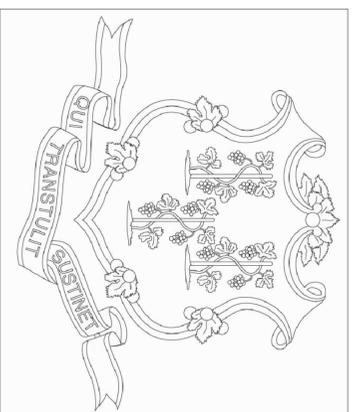
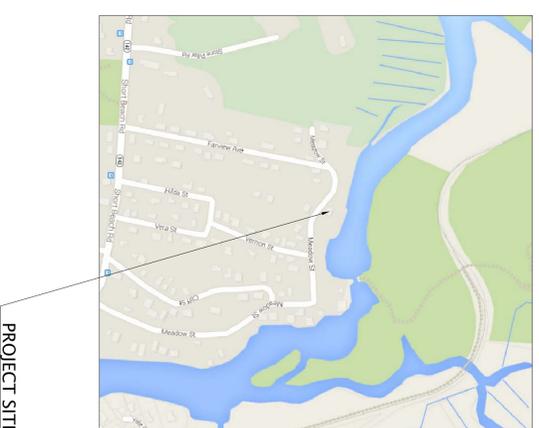


# STATE OF CONNECTICUT DEPARTMENT OF HOUSING CDBG-COMMUNITY DEVELOPMENT BLOCK GRANT SUPERSTORM SANDY DISASTER RECOVERY PROGRAM



## AREA MAP



PROJECT SITE

**SPONSOR**  
State of Connecticut  
Department of Housing  
505 Hudson Street  
Hartford, Connecticut 06106

**OWNER**  
Application No. 2306  
Cristina & Christopher Laudano  
145 Meadow Street  
East Haven, Connecticut 06512

## ARCHITECT: Lothrop Associates LLP

333 Westchester Avenue, White Plains, New York 10604  
510 Clinton Square, Rochester, New York 14620  
125 Half Mile Road, Suite 200, Red Bank, New Jersey 07701  
100 Pearl Street, 14th Floor, Hartford, Connecticut 06103

## ENVIRONMENTAL ENGINEER:

**Fuss & O'Neill EnviroScience, LLC**  
146 Hartford Road, Manchester, Connecticut 06040  
56 Quarry Rd, Trumbull, Connecticut 06611

## STRUCTURAL ENGINEER:

**Cuoco Structural Engineers, LLC**  
60 Katona Drive, Fairfield, Connecticut 06824

## SURVEYOR:

**Freeman Companies, LLC**  
36 John Street, Hartford, Connecticut 06106

## GENERAL NOTES

- DO NOT OBSTRUCT ACCESS TO THE SITE.
- LEAD AND ASBESTOS ABATEMENT ACTIVITIES ARE NOT REQUIRED FOR THIS PROJECT.
- PROTECT ALL AREAS FROM FALLING DEBRIS.
- MAINTAIN ALL EXISTING SITE ELEMENTS (PAVING, FENCES, BUILDINGS, ETC.) AND PLANTINGS & LAWNS. CONTRACTORS SHALL REPLACE OR REPAIR ALL DAMAGE. AT THE CONTRACTORS' EXPENSE.
- MAINTAIN A SECURED AREA FOR ALL CONSTRUCTION MATERIALS & EQUIPMENT STORED ON SITE.
- PROMOTE TAPPED DUMPER FOR REMOVAL OF ALL RUBBISH AND CONSTRUCTION DEBRIS. DUMPER SHOULD BE ADEQUATELY PROTECTED DURING PROJECT. CONTRACTOR IS RESPONSIBLE FOR ALL TRASH PLACED IN AND AROUND DUMPER. DUMPER PERMIT COSTS TO BE INCLUDED IN THE BASE BID.
- WORK SHALL COMPLY WITH ALL STATE & LOCAL CODES, REGULATIONS AND ORDINANCES.
- AT PROJECT COMPLETION, REMOVE ALL CONSTRUCTION DEBRIS AND PATCH/REPAIR ALL SURFACES DAMAGED BY CONTRACTOR ACTIVITIES. THOROUGHLY CLEAN ALL WORK AREAS OF ALL DEBRIS RESULTING FROM WORK OF THIS CONTRACT.
- DISCONNECT AND RECONNECT ALL UTILITIES AS REQUIRED, COORDINATE WITH UTILITY COMPANIES AND AUTHORITIES HAVING JURISDICTION.
- THE SPECIFICATION MANUAL IS AN INTEGRAL PART OF THESE DOCUMENTS AND SHALL BE CONSIDERED A COMPONENT OF THESE DOCUMENTS AS IF INCLUDED HEREIN.

## DRAWING LIST

ARCHITECTURAL	
G-001	COVER SHEET
G-002	SITE PLAN, ZONING DATA
A-101	FOUNDATION DEMOLITION AND NEW FOUNDATION PLANS
A-102	FIRST & SECOND FLOOR PLANS
A-201	BUILDING ELEVATIONS AND CROSS SECTION
A-202	BUILDING ELEVATIONS
A-301	SECTIONS & DETAILS
STRUCTURAL	
S-101	FOUNDATION PLAN, FIRST FLOOR FRAMING PLAN
S-102	STRUCTURAL SECTIONS & DETAILS
S-103	TYPICAL DETAILS, BORING LOGS AND NOTES

## ABBREVIATIONS

CJ	CONTROL JOINT
E/F	EXHAUST FAN
FP/HB	FROST PROOF HOSE BIB
FV	FLOOD VENT
GF/CI	GROUND FAULT CIRCUIT INTERRUPTER
MC	MEDICINE CABINET
MO	MASONRY OPENING
PT	PRESSURE TREATED
WP	WEATHERPROOF
W/F	VERIFY IN FIELD
LDR	GUTTER LEADER
FJ	FLOOR JOISTS

## SYMBOLS LEGEND

	EXISTING TO REMAIN		DETAIL TAG
	NEW FOUNDATION		SECTION NUMBER
	EXISTING TO BE REMOVED		SECTION KEY
	PLYWOOD		SECTION NUMBER
	CONCRETE		ELEVATION KEY
	RIGID INSULATION		ELEVATION NUMBER
	GRAVEL		EXISTING DOOR TO REMAIN
	ROOF SLOPE		REVISION
	SILT FENCE		
	CONSTRUCTION FENCE		



Lothrop Associates LLP Architects  
100 Pearl Street  
14th Floor

Hartford, Connecticut 06103  
860-249-7251

White Plains Rochester Red Bank Hartford  
STRUCTURAL ENGINEER:



SURVEYOR:



ENVIRONMENTAL ENGINEER:



ISSUE NO.	ISSUE DATE	DESCRIPTION
1	21 NOV 2014	ISSUED FOR BID

State Of Connecticut  
Department Of Housing  
505 Hudson Street  
Hartford, Connecticut 06106

Construction of New Foundation  
and Raising Existing Residence

for  
Cristina & Christopher Laudano  
Application No. 2306  
145 Meadow Street  
East Haven, Connecticut 06512

## COVER SHEET

PROJECT NO.: 1524-01 SCALE AS NOTED

DRAWING NO.:

**G-001**







## BUILDING ELEVATIONS AND CROSS SECTION

**State Of Connecticut  
Department Of Housing**  
505 Hudson Street  
Hartford, Connecticut 06106

Construction of New Foundation  
and Raising Existing Residence  
for

**Cristina & Christopher Laudano**

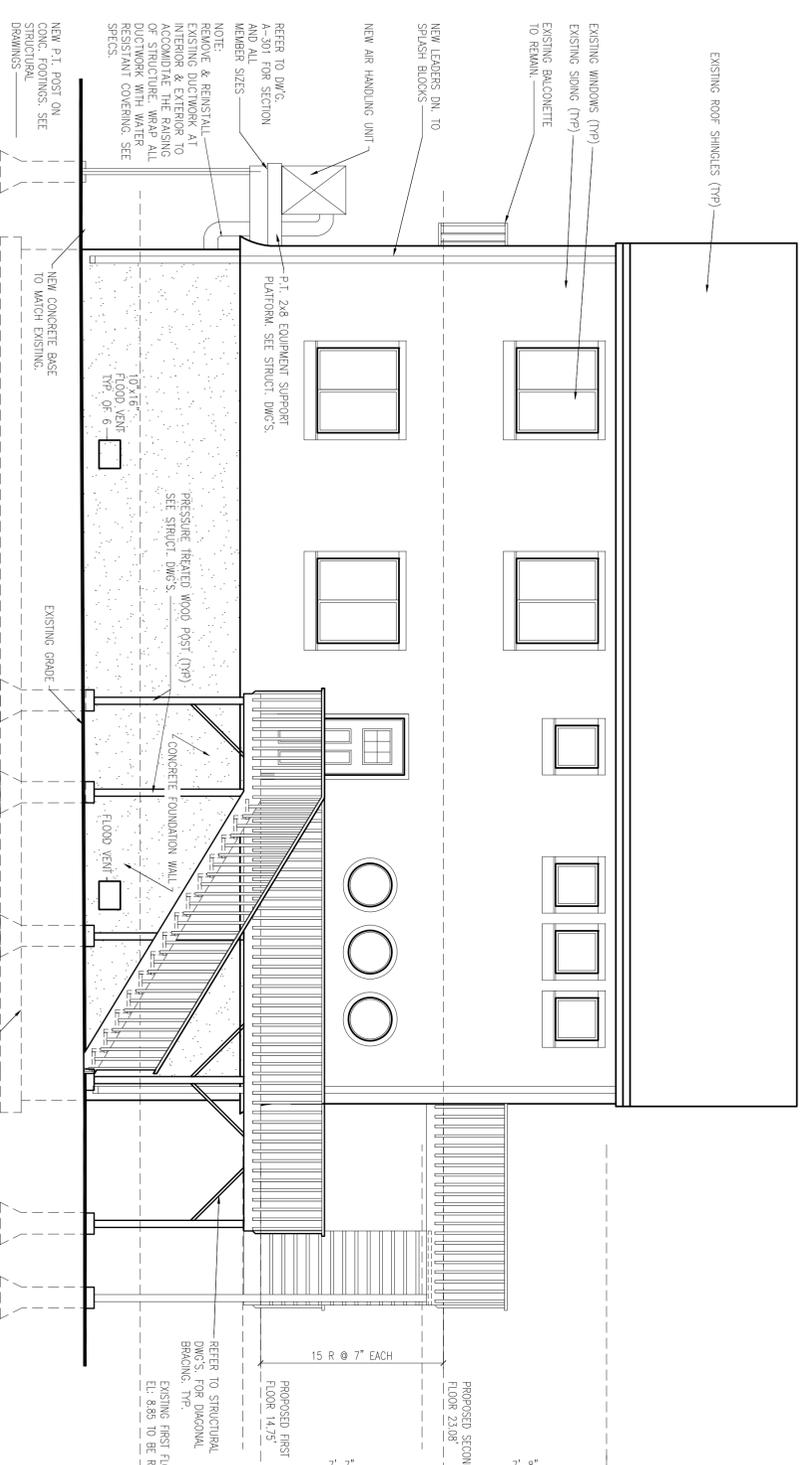
Application No. 2306

145 Meadow Street

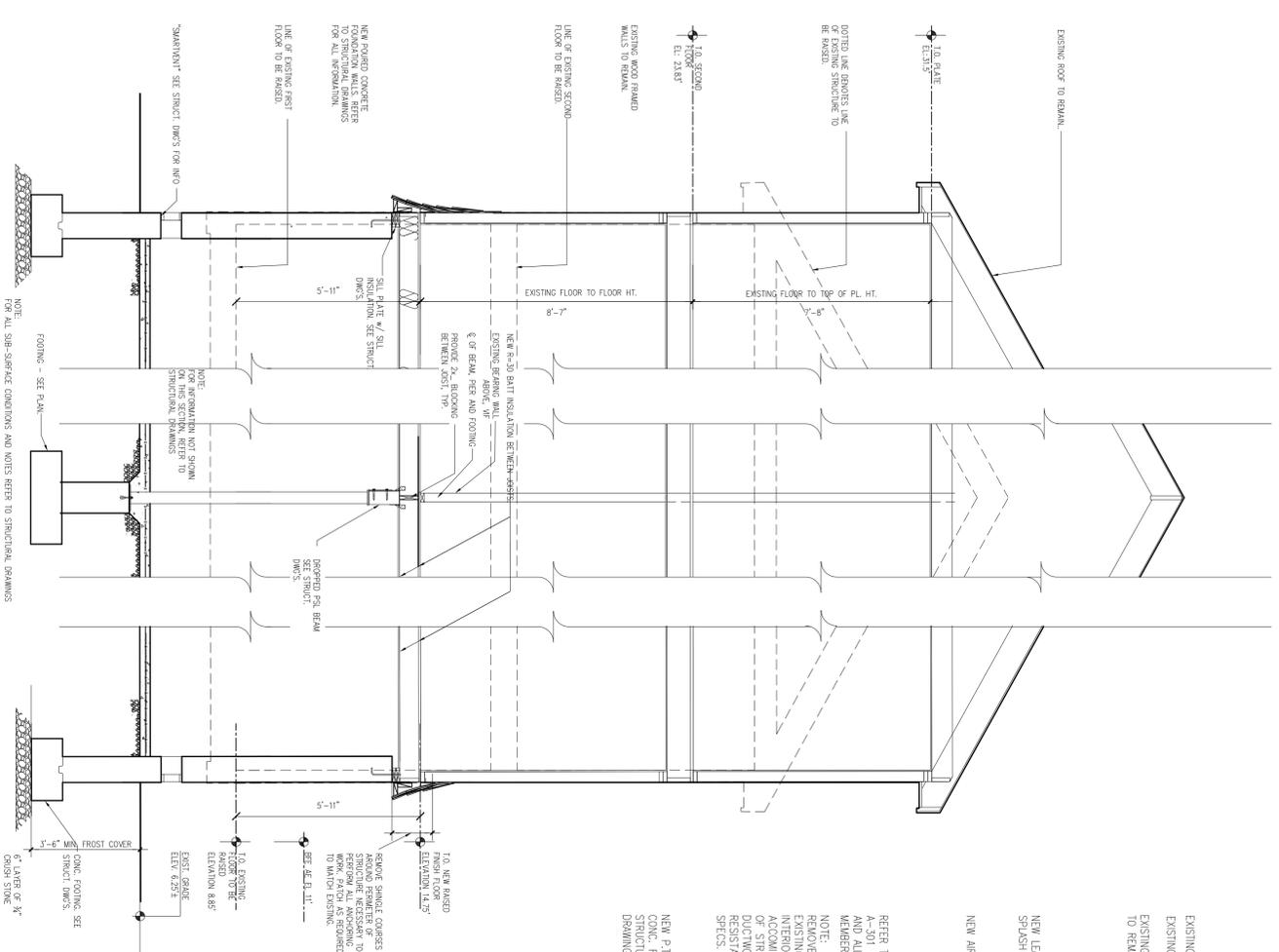
East Haven, Connecticut 06512

PROJECT NO.: 1524-01 SCALE AS NOTED

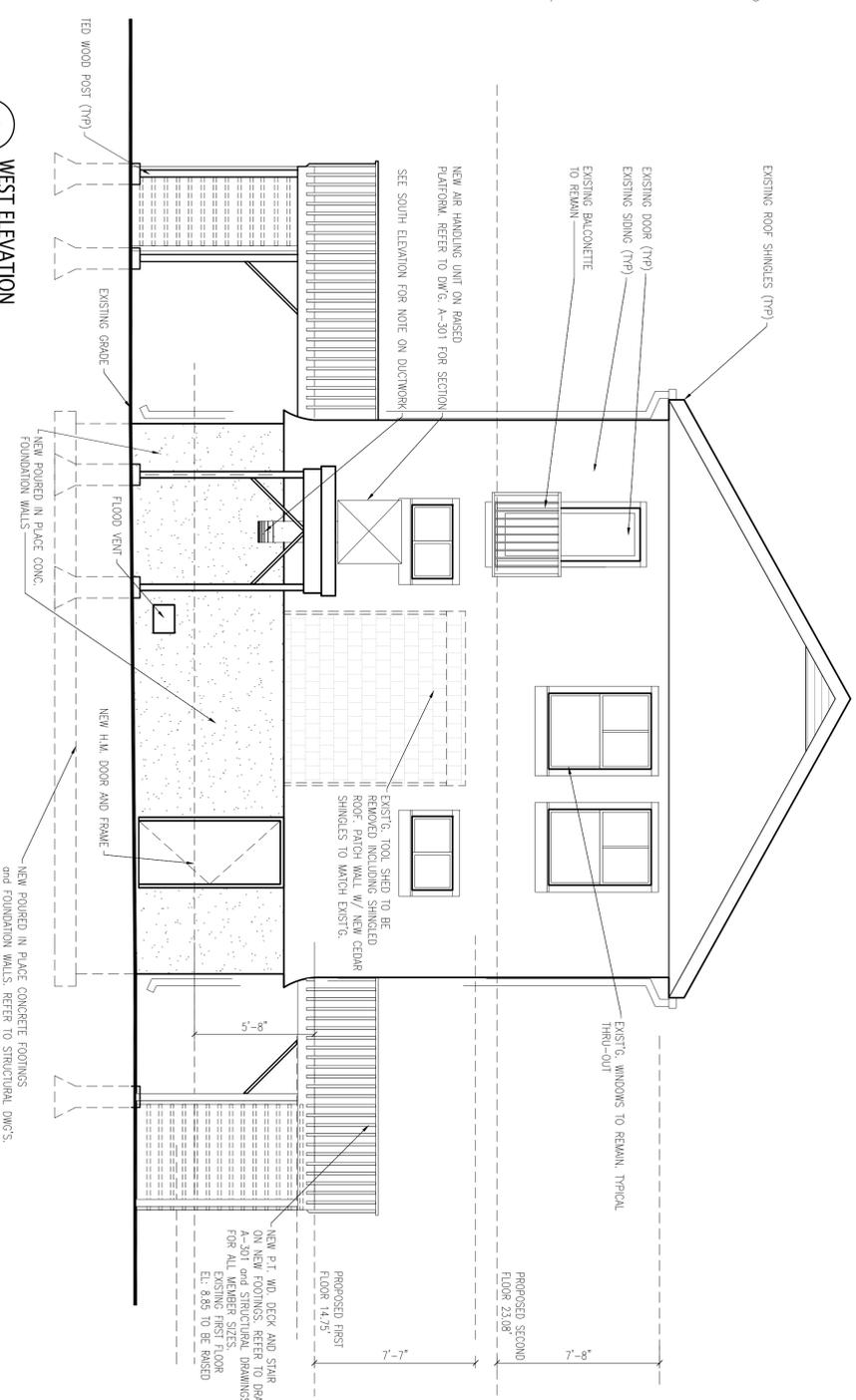
**A-201**



**1 SOUTH ELEVATION**  
1/4" = 1'-0"



**1 CROSS SECTION**  
1/2" = 1'-0"



**2 WEST ELEVATION**  
1/4" = 1'-0"

PROJECT NO.: 1524-01 SCALE AS NOTED

**A-201**





MARK	HEADER SCHEDULE
H-1	(2) 2x8 HEADER W/ (2) 2x JACK STUDS + (2) 2x KING STUD FOR OPENINGS < 3'-0"

**Lothrop**

**Lothrop Associates LLP Architects**  
 100 Pearl Street  
 14th Floor  
 Hartford, Connecticut 06103  
 860-249-7251

White Plains Rochester Red Bank Hartford  
**STRUCTURAL ENGINEER:**



**SURVEYOR:**



**ENVIRONMENTAL ENGINEER:**



21 NOV 2014

ISSUE NO.	ISSUE DATE	DESCRIPTION
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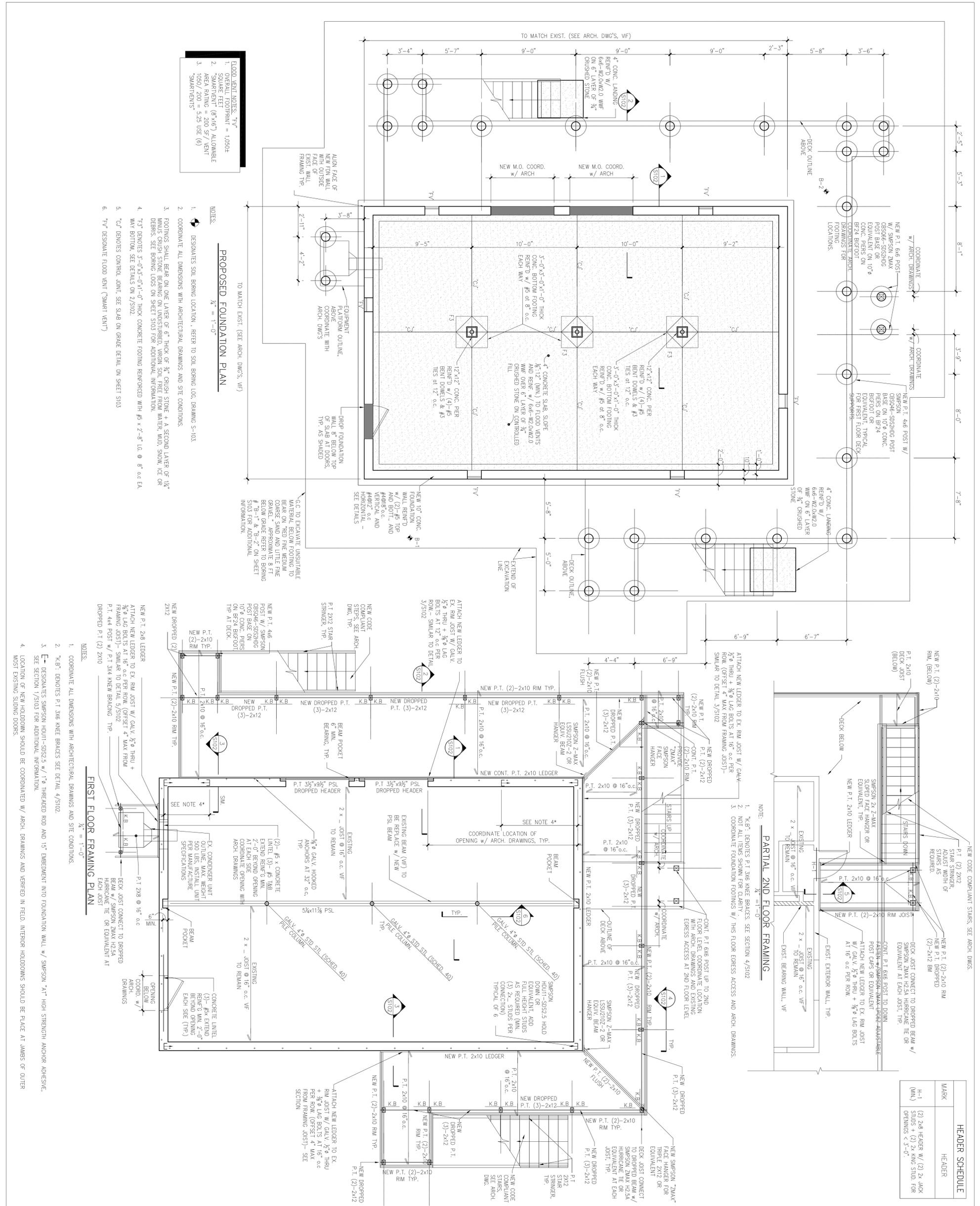
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 Application No. 2306  
 145 Meadow Street  
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**FOUNDATION PLAN**  
**FIRST FLOOR FRAMING PLAN**

PROJECT NO.: 1524-01 SCALE AS NOTED

DRAWING NO.: **S-101**



- FLOOD VENT NOTES: "FV"**
- OVERALL FOOTPRINT = 1,090sq
  - SQUARE FEET (8'x6') ALLOWABLE AREA PER VENT
  - 1050/200 = 5.25 USE (6) "SMARTVENTS"

- NOTES:**
- DESIGNATES SOIL BORING LOCATION. REFER TO SOIL BORING LOG, DRAWING S-103.
  - COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS AND SITE CONDITIONS.
  - FOOTINGS SHALL BEAR ON ONE LAYER OF 6" THICK OF #4 CRUSHED STONE & A SECOND LAYER OF #4 MANUS CRUSHED STONE BEARING ON UNDISTURBED VIRGIN SOIL FREE FROM WATER, MOU, SLOAM, ICE OR DEBRIS. SEE BORING LOGS ON SHEET S103 FOR ADDITIONAL INFORMATION.
  - "F3" DENOTES 3'-0"x3'-0"x1'-0" THICK CONCRETE FOOTING REINFORCED WITH #5 x 2'-8" LG. @ 8" OC EA. MAY BOTTOM. SEE DETAILS ON 2/S102.
  - "C4" DENOTES CONTROL JOINT. SEE SLAB ON GRADE DETAIL ON SHEET S103
  - "FV" DESIGNATE FLOOD VENT ("SMART VENT")

**PROPOSED FOUNDATION PLAN**

TO MATCH EXIST. (SEE ARCH. DWGS, WF)

G.C. TO EXCAVATE UNSUITABLE MATERIAL BELOW FOOTING TO BEAR ON RED FINE MEDIUM GRAVEL. APPROXIMATE 8 FT BELOW GRADE REFER TO BORING # "B-1" & "B-2" ON SHEET S103 FOR ADDITIONAL INFORMATION.

**NOTES:**

- COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS AND SITE CONDITIONS.
- "K.B." DENOTES P.T. 3X6 KNEE BRACES. SEE DETAIL 4/S102.
- "E" DESIGNATES SIMPSON H0011-S052.5 W/ 1"Ø THREADED ROD AND 1"Ø EMBEDMENT INTO FOUNDATION WALL W/ SIMPSON "AT" HIGH STRENGTH ANCHOR ADHESIVE. SEE SECTION 1/S103 FOR ADDITIONAL INFORMATION.
- LOCATION OF NEW HOLLOWDOWN SHOULD BE COORDINATED W/ ARCH. DRAWINGS AND VERIFIED IN FIELD. INTERIOR HOLLOWDOWNS SHOULD BE PLACED AT JAMBS OF OUTER MOST EXISTING SLIDING DOORS.

**FIRST FLOOR FRAMING PLAN**

"K" = 1'-0"

**PARTIAL 2ND FLOOR FRAMING**

"K" = 1'-0"

- NOTE:**
- "K.B." DENOTES P.T. 3X6 KNEE BRACES. SEE SECTION 4/S102
  - NOT ALL ITEMS SHOWN FOR CLARITY.
  - COORDINATE FOUNDATION FOOTINGS W/ THIS FLOOR EGRESS ACCESS AND ARCH. DRAWINGS.

MARK	HEADER SCHEDULE
H-1	(2) 2x8 HEADER W/ (2) 2x JACK STUDS + (2) 2x KING STUD FOR OPENINGS < 3'-0"



