haven, Connecticut 06512

COVER SHEET

PROJECT NO.: 1524-09 SCALE: AS NOTED

DRAWING NO.:

G-001

STRUCTURAL ENGINEER:



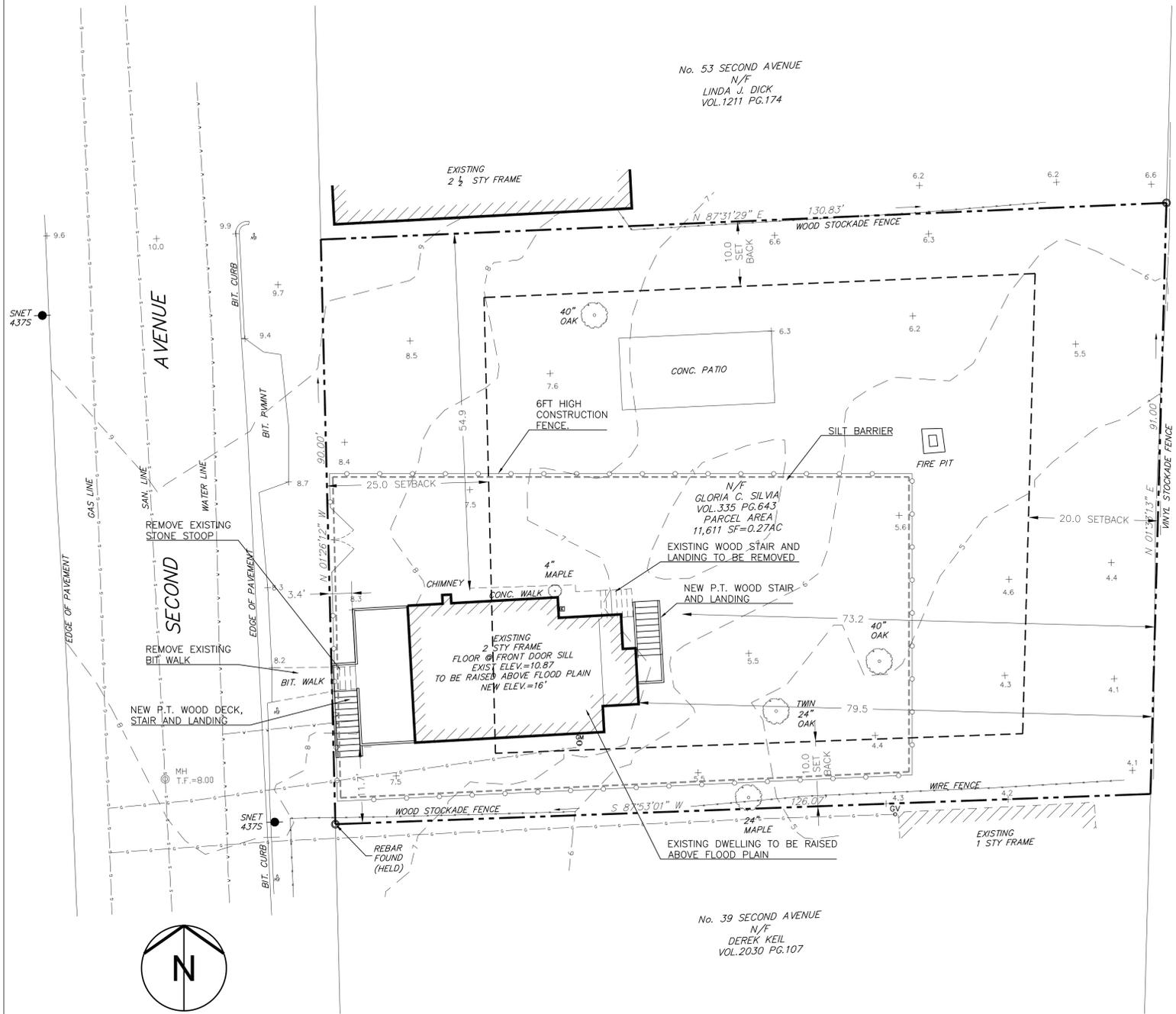
SURVEYOR:



ENVIRONMENTAL ENGINEER:



2 LOCATION MAP
1"=500'



1 SITE PLAN
1"=10'

SITE PLAN INFORMATION TAKEN FROM A SURVEY PREPARED BY FREEMAN COMPANIES, LLC
MAP, BLOCK AND LOT: 030-0318-013

No. 12 CENTER AVENUE
N/F
GARY M & MYST DEPALMA
VOL.301 PG.850

ZONING DATA			
R-1 ZONE	REQUIRED	EXISTING	PROPOSED
LOT AREA	7,200 SF	11611 SF	11611 SF
LOT FRONTAGE	60 FEET	90 FEET	90 FEET
MAX BUILDING HEIGHT	40 FEET, 30 FEET WITH SETBACK RESTRICTION	27.88 FEET	33.25 FEET VARIANCE REQUIRED
SETBACK-STREET LINE	25 FEET	3.4 FEET	3.4 FEET TO BUILDING EXISTING NONCONFORMANCE
SETBACK-REAR	20 FEET	79.5 FEET	72.2 FEET
SETBACK-SIDE	10 FEET EA	54.9 FEET NORTH 11.7 SOUTH	54.9 FEET NORTH 11.7 SOUTH
MAX LOT COVERAGE	25%	7.7%	8.4%
MIN SQUARE DIMENSION	60 FEET	86.1	86.1
MAX NUMBER OF STORIES	3	2	2
MAX FLOOR AREA	50%	7.2%	7.2%
MIN FLOOR AREA PER DWELLING UNIT	900 SF	1357 SF	1357 SF

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SITE PLAN AND
ZONING DATA

PROJECT NO.: 1524-09

SCALE: AS NOTED

DRAWING NO.:

G-002

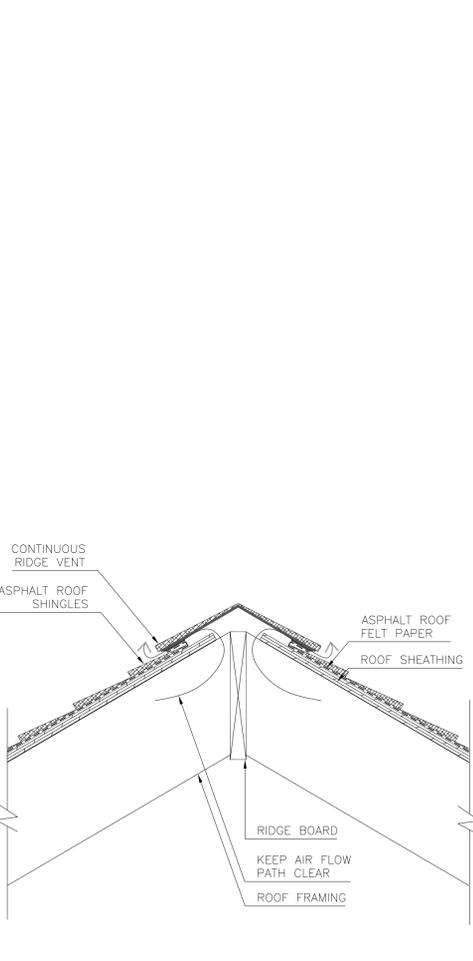
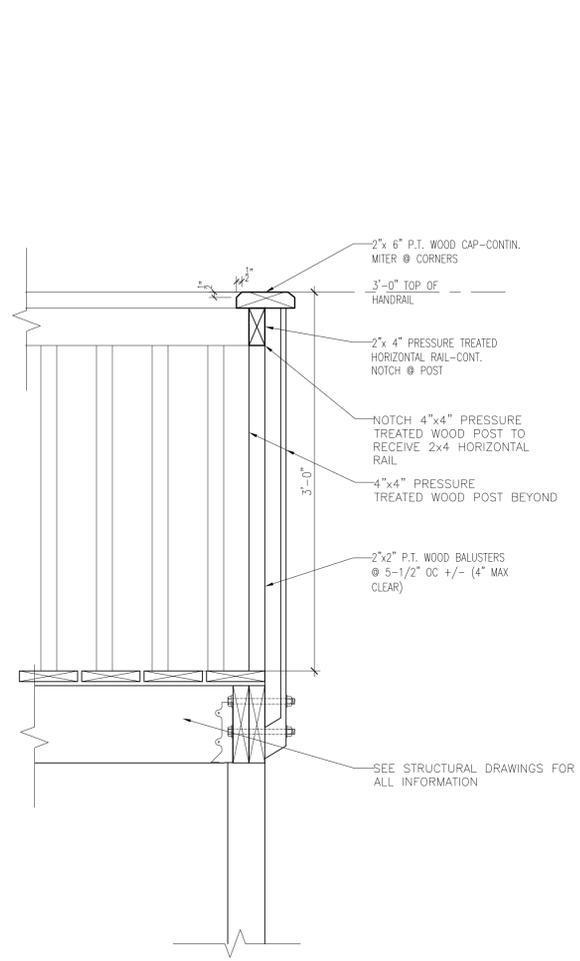
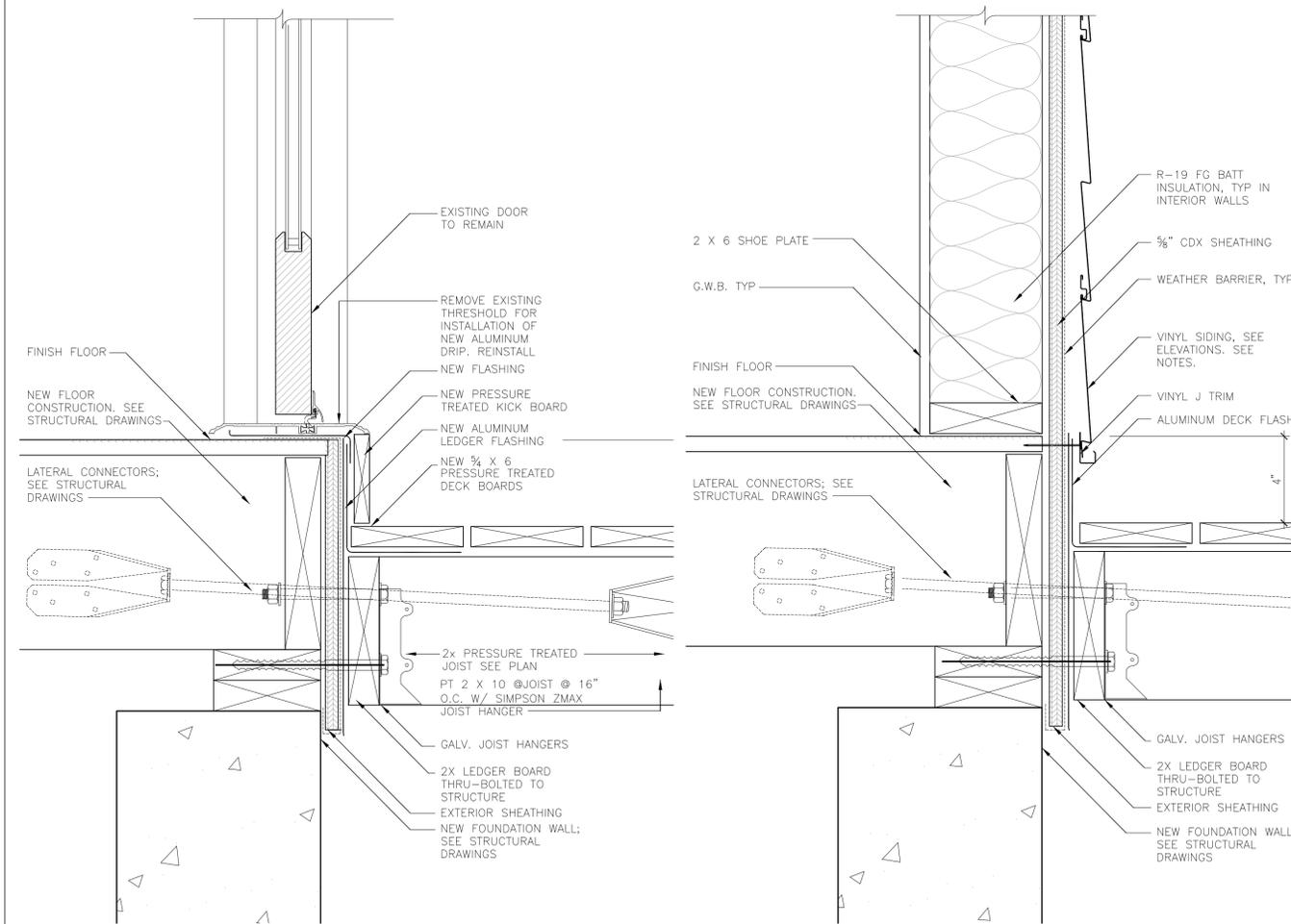
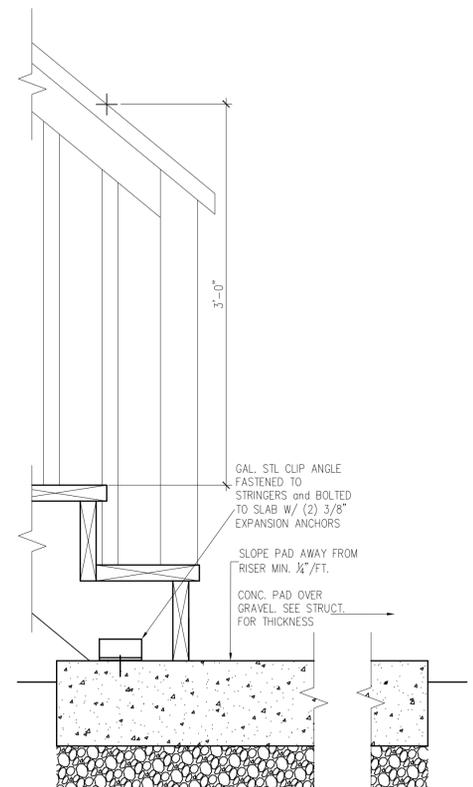
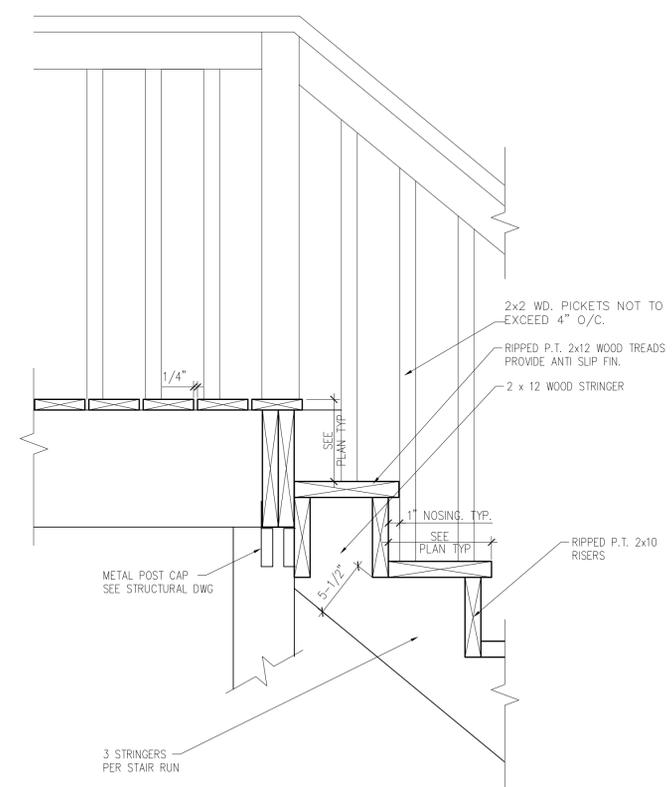
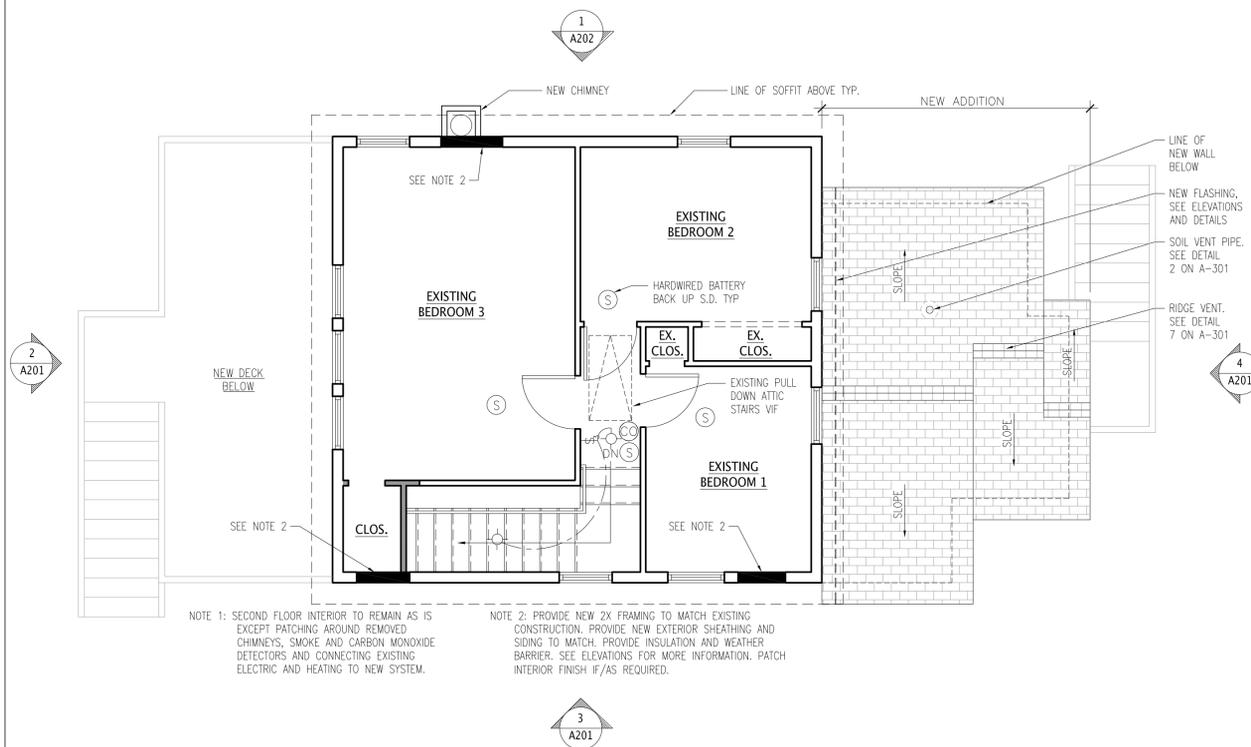
STRUCTURAL ENGINEER:



SURVEYOR:



ENVIRONMENTAL ENGINEER:



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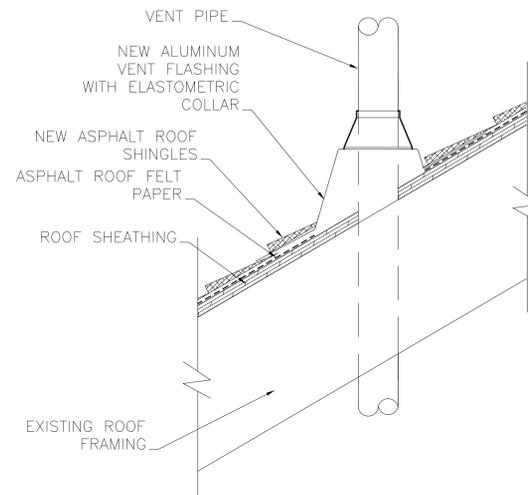
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**SECOND FLOOR PLAN
 AND DETAILS**

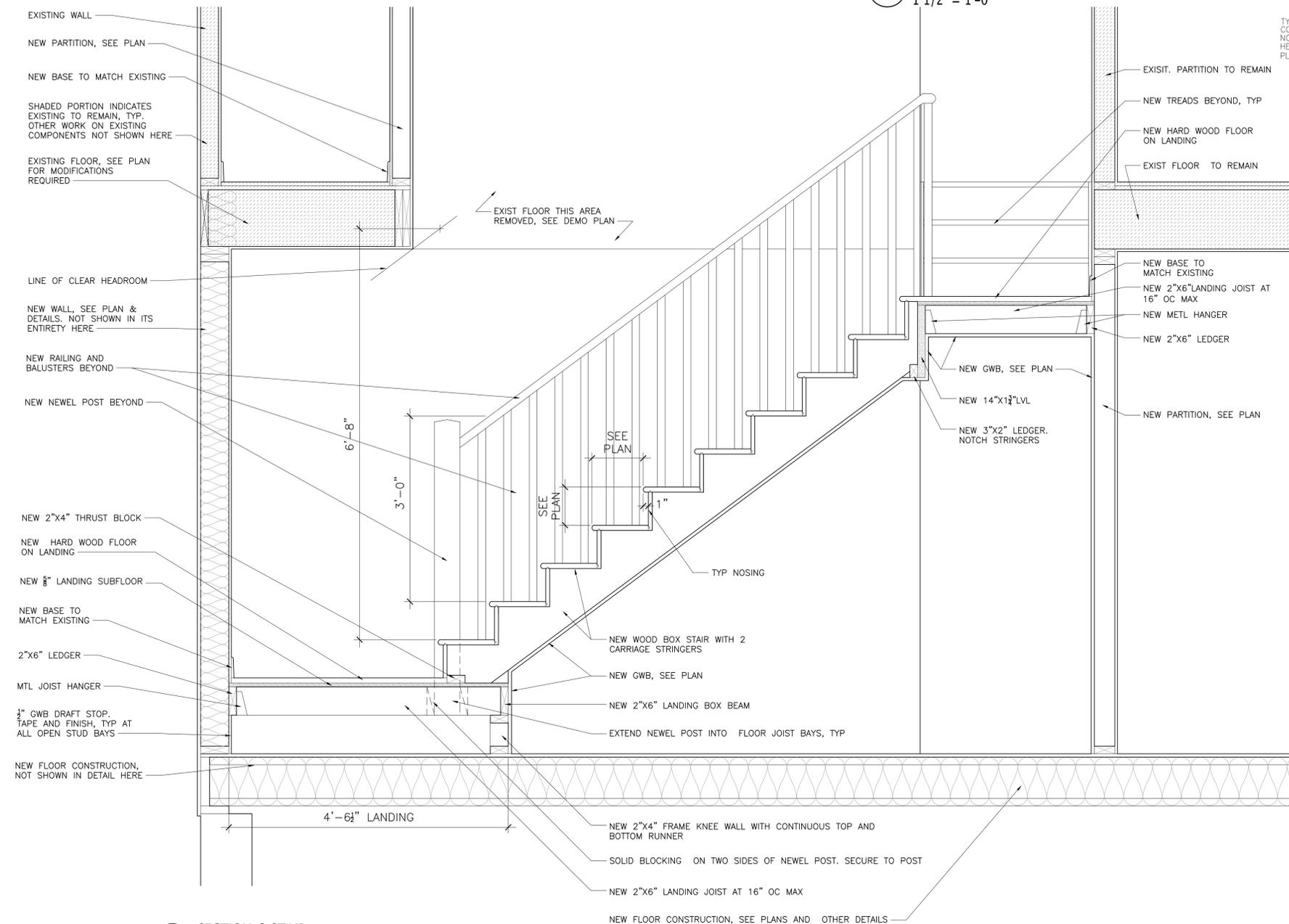
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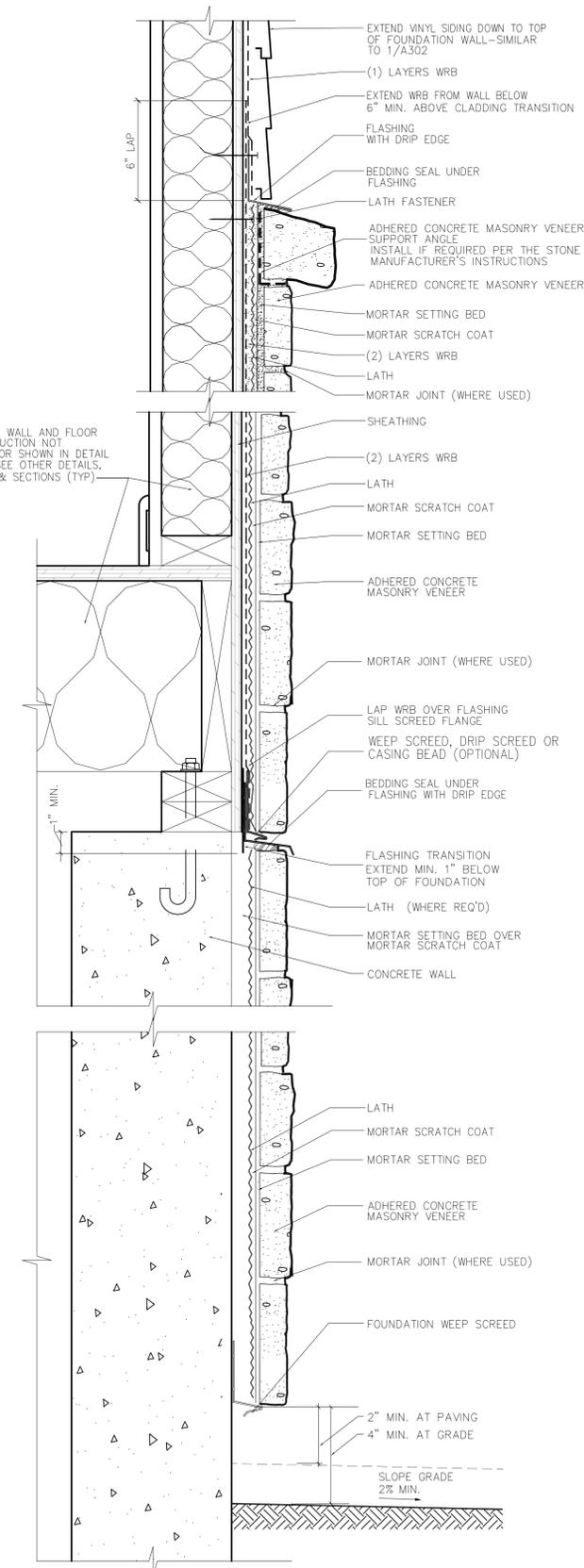
2 PLUMBING VENT FLASHING DETAIL

1 1/2" = 1'-0"



1 SECTION @ STAIR

1" = 1'-0"



3 ADHERED MASONRY VENEER - ALTERNATE 1

3" = 1'-0"

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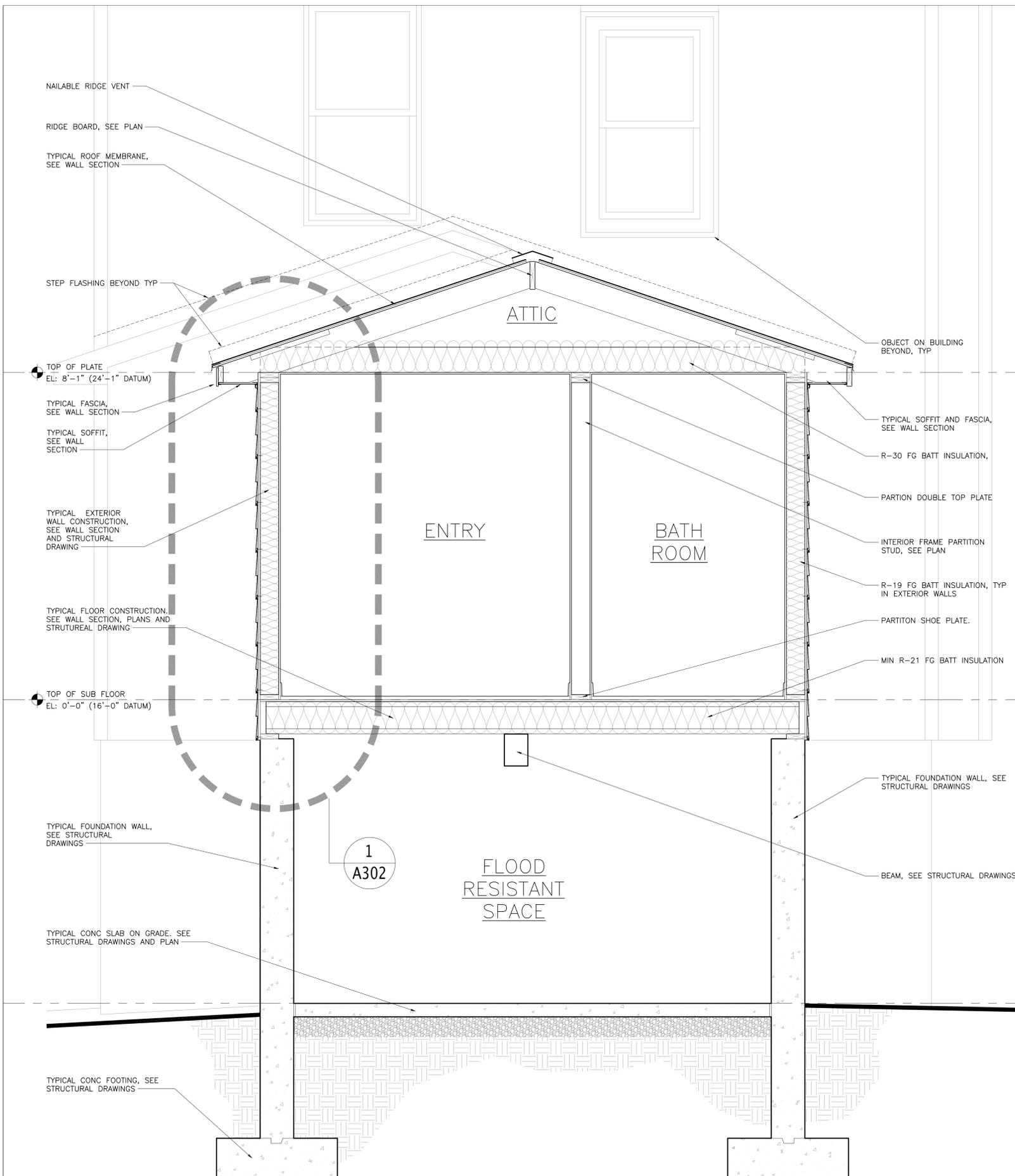
SECTIONS AND DETAILS

PROJECT NO.: 1524-09

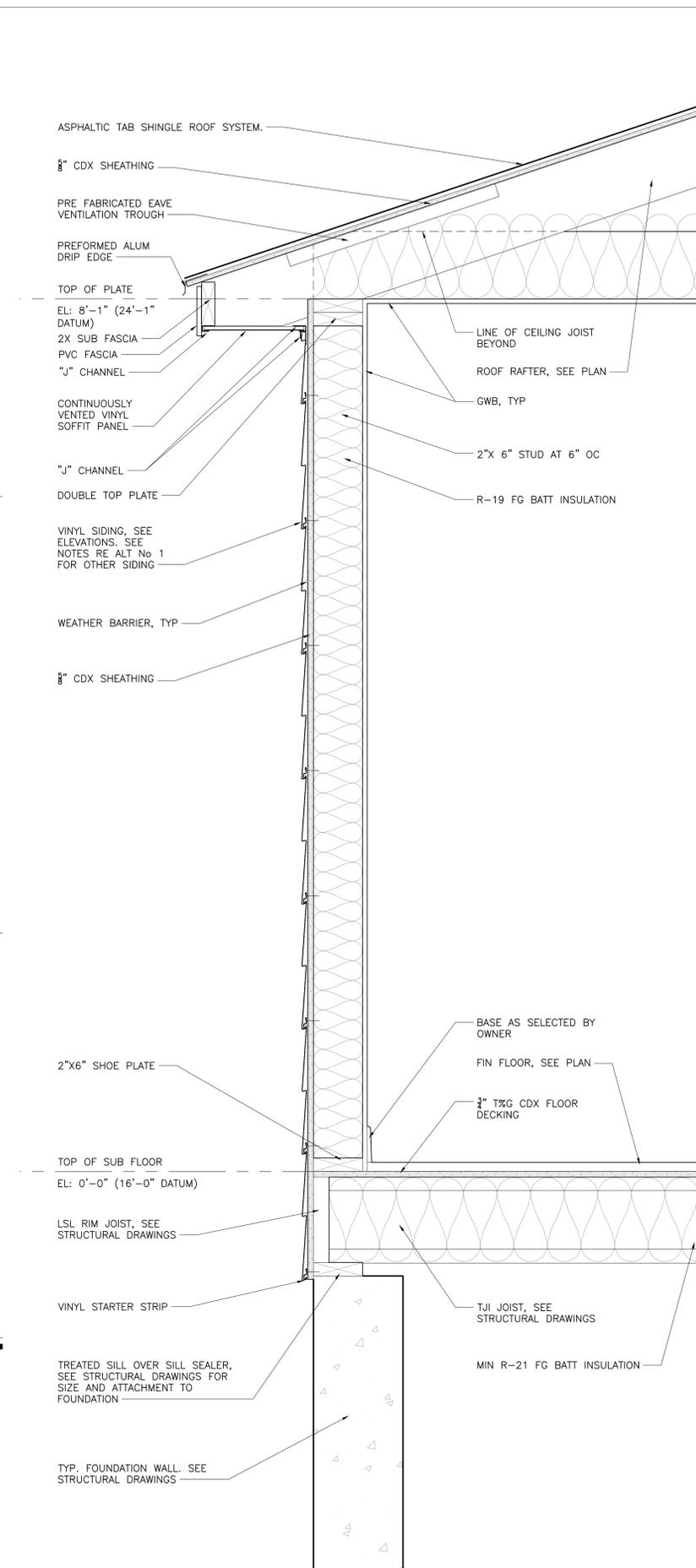
SCALE: AS NOTED

DRAWING NO.:

A-301



A SECTION @ REAR WING
 3/4" = 1'-0"



1 WALL SECTION AT REAR WING
 1 1/2" = 1'-0"

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**BUILDING SECTION AND
 WALL SECTION**

PROJECT NO.: 1524-09 SCALE: AS NOTED

DRAWING NO.:

A-302

