



# QUISENBERRY ARCARI

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## ARCHITECTS, LLC

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REHABILITATION / RECONSTRUCTION WORK FOR:

# HILDA STEINER

APPLICANT #2322

ISSUE DATE: SEPTEMBER 30, 2014

62 MOREHOUSE HIGHWAY

FAIRFIELD, CT

COMMUNITY DEVELOPMENT BLOCK GRANT  
DISASTER RECOVERY PROGRAM (CDBG-DR)

OWNER OCCUPIED REHABILITATION  
& REBUILDING PROGRAM (OORR)

SPONSORED IN CONJUNCTION WITH FUNDING FROM  
THE CONNECTICUT DEPARTMENT OF HOUSING



LOCATION MAP

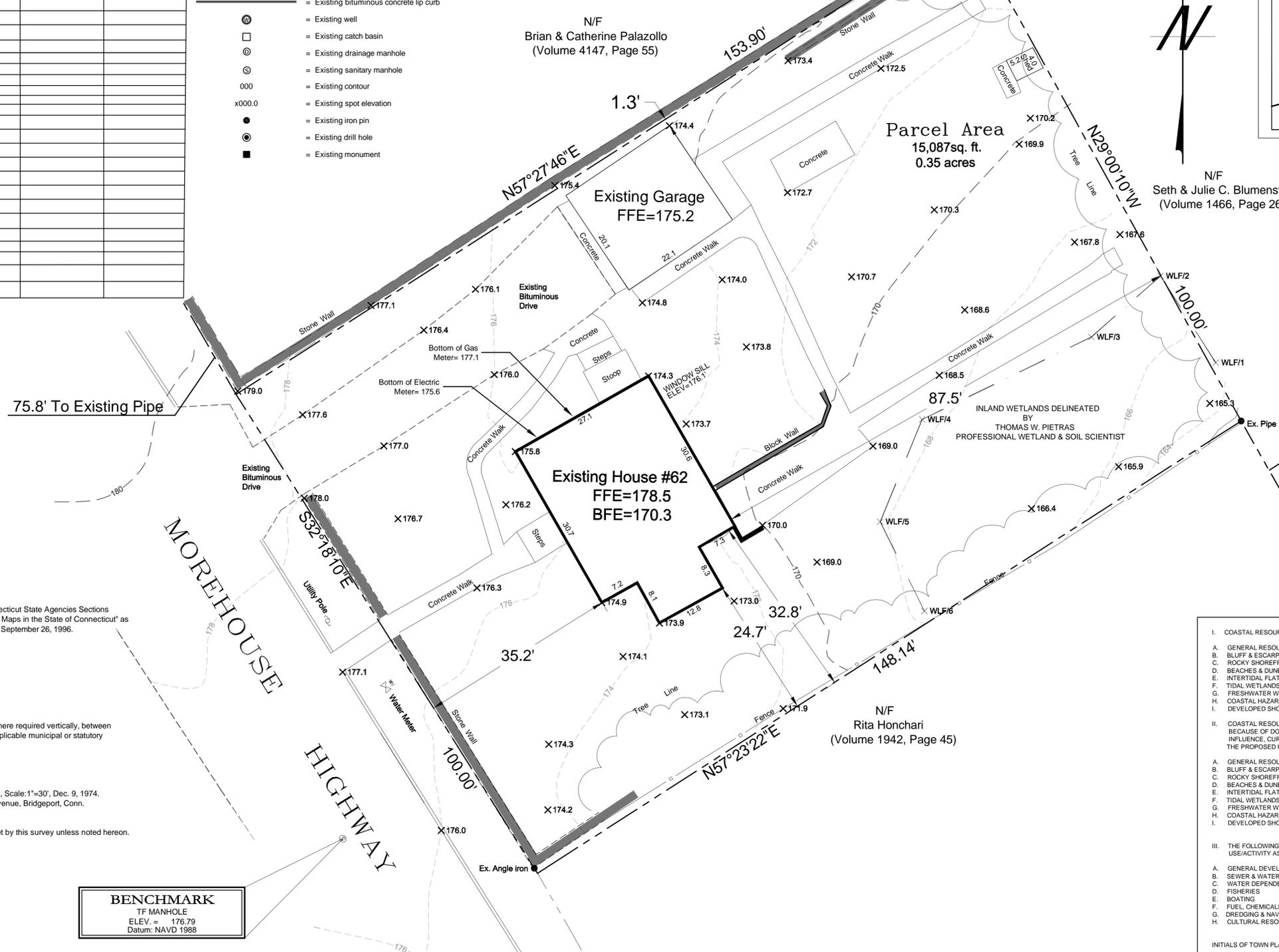
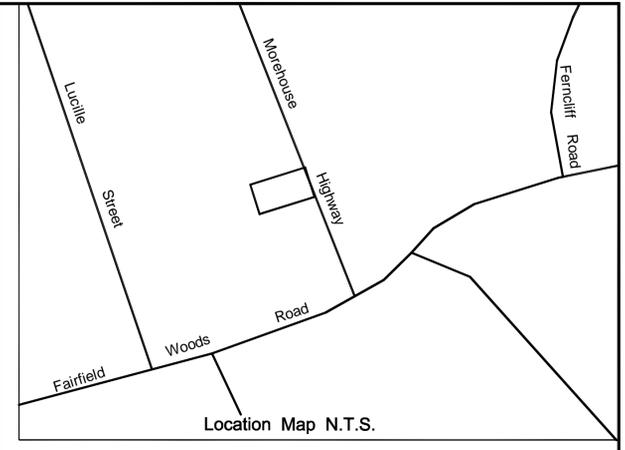


ZONING DATA

Zoning Information -- Zone "A" Residential				
STATUS	REQUIRED	EXISTING CONDITION	PROPOSED	AS-BUILT CONDITION
MINIMUM LOT AREA	9,375 S.F.	15,087 S.F.		
MIN. SQUARE ON LOT	75'	50'		
MINIMUM LOT FRONTAGE	20'	50'		
DENSITY-MIN. LOT AREA PER DWELLING UNIT				
ONE FAMILY	9,375 S.F.	15,087 S.F.		
TWO FAMILY				
THREE FAMILY				
FOUR FAMILY				
EACH ADDITIONAL UNIT				
MINIMUM SETBACKS:				
FROM STREET LINE	30'	35.2'		
SIDE PROPERTY LINES (MORE THAN ONE STORY)	20'	24.7'		
ONE SIDE PROPERTY LINE	25'			
REAR PROPERTY LINE	30'	87.5'		
ONE STREET LINE ON COR. (ONE STORY)	17'			
(MORE THAN ONE STORY)	22'			
MINIMUM FLOOR AREA:				
ONE STORY BUILDING	750 S.F.			
SPLIT LEVEL BUILDING	1,000 S.F.			
TWO OR MORE STORY BLDG TOTAL FLOOR AREA	1,000 S.F.	940 S.F.		
GROUND FLOOR AREA	650 S.F.			
FLOOR AREA PER APARTMENT	500 S.F.			
MAX. HEIGHT FOR BUILDING	32'			
MAX. NO. STORIES FOR BUILDING	2-1/2			
MAX. BLDG LOT COVERAGE (% OF LOT AREA)	20%	9.2%		
MAX. BLDG FLOOR AREA (% OF LOT AREA)	40%			
MINIMUM FIRST FLOOR ELEVATION	FIRM BFE= 11'	FFE= 178.5'		

LEGEND

- = Existing utility pole
- = Existing light pole
- = Existing fire hydrant
- = Existing water valve
- = Existing gas valve
- = Existing underground pipe
- = Existing edge of pavement
- = Existing bituminous concrete lip curb
- = Existing well
- = Existing catch basin
- = Existing drainage manhole
- = Existing sanitary manhole
- = Existing contour
- = Existing spot elevation
- = Existing iron pin
- = Existing drill hole
- = Existing monument



**Average Grade Around Residence:**  
 Elevation= 174.0'  
 Elevation of roof peak= 199.5'  
 Elevation of roof eave= 186.5'  
 Elevation of roof midpoint= 199.5' + 186.5' / 2 = 193.0'

**Height of Residence:**  
 Elevation of roof midpoint - avg. grade= 193' - 174' = 19'  
 Finish floor elevation of elevated residence= 178.5'  
 Concrete floor elevation= (Basement) 170.3'  
 Detached garage floor elevation= 175.2'  
 As-built building lot coverage= N/A at this time  
 As-built building floor area= N/A at this time

- SURVEY NOTES:**
- This map has been prepared pursuant to the Regulation of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
  - Type of survey performed: Zoning Location Survey
  - Boundary determination category: Dependent Resurvey
  - Class of accuracy:  
Horizontal: A-2  
Vertical: T-2
  - The intent of this map is to depict the position horizontally and where required vertically, between particular existing or proposed improvements with respect to the applicable municipal or statutory requirements.
  - Map References:  
a) Revision of property in Fairfield, Conn., for Catherine Ryback, Scale: 1"=30', Dec. 9, 1974, by Fuller & Company, Engineers, Surveyors, 1301 Wood Avenue, Bridgeport, Conn. Fairfield, Connecticut.
  - Per agreement with property owner no boundary corners were set by this survey unless noted hereon. All monumentation found is depicted or noted hereon.
  - Zone: R3
  - Total area: 15,078 S.F. / 0.35 Ac.
  - Peter and Hilda Steiner
  - Town of Fairfield Assessors Map #46 Lot #291
  - Filed in Volume 543, Page 190 of the Town Clerk's office.
  - Contours are established from field topography.
  - Vertical Datum is NAVD 1988 and based on the CGS Mon LX 0935.
  - There are wetlands located on the property as shown.  
There are no tidal wetlands located on the subject property.
  - The subject property is situated in Zone "X", which is not in a "Special Flood Hazard Area" (Firm Map 090007 Panel 428 Suffix F/ Effective date of June 18, 2010). The subject property is not located in Coastal Area Management (CAM).
  - This survey does not include the location of any underground improvements or encroachments, subsurface utility lines or buried debris. Nor does it necessarily reflect the existence of any waste dumps or hazardous materials. The underground items depicted or noted are approximate and are not guaranteed. Notify "CALL BEFORE YOU DIG" 1-800-922-4455 prior to any excavation operations.

**BENCHMARK**  
 TF MANHOLE  
 ELEV. = 176.79  
 Datum: NAVD 1988

I. COASTAL RESOURCES AT AND ADJACENT TO THE SITE:		
A. GENERAL RESOURCE	_____	J. ISLAND
B. BLUFF & ESCARPMENTS	_____	K. SHORELANDS
C. ROCKY SHOREFRONTS	_____	L. SHELLFISH CONGREGATION AREA
D. BEACHES & DUNES	_____	_____
E. INTERTIDAL FLATS	_____	_____
F. TIDAL WETLANDS	_____	M. NEARSHORE COASTAL WATER
G. FRESHWATER WETLANDS & WATERCOURSE	_____	N. OFFSHORE COASTAL WATER
H. COASTAL HAZARD AREAS	_____	O. ESTUARINE EMBAYMENT
I. DEVELOPED SHOREFRONT	_____	P. AIR RESOURCE & AIR QUALITY

II. COASTAL RESOURCES NOT IMMEDIATELY ADJACENT TO THE SITE, BUT BECAUSE OF DOWNSTREAM LOCATION, OFF-SITE DRAINAGE, TIDAL INFLUENCE, CURRENTS AND OTHER FACTORS, MAY BE IMPACTED BY THE PROPOSED USE/ACTIVITY:		
A. GENERAL RESOURCE	_____	J. ISLAND
B. BLUFF & ESCARPMENTS	_____	K. SHORELANDS
C. ROCKY SHOREFRONTS	_____	L. SHELLFISH CONGREGATION AREA
D. BEACHES & DUNES	_____	_____
E. INTERTIDAL FLATS	_____	_____
F. TIDAL WETLANDS	_____	M. NEARSHORE COASTAL WATER
G. FRESHWATER WETLANDS & WATERCOURSE	_____	N. OFFSHORE COASTAL WATER
H. COASTAL HAZARD AREAS	_____	O. ESTUARINE EMBAYMENT
I. DEVELOPED SHOREFRONT	_____	P. AIR RESOURCE & AIR QUALITY

III. THE FOLLOWING COASTAL POLICIES ARE APPLICABLE TO THE USE/ACTIVITY AS PROPOSED:		
A. GENERAL DEVELOPMENT	_____	I. COASTAL STRUCTURES AND FILLING
B. SEWER & WATER LINES	_____	J. PORT AND HARBORS
C. WATER DEPENDENT USES	_____	K. SOLID WASTE
D. FISHERIES	_____	L. OPEN SPACE & AGRICULTURAL LANDS
E. BOATING	_____	M. COASTAL RECREATION AND ACCESS
F. FUEL, CHEMICALS, AND HAZARDOUS MATERIALS	_____	N. DAMS, DIKES AND RESERVOIRS
G. DREDGING & NAVIGATION	_____	O. TRANSPORTATION
H. CULTURAL RESOURCES	_____	P. ENERGY FACILITIES

INITIALS OF TOWN PLAN & ZONING STAFF MEMBER \_\_\_\_\_

ZONING LOCATION SURVEY PREPARED FOR <b>QUISENBERRY ARCARI ARCHITECTS, LLC</b> #62 MOREHOUSE HIGHWAY ASSESSORS MAP #46 / PARCEL #291 FAIRFIELD, CONNECTICUT		
DATE	REVISION	
To the best of my knowledge and belief, this map is substantially correct as noted hereon.  Stephen M. Giudice, L.S. #70145 Reg. No.		AUGUST 19, 2014 SCALE: 1"=10' PROJECT #: 1158 F.B. #: 477 DWG. #: D
NOT VALID UNLESS EMBOSSED SEAL IS AFFIXED HERETO		

ABBREVIATIONS		FINISHES	
A.F.F.	Above Finish Floor	HGT.	Height
A.C.	Acoustic, Acoustical	H.M.	Hollow Metal
A.C.T.	Acoustical Tile	HORIZ.	Horizontal
AC	Air Conditioning	H.B.	Hose Bibb
A.H.U.	Air Handling Unit	IN.	Inch
ALT.	Alternate	INCL.	Included
ALUM.	Aluminum	INFO.	Information
ALF.	Aluminum Frame	I.D.	Inside Diameter
ANCH.	Anchor, Anchorage	INSUL.	Insulation
AB.	Anchor Bolt	INT.	Interior
L	Angle	JT.	Joint
ANOD.	Anodized	K.P.	Kick Plate
APFR.	Approved	LAB	Laboratory
ARCH.	Architect, Architectural	LAV.	Lavatory
ASB.	Asbestos	LTG.	Lighting
A.P.B.O.	As Provided By Owner	MACH.	Machine
A.S.B.O.	As Selected By Owner	MAINT.	Maintenance
ASPH.	Asphalt	MFRG.	Manufacturer
ASSY.	Assembly	M.BD.	Marker Board
ASST.	Assistant	MAS.	Masonry
AUTO.	Automatic	M.O.	Masonry Opening
BM	Beam	MAT.	Material
BRG.	Bearing	MAX.	Maximum
BEV.	Bevel, Beveled	MECH.	Mechanical
BIT.	Bituminous	MEZZ.	Mezzanine
BLK.	Block	MIN.	Minimum
BLKG.	Blocking	MISC.	Miscellaneous
BD.	Board	N	North
BOT.	Bottom	N.I.C.	Not In Contract
B.O.	Bottom Of	N.T.S.	Not To Scale
B.E.J.	Brick Expansion Joint	OFF.	Office
BLDG.	Building	O.C.	On Center
B.U.R.	Built Up Roofing	O.H.	Overhead
CAB.	Cabinet	O.D.	Outside Diameter
C.U.H.	Cabinet Unit Heater	PTD.	Painted
CAP.	Capacity	PR.	Pair
CASE	Casement	P.T.D.	Paper Towel Dispenser
CLG.	Ceiling	PASS.	Passage
CLGHT.	Ceiling Height	PERP.	Perpendicular
CEM.	Cement	PLAS.	Plaster
CTR.	Center	PLAM.	Plastic Laminate
CL.	Centerline	PL.	Plate
C.T.	Ceramic Tile	PLUMB.	Plumbing
C.BD.	Chalk Board	PLYWD.	Plywood
CLO.	Closet	P.V.C.	Polyvinylchloride
COL.	Column	P.E.J.	Precast Expansion Joint
CONC.	Concrete	PREFAB.	Prefabricated
CONF.	Conference	QTY.	Quantity
CJ	Control Joint	Q.T.	Quarry Tile
CONT.	Continuous	RAD.	Radius
CONTR.	Contractor	RWC	Rain Water Conductor
CORR.	Corridor	RECV.	Receiving
CRS.	Course, Courses	REFR.	Refrigerator
DEG.	Degree	REINF.	Reinforce
DEMO.	Demolition	REM	Remove
DEPT.	Department	REQD	Required
DET.	Detail	REV.	Revised, Revision
DIA.	Diameter	R.	Riser
DIM.	Dimension	R.D.	Roof Drain
DIST.	Distance	RM.	Room
DR.	Door	S.N.D.	Sanitary Napkin Dispenser
DBL.	Double	S.N.R.	Sanitary Napkin Receptacle
D.H.	Double Hung	SCHED.	Schedule
DN	Down	SC.	Scupper
D.S.	Downspout	SECT.	Section
DWG.	Drawing	S.J.	Seismic Joint
D.F.	Drinking Fountain	SHT.	Sheet
EA.	Each	SIM.	Similar
ELEC.	Electric, Electrical	S.D.	Soap Dispenser
EW.	Electric Water Cooler	S.T.D.	Sound Transmission Class
EL.	Elevation	S.T.C.	Sound Transmission Coefficient
ELEV.	Elevator	SPEC.	Specifications
EMERG.	Emergency	SQ.	Square
EQ.	Equal	S.F.	Square Feet
EQUIP.	Equipment	S.S.	Stainless Steel
EXIST.	Existing	STD.	Standard
E.T.R.	Existing To Remain	STL.	Steel
EXP.	Expansion	STOR.	Storage
E.J.	Expansion Joint	STRUCT.	Structure, Structural
EXT.	Exterior	S.STL.	Structural Steel
E.I.F.S.	Exterior Insulation Finish System	SUSP.	Suspend, Suspension
FT.	Feet, Foot	S.A.T.C.	Susp. Acoustic Tile Ceiling
F.R.G.P.	Fiber Reinforced Gypsum Panel	T.BD.	Tack Board
FIN.	Finish, Finished	THRU	Through
F.E.	Fire Extinguisher	T.P.D.	Toilet Paper Dispenser
F.R.	Fire Retardant	T.M.E.	To Match Existing
FFRFG.	Fireproofing	T&G	Tongue and Groove
FIXT.	Fixture	T.O.	Top Of
FLASH	Flashing	T.	Tread
FLR.	Floor	TYP.	Typical
F.D.	Floor Drain	U.L.	Underwriter's Laboratory
FLR.FIN.	Floor Finish	U.H.	Unit Heater
FTG.	Footing	U.V.	Unit Ventilator
FDN	Foundation	U.O.N.	Unless Otherwise Noted
FURN.	Furnish, Furnishings, Furniture	VEST.	Vestibule
FURR.	Furred, Furring	VCT.	Vinyl Composition Tile
GA.	Gauge	W.P.	Waterproofing
GALV.	Galvanized	W.W.F.	Welded Wire Fabric
GYP. BD.	Gypsum Board	W.BD.	White Board
G.C.	General Contractor	W	With
H.C.	Handicapped	WD.	Wood

**GYPSUM BOARD**

- PROVIDE AND INSTALL GYPSUM WALL BOARD IN ACCORDANCE WITH AMERICAN STANDARD SPECIFICATIONS FOR THE APPLICATION AND FINISHING OF GYPSUM WALLBOARD, AS APPROVED BY THE AMERICAN STANDARDS ASSOCIATION, LATEST EDITION; APPLICABLE PARTS THEREOF ARE HEREBY MADE A PART OF THIS SPECIFICATION EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE CALLED FOR IN THE SPECIFICATION, IN LOCAL CODES, OR BY THE MANUFACTURER OF THE GYPSUM WALLBOARD, WHOSE REQUIREMENTS SHALL BE FOLLOWED.
- PROVIDE AND INSTALL MOISTURE-RESISTANT GYPSUM WALLBOARD WHERE REQUIRED. PROVIDE TYPE X GYPSUM BOARD AS CALLED FOR ON THE DRAWINGS.
- PROVIDE ½" TYPE X GYPSUM BOARD AT ALL WALLS BETWEEN GARAGE AND HOUSE. ¾" TYPE X GYPSUM BOARD SHALL BE PROVIDED AT GARAGE CEILING WHICH HAS LIVING SPACE ABOVE.

**PAINT**

- APPLICATION OF PAINT OR OTHER COATING SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. READY-MIXED PAINT SHALL NOT BE THINNED, EXCEPT AS PERMITTED IN THE APPLICATION INSTRUCTIONS.

**THERMAL & MOISTURE PROTECTION**

- PROVIDE AND INSTALL BUILDING THERMAL INSULATION IN ACCORDANCE WITH THE FOLLOWING:
  - EXTERIOR WALLS: R-19 MINIMUM
  - SLOPED CEILINGS: R-30 MINIMUM
  - FLAT CEILINGS: R-38 MINIMUM
  - CEILINGS OVER UNCONDITIONED SPACE: R-21 MINIMUM
  - CEILINGS OVER BASEMENT: R-21 MINIMUM
- INSTALL VENTING IN SLOPED CEILING AREAS TO PERMIT AIRFLOW ALONG THE COOL SIDE OF THE INSULATION FROM THE EAVE TO RIDGE.
- DO NOT LEAVE KRAFT-PAPER FACED INSULATION EXPOSED. INSTALL TYPE FSK FOIL TO PROTECT EXPOSED INSULATION.
- INSTALL EITHER INTERIOR AND/OR EXTERIOR FOUNDATION INSULATION AS REQUIRED BY LOCAL BUILDING CODES.

**ELECTRICAL NOTES**

- ELECTRICAL DRAWINGS ARE INTENDED TO BE USED FOR SCHEMATIC DESIGN ONLY. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF FINAL ELECTRICAL DESIGN.
- FINAL LOCATIONS OF ALL ELECTRICAL DEVICES AND THEIR INTENDED OPERATION IS TO BE COORDINATED WITH THE OWNER.
- ELECTRICAL CONTRACTOR SHALL PURCHASE AND INSTALL ALL NEW COMPONENTS AS REQUIRED TO PROPERLY SERVICE THE SPACE(S) AFFECTED BY THIS CONSTRUCTION PROJECT. IF THE MODIFICATION OF EXISTING ELECTRICAL SYSTEMS IS NECESSARY, SUCH MODIFICATIONS SHALL NOT ADVERSELY AFFECT THE OPERATION OF THESE SYSTEMS.
- ELECTRICAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
- COORDINATE ELECTRICAL WORK WITH THE WORK OF OTHER TRADES. DO NOT ALTER THE WORK OF PREVIOUS TRADES WITHOUT PRIOR APPROVAL.
- ELECTRICAL CONTRACTOR MUST PROVIDE AND INSTALL ALL DUCT WORK ASSOCIATED WITH EXHAUST FANS.
- PERFORM ALL NEW ELECTRICAL WORK IN ACCORDANCE WITH LOCAL CODES AND ACCEPTED STANDARDS OF PRACTICE.

**ELECTRICAL MOUNTING HEIGHTS**

- ALL DIMENSIONS ARE TO THE CENTER OF THE DEVICE UNLESS OTHERWISE NOTED. SEE ELECTRICAL DRAWINGS FOR TYPES AND LOCATIONS.
- RECEPTACLES: 18" A.F.F. (AT LOCATIONS ABOVE CASEWORK, MOUNT BOTTOM OF RECEPTACLE AT 2" ABOVE BACKSPASH, AT LOCATIONS BELOW CASEWORK, MOUNT AT 24" A.F.F.)
- EXTERIOR RECEPTACLES: 24" A.F.F., (20" A.F.F.)
- SWITCHES: 48" A.F.F.
- BOILER EMERGENCY SWITCHES: 60" A.F.F.
- DATA / PHONE OUTLETS: 18" A.F.F.
- TV OUTLETS: 18" A.F.F. OR 18" BELOW FINISHED CEILING
- WALL PHONE: 48" A.F.F. TO CENTER OF EARPIECE
- SECURITY KEYPAD: 48" A.F.F.

**CONCRETE**

- ALL CONCRETE WORK SHALL BE IN COMPLIANCE WITH THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 318) AND "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDING" (ACI 301).
- CONCRETE SHALL HAVE THE FOLLOWING MINIMUM COMPRESSIVE STRENGTH AT THE AGE OF 28 DAYS: 3000PSI, EXCEPT 4000PSI FOR EXTERIOR WORK.
- CONCRETE SHALL HAVE A SLUMP NOT EXCEEDING 5", EXCEPT FOR 4" SLABS.
- CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FOR THE CURING OF CONCRETE AS DIRECTED BY ACI 301. USE OF CALCIUM CHLORIDE SHALL NOT BE PERMITTED.
- REINFORCING BARS SHALL BE DEFORMED BILLET STEEL BARS AND CONFORM TO ASTM A-615-GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO ASTM-A-185.
- REINFORCING BARS MARKED "CONT." SHALL BE LAPPED 32 BAR DIAMETERS AT SPLICES AND CORNERS, HOOKED AT DISCONTINUOUS ENDS. WELDED WIRE FABRIC SHALL BE LAPPED 6" AT END SPLICES.
- CONTRACTOR SHALL INSTALL ALL ANCHORS, ANCHOR BOLTS, LEVELING PLATES, AND ALL INSERTS TO BE SET IN CONCRETE AS REQUIRED FOR THE WORK OF ALL TRADES.
- ALUMINUM OBJECTS SHALL NOT BE EMBEDDED OR IN CONTACT WITH CONCRETE.
- REINFORCED CONCRETE FLOOR SLABS SHALL BE PLACED ON A MINIMUM OF 6" OF CRUSHED ¾" STONE ON STRUCTURAL FILL PLACED IN 2 LAYERS AND COMPACTED TO 95% OF MODIFIED OPTIMUM DENSITY ON FIRM, INORGANIC, VIRGIN SOIL. NOT LESS THAN ONE LAYER OF STRUCTURAL FILL SHALL BE USED.

**CONCRETE MASONRY**

- ALL MASONRY SHALL CONFORM TO AND BE ERECTED IN ACCORDANCE WITH ACI 530 BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES AND ACI 530.1 SPECIFICATION FOR MASONRY STRUCTURES.
- ALL MASONRY WALLS ARE TO BE CONSTRUCTED OF CONCRETE MASONRY WITH COMPRESSIVE STRENGTH FM = 1500 P.S.I. THE CONTRACTOR IS RESPONSIBLE FOR ASSURING MASONRY STRENGTH AS SPECIFIED.
- TYPE "M" OR "S" MORTAR SHALL BE USED IN ALL MASONRY.
- CONTINUOUS HORIZONTAL JOINT REINFORCING SHALL BE INSTALLED IN ALTERNATE COURSES OF ALL MASONRY. EXTERIOR MASONRY VENEER SHALL BE TIED TO INTERIOR MASONRY BLOCKWORK IN ACCORDANCE WITH DRAWING NOTATIONS.
- REINFORCING STEEL FOR MASONRY SHALL BE GRADE 60. ALL LAP SPLICES SHALL BE A MINIMUM OF 48 BAR DIAMETERS (I.E. #4 BAR = 24").
- ALL MASONRY UNIT CORES CONTAINING REINFORCING BARS SHALL BE FILLED WITH 2000 P.S.I. GROUT. GROUT SHALL BE INSTALLED IN USING LOW LIFT GROUT METHOD (5'-0" MAXIMUM LIFTS).

**METALS**

- STRUCTURAL STEEL COMPONENTS SHALL CONFORM TO THE CURRENT SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS AS ADOPTED BY THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION.
- UNLESS OTHERWISE NOTED, ALL STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH ASTM SPECIFICATIONS A-36. STEEL FOR PIPE COLUMNS SHALL BE IN ACCORDANCE WITH ASTM SPECIFICATIONS A-501.
- ALL STEEL-TO-STEEL CONNECTIONS SHALL BE FABRICATED IN ACCORDANCE WITH INDUSTRY STANDARD PRACTICES FOR BOLTED OR WELDED CONNECTIONS.
- ALL STEEL SHALL BE PAINTED WITH ONE SHOP COAT OF RED-OXIDE PRIMER. GALVANIZED MEMBERS SHALL BE UTILIZED WHERE SHOWN ON THE DRAWINGS.

**WOOD**

- ALL STRUCTURAL WOOD SHALL BE IN ACCORDANCE WITH THE "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION" AND THE "MANUAL OF HOUSE FRAMING" AS PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION (NFPA), INCLUDING PROVISIONS FOR NAILING, FIRE STOPPING, ANCHORAGE, FRAMING AND BRACING.
- UNLESS NOTED OTHERWISE ON THE DRAWINGS, STRUCTURAL LUMBER SHALL BE AS FOLLOWS:
  - INTERIOR EXPOSURE: STRUCTURAL WOOD PROTECTED FROM MOISTURE SHALL BE HEM-FIR #2 OR BETTER
  - EXTERIOR EXPOSURE: STRUCTURAL WOOD EXPOSED TO MOISTURE, THE WEATHER, IN CONTACT WITH CONCRETE, LOCATED WITHIN 8 INCHES OF SOIL, OR LESS THAN 18 INCHES FROM THE FLOOR OF A CRAWL SPACE SHALL BE PRESERVATIVE TREATED SOUTHERN YELLOW PINE #2 OR BETTER, WITH RETENTION MEETING OR EXCEEDING THE REQUIREMENTS OF THE BUILDING CODE.
  - PLYWOOD: PLYWOOD SHALL BE IN ACCORDANCE WITH THE AMERICAN PLYWOOD ASSOCIATION (APA) SPECIFICATIONS (TYPE 1 OR 2). PLYWOOD FLOOR DECKING SHALL BE CONTINUOUS OVER TWO OR MORE SPANS WITH THE FACE-GRAIN RUNNING PERPENDICULAR TO SUPPORT JOISTS.
    - ROOF SHEATHING: C-DEXT-APA, ½" THICK
    - WALL SHEATHING: C-DEXT-APA, ½" THICK
    - SUBFLOORING: C-DEXT-APA, ¾" THICK
- NAILING SCHEDULE SHALL BE IN ACCORDANCE WITH THE LOCAL BUILDING CODE'S RECOMMENDED FASTENING SCHEDULE; NAIL PLYWOOD SHEATHING AND SUBFLOORING AND C AT EDGES AND 12" O.C. ALONG INTERMEDIATE SUPPORTS, LEAVING SPACES BETWEEN PANELS AS RECOMMENDED BY THE APA. UTILIZE RING-SHANK OR SCREW TYPE NAILS FOR PLYWOOD SUBFLOORING AND APPLY APPROPRIATE CONSTRUCTION ADHESIVE TO ADEQUATELY SECURE PLYWOOD TO FLOOR JOISTS.
- INSTALL JOIST HANGERS, COLUMN CAPS AND BASES WHERE REQUIRED. METAL FABRICATIONS SHALL BE OF APPROPRIATE SIZE AND TYPE FOR THE MEMBERS AND SUPPORT CONDITIONS. WHERE FLANGE SUPPORT JOIST HANGERS ARE USED IN CONJUNCTION WITH STEEL BEAMS, CARE SHALL BE TAKEN TO INSTALL THE HANGERS CLEAR OF CONTACT WITH THE STEEL BEAM BY INSTALLING 2X WOOD TOP PLATES.
- NOTCHING SHALL NOT EXCEED 1/8TH OF THE DEPTH OF A JOIST OR RAFTER AND SHALL OCCUR ONLY IN THE OUTER QUARTER OF THE SPAN. NOTCHES SHALL NOT BE PERMITTED IN THE MIDDLE HALF OF THE SPAN. NOTCH LENGTH SHALL NOT EXCEED 1/3RD OF THE JOIST DEPTH. NOTCHES ARE NOT PERMITTED IN ENGINEERED LUMBER PRODUCTS.
- HOLES IN JOISTS OR RAFTERS SHALL OCCUR IN THE MIDDLE 1/3RD OF THE SPAN. THE HOLE DIAMETER SHALL NOT EXCEED 1/3RD OF THE JOIST DEPTH. HOLES IN ENGINEERED LUMBER PRODUCTS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES.
- ENGINEERED LUMBER INDICATED ON THE DRAWINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. JOISTS LABELED TJI ARE COMPOSITE I-JOISTS AS MANUFACTURED BY TRUS-JOIST. MEMBERS LABELED LVL ARE LAMINATED VENEER LUMBER (1.9E MICROLAM BY TRUS-JOIST). THE SUBSTITUTION OF OTHER PRODUCTS ARE ONLY PERMITTED WITH BACKUP ENGINEERING PLANS AND CALCULATIONS.

**FOUNDATION**

- ALL FOOTINGS SHALL REST ON UNDISTURBED SOIL WITH A MINIMUM BEARING CAPACITY OF 4000 PSF. BACKFILL OVER-EXCAVATION WITH CONCRETE, NOT ADDITIONAL SOIL.
- NO BACKFILLING OF FOUNDATION WALLS SHALL BE UNDERTAKEN UNTIL SUITABLE WALL BRACING (TEMPORARY OR PERMANENT) HAS BEEN INSTALLED.
- DO NOT POUR FOOTINGS ON FROZEN SOIL. REMOVE ALL FROST PRIOR TO POURING CONCRETE.
- BOTTOM OF FOOTINGS SHALL BE INSTALLED BELOW GRADE TO PROVIDE PROTECTION FROM FROST PENETRATION. CONSULT WITH LOCAL BUILDING OFFICIALS REGARDING REQUIRED DEPTH IN THE LOCAL WHERE THE FOUNDATION IS CONSTRUCTED.
- PROVIDE 2-#5 REINFORCING BARS CONTINUOUS IN THE TOP AND BOTTOM OF WALLS, AND IN CONTINUOUS FOOTINGS. SEE FOUNDATION PLAN FOR ADDITIONAL REINFORCING REQUIRED AT COLUMN FOOTINGS.
- PROVIDE ½" DIAMETER ANCHOR BOLTS AT 6'-0" O.C. MAXIMUM TO SECURE FRAMING SILL TO FOUNDATION.
- PROVIDE EXTERIOR AND/OR INTERIOR FOOTING DRAINS AS REQUIRED BY SITE CONDITIONS.
- INSTALL FOUNDATION WATERPROOFING TO BELOW GRADE SURFACES.
- INSTALL FOUNDATION INSULATION AS REQUIRED BY LOCAL CODES.

DESIGN CRITERIA									
GROUND SNOW LOAD	WIND DESIGN			SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	
	SPEED (mph)	TOPOGRAPHIC effects	WIND EXPOSURE CATEGORY		Weathering	Frost heave depth	Teminate		
30 psf	100	r/ia	B	B	SEVERE	42"	MODERATE TO HEAVY	7° F	
ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARD	AIR FREEZING INDEX	MEAN ANNUAL TEMP	CLIMATE ZONE					
YES	ZONE X	1,500 OR LESS	50° F	5A					

CODES THIS PROJECT WAS DESIGNED TO:  
 2009 INTERNATIONAL RESIDENTIAL CODE W/ 2013 CONNECTICUT AMENDMENT  
 2009 INTERNATIONAL ENERGY CONSERVATION CODE W/ 2013 CONNECTICUT AMENDMENT  
 2011 NATIONAL ELECTRICAL CODE (NFPA 70) W/ 2013 CONNECTICUT AMENDMENT

**LIST OF DRAWINGS**

COVER	
SURVEY	
G1.0	GENERAL NOTES
D1.1	DEMOLITION PLANS
HM-01	HAZMAT ABATEMENT BASEMENT
HM-02	HAZMAT ABATEMENT FIRST FLOOR
HM-03	HAZMAT ABATEMENT SECOND FLOOR
HM-04	HAZMAT ABATEMENT ROOF
A1.1	FLOOR PLANS
A2.1	EXTERIOR ELEVATIONS
A3.1	DOOR AND WINDOW ELEVATIONS & DETAILS
A4.1	ROOF PLANS & DETAILS
A5.1	KITCHEN ELEVATIONS & MISC. DETAILS
F-1	PLUMBING FLOOR PLANS
F-2	PLUMBING SPECIFICATIONS & DETAILS
M-1	HVAC FLOOR PLANS
M-2	HVAC DETAILS
E-1	ELECTRICAL FLOOR PLANS
E-2	ELECTRICAL SCHEDULES AND DETAILS

**ARCHITECTURAL SYMBOLS**

	EXISTING WALL
	WALL TO BE DEMOLISHED
	NEW STUD WALL
	NEW CMU WALL
	NEW FOUNDATION WALL
	ROOM NAME FLOOR FINISH ROOM SIZE (if applicable)
	SECTION MARKER
	ELEVATION MARKER
	WINDOW IDENTIFICATION
	ELEVATION MARKER
	EXISTING DOOR
	NEW DOOR

**GENERAL NOTES**

- ALL CONSTRUCTION ON THIS HOME, AND ANY CHANGES MADE TO THE DESIGN OF THIS HOME, EITHER BEFORE OR DURING CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE BUILDING CODE. NOTHING REPRESENTED WITHIN THESE PLANS SHALL ALLEVIATE THE APPLICABLE CODE REQUIREMENTS FOR THE CONSTRUCTION RELATED TO THIS PROJECT.
- NOTIFY QUISENBERRY ARCAI ARCHITECTS, LLC AT (860) 677-4594 IMMEDIATELY IF PROBLEMS SHOULD ARISE DURING THE CONSTRUCTION ON THIS HOME WITH RESPECT TO STRUCTURAL INTEGRITY, FRAMING CONFLICTS, OR GENERAL CONCERNS.
- THESE DRAWINGS DO NOT REPRESENT ALL COMPONENTS OR DETAILS REQUIRED TO PROPERLY CONSTRUCT THIS HOME. IT IS ASSUMED THAT THE WORK WILL BE PERFORMED BY COMPETENT, SKILLED AND LICENSED TRADE CONTRACTORS IN ACCORDANCE WITH INDUSTRY STANDARDS AND CARE.
- UNLESS OTHERWISE NOTED ON THE DRAWINGS, ALL NEW FINISHES (ROOFING, SIDING, TRIM, ETC.) SHALL MATCH EXISTING.
- PATCH EXISTING AREAS AFFECTED BY THE NEW WORK. MATCH EXISTING FINISHES UNLESS DIRECTED OTHERWISE BY THE OWNER.
- EXTEND EXISTING SERVICES (MECHANICAL, PLUMBING, ELECTRICAL, ETC.) TO ACCOMMODATE THE NEW CONSTRUCTION. PROVIDE UPGRADES TO EXISTING COMPONENTS AS NECESSARY TO PROVIDE SATISFACTORY PERFORMANCE WITHIN THE COMPLETED STRUCTURE.



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**REHABILITATION/RECONSTRUCTION WORK FOR:**  
**HILDA STEINER**  
 APPLICANT #2322  
 62 MOREHOUSE HIGHWAY  
 FAIRFIELD, CT

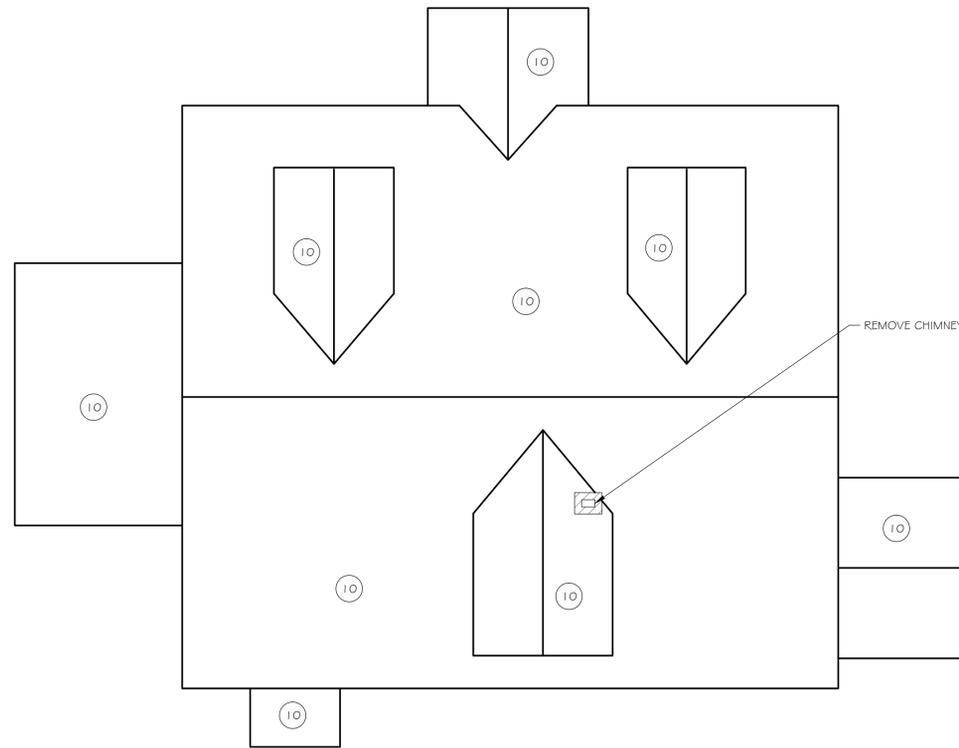
**Sheet Description:**  
**GENERAL NOTES**

**Issue Dates:**  
**SEPTEMBER 30, 2014**

**Scale: No Scale**

**Project #: QA 1346-20** **Drawn By: CJO**

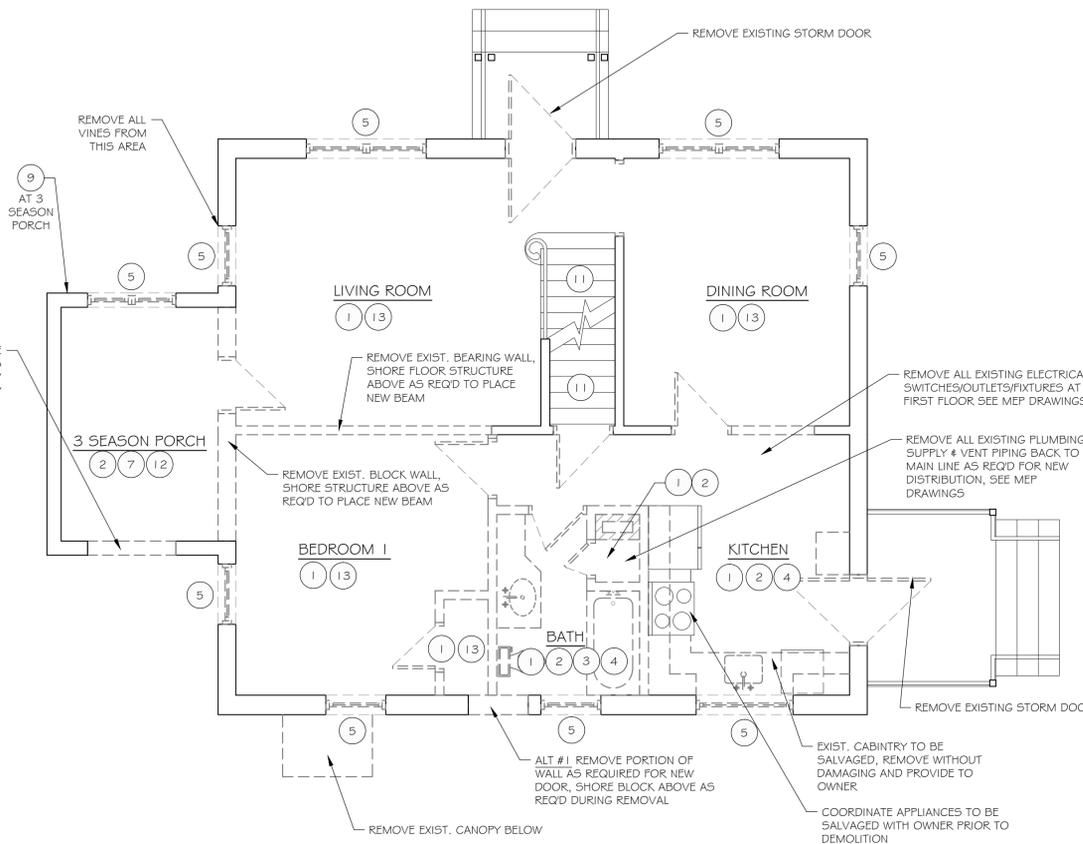
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**DEMOLITION ROOF PLAN**

SCALE: 1/4" = 1'-0"

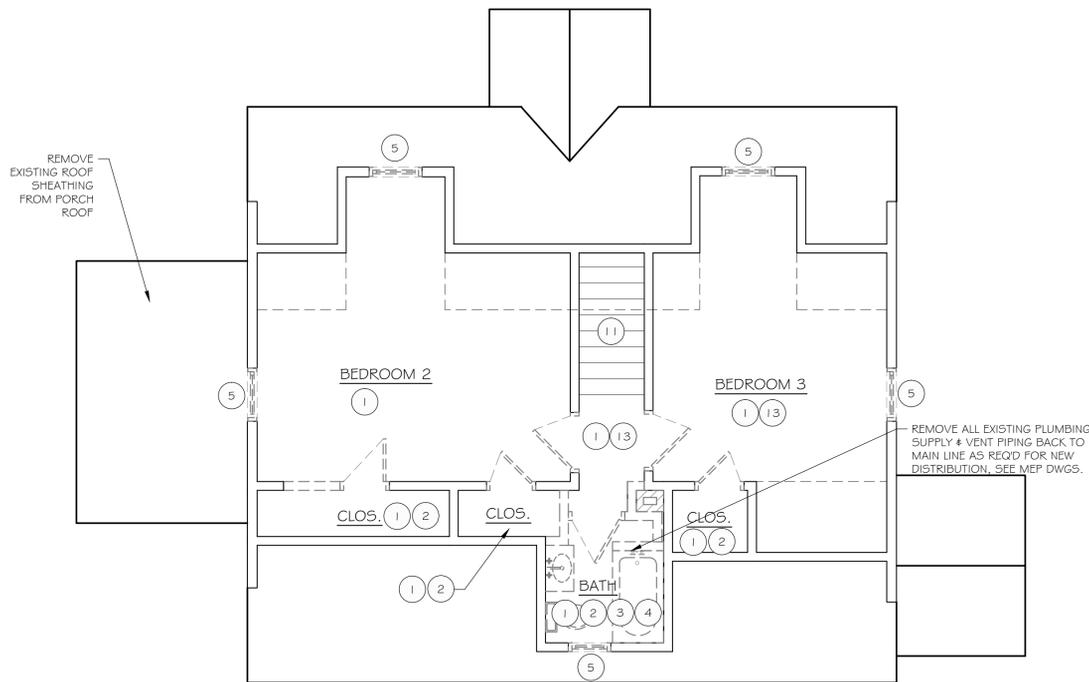
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**DEMOLITION MAIN LEVEL FLOOR PLAN**

SCALE: 1/4" = 1'-0"

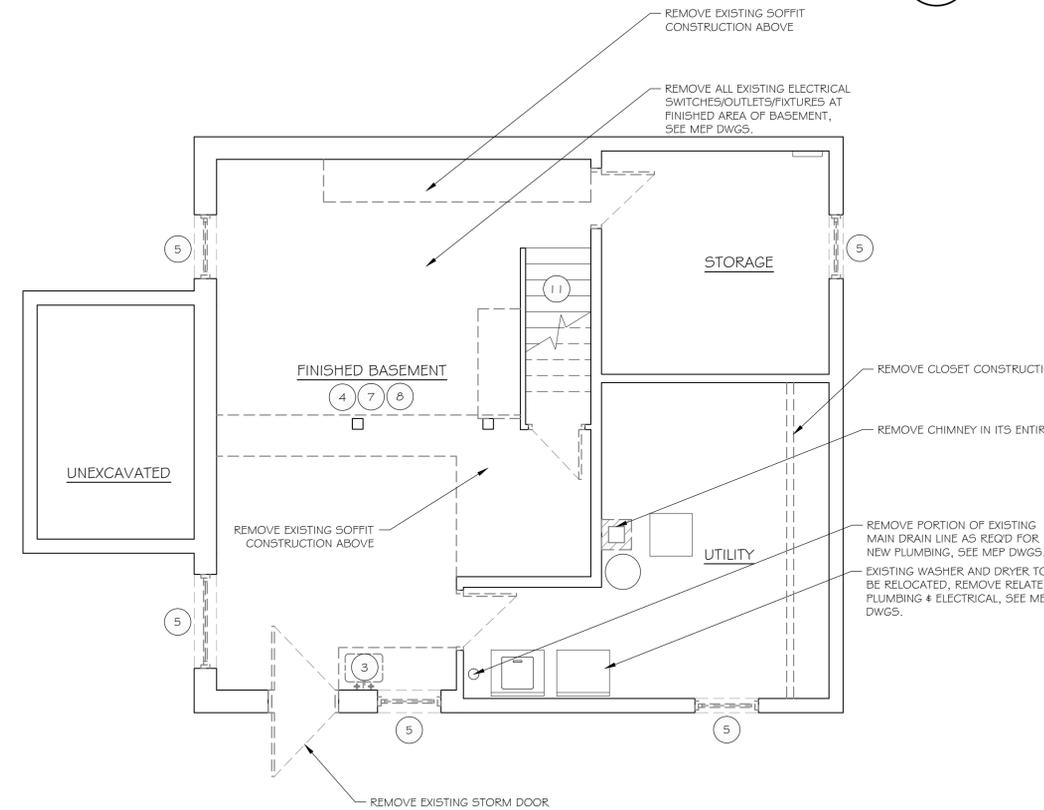
2



**DEMOLITION UPPER LEVEL FLOOR PLAN**

SCALE: 1/4" = 1'-0"

3



**DEMOLITION BASEMENT LEVEL FLOOR PLAN**

SCALE: 1/4" = 1'-0"

1

**GENERAL DEMOLITION NOTES:**

- WALLS/DOORS/ETC. SHOWN DASHED ARE TO BE REMOVED
- REFER TO HAZARDOUS MATERIALS REPORT & DRAWINGS PRIOR TO START OF DEMOLITION FOR EXTENT OF AND REQUIREMENTS FOR THE REMOVAL OF HAZARDOUS MATERIALS
- COORDINATE WITH OWNER ITEMS TO BE REMOVED AND SAVED PRIOR TO START OF DEMOLITION

**DEMOLITION KEY NOTES:**

- 1 REMOVE ALL PLASTER & LATH DOWN TO EXISTING FRAMING/MASONRY WALLS ON ALL WALLS & CEILINGS
- 2 REMOVE ALL FLOOR FINISHES DOWN TO EXISTING SUB FLOOR
- 3 REMOVE ALL EXISTING PLUMBING FIXTURES
- 4 REMOVE ALL EXISTING CABINRY & COUNTER TOPS
- 5 REMOVE EXISTING WINDOW AND RELATED CONSTRUCTION BACK TO ROUGH OPENING
- 6 REMOVE EXISTING DOOR AND RELATED CONSTRUCTION BACK TO ROUGH OPENING
- 7 REMOVE ALL DRYWALL BACK TO EXISTING FRAMING
- 8 REMOVE EXISTING FLOORING & SLEEPER CONSTRUCTION BACK TO SLAB
- 9 NOT USED
- 10 REMOVE EXISTING ASPHALT SHINGLE ROOFING AND ANY UNDERLYING LAYERS OF ROOFING BACK TO EXISTING ROOF SHEATHING. ALL EXISTING ROOF FLASHINGS & ACCESSORIES TO BE REMOVED.
- 11 REMOVE EXISTING FLOORING FINISH FROM STAIRS
- 12 REMOVE EXISTING ACOUSTIC CEILING SYSTEM
- 13 REMOVE EXIST CARPET, PAD & TACK STRIPS DOWN TO EXISTING WOOD FINISH FLOOR



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**HILDA STEINER**

APPLICANT #2322

62 MOREHOUSE HIGHWAY FAIRFIELD, CT

Sheet Description:

**DEMOLITION PLANS**

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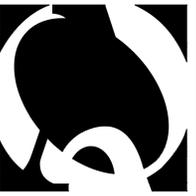
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Project #: QA 1346-20

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REHABILITATION/RECONSTRUCTION WORK FOR:

**HILDA STEINER**

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62 MOREHOUSE HIGHWAY FAIRFIELD, CT

Sheet Description:

HAZARDOUS  
MATERIALS  
ABATEMENT  
BASEMENT

Issue Dates:

(INSERT BID DATE)

Project #:  
QA 1346-20

Drawn By:  
A6

Sheet #:

HM-01

**HAZARDOUS MATERIALS ABATEMENT NOTES**

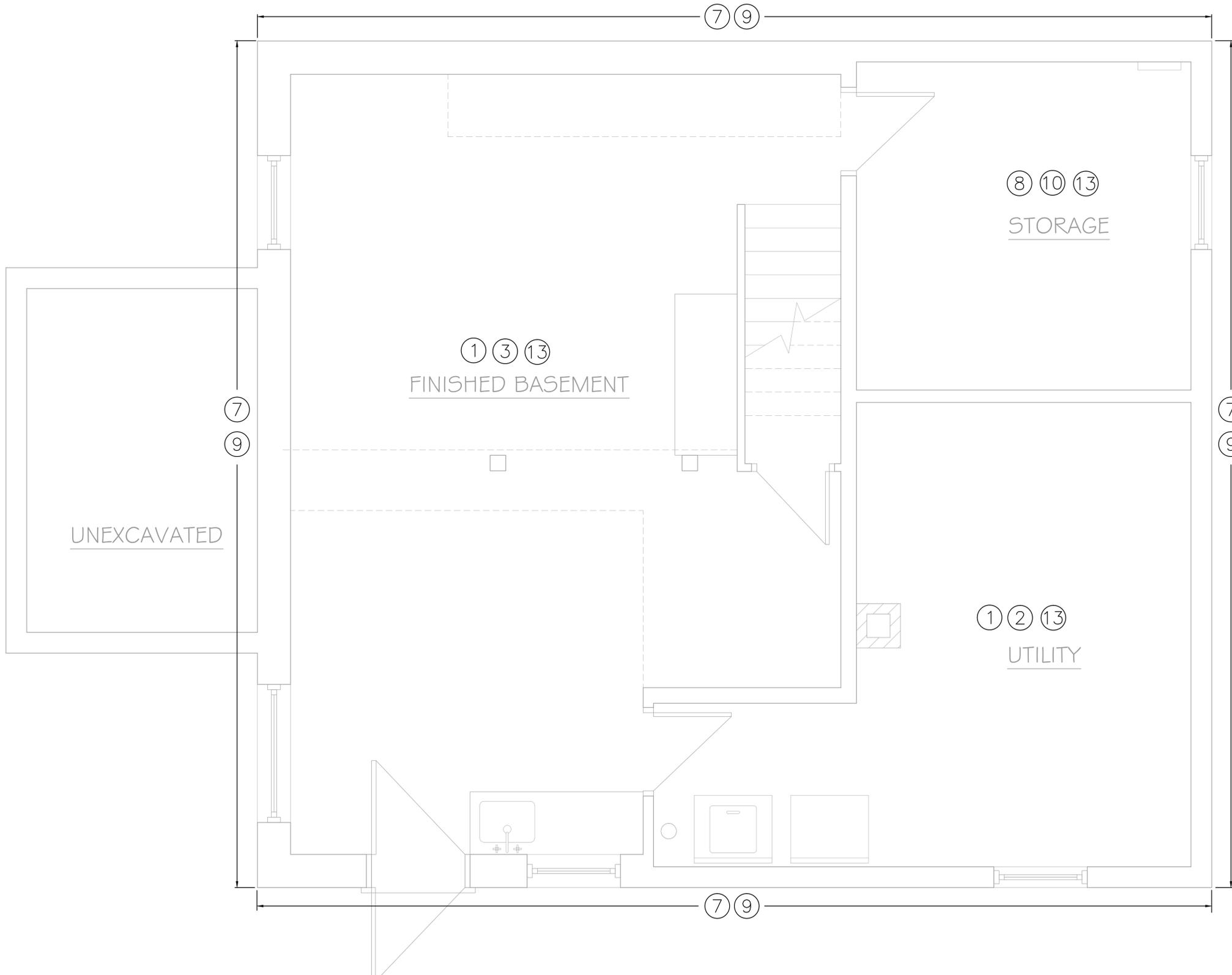
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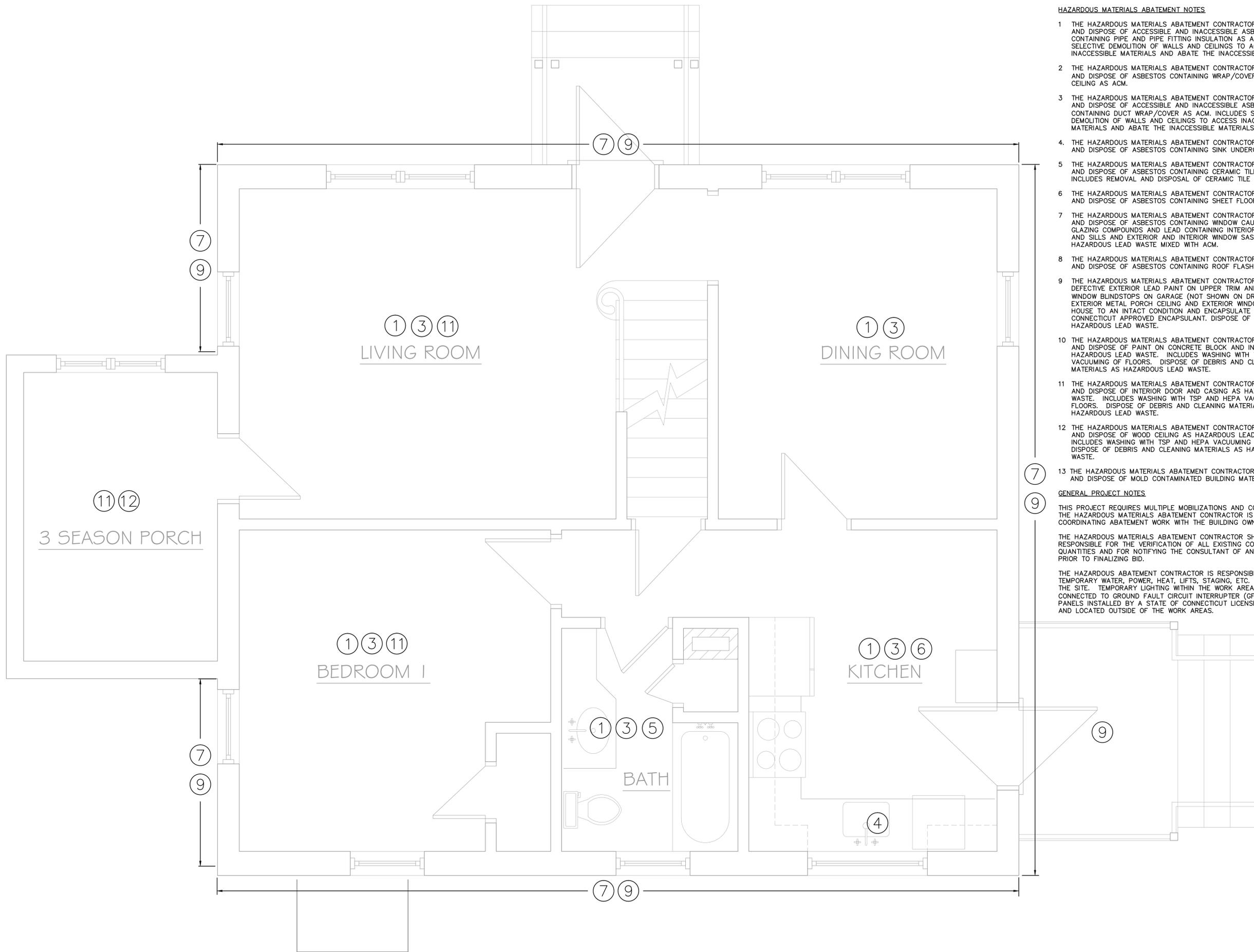
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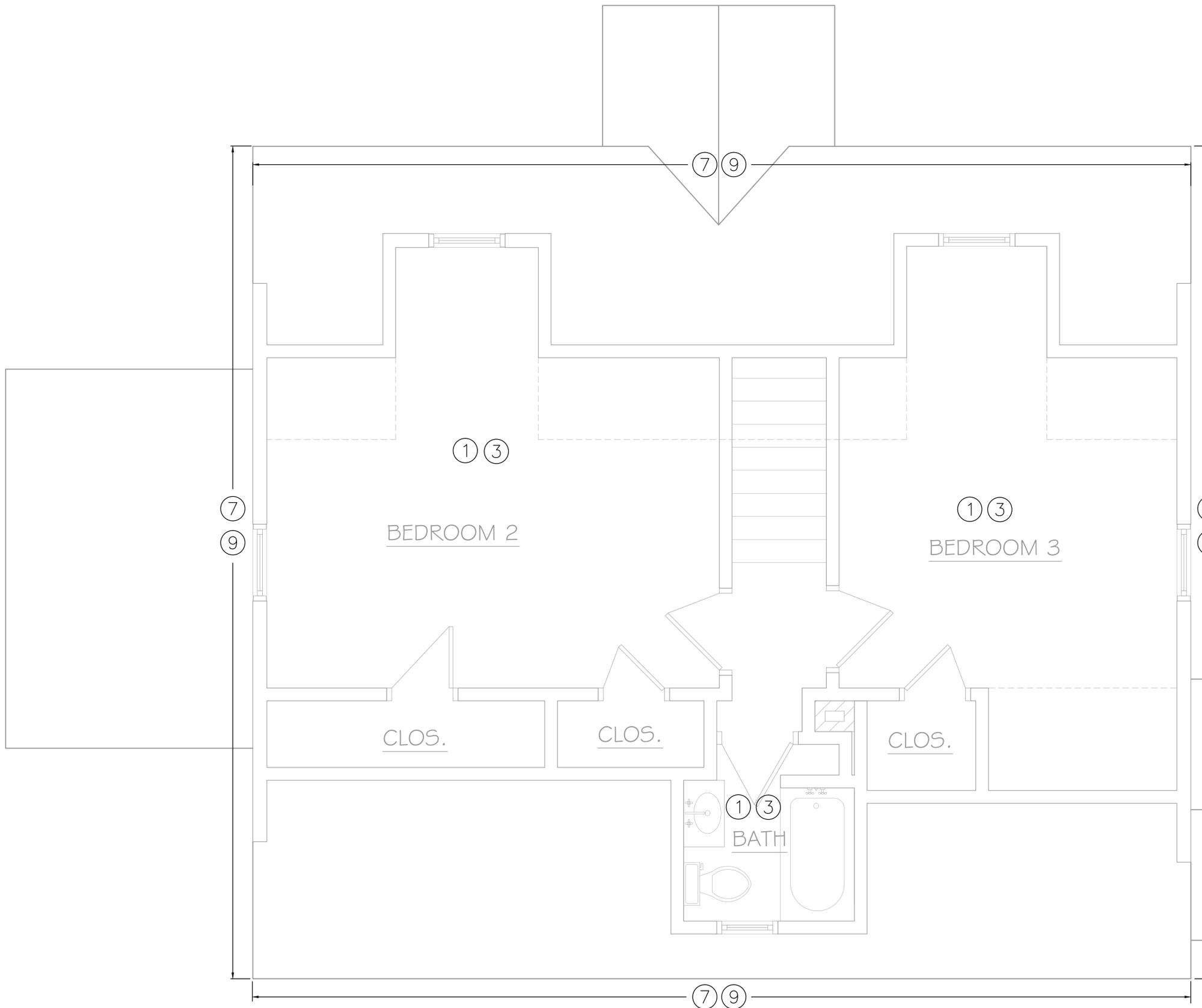
**REHABILITATION/RECONSTRUCTION WORK FOR:**  
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**Sheet Description:**  
 HAZARDOUS MATERIALS ABATEMENT  
 1-st FLOOR

**Issue Dates:**  
 (INSERT BID DATE)

**Project #:** QA 1346-20  
**Drawn By:** A6

**Sheet #:**  
 HM-02



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62 MOREHOUSE HIGHWAY FAIRFIELD, CT

**Sheet Description:**

HAZARDOUS MATERIALS ABATEMENT  
 2-nd FLOOR

**Issue Dates:**

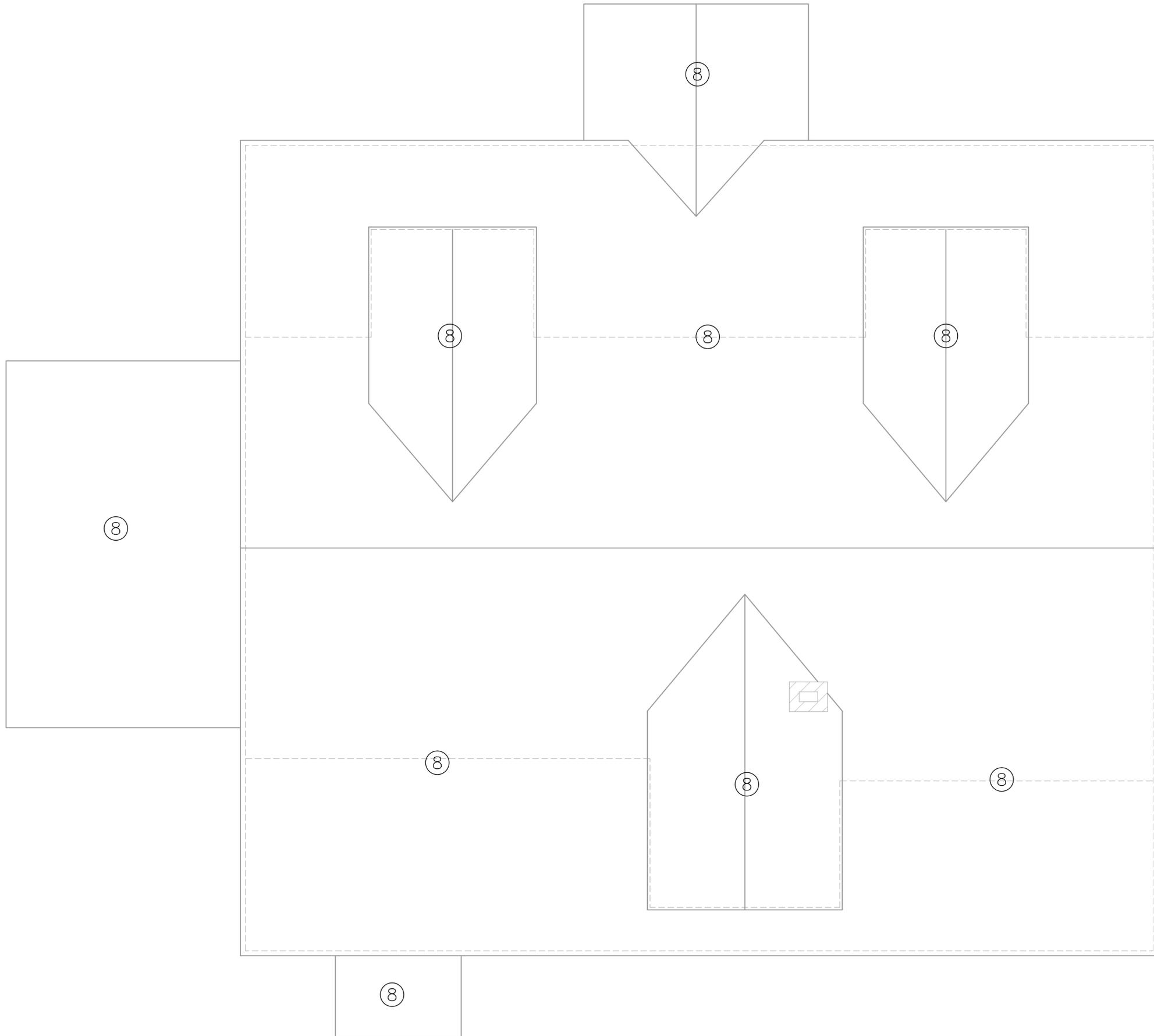
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Project #: QA 1346-20

Drawn By: A6

**Sheet #:**

HM-03



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- 9 THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL SCRAPE DEFECTIVE EXTERIOR LEAD PAINT ON UPPER TRIM AND EXTERIOR WINDOW BLINDSTOPS ON GARAGE (NOT SHOWN ON DRAWINGS) AND EXTERIOR METAL PORCH CEILING AND EXTERIOR WINDOW TRIM ON HOUSE TO AN INTACT CONDITION AND ENCAPSULATE WITH CONNECTICUT APPROVED ENCAPSULANT. DISPOSE OF DEBRIS AS HAZARDOUS LEAD WASTE.
- 10 THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE AND DISPOSE OF PAINT ON CONCRETE BLOCK AND INTERIOR DOOR AS HAZARDOUS LEAD WASTE. INCLUDES WASHING WITH TSP AND HEPA VACUUMING OF FLOORS. DISPOSE OF DEBRIS AND CLEANING MATERIALS AS HAZARDOUS LEAD WASTE.
- 11 THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE AND DISPOSE OF INTERIOR DOOR AND CASING AS HAZARDOUS LEAD WASTE. INCLUDES WASHING WITH TSP AND HEPA VACUUMING OF FLOORS. DISPOSE OF DEBRIS AND CLEANING MATERIALS AS HAZARDOUS LEAD WASTE.
- 12 THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE AND DISPOSE OF WOOD CEILING AS HAZARDOUS LEAD WASTE. INCLUDES WASHING WITH TSP AND HEPA VACUUMING OF FLOORS. DISPOSE OF DEBRIS AND CLEANING MATERIALS AS HAZARDOUS LEAD WASTE.
- 13 THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE AND DISPOSE OF MOLD CONTAMINATED BUILDING MATERIALS

**GENERAL PROJECT NOTES**

THIS PROJECT REQUIRES MULTIPLE MOBILIZATIONS AND CONTAINMENTS. THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR IS RESPONSIBLE FOR COORDINATING ABATEMENT WORK WITH THE BUILDING OWNER.

THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL EXISTING CONDITIONS AND QUANTITIES AND FOR NOTIFYING THE CONSULTANT OF ANY DISCREPANCIES PRIOR TO FINALIZING BID.

THE HAZARDOUS ABATEMENT CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY WATER, POWER, HEAT, LIFTS, STAGING, ETC. AS NEEDED AT THE SITE. TEMPORARY LIGHTING WITHIN THE WORK AREAS MUST BE CONNECTED TO GROUND FAULT CIRCUIT INTERRUPTER (GFCI) POWER PANELS INSTALLED BY A STATE OF CONNECTICUT LICENSED ELECTRICIAN AND LOCATED OUTSIDE OF THE WORK AREAS.



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**REHABILITATION/RECONSTRUCTION WORK FOR:**

**HILDA STEINER**

APPLICANT #2322

FAIRFIELD, CT

62 MOREHOUSE HIGHWAY

Sheet Description:

HAZARDOUS MATERIALS ABATEMENT ROOF

Issue Dates:

(INSERT BID DATE)

Project #: QA 1346-20

Drawn By: A6

Sheet #:

HM-04



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REHABILITATION/RECONSTRUCTION WORK FOR:

**HILDA STEINER**  
 APPLICANT #2322

62 MOREHOUSE HIGHWAY FAIRFIELD, CT

Sheet Description:

**FLOOR PLANS**

Issue Dates:

SEPTEMBER 30, 2014

Scale: 1/4" = 1'-0"

Project #: QA 1346-20 Drawn By: CJO

Sheet #:

**A1.1**

- FINISH NOTES:**
1. PROVIDE MOISTURE RESISTANT GYP. BD. AT ALL BATHROOM WALLS/CEILINGS
  2. ALL WALL FRAMING TO REMAIN WILL BE FINISHED WITH NEW 1/2" GYP. BD.
  3. ALL CEILINGS TO HAVE NEW 1/2" GYP. BD.
  4. CONTRACTOR TO INFILL WOOD FLOORING TO MATCH EXIST AT LOCATION OF ALL REMOVED WALLS, TYP.

- TYPICAL BLOCK EXTERIOR WALL CONSTRUCTION: (OUTSIDE-INSIDE)**
- EXISTING BLOCK TO REMAIN
  - NEW 1x3 STUD FRAMING @ 16" O.C.
  - SPRAY FOAM INSULATION
  - 1/2" GYP. BD.

- TYPICAL PORCH EXTERIOR WALL CONSTRUCTION: (OUTSIDE-INSIDE)**
- PVC PANELING, SEE ELEVATIONS
  - WEATHER BARRIER
  - 1/2" SHEATHING
  - EXISTING FRAMING
  - BATT INSULATION TO FILL CAVITY
  - 1/2" GYP. BD.

- PROVIDE 2x SLEEPERS @ 16" O.C. TO BRING FLOOR LEVEL FLUSH WITH REST OF HOUSE, PROVIDE 3/4" T&G SUBFLOORING & APPROPRIATE UNDERLAYMENT FOR NEW FLOORING

- INFILL PORTION OF WALL AT EXIST. WINDOW

- PROVIDE NEW GAS CONNECTION FOR STOVE

- PROVIDE LAZY SUZAN IN CORNER BASE CABINET

- NEW STAINLESS STEEL SINK

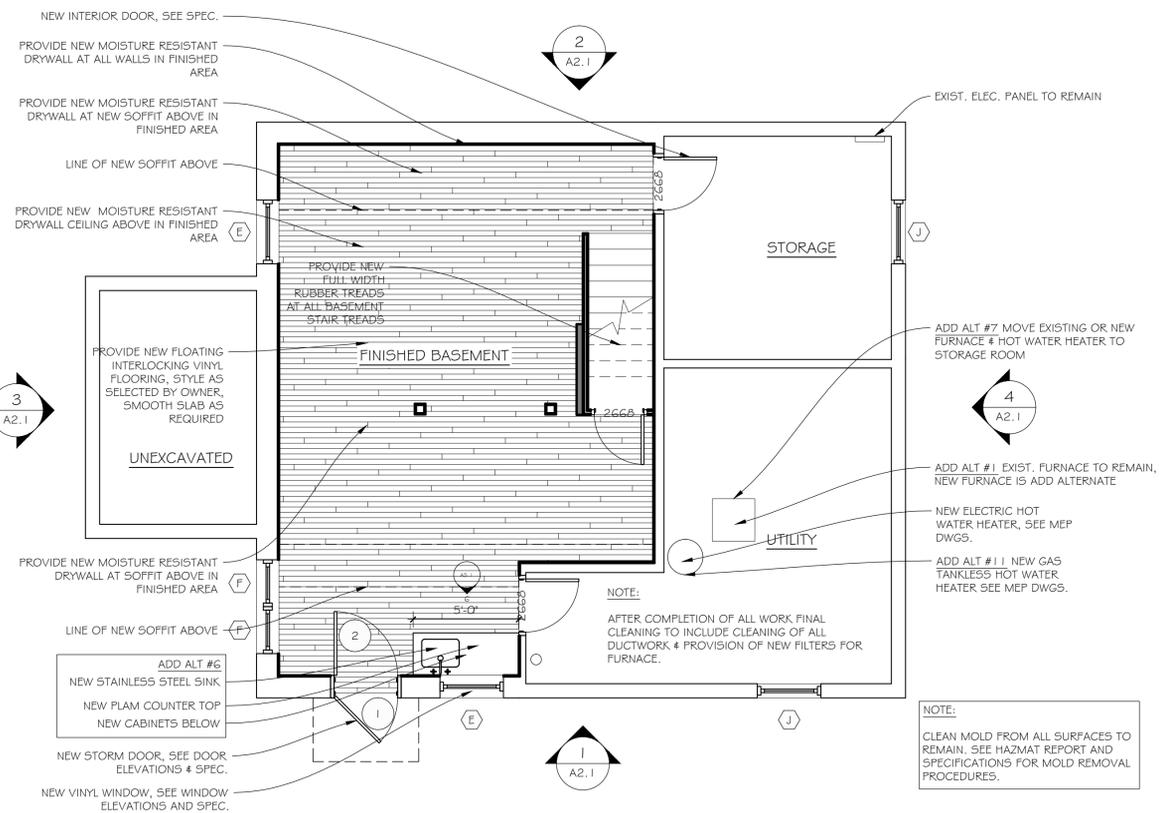
- NEW PLAM COUNTER

- PROVIDE EXTENDED SILL AT THIS WINDOW

- ALT #9 PROVIDE TILE AS SHOWN IN KITCHEN

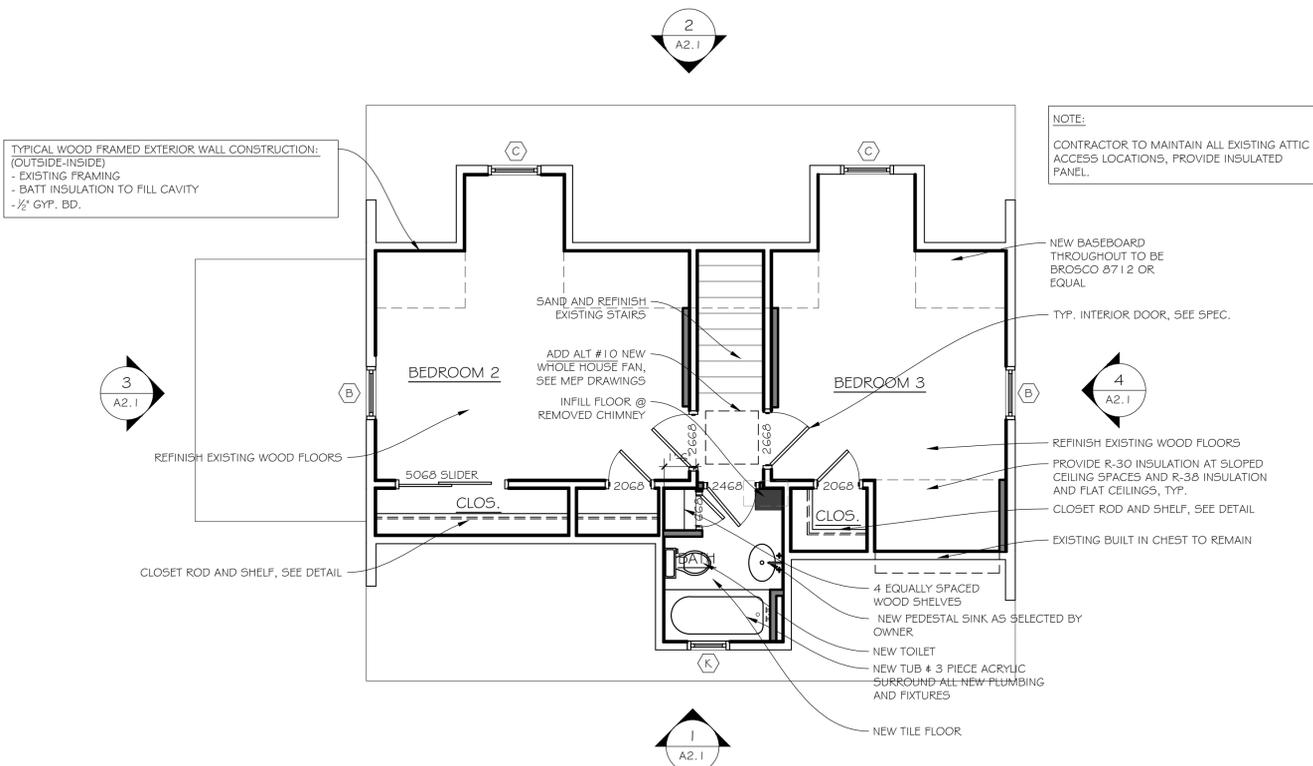
**MAIN LEVEL FLOOR PLAN**

SCALE: 1/4" = 1'-0"



**LOWER LEVEL FLOOR PLAN**

SCALE: 1/4" = 1'-0"



**UPPER LEVEL FLOOR PLAN**

SCALE: 1/4" = 1'-0"

3

2

1



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REHABILITATION/RECONSTRUCTION WORK FOR:

**HILDA STEINER**

APPLICANT #2322

FAIRFIELD, CT

62 MOREHOUSE HIGHWAY

Sheet Description:

**EXTERIOR ELEVATIONS**

Issue Dates:

SEPTEMBER 30, 2014

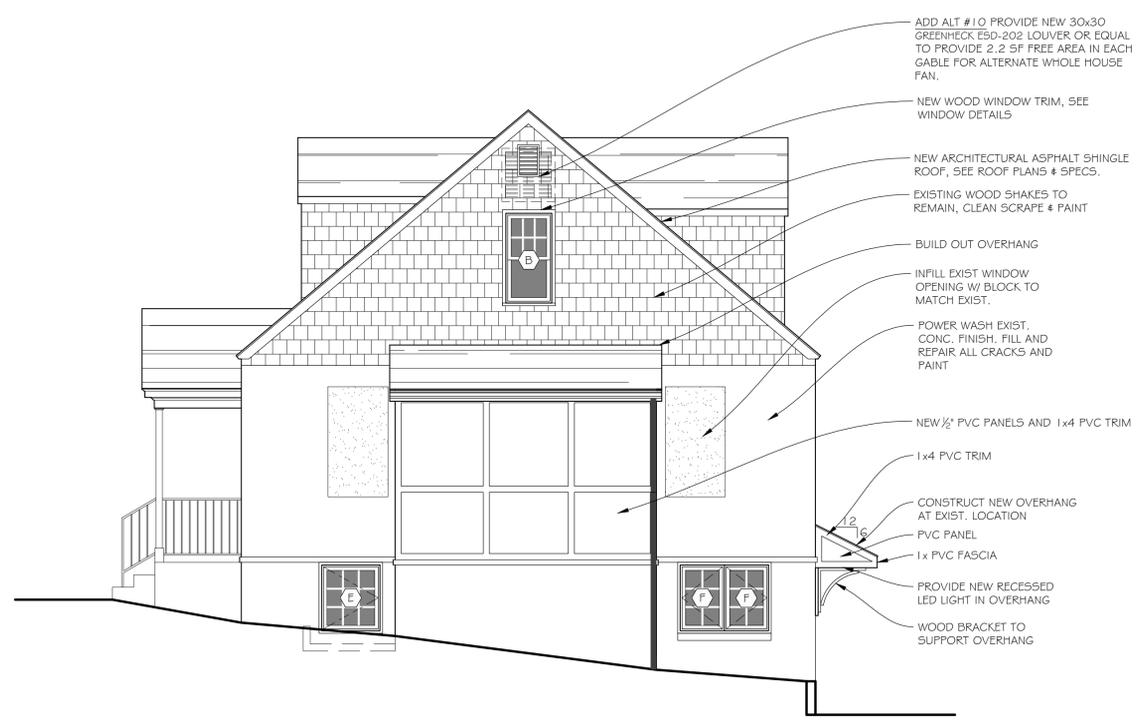
Scale:

Project #: QA 1346-20

Drawn By: CJO

Sheet #:

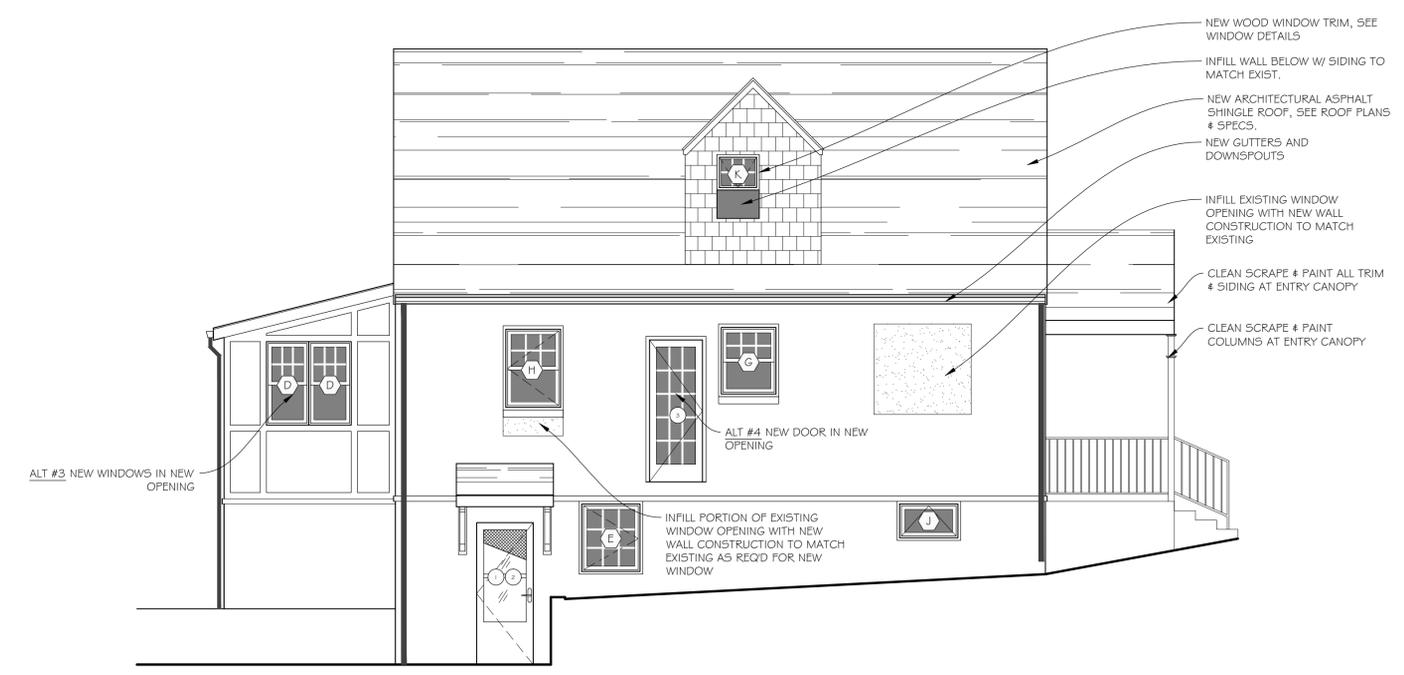
**A2.1**



**LEFT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

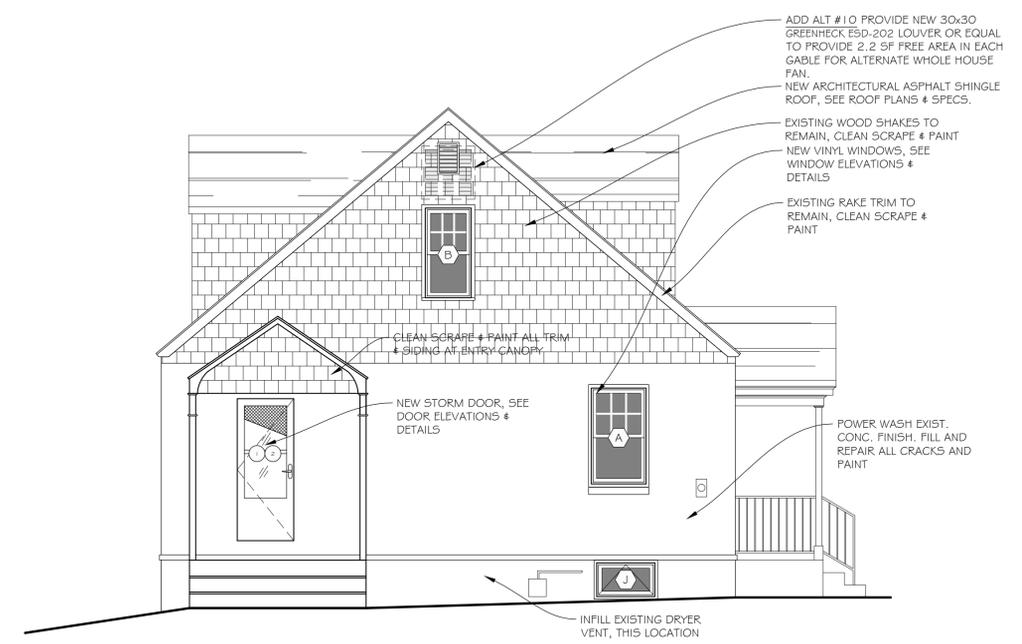
4



**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

2



**LEFT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

3



**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

1



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REHABILITATION/RECONSTRUCTION WORK FOR:

**HILDA STEINER**

APPLICANT #2322

62 MOREHOUSE HIGHWAY FAIRFIELD, CT

Sheet Description:

**DOOR & WINDOW ELEVATIONS & DETAILS**

Issue Dates:

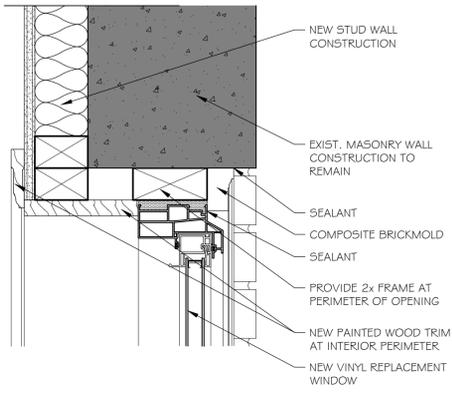
SEPTEMBER 30, 2014

Scale: AS NOTED

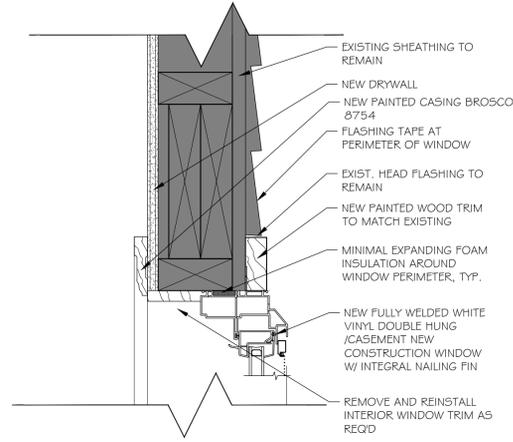
Project #: QA 1346-20 Drawn By: CJO

Sheet #:

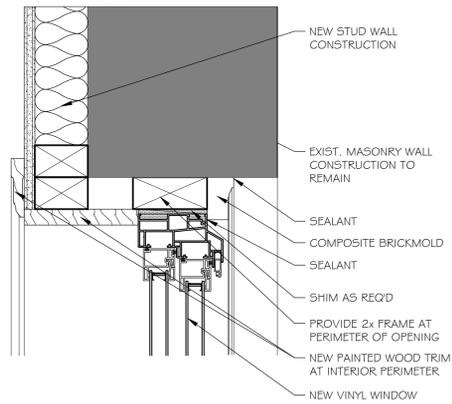
**A3.1**



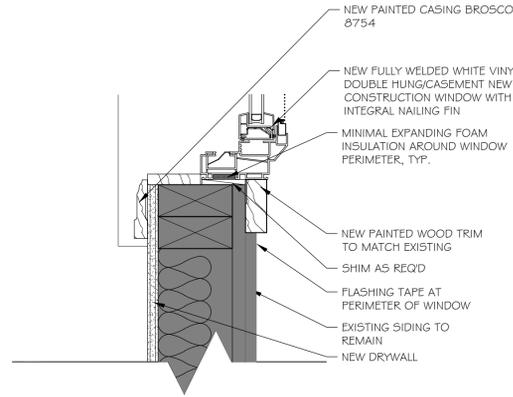
WH-2 SCALE: 3" = 1'-0"



WH-1 SCALE: 3" = 1'-0"

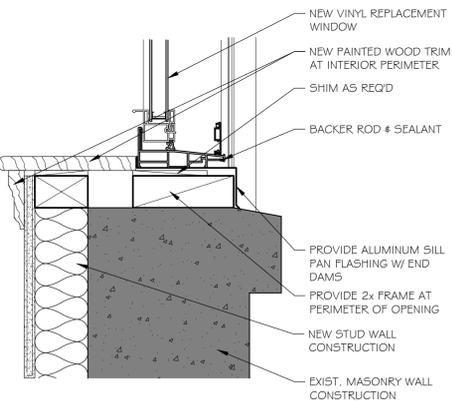


WJ-2 SCALE: 3" = 1'-0"

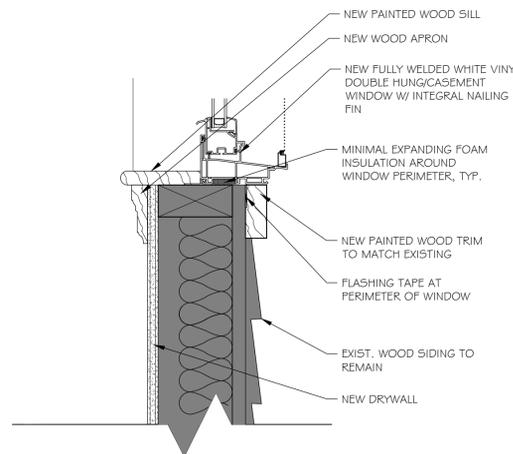


WJ-1 SCALE: 3" = 1'-0"

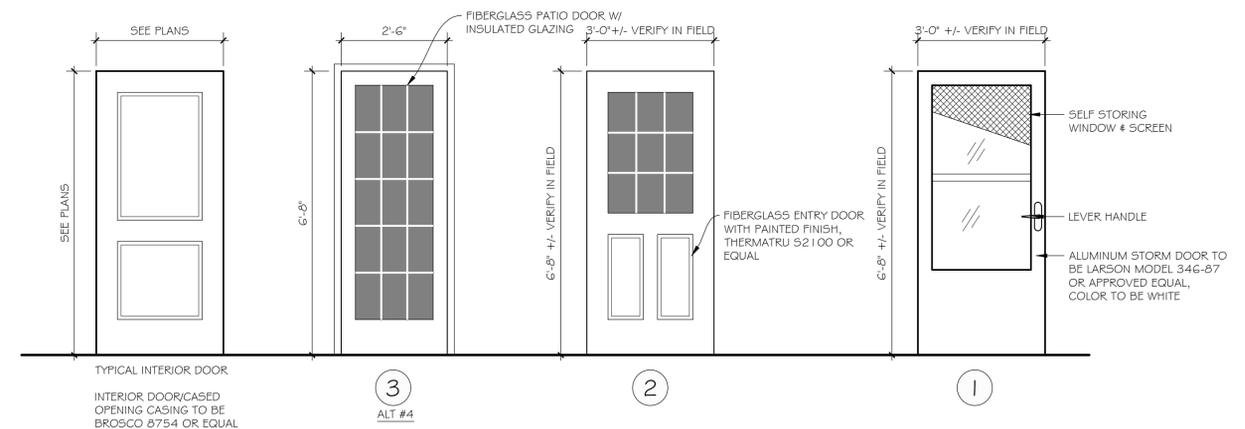
NOTE: INSULATE ALL OPENINGS BETWEEN WINDOW, JAMB, EXISTING FRAME, AND LINTELS WITH MINIMAL EXPANDING POLYURETHANE FOAM SEALANT, GREAT STUFF WINDOW # DOOR OR EQUAL. ALL VOIDS TO BE INSULATED FULLY (HEIGHT, WIDTH & DEPTH), TYP.



WS-2 SCALE: 3" = 1'-0"



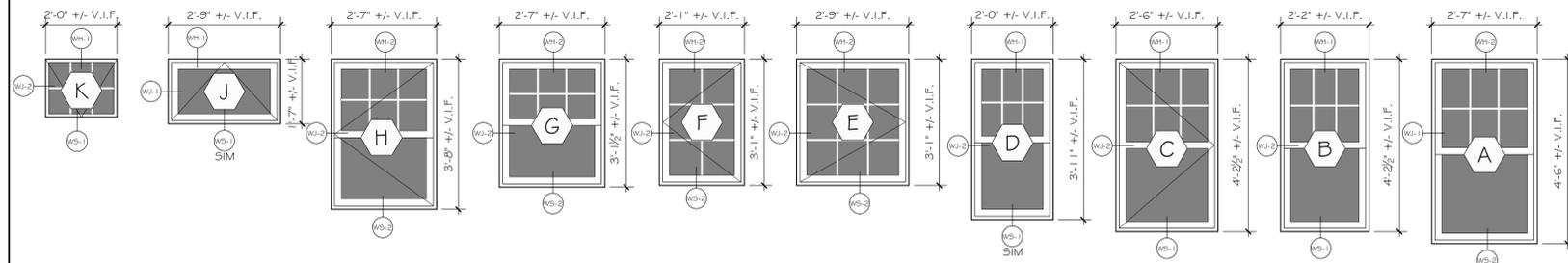
WS-1 SCALE: 3" = 1'-0"



**DOOR ELEVATIONS**

SCALE: 1/2" = 1'-0"

2



WINDOW NOTES:  
 - CONTRACTOR TO VERIFY EXACT WINDOW SIZES PRIOR TO ORDERING. SIZES SHOWN FOR BIDDING PURPOSES ONLY  
 - CONTRACTOR TO PROVIDE TEMPERED GLAZING IN WINDOWS AS REQD BY CODE  
 - ALL CASEMENT WINDOWS TO HAVE CHECKRAIL TO MATCH DOUBLE HUNG WINDOWS

**WINDOW ELEVATIONS**

SCALE: 1/2" = 1'-0"

1



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REHABILITATION/RECONSTRUCTION WORK FOR:

**HILDA STEINER**

APPLICANT #2322

62 MOREHOUSE HIGHWAY FAIRFIELD, CT

Sheet Description:

**ROOF PLAN & DETAILS**

Issue Dates:

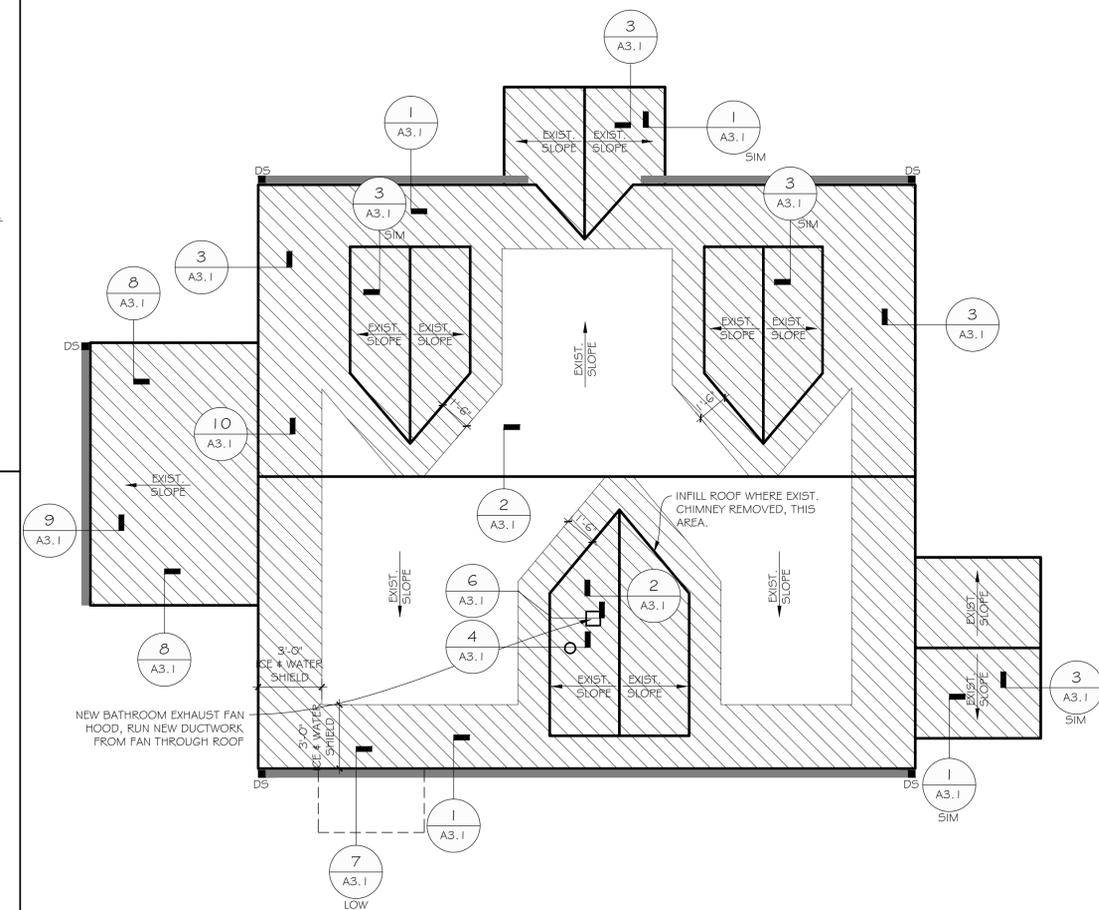
SEPTEMBER 30, 2014

Scale: AS NOTED

Project #: QA 1346-20 Drawn By: CJO

Sheet #:

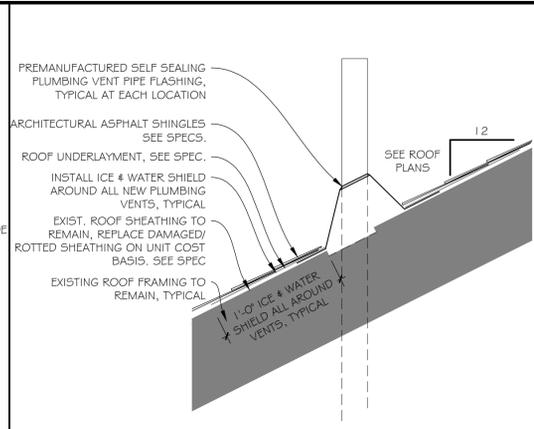
**A4.1**



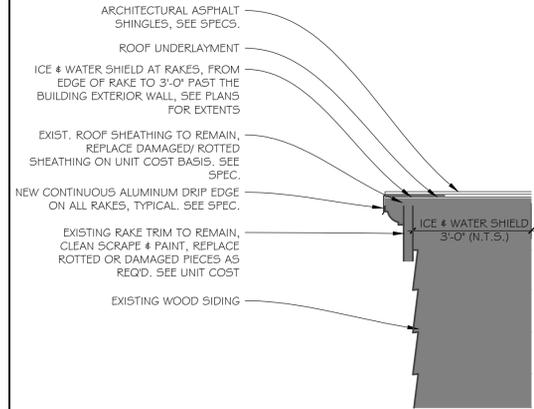
**ROOF PLAN**

SCALE: 1/4" = 1'-0"

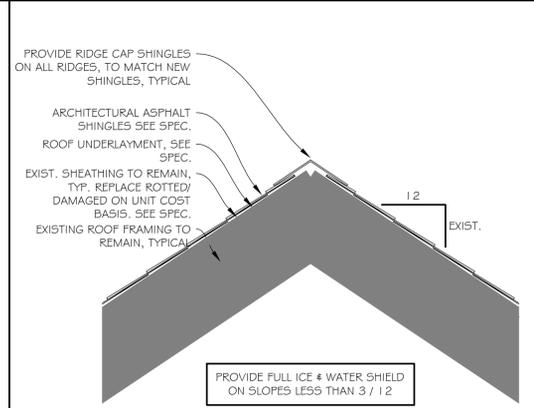
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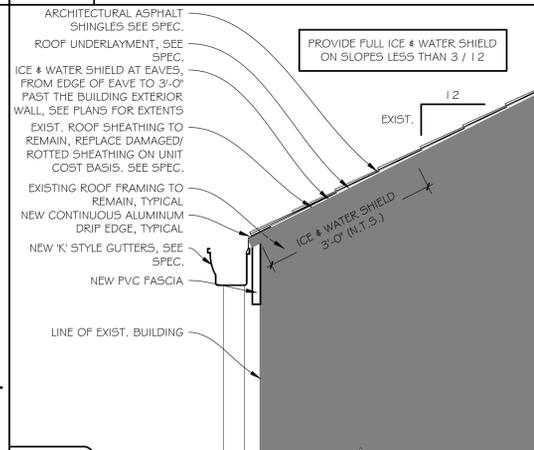
4 TYPICAL PLUMBING VENT DETAIL



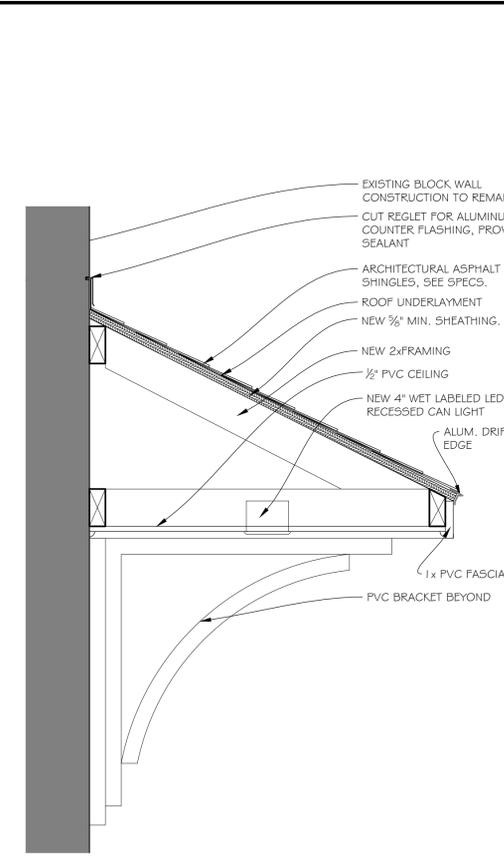
3 TYPICAL RAKE DETAIL



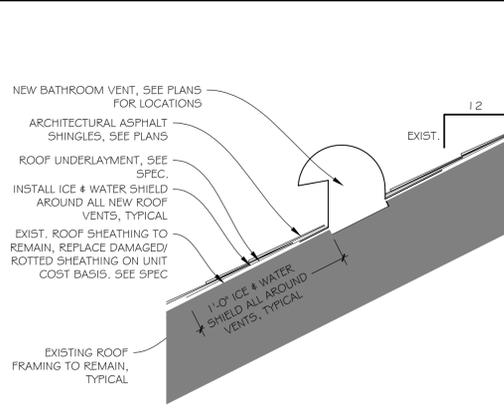
2 TYPICAL RIDGE DETAIL



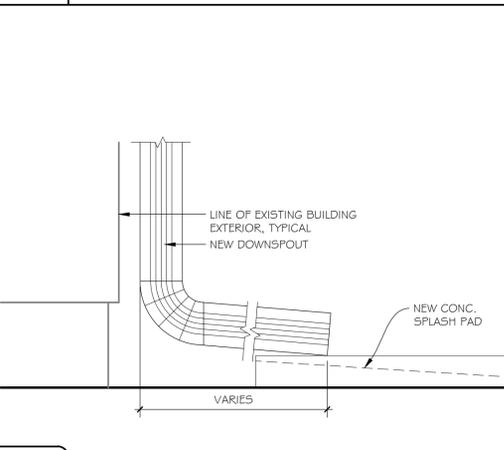
1 TYPICAL EAVE DETAIL



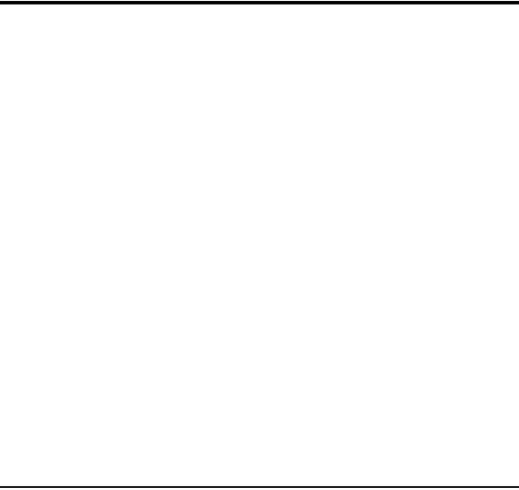
7 TYPICAL BATHROOM ROOF VENT DETAIL



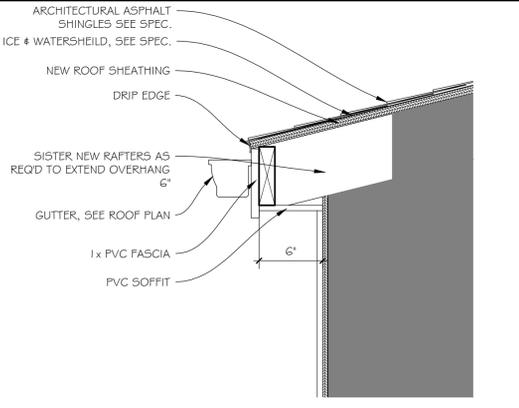
6 TYPICAL BATHROOM ROOF VENT DETAIL



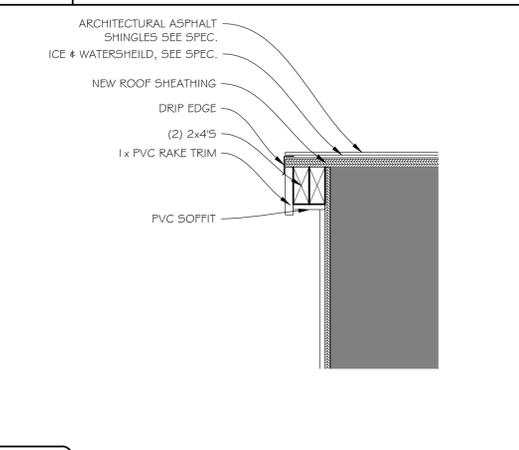
5 TYPICAL DOWNSPOUT & SPLASH PAD



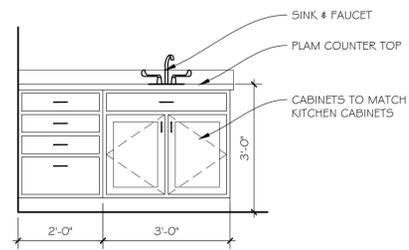
10 TYPICAL ROOFWALL



9 EAVE DETAIL



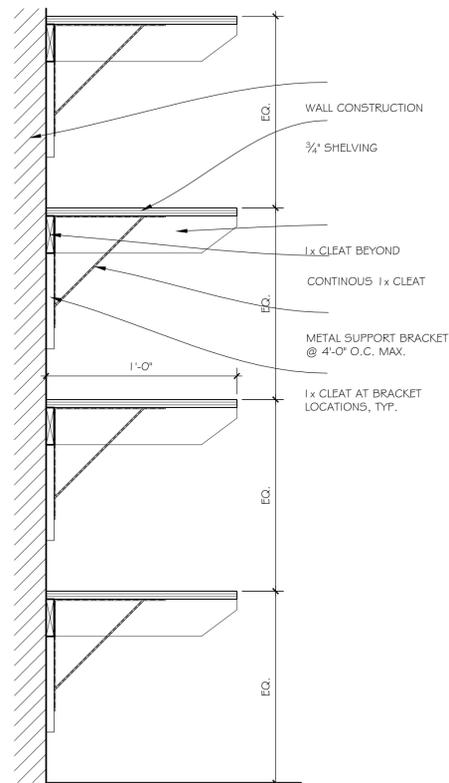
8 RAKE DETAIL



**ADD ALT #6  
BASEMENT CASEWORK**

SCALE: 1/2" = 1'-0"

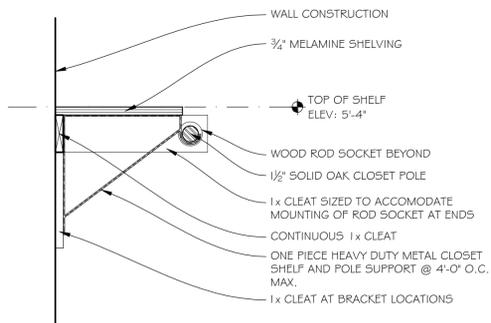
6



**CLOSET SHELVING**

SCALE: 1 1/2" = 1'-0"

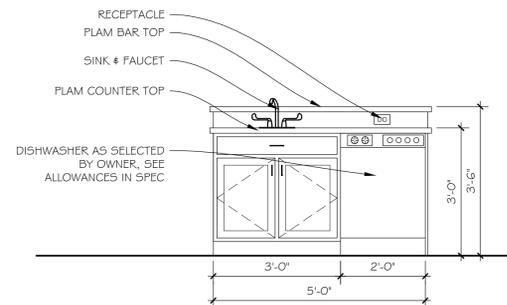
5



**CLOSET ROD & SHELF**

SCALE: 1 1/2" = 1'-0"

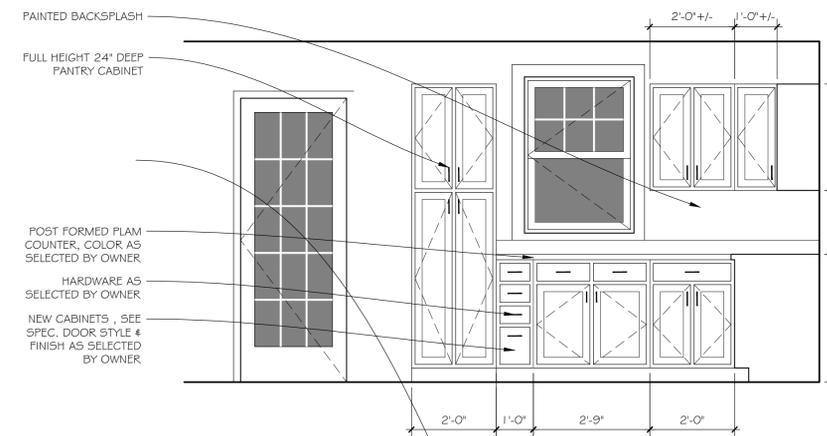
4



**KITCHEN ELEVATION**

SCALE: 1/2" = 1'-0"

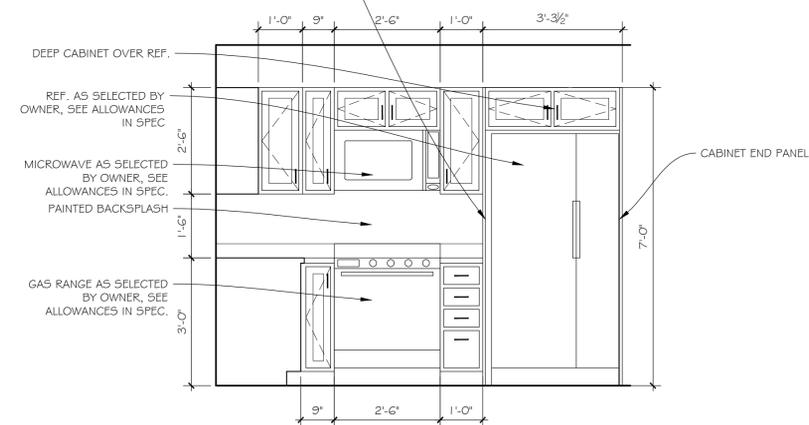
3



**KITCHEN ELEVATION**

SCALE: 1/2" = 1'-0"

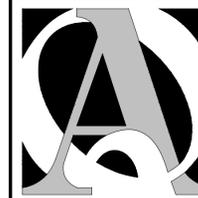
2



**KITCHEN ELEVATION**

SCALE: 1/2" = 1'-0"

1



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REHABILITATION/RECONSTRUCTION WORK FOR:

**HILDA STEINER**

APPLICANT #2322

62 MOREHOUSE HIGHWAY FAIRFIELD, CT

Sheet Description:

**KITCHEN  
ELEVATIONS &  
MISC. DETAILS**

Issue Dates:

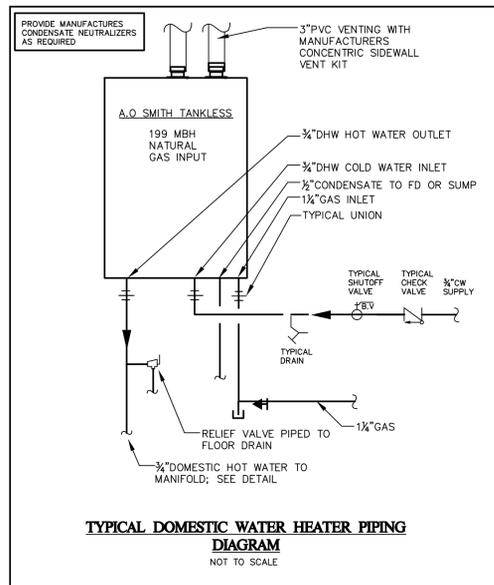
SEPTEMBER 30, 2014

Scale: AS NOTED

Project #: QA 1346-20  
Drawn By: CJO

Sheet #:

**A5.1**



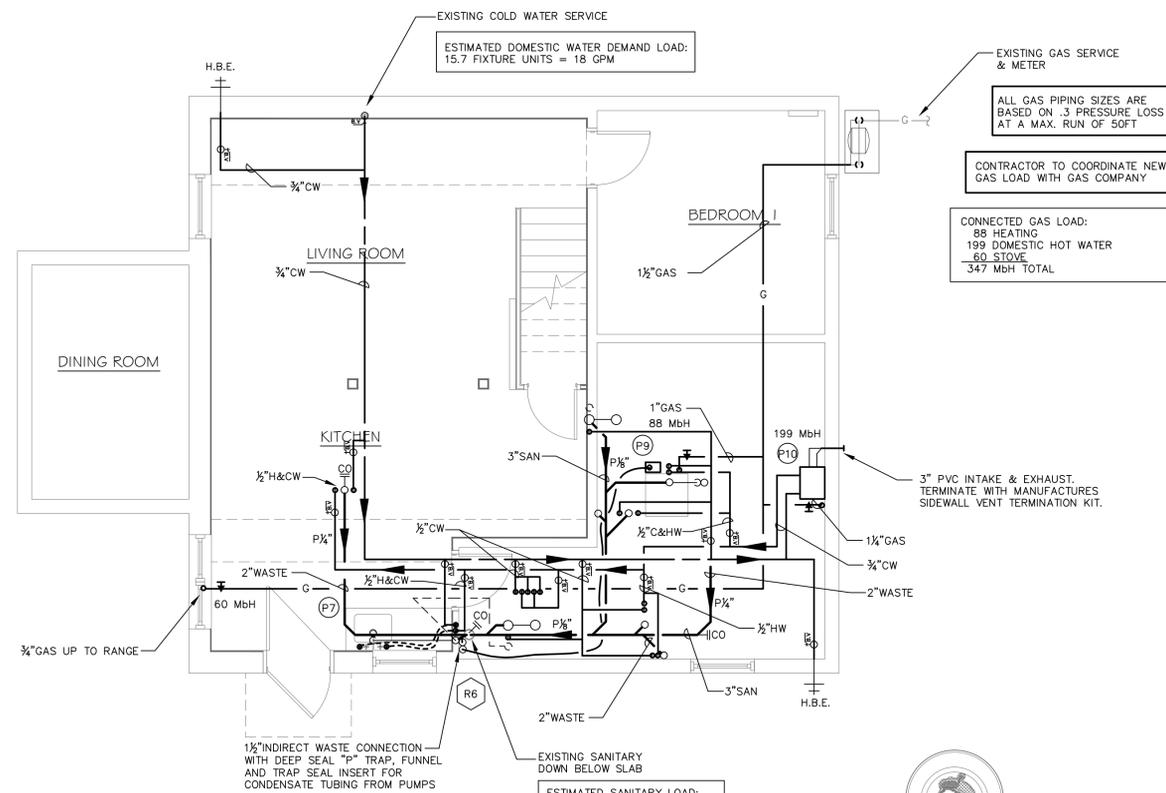
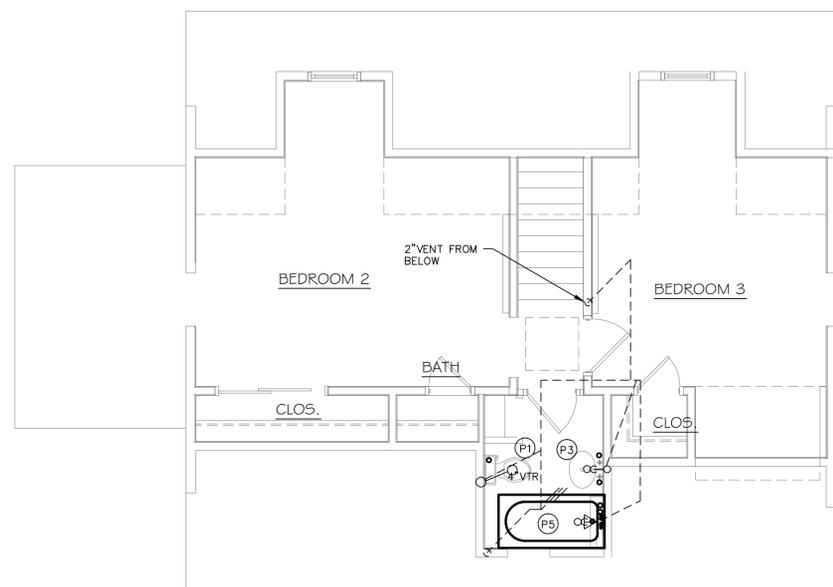
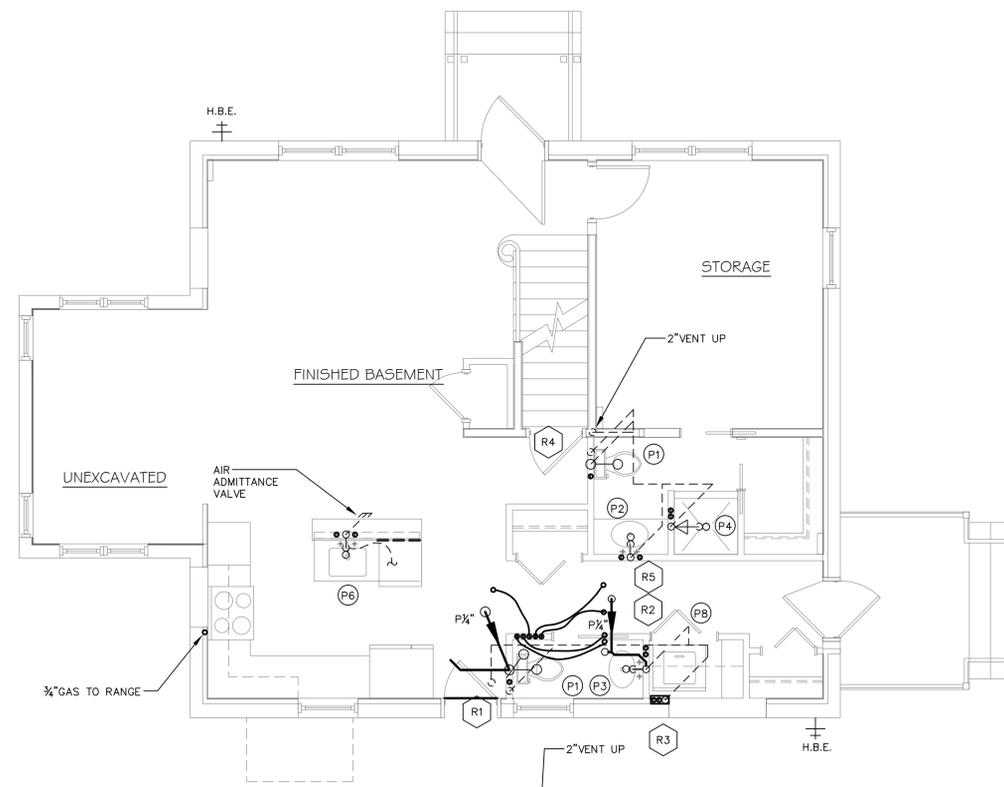
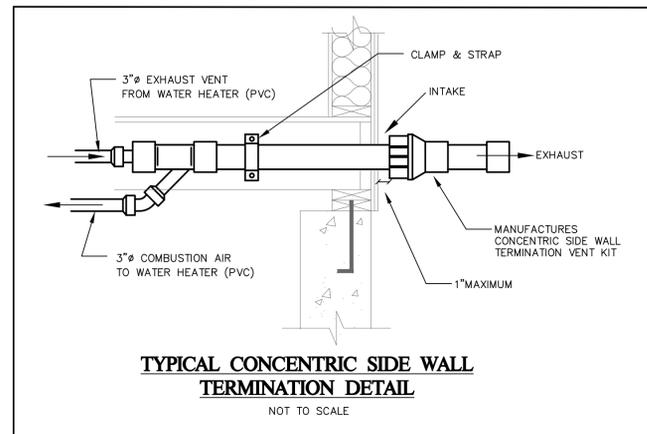
- PLUMBING NOTES:** NOTES PERTAIN TO ALL DRAWINGS
1. ALL BRANCH PLUMBING WATER PIPES TO HAVE STOP AND WASTE VALVES.
  2. PIPING AS SHOWN IS ONLY DIAGRAMMATICALLY PRESENTED; CONTRACTOR IS TO COORDINATE WITH OTHER TRADES AND STRUCTURAL ELEMENTS.
  3. ALL PENETRATIONS OF RATED ASSEMBLIES TO BE SEALED WITH APPROVED FIRE RATED CAULK; FIRE PENETRATION SYSTEMS SHALL MEET THE UL LISTING FOR EXISTING WALL OR FLOOR CONSTRUCTION.
  4. SEE ARCHITECTURAL DRAWINGS FOR FIXTURE MOUNTING HEIGHTS.
  5. PROVIDE DEEP SEAL "P" TRAPS ON EACH UNIT'S CONDENSATE LINE; RUN DRAINS TO FLOOD DRAIN.
  6. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY IN THE FIELD ALL LOCATIONS AND SIZE OF EXISTING MAIN SANITARY AND WATER PIPING BEING TIED INTO AND VERIFY CONTINUITY, CONDITION AND PROPER SIZE.

**SCHEDULE OF SIZING FOR ROUGHING FOR PLUMBING FIXTURES**

WATER CLOSET- TANK TYPE	1/2" CW	3" S	2" V
LAVATORY SINK	1/2" H & CW	1-1/2" W	1-1/2" V
TUB / SHOWER	1/2" H & CW	1-1/2" W	1-1/2" V
SHOWER	1/2" H & CW	2" W	1-1/2" V
KITCHEN SINK	1/2" H & CW	1-1/2" W	1-1/2" V
LAUNDRY BOX	1/2" H & CW	2" W	1-1/2" V
HOSE BIB	3/4" CW		

**SYMBOL LIST**

---	COLD WATER PIPE (CW)
---	HOT WATER PIPE (HW) (110°F)
---	HOT WATER RECIRCULATION PIPE (HWR) (110°F)
---	SANITARY PIPE (BROKEN LINE IS BELOW FLOOR)
---	VENT PIPE (V)
---	CONDENSATE / DRY PIPE
---	DIRECTION OF FLOW
WCO	WALL CLEANOUT
CV	CHECK VALVE
V.T.R.	VENT THROUGH ROOF
BV	BALL VALVE
BP	BACKFLOW PREVENTER
H.B.	HOSE BIBB (NON-FREEZE WHEN INDICATED)
F.D.	FLOOR DRAIN
FCO	FLOOR CLEANOUT
(VIF)	VERIFY IN FIELD



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REHABILITATION/RECONSTRUCTION WORK FOR:

**HILDA STEINER**  
APPLICANT #2322

62 MOREHOUSE HIGHWAY FAIRFIELD, CT

Sheet Description:

**Floor Plans**

Issue Dates:

SEPTEMBER 30, 2014

Scale:

Project #: QA 1346-20  
Drawn By: RJM

Sheet #:

**P1.0**



# PLUMBING SPECIFICATIONS

## II. PLUMBING SPECIFICATIONS

### 1.01 SCOPE

- All plumbing equipment, materials and accessories necessary to complete the plumbing system as shown on drawings and described, or as required to put the system in operation, are a part of this Contract.
- Work shall include furnishing all labor and materials, equipment, and tools necessary to install a complete plumbing system as shown on Drawings and/or called for in the specifications, including all pipe valves, fittings, fixtures, drains, insulation, miscellaneous specialties and accessories. Contractor, to identify in field all existing sanitary, vent, cold water and hot water in order to connect new plumbing lines.
- The plumbing system for the building shall consist of, but not be limited to, the following:
  - A complete gravity sanitary system, vent and drain pipes to be connected into existing sanitary/vent system.
  - A complete system of hot and cold water piping system to fixtures.
  - Insulation of piping, as hereinafter described.
  - A complete gas system to new RTU, including connection into existing piping.

### 1.02 SOIL, WASTE, VENT AND DRAINAGE LINES

- All offsets shall be made at an angle of not more than 45 degrees, and all horizontal runs shall have a pitch of not less than  $\frac{1}{8}$ " to the foot ( $\frac{1}{4}$ " for piping under 3'). Branch, waste and vent connections shall be run to the house drain or vent stacks as shown on the Drawings. Vertical vent pipes may be connected to a one main vent riser above fixtures serving other fixtures, the vent line shall be extended 3 ft. above the floor on which the fixtures are located vent line before being connected to the other vent lines, so as to prevent the use of any vent line as a waste.
- All changes in pipe size shall be made with reducing fittings or recessed reducers, Y-fittings, and  $\frac{1}{2}$ " or  $\frac{3}{8}$ " bends or combination Y- and  $\frac{1}{2}$ " bends shall be used where possible.
- Sanitary long sweep bends and T's shall be used for connections to branch lines for fixtures and on vertical runs on pipe. Long turn fittings shall be used wherever conditions permit. Long sweep fittings shall be used on all horizontal to vertical runs.
- Soil, waste, and vent branch piping installed above floor slab shall be plastic pipe type "PVC" Schedule 40 with fittings. Joints to be solvent-cemented. Soil & waste piping installed below floor slab shall be plastic pipe type "PVC" Schedule 40 with fittings. Joints to be solvent-cemented. (Contractor to use plenum rated materials as required.)

### 1.03 CLEANOUTS

- The plumbing contractor shall provide cleanouts, of same size as line served up to 4", at changes in direction of drain lines of 90 degrees or more, and elsewhere as required by the Plumbing Code.
- Cleanouts shall have raised heads and shall be located and installed so that they may be readily accessible and removable for cleaning lines.

### 1.04 WATER PIPING

- Plumbing contractor shall supply and install valves, a complete system of hot and cold water piping, plumbing fixtures, etc., all as shown on Plumbing Drawings.
- Hot and cold water piping shall be PEX tubing with brass fittings at basement ceiling. A home run system from basement ceiling to be utilized.
- Pipe sizes shall be not less than sized indicated on Drawings and specified herein.

### 1.05 GAS PIPING

- Gas piping shall be schedule 40 black steel pipe.
- Plumbing contractor shall commence with gas pipe to equipment as shown on plans. Plumbing contractor shall be responsible for any charges for the complete gas service.

### 1.06 CONNECTIONS TO FIXTURES

- All branches from mains shall be equipped with stop and waste valves.
- Connections shall be made from the top of the mains, unless otherwise specified. Branches shall drain toward the mains. The piping installation shall be so arranged that the entire system can be drained through accessible valves at low points. The plumbing contractor shall provide the necessary valves.

### 1.07 UNIONS

- Where union connections are installed on pipe 1" in diameter and smaller, they shall be of brass composition "B".
- All piping shall be provided at intervals with unions to permit alterations and repairs.

### 1.08 VALVES

- The entire plumbing system shall be provided with valves, so located that they may be operated, repaired and/or replaced with a minimum of effort.
- The following list of valves is intended only as a guide to the plumbing contractor:
  - Ball Valves,  $\frac{1}{2}$ " - 4" - WATTS B6000 Series.
  - Gate Valves,  $\frac{1}{2}$ " - 4" - WATTS GV Series.
  - Globe Valves,  $\frac{1}{2}$ " - 2" - WATTS GLV Series.
  - Stop and Waste Valves, 1" and smaller - WATTS Series SWS.
- Valves shall be Crane, Jenkins, Red & White or Nibco, located as shown on Drawings, and on all branch mains.

### 1.09 PIPE SUPPORTS

- Piping shall be supported from the building structure by means of approved hangers and supports. Pipeline shall be supported to maintain required grading and pitching of lines to prevent vibration and to secure piping in place, and shall be so arranged as to provide for expansion and contraction.
- The spacing of hangers shall not be greater than 4 ft. center to center for pipe smaller than 1".
- Vertical lines shall be adequately supported at their bases by a suitable hanger in place with the horizontal line near the riser.
- Hangers for copper tubing shall be copper plated, equal to Grinnell No. 97 CP. All other hangers shall be adjustable clevis hangers. Hanger rods shall have machine threads.

### 1.10 PIPE SLEEVES AND RECESSES

- The plumbing contractor shall furnish and install sleeves in connection with all piping passing through masonry. Plumbing contractor shall be responsible for location, setting and anchoring of sleeves in a substantial manner so that they will not be displaced. Plumbing pipes run in sleeves shall be made Fireproof by Contractor. Fire protection system shall meet the UL listing for existing wall or floor construction.
- Where recesses are required for piping, the plumbing contractor shall instruct the various trades as to sizes and locations required in advance of construction.

### 1.11 ESCUTCHEONS

- Where un-insulated, exposed pipes pass through floors, finished walls, or finished ceilings, they shall be fitted with neat, heavy spun or stamped escutcheons, firmly secured to pipes. Escutcheons shall be of sufficient outside diameter to amply cover the sleeve openings for pipes. Escutcheons shall be nonferrous metal, chromium plated.

### 1.12 INSULATION OF PIPING

- All insulation and covering on pipe and tubing to meet the IBC2003 Section 719.7 for flame spread index.
- Hot Water Lines: All hot water pipes shall be insulated with closed cell elastomeric insulation,  $\frac{3}{4}$ " thick, as manufactured by Armstrong Corporation, Johns-Manville, or approved thermal equal.
- Cold Water Lines: All cold water pipes, including horizontal and vertical runs, shall be insulated with closed cell elastomeric insulation,  $\frac{1}{2}$ " thick, with factory applied vapor barrier jacket, as manufactured by Armstrong Corporation, Johns-Manville, or approved thermal equal.

### 1.13 PLUMBING FIXTURES - GENERAL REQUIREMENTS

- Plumbing contractor shall furnish and install all fixtures in accordance with the Drawings and with the schedule.
- Where escutcheons are not furnished with plumbing fixtures, the plumbing contractor shall supply them.
- Each fixture shall be separately trapped, using the type and size of trap required by the Plumbing Code.
- Unless otherwise specified, faucets and all exposed fittings shall be chromium plated.
- All low voltage wire for fixtures and/or faucets shall be provided and installed by contractor.
- The Owner and the Architect shall be the final judges as to whether fixtures fulfill the requirements of the specifications and as to whether they are of a suitable quality.

### 1.14 INSTALLATION

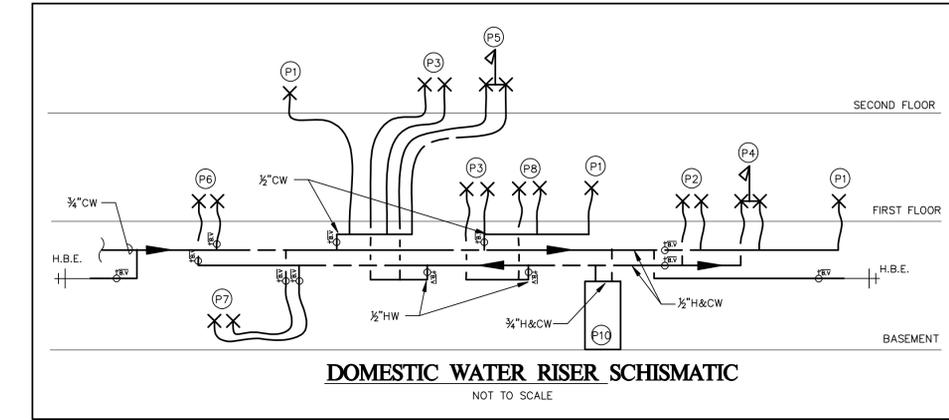
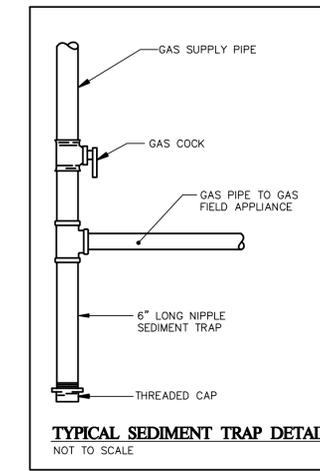
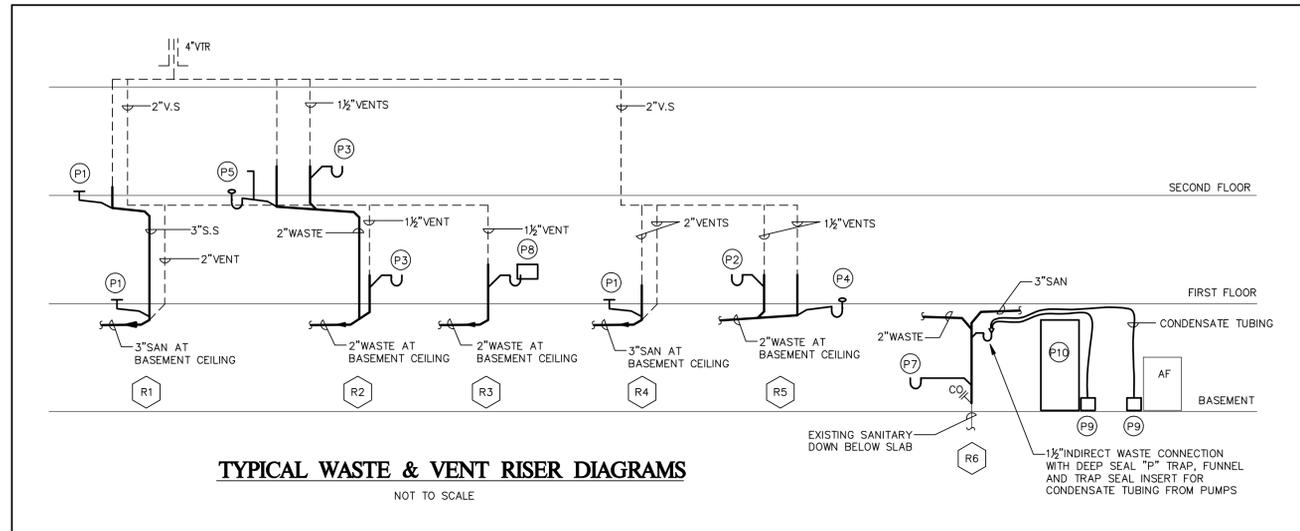
- Plumbing contractor shall furnish, set, seal and connect all fixtures and accessories shown and specified, including all necessary supports, connections, fittings and parts required to fully complete the plumbing installation.

### 1.15 ACCESS DOORS

- Where access doors in walls or ceilings are required for valves, traps, etc., they shall be of flush type with anchor, frame and hinged panel as manufactured by Milcor or Zurn. Access doors shall be furnished by plumbing contractor to the General Contractor who will install them.

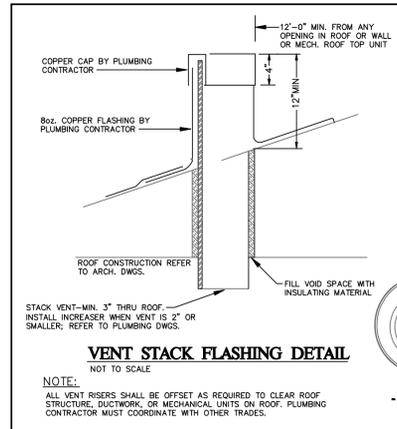
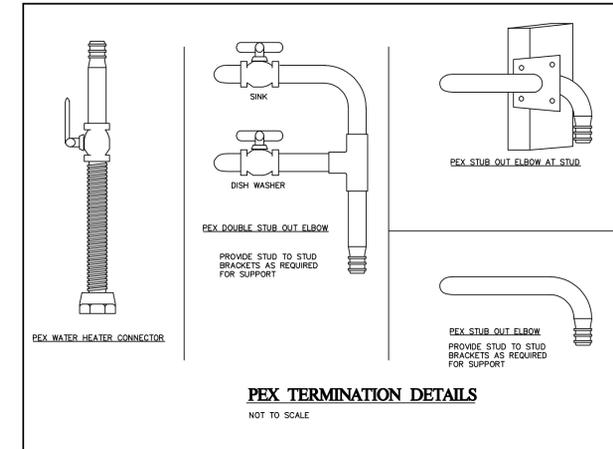
### 1.16 TESTING AND START-UP

- Test all drainage piping, including vents to a minimum of 10 feet head for 2 hours without leakage or any drop in water level.
- Test all hot and cold water piping hydraulically to 150 psig for 24 hours without leaks or loss of pressure.
- Flush all piping to remove all dirt and debris before starting up any system.
- Check the water flow at faucet. Run full flow tests for each system and correct any noise, vibration, or water hammer.
- Perform disinfection of domestic water piping system, as required by Code.
- Test the final gas distribution entirely as per Code.



## FIXTURE SCHEDULE

- (P1) FIXTURE: "Kohler", Wellworth, Class Five Round Toilet, Model #K-3997 Vitreous china, 14 $\frac{1}{2}$ " Rim Height, 1.28 Gal. flush, Round bowl, Floor mounted, Floor outlet. Provide Braided supplies, stops & escutcheons. Seat: "Oisonite" #40 Round bowl, closed front seat with cover.
- (P2) FIXTURE: "Kohler", Bryant, Self-rimming lavatory, Model #K-2699-4 Vitreous china, 4" center holes. Provide braided supplies, stops & escutcheons, 1 $\frac{1}{4}$ " 17ga chrome P-trap, Front overflow, 20 $\frac{1}{8}$ "x16 $\frac{1}{2}$ " size. Trim: "Symmons" Model #S-20-2-.5, Lever chrome finish faucet with pop-up assembly,  $\frac{1}{2}$ GPM aerator.
- (P3) FIXTURE: "Kohler", Wellworth, Pedestal Bathroom Sink, Model #K-2293-4 Vitreous china, 4" center holes. Provide pedestal finish supplies, stops & escutcheons, 1 $\frac{1}{4}$ " 17ga chrome P-trap, Front overflow, 22 $\frac{1}{4}$ "x18 $\frac{1}{4}$ " size. Trim: "Symmons" Model #S-20-2-.5, Lever chrome finish faucet with pop-up assembly,  $\frac{1}{2}$ GPM aerator.
- (P4) FIXTURE: "Comfordesigns", GelCoat One-piece ADA Transfer Shower Model #XSS3698 BF-I size OD 39"x39 $\frac{1}{2}$ "x76 $\frac{1}{2}$ ". Trim: "SYMMONS" Temptral Model #25-300-B30-V-X, Pressure balanced valve with chrome finish lever handle, integral check stops, hose & spray, slide bar and vacuum breaker. Fixture is ADA Compliant.
- (P5) FIXTURE: "Aqarius", GelCoat One-piece Tub/Shower with tile finish, Model #0 3206 TS, size OD 32.5"x60"x74". Trim: "SYMMONS" Temptral Model #25-2-X, Pressure balanced valve with chrome finish lever handle, integral check stops and shower head.
- (P6) FIXTURE: "Elkay", CR Series Countertop Single Bowl Sink Model CR2521-3, Self-rimming, Stainless Steel. Provide braided supplies, stops & escutcheons, 1 $\frac{1}{2}$ " 17ga chrome P-trap. Provide In-Sink-Erator Model Badger 5 ( $\frac{1}{2}$ hp) Provide with rated cord & plug. Trim: "SYMMONS" Model #S-23-1, Single lever chrome finish kitchen faucet, 8 $\frac{3}{4}$ " swing spout with swivel spray aerator, Polished chrome finish, 2.2 GPM flow.
- (P7) FIXTURE: "Elkay", CR Series Countertop Single Bowl Sink Model CR2521-3, Self-rimming, Stainless Steel. Provide braided supplies, stops & escutcheons, 1 $\frac{1}{2}$ " 17ga chrome P-trap. Trim: "SYMMONS" Model #S-23-1, Single lever chrome finish kitchen faucet, 8 $\frac{3}{4}$ " swing spout with swivel spray aerator, Polished chrome finish, 2.2 GPM flow.
- (P8) "PPP" Metal Laundry Box, Model #MM-500. With water control valve for automatic washing machines, water hammer arrestors,  $\frac{1}{2}$ " copper tubing and 2" drain. Provide pan :Oatey" Model #34067, 27" x 28" Plastic pan with 1" drain connection. Provide Fire Rated Models as required at locations with rated walls.
- (P9) "Little Giant" Condensate Pump with Basin Model VCMX-20ULST, 1/30 hp pump with  $\frac{1}{2}$ "gallon basin; provided with shut off switch and install with check valve.
- (P10) "A.O. Smith", Model #AT1-540H-N, Natural Gas Residential Tankless Water Heater, 15,000-199,000 btu, 5.0 W.C, 4 gpm @ 90F. Size: 23.625"H x 17.75"W x 11.25"D. Electric Ignition. Protection T&P relief valve.



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NOT FOR CONSTRUCTION  
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REHABILITATION/RECONSTRUCTION WORK FOR:  
**HILDA STEINER**  
APPLICANT #2322  
62 MOREHOUSE HIGHWAY  
FAIRFIELD, CT

Sheet Description:  
**Plumbing Specification & Details**

Issue Dates:  
**SEPTEMBER 30, 2014**

Scale:

Project #: **QA 1346-20** Drawn By: **RJM**

Sheet #:  
**P2.0**



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REHABILITATION/RECONSTRUCTION WORK FOR:

**HILDA STEINER**

APPLICANT #2322

62 MOREHOUSE HIGHWAY FAIRFIELD, CT

Sheet Description:

**HVAC FLOOR PLANS**

Issue Dates:

SEPTEMBER 30, 2014

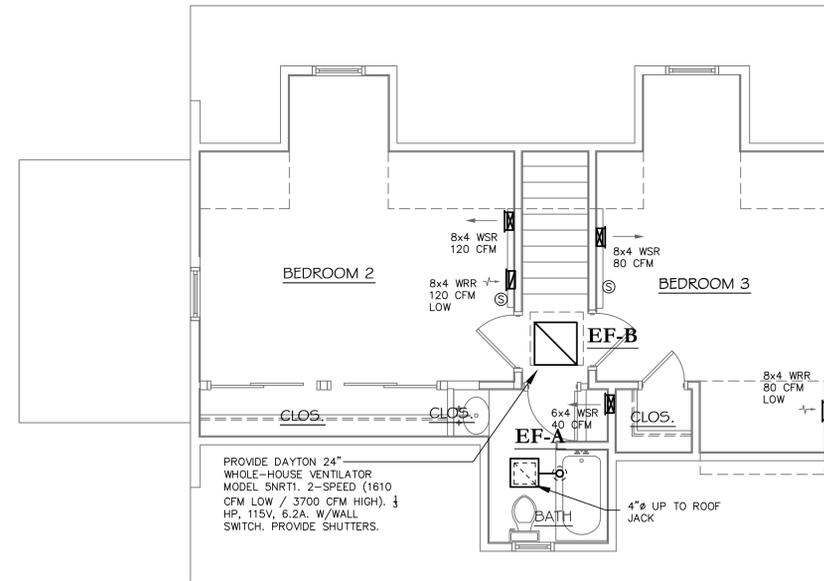
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Project #:  
QA 1346-20

Drawn By:  
WMG

Sheet #:

**M1.0**

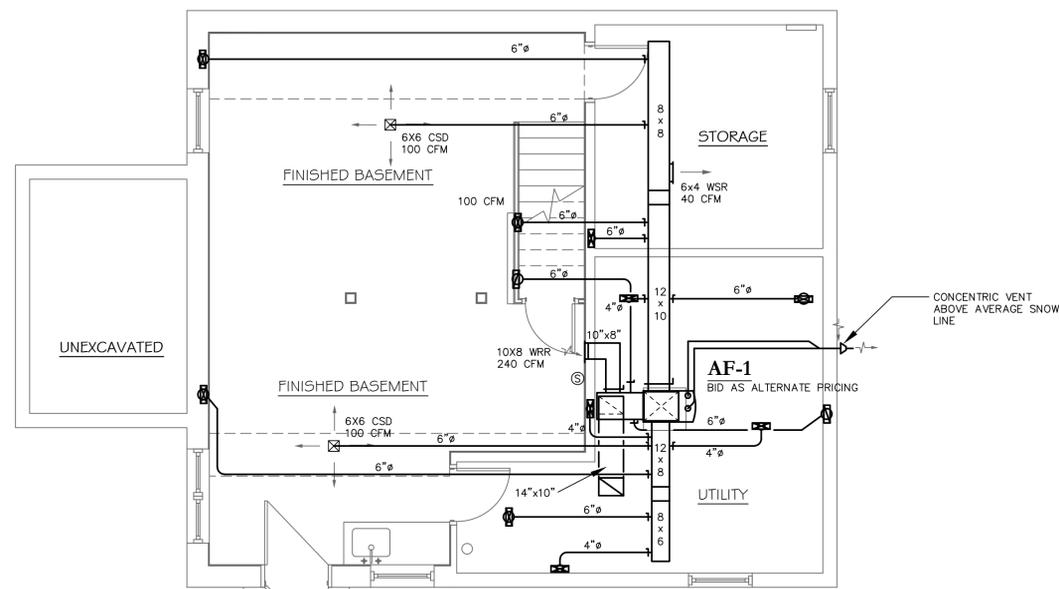


Second Floor Plan

SCALE: 1/4" = 1'-0"

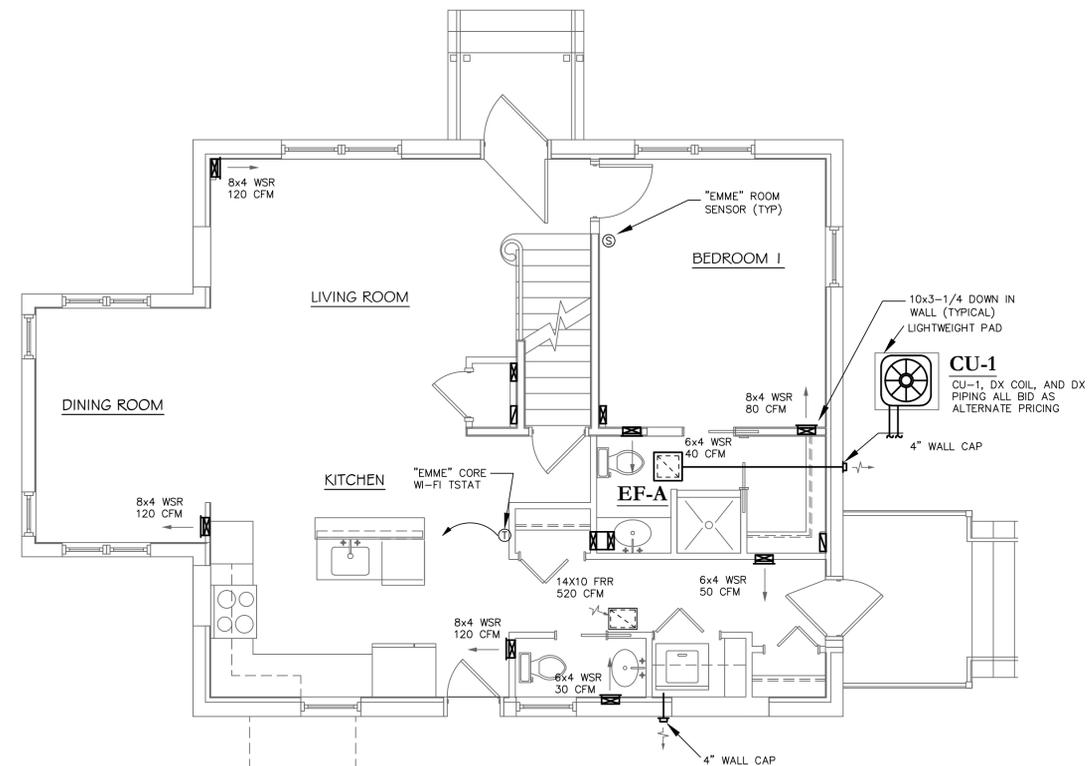
**Notes**

- 1. All work is new unless noted otherwise.



Basement Floor Plan

SCALE: 1/4" = 1'-0"

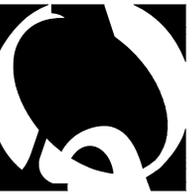


First Floor Plan

SCALE: 1/4" = 1'-0"







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REHABILITATION/RECONSTRUCTION WORK FOR:

**HILDA STEINER**

APPLICANT #2322

FAIRFIELD, CT

62 MOREHOUSE HIGHWAY

Sheet Description:

**ELECTRICAL FLOOR PLANS**

Issue Dates:

SEPTEMBER 30, 2014

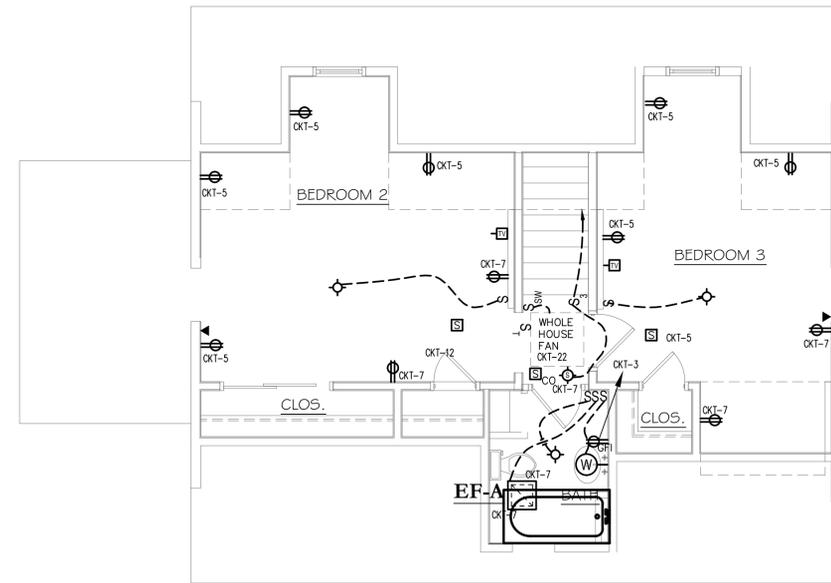
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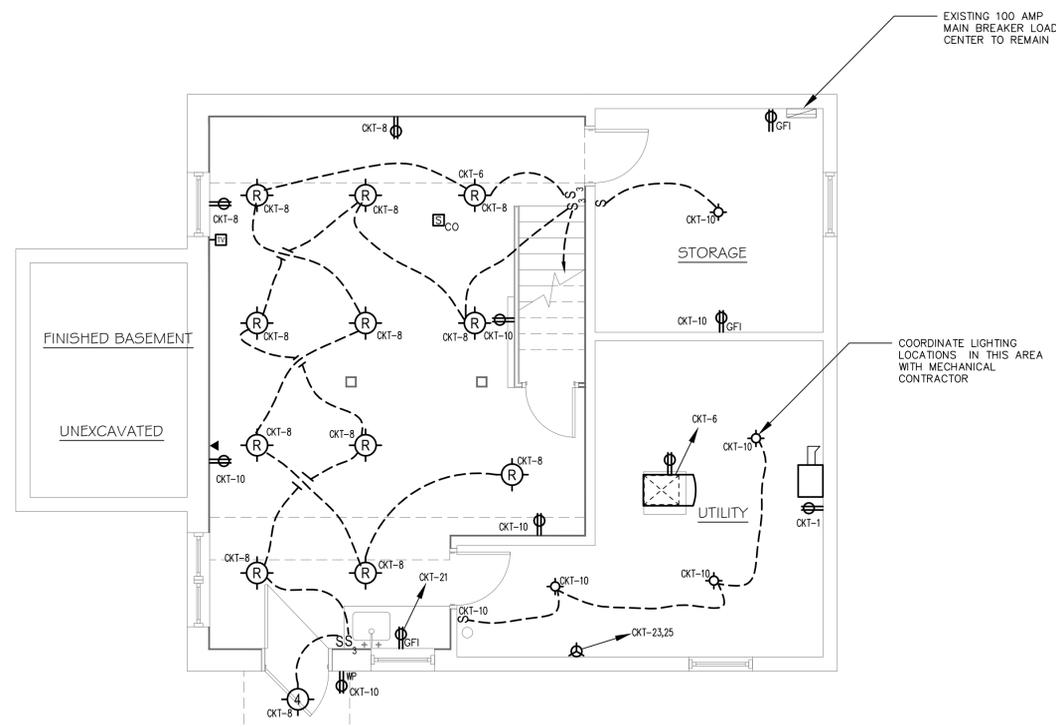
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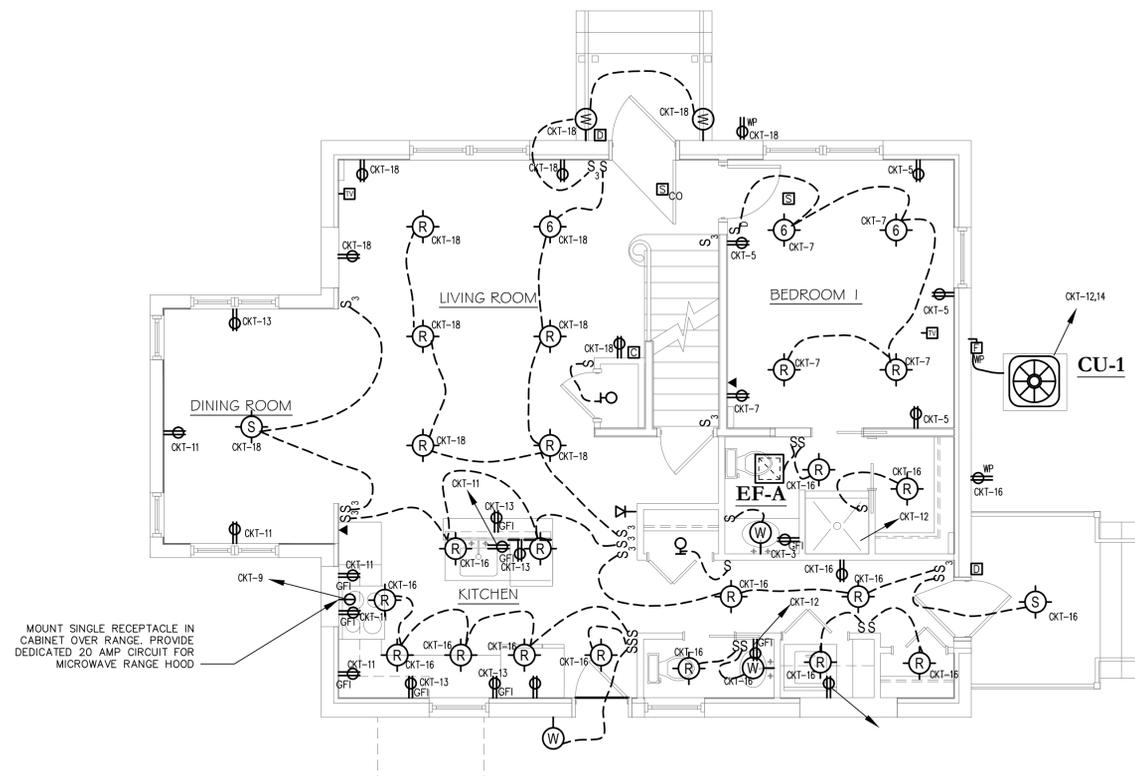
Second Floor Plan

SCALE: 1/4" = 1'-0"



Basement Floor Plan

SCALE: 1/4" = 1'-0"



First Floor Plan

SCALE: 1/4" = 1'-0"

ELECTRIC SYMBOL LIST	
	DUPLEX RECEPTACLE OUTLET
	DUPLEX RECEPTACLE OUTLET MOUNTED ABOVE COUNTERTOP
	SINGLE RECEPTACLE OUTLET
	SPECIAL PURPOSES OUTLET; 208/240 VOLT
	6" IC RATED RECESSED LIGHT WITH A 14 WATT LED INSERT.
	SURFACE MOUNTED FIXTURE
	WALL MOUNTED SCONCE FIXTURE
	SINGLE PULL WALL SWITCH
	WALL SWITCH; 3 DENOTES THREE WAY; 4 DENOTES FOUR WAY
	SWITCH WITH THERMAL OVERLOAD
	WIRE CONCEALED IN WALLS OR CEILING
	SWITCHED CIRCUIT
	HOMERUN TO SERVICE PANEL; NUMBER OF WIRES INDICATED
	TELEVISION LOCATION; PROVIDE CABLE PER UTILITY COMPANY SPECIFICATIONS PULLED FROM BUILDING DEMARC TO BOX IN WALL WITH COVER PLATE; REFER TO SPECIFICATIONS FOR FURTHER DETAIL
	TRANSFORMER
	DISCONNECT SWITCH
	THERMOSTAT
	JUNCTION BOX
	TELEPHONE OUTLET; PROVIDE CABLE PER UTILITY COMPANY SPECIFICATIONS FROM BUILDING DEMARC TO BOX IN WALL WITH COVER PLATE. TYPICAL TO ALL PHONE LOCATIONS.
	SMOKE DETECTOR; CO DENOTES COMBINATION SMOKE/CO2 DETECTOR
	FIRE ALARM HEAT DETECTOR
	GROUND FAULT CIRCUIT INTERRUPTER
	WEATHERPROOF
	DOORBELL BUTTON
	DOORBELL CHIME

**ELECTRICAL GENERAL NOTES:**

- ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE 2011 EDITION OF THE NATIONAL ELECTRICAL CODE, LOCAL AND STATE BUILDING CODES.
- E.C. SHALL OBTAIN AND PAY FOR BOTH ROUGH AND FINAL INSPECTION AND OBTAIN A CERTIFICATE OF "ELECTRICAL INSPECTION". THIS CERTIFICATE SHALL BE PRESENTED WITH REQUEST FOR FINAL PAYMENT.
- IT IS THE INTENT OF THESE PLANS TO PROVIDE A COMPLETE AND OPERATING ELECTRICAL SYSTEM. THE E.C. SHALL FURNISH AND INSTALL ALL WIRING, CONDUIT, EQUIPMENT, MATERIAL, ETC. AS REQUIRED, EXCEPT WHERE SPECIFICALLY NOTED AS BEING FURNISHED BY OTHERS. SHOULD THERE BE ANY QUESTIONS CONCERNING RESPONSIBILITY, THE QUESTIONS SHALL BE SETTLED BEFORE BID SUBMISSION AND CONTRACT SIGNING. NO EXTRA CHARGES WILL BE ALLOWED.
- THE E.C. SHALL COORDINATE ALL PHASING OF WORK WITH THE ARCHITECT, GENERAL CONTRACTOR AND/OR OWNER OF THE PROJECT.
- REFER TO THE ARCHITECTURAL DRAWINGS FOR SPECIFIC DETAILS, ARRANGEMENTS, MOUNTING HEIGHTS, CEILING CONSTRUCTION, ETC. ALL COLORS AND FINISHES TO BE SELECTED BY THE ARCHITECT.
- ALL ELECTRICAL EQUIPMENT SHALL BE SEISMICALLY SUPPORTED AS REQUIRED BY THE LOCAL AND STATE BUILDING CODE.
- ALL NECESSARY MOUNTING HARDWARE, HANGERS, BRACKETS, RAILS, YOKES, STEMS, CHAINS, ETC. SHALL BE FURNISHED AND INSTALLED BY E.C.
- ALL HOMERUNS TO PANELBOARDS DESIGNATED SHALL CONSIST OF 2#12 AWG & 1#12 GROUND IN 3/4" CONDUIT TO PANEL LABELED AT THE HOMERUN SYMBOL UNLESS OTHERWISE NOTED.
- ALL WIRING INSTALLED UNDER THIS CONTRACT SHALL BE TESTED FOR PROPER CONNECTIONS AND SHORT CIRCUITS PRIOR TO THE TURNING OVER OF WORK AS A COMPLETE UNIT.
- ALL CONDUITS PASSING THROUGH PARTITIONS ARE TO BE APPROPRIATELY SLEEVED AND SEALED.
- E.C. SHALL GUARANTEE ALL MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF APPROVAL AND FINAL ACCEPTANCE.
- ALL CONDUIT AND WIRING SHALL BE RUN CONCEALED IN WALLS, FLOORS AND CEILINGS UNLESS OTHERWISE NOTED TO BE EXPOSED.
- ALL WIRING SHALL BE TYPE THWN OR THW UNLESS OTHERWISE NOTED. FOR CONDUCTORS LARGER THAN #6 AWG, TYPE XHHW WILL BE ACCEPTED.
- CONDUCTORS SIZED #10 AWG AND SMALLER SHALL BE SOLID WIRE CONDUCTORS. CONDUCTORS SIZED LARGER THAN #10 AWG SHALL BE STRANDED TYPE. COMMUNICATIONS AND CONTROL WIRE SHALL BE #14 GAUGE STRANDED, SHIELDED.
- ALL CIRCUITS BACK TO PANEL SHALL REQUIRE 20A-1 POLE BREAKERS UNLESS OTHERWISE NOTED
- ALL DRAWINGS ARE SCHEMATIC IN NATURE; ALL DEVICES SHALL BE INSTALLED IN ALL AREAS AND LIVING SPACES PER NEC AND SHALL BE DIMENSIONED IN FIELD TO MEET PROPER CODES; ALL DISCREPANCIES SHALL BE BROUGHT TO THE ENGINEERS ATTENTION DURING BID PROCESS AND/OR ADJUSTED IN FIELD DURING CONSTRUCTION
- ALL WORK IS NEW UNLESS OTHERWISE NOTED.
- REFER TO SPECIFICATION SECTION 16120 WIRE AND CABLE FOR ACCEPTABLE WIRING AND CABLING METHODS. REFER TO THE SPECIFICATION REGARDING THE USE OF NM, MC AND SER CABLE. ALL WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE NEC.

PROJECT NO:	14107	PANEL:	MAIN	DATE:	11/7/14			
LOCATION:	BASEMENT	MOUNTING SURFACE:		FEED:	TOP			
VOLTAGE:	120/ 240	SOURCE:	XXX	BUS AMP:	100			
WIRE:	#2 THW	COND:	1 1/4"	BRKR:	100			
PHASE:	SINGLE	WIRE:	3 WIRE	GROUND:	#8AWG			
	LOAD		CB	CB	LOAD			
CKT	DESCRIPTION	WATTS	AMP	AMP	WATTS	DESCRIPTION	CKT	
1	HOT WATER	200	20	A	100/2P	MAIN	2	
3	BATH GFI	1200	20	B			4	
5	BEDROOM ARC FAULT	1800	15	A	15	500	FURNACE	6
7	BEDROOM ARC FAULT	180	15	B	15	1000	BASEMENT LIGHTING	8
9	MICRO RANGE HOOD	1400	20	A	15	1000	BASEMENT LIGHTING	10
11	DISHWASHER	1200	15	B	30/2P	1250	AC CONDENCER	12
13	KITCHEN APPLIANCE	1500	20	A		1250		14
15	KITCHEN APPLIANCE	1500	20	B	15	1000	KITCHEN LIGHTING	16
17	GARAGE	300	20	A	15	1000	LIVING RM LITGHTING	18
19	PANEL RECEPTACLE	180	15	B	15	450	WHOLE HOUSE FAN	20
21	BASEMENT COUNTERTOP	180	20	A				22
23	DRYER	2500	2P/30	B				24
25		2500		A				26
27				B				28
29				A				30
TOTAL WATTS/PH:		A=	11630	B=	#		TOTAL WATTS:	22090
							TOTAL AMPS:	92.0

**NOTES:**

- VERIFY BREAKERS WITH NAMEPLATE RATINGS OF EQUIPMENT IN FIELD.
- PROVIDE SIX (6) 20A-1P SPARE BREAKERS.
- PROVIDE FULL COPPER BUSSING.

**CONNECTIONS TO EXISTING CONDITIONS:**

- WHERE NEW CIRCUITS ARE TO BE ADDED TO EXISTING PANELBOARDS, CONFIRM THAT PANEL HAS SUFFICIENT SPACE AND CAPACITY FOR NEW LOADS.
- MODIFY EXISTING PANEL DIRECTORIES TO REFLECT NEW CIRCUITS, ADDED OR DELETED.
- WHERE NOT SPECIFICALLY INDICATED, NEW CIRCUITS ARE TO BE EXTENDED TO THE NEAREST APPROPRIATE PANEL.
- ALL NEW CIRCUITRY SHALL BE COMPLETE WITH REQUIRED BRANCH CIRCUIT PROTECTION AND GROUNDING CONNECTIONS.
- ANY WORK REQUIRING THE SHUT-DOWN OF ELECTRICAL SERVICE TO THE BUILDING AND/OR ANY PORTION THEREOF, THE E.C. SHALL MAKE ARRANGEMENTS WITH THE OWNER AND ANY OTHER CONCERNED AUTHORITY.
- CERTAIN SYSTEMS, SUCH AS THE FIRE ALARM SYSTEM, SECURITY SYSTEM, ETC., MAY REQUIRE STAND-BY WATCHES DURING SHUT-DOWN. E.C. SHALL ARRANGE AND PAY FOR ANY SUCH STAND-BY WATCHES.
- EXISTING SYSTEMS AFFECTED BY NEW WORK SHALL BE TESTED COMPLETELY FOR INTEGRITY AND PROPER OPERATION. RE-FEED CIRCUITS UP-STREAM AND DOWN-STREAM OF DEVICES BEING REMOVED.
- MAKE ANY REVISIONS TO THE EXISTING WORK FOUND NECESSARY TO MAINTAIN ORIGINAL OPERATION. FURNISH AND INSTALL ALL NECESSARY ELECTRICAL EQUIPMENT AND DEVICES AS NEEDED AT NO ADDITIONAL COST TO THE OWNER.

**ELECTRICAL POWER NOTES:**

- ALL WORK IS NEW UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND LOCATIONS. VERIFY WITH ARCHITECTURAL PLANS AND COORDINATE WITH THE GENERAL CONTRACTOR PRIOR TO ROUGH-IN. NOTIFY THE ARCHITECT/G.C. OF ANY DISCREPANCIES IF DISCREPANCIES ARE NOTED. DO NOT PROCEED WITHOUT ARCHITECTURAL APPROVAL.
- HVAC AND PLUMBING EQUIPMENT ARE SHOWN FOR REFERENCE ONLY. E.C. SHALL COORDINATE EXACT LOCATIONS AND POWER REQUIREMENTS OF APPLICABLE HVAC AND PLUMBING EQUIPMENT WITH MECHANICAL DRAWINGS. E.C. SHALL MAKE ALL FINAL CONNECTIONS TO ALL CONTROLS. OWNER-SUPPLIED EQUIPMENT, MECHANICAL AND PLUMBING EQUIPMENT AS NEEDED.
- E.C. SHALL PROVIDE DISCONNECT SWITCHES AND STARTERS AS REQUIRED FOR ALL EQUIPMENT WHERE THE DISCONNECT SWITCH IS NOT PROVIDED WITH THE EQUIPMENT OR BY OTHERS.
- E.C. SHALL SUPPLY AND INSTALL FEEDERS, FUSES AND CIRCUIT BREAKERS TO MATCH THE NAME-PLATE RATING OF ALL EQUIPMENT. THIS SHALL BE INCLUDED IN THE INITIAL BID PROPOSAL AND NO EXTRAS WILL BE ACCEPTED.
- ELECTRICAL OUTLET PLATE GASKETS SHALL BE INSTALLED IN ALL RECEPTACLES, SWITCHES OR OTHER ELECTRICAL BOXES IN WALLS SEPARATING CONDITIONED AND UNCONDITIONED SPACE.
- PROVIDE AFCI TYPE BREAKERS FOR ALL 120 VOLT 15 AND 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS IN BEDROOMS.
- PROVIDE TAMPER PROOF OUTLETS FOR ALL 15A AND 20A CIRCUITS (EXCLUDING OUTLETS LOCATED IN DEDICATED SPACES, IE: REFRIGERATORS, DISHWASHER, WASHING MACHINES AND THE LIKE) IN LIVING SPACES OF DWELLING UNITS, CHILD CARES AREAS AND EDUCATIONAL AREAS.
- CONNECT ALL BATHROOM EXHAUST FANS TO ASSOCIATED LIGHT SWITCH UNLESS OTHERWISE NOTED.
- ELECTRICAL CONTRACTOR SHALL MAKE FINAL CONNECTIONS TO HVAC CONTROL WIRING; COORDINATE ALL REQUIREMENTS WITH DIV 15
- ALL CIRCUITS BACK TO PANEL SHALL REQUIRE 20A-1 POLE BREAKERS UNLESS OTHERWISE NOTED
- PROVIDE POWER TO SMOKE AND COMBINATION SMOKE/CO DETECTORS FROM BEDROOM ARC FAULT CIRCUIT.
- HEIGHT OF UNIT PANELS IN HC AND HC ADAPTABLE UNITS SHALL BE 48" AFF TO HIGHEST BREAKER.
- REFER TO ARCHITECTURAL ELEVATIONS FOR EXACT LOCATIONS OF PLUGS AND LIGHTS IN BATHROOMS.
- PROVIDE DUPLEX RECEPTACLE UNDER SINK BASE. TOP HALF TO BE SWITCHED TO ACCOMMODATE CORD CONNECTED DISPOSAL. PROVIDE CIRCUIT TO BOTTOM HALF TO ACCOMMODATE CORD CONNECTED DISHWASHER. NOTE: USE OF THIS CONFIGURATION REQUIRES THESE CIRCUITS TO BE CONNECTED TO A TWO(2) POLE BREAKER PER NEC 210.4.

**ELECTRICAL LIGHTING NOTES:**

- REFER TO ARCHITECTURAL REFLECTIVE CEILING PLANS FOR EXACT LOCATIONS OF CEILING MOUNTED LIGHT FIXTURES. REFER TO ARCHITECTURAL ELEVATIONS FOR MOUNTING HEIGHT OF WALL MOUNTED LIGHT FIXTURES INDOORS AND OUTDOORS.
- ALL LIGHT FIXTURES IN CEILING SHALL BE BRACED TO THE BUILDING STRUCTURE AND NOT TO THE CEILING.
- PROVIDE IC HOUSING FOR LIGHTING FIXTURE WHERE REQUIRED; COORDINATE WITH ARCHITECTURAL PLANS.

**ELECTRICAL DEMOLITION NOTES:**

- CERTAIN SYSTEMS, SUCH AS THE FIRE ALARM SYSTEM, SECURITY SYSTEM, ETC., MAY REQUIRE STAND-BY WATCHES DURING SHUT-DOWN. E.C. SHALL ARRANGE AND PAY FOR ANY SUCH STAND-BY WATCHES.
- THE E.C. SHALL REMOVE ALL EQUIPMENT INCLUDING CONDUIT AND WIRE BACK TO POWER SOURCE. SOME CONDUIT AND WIRING MAY BE HIDDEN. E.C. SHALL CARRY THE COST TO REMOVE SAID WIRING AT NO ADDITIONAL COST TO THE OWNER.
- ANY DEMOLITION WORK REQUIRING THE SHUT-DOWN OF ELECTRICAL SERVICE TO THE BUILDING OR ANY PORTION THEREOF, THE E.C. SHALL MAKE ARRANGEMENTS WITH THE OWNER AND OTHER CONCERNED AUTHORITY.
- ALL ITEMS SCHEDULED FOR DEMOLITION SHALL BE REMOVED FROM SITE UNLESS OTHERWISE NOTED. E.C. SHALL BE RESPONSIBLE FOR CLEANING OF SITE ON A DAILY BASIS.



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REHABILITATION/RECONSTRUCTION WORK FOR:

**HILDA STEINER**

APPLICANT #2322

62 MOREHOUSE HIGHWAY FAIRFIELD, CT

**Sheet Description:**

**ELECTRICAL FLOOR PLANS**

**Issue Dates:**

SEPTEMBER 30,2014

Scale: 1/4" = 1'-0"

Project #: QA 1346-20

Drawn By: SS

**Sheet #:**

**E2.0**

