

# ADDENDUM

June 12, 2015

Addendum No. 1

The State of Connecticut  
Department of Housing (DOH)  
Community Development Block Grant  
Disaster Recovery Program (CDBG-DR)  
Owner Occupied Rehabilitation and Rebuilding Program (OORR)

Application No. 2304  
Cespedes Residence  
17 Sable Street  
Norwalk, CT

To All Prospective Bidders:

This Addendum shall become part of the Contract and all bidders shall be bound thereby.

The date and time for the Bid Opening has **NOT** changed. Sealed bids will be accepted until **4:00 p.m. on Friday, June 19, 2015.**

Bid will be opened publicly and read aloud.

The following changes and/or clarifications are hereby made to the Contract Documents dated April 24, 2015 for the above captioned project.

**A. THE FOLLOWING CLARIFICATIONS SHALL BE MADE:**

1. Contractor to store existing appliances in kitchen space.
2. Provide and install new 22 x 30 E-Z hatch ladder access scuttle to attic by Battic Door or equal to meet R-30 insulation Requirements, ladder access scuttle to attic. The location shall be field determined by the owner.
3. Remove the existing abutting concrete pad on the North side of the house in order to accomplish the work. Install a new concrete pad in same location. Pad to be 4" thick, 3,000 psi with 6 x 6 - W1.4 x W1.4 WWF. Haunch perimeter 8" x 12". Install over min. 4" stone base. Score cut pad into 4 equal sections.
4. Contractor shall remove the existing paved driveway including at least 6 inches of underlying subbase or down to a depth consisting of suitable Subgrade material. Subgrade shall be applied a compactive effort to provide a stable and firm surface.

Driveway shall be replaced with at least 6" of processed aggregate base (per CT DOT Form 816 specifications) and a 3 inch lift of Class 2 bituminous concrete pavement.

Capital Studio Architects

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# ADDENDUM

## **B. THE FOLLOWING CHANGES SHALL BE MADE TO THE DRAWINGS:**

1. **REPLACE** - Drawing C-1 Plot Plan
  - A. See Attached
2. **REPLACE** - Ceramic Tile Notes under Finish Notes on Drawing A-0.0 as follows:
  5. **CERAMIC TILE NOTES**
    - A. AT ALL CERAMIC TILE FLOOR AREAS, PROVIDE 1/4" THICK APA RATED A-C PLYWOOD UNDERLAYMENT WITH EXTERIOR GLUE. AT BATHROOM FLOOR, ALSO PROVIDE WATERPROOF MEMBRANE COMPLYING WITH ANSI A118.10. THIS WORK SHALL BE BASE BID.
    - B. AT SHOWER STALL WALLS, IN LIEU OF GWB, FURNISH and INSTALL DUROCK CEMENT BACKER BOARD, FULL EXTENT OF SHOWER SURROUND WALLS, FROM SHOWER BASE UNIT TO CEILING HEIGHT. INSTALL OWNER SELECTED CERAMIC WALL TILE IN ACCORDANCE WITH 'TCNA WALL SYSTEM' B-430, USING LATEX-PORTLAND CEMENT MORTAR and GROUT IN ACCORDANCE WITH ANSI A108.12 and A108.10 RESPECTFULLY. .
    - C. AT NEW OFFICE, PLAYROOM and BEDROOM FLOORS, INSTALL OWNER SELECTED CERAMIC FLOOR TILE IN ACCORDANCE WITH 'TCNA FLOOR SYSTEM' F-150 USING EGP LATEX-PORTLAND CEMENT MORTAR and LATEX-PORTLAND CEMENT GROUT IN ACCORDANCE WITH ANSI 108.12 and A108.10 RESPECTIVELY.
    - D. AT BATHROOM FLOOR, INSTALL SELECTED CERAMIC FLOOR TILE IN ACCORDANCE WITH 'TCNA FLOOR SYSTEM' F-143 USING EPOXY MORTAR and EPOXY GROUT IN ACCORDANCE WITH ANSI A108.6.
    - E. GROUT COLOR AS SELECTED BY OWNER.
    - F. ALL CERAMIC TILE MATERIALS SHALL BE AS SELECTED BY OWNER, FURNISHED UNDER THE ALLOWANCE SPECIFIED IN SECTION 01210. ALL CERAMIC TILE LABOR and MORTAR / GROUT MATERIALS SHALL BE INCLUDED IN THE BASE BID.

END OF ADDENDUM #1

c: file

X:\1347-05 1743 50 Mumford Cove Rd Groton - Flynn\1347-05 1743 Documents\Admin\1347-05 1743 Addenda\1347-05 1743 Addendum No. 3\1347-05 1743 00 Addendum No. 3.doc

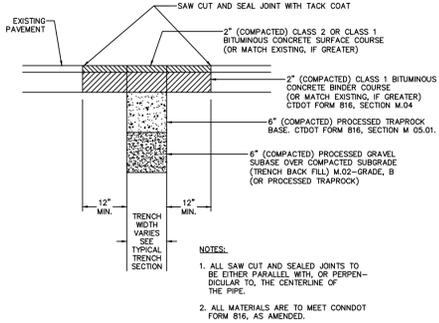
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Addendum No. 2 / 2 of 2

# Zoning Information

| ITEM                       | REQUIRED    | EXISTING CONDITIONS | PROPOSED CONDITIONS |
|----------------------------|-------------|---------------------|---------------------|
| ZONE: C Residential        |             |                     |                     |
| Minimum Lot Area           | 5,000 s.f.  | 5,733 s.f.          | 5,733 s.f.          |
| Minimum Lot Width          | 50 feet     | 49.7 feet           | 49.7 feet           |
| Minimum Front Yard Setback | 30 feet     | 26.0 feet           | 26.0 feet           |
| Minimum Side Yard Setback  | 6 feet      | 7.5 feet            | 7.5 feet            |
| Minimum Rear Yard Setback  | 15 feet     | 34.4 feet           | 34.4 feet           |
| Maximum Building Height    | 39 feet     | 20.4 feet           | 26.1 feet           |
| Maximum Building Area      | 2006.6 s.f. | 1202.3 s.f.         | 1202.3 s.f.         |
| Minimum Driveway Width     | 8 feet      | 11.5 feet           | 11.5 feet           |



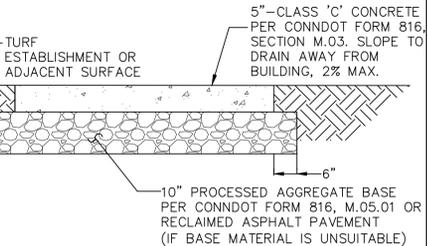
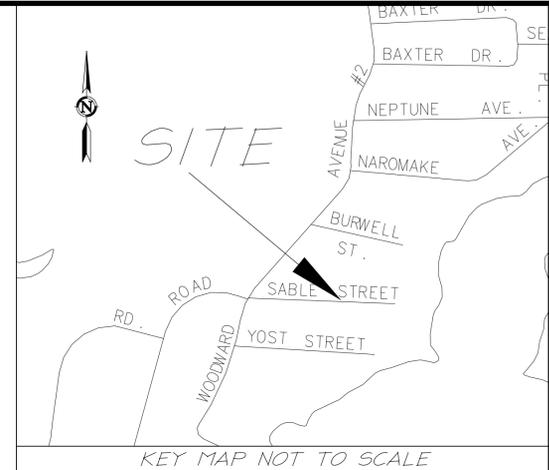
PERMANENT PAVEMENT PATCH

## CONSTRUCTION NOTES:

1. CALL BEFORE YOU DIG - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. CONTRACTOR SHALL CALL (800) 922-4455 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION AND PROTECTION OF ALL UTILITIES, LANDSCAPING, SIDEWALK, PAVEMENT, ETC. DESIGNATED TO REMAIN. SHOULD ANY FEATURES BE DAMAGED DURING THE CONSTRUCTION EFFORT, CONTRACTOR SHALL MAKE ARRANGEMENTS FOR REPLACEMENT AT NO ADDITIONAL COST.
3. CONTRACTOR SHALL VERIFY LAYOUT DIMENSIONS. DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER AND ARCHITECT PRIOR TO CONSTRUCTION.
4. ALL WORK SHALL BE COMPLETED IN CONFORMANCE WITH THE REQUIREMENTS OF ALL FEDERAL, STATE, AND LOCAL PERMITS ISSUED FOR THIS PROJECT.

## LEGEND

| EXISTING        | DESCRIPTION                             |
|-----------------|---|
| C <sub>x</sub>  | OVERHEAD COMM. LINES (CABLE, TEL, ETC.) |
| DOMESTIC WATER  |   |
| W <sub>x</sub>  | WATER MAIN                              |
| WS <sub>x</sub> | WATER SERVICE                           |
| ⊕               | WATER VALVE                             |
| ⊕               | FIRE HYDRANT                            |
| LIGHTING        |   |
| ⊙               | POLE MOUNTED LIGHT                      |
| NATURAL GAS     |   |
| G <sub>x</sub>  | GAS MAIN                                |
| POWER           |   |
| EO <sub>x</sub> | ELECTRICAL LINES, OVERHEAD              |
| EU <sub>x</sub> | ELECTRICAL LINES, UNDERGROUND           |
| U <sub>x</sub>  | UTILITY POLE                            |
| PROPERTY        |   |
| ○               | PROPERTY LINE                           |
| ○               | IRON PIN                                |
| □               | MONUMENT                                |
| ROADS           |   |
| —               | GUARD RAIL                              |
| SITE FEATURES   |   |
| X               | BARBED WIRE FENCE                       |
| ⊙               | CHAIN LINK FENCE                        |
| —               | RAIL FENCE                              |
| —               | STOCKADE FENCE                          |
| +               | WIRE FENCE                              |
| +               | TREE                                    |
| +               | TREE LINE                               |
| SANITARY SEWER  |   |
| S <sub>x</sub>  | SANITARY SEWER MAIN                     |
| ⊕               | SANITARY SEWER MANHOLE                  |
| STORM SEWER     |   |
| D <sub>x</sub>  | STORM DRAIN PIPE                        |
| ⊕               | STORM DRAIN MANHOLE                     |
| ⊕               | CURB INLET                              |
| ⊕               | CATCH BASIN                             |
| TOPOGRAPHY      |   |
| 95              | CONTOUR                                 |
| X.61.95         | SPOT ELEVATION                          |
| ▲▲▲             | WETLANDS LINE                           |



CONCRETE LANDING

## SEDIMENTATION AND EROSION CONTROL:

1. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE CONNECTICUT COUNCIL FOR SOIL AND WATER CONSERVATION.
2. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION, AND SHALL BE MAINTAINED OR REPLACED AS NECESSARY.
3. CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTATION AND MAINTENANCE OF ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHOWN ON THESE PLANS. ANY PROPOSED CHANGES TO THIS PLAN MUST BE APPROVED BY THE ENGINEER AND/OR THE TOWN OF NORWALK.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR SWEEPING EXISTING ROADS & DRIVEWAYS AS DEEMED NECESSARY.
5. AREAS TO BE LEFT BARE FOR MORE THAN 15 DAYS SHALL BE TREATED WITH AIR DRIED WOOD CHIP MULCH OR SEEDED WITH PERENNIAL RYE-GRASS, UNTIL FINAL GRADING AND STABILIZATION EFFORTS TAKE PLACE.

**NOTES:**

1. PROPERTY IS IN THE C ZONE.
2. PARCEL CONTAINS 5,733 SQUARE FEET OR 0.132 ACRES.
3. HORIZONTAL CONTROL IS BASED ON THE NORTH AMERICAN DATUM OF 1983/2012 (NAD 83/2012) AND VERTICAL CONTROL IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
4. EXISTING HOUSE IS NON-CONFORMING TO CURRENT ZONING REGULATIONS WITH RESPECT TO FRONT YARD SETBACK REQUIREMENTS.
5. PROPERTY MONUMENTATION DOES NOT AGREE WITH PROPERTY OCCUPANCY AND MAP REFERENCE #1. THE PROPERTY LINES DEPICTED HEREON ARE BASED ON MAP REFERENCE #1 AND CURRENT OCCUPANCY.
6. PROPERTY FALLS WITHIN THE LIMITS OF THE AE FLOOD HAZARD ZONE (ELEVATION 11.0) AS DEPICTED ON: "FIRM FLOOD INSURANCE RATE MAP FAIRFIELD COUNTY, CONNECTICUT (ALL JURISDICTIONS) PANEL 533 OF 626 MAP NUMBER 0901003336 MAP REVISED JULY 8, 2013 FEDERAL EMERGENCY MANAGEMENT AGENCY.
7. INFORMATION RELATIVE TO THE COASTAL JURISDICTION LINE IS FROM THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS' RESOURCES FOR TIDAL AND NAVIGABLE WATERS IN CONNECTICUT BY JOHN J. DOODY, PS & PE FIRST PRINTING OCTOBER 15, 2012.
8. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO DESIGN PROFESSIONALS, INC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.
9. CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" FOR UNDERGROUND UTILITY MARKING AT LEAST TWO FULL WORKING DAYS PRIOR TO START OF CONSTRUCTION: 1-800-922-4455 OR WWW.CBYD.COM.

**MAP REFERENCES:**

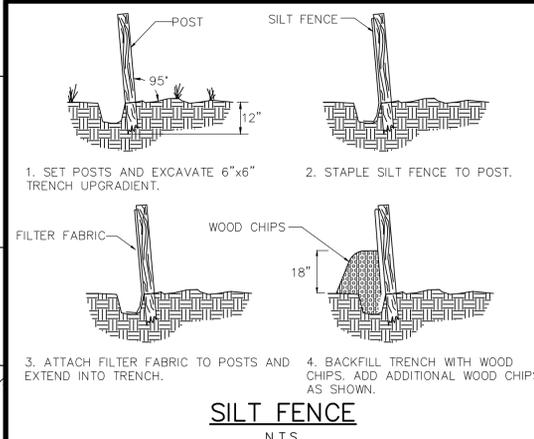
1. MAP OF PROPERTY BELONGING TO CASS B. SMITH SITUATED AT THE SOUTH END OF WOODWARD AVE. SO. NORWALK, CT 1891 SCALE 40'-1" W.S. KNAPP, C.E.

**SURVEY NOTES:**

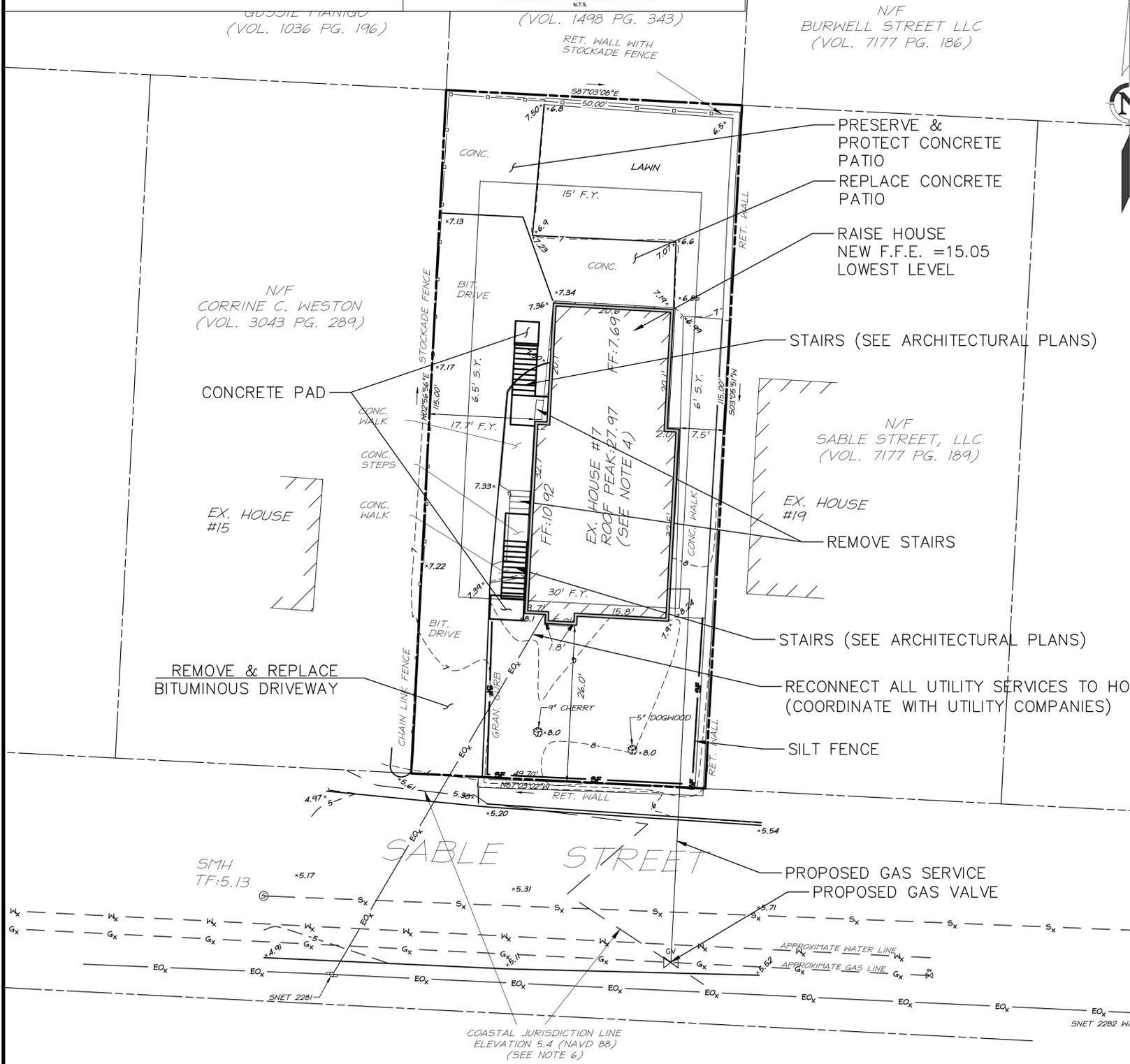
1. THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THRU 20-300b-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.
- TYPE OF SURVEY IS A PROPERTY AND TOPOGRAPHIC SURVEY AND IS INTENDED TO DEPICT THE LOCATION OF IMPROVEMENTS RELATIVE TO PROPERTY LINES.
- THIS IS A RESURVEY BASED ON MAP REFERENCE #1, DEEDS AND MAPS REFERENCED HEREON AND LINES OF OCCUPANCY.
- HORIZONTAL ACCURACY MEETS CLASS A-2 STANDARDS AND VERTICAL ACCURACY MEETS CLASS T-2 STANDARDS.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

LAWRENCE R. GEISSLER, JR., L.S. 12397 LIC. NO.



SILT FENCE



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PREPARED FOR:  
Yolanda Cespedes  
17 Sable Street  
Norwalk, Connecticut

PROJECT NO.: 34002304  
DATE: 4/24/15  
BY: BPW  
CHECKED BY: BPW  
SCALE: AS SHOWN

**YOLANDA CESPEDES**  
17 SABLE STREET  
NORWALK, CONNECTICUT

NO. DATE REVISIONS  
1 6/10/15 REPLACE DRIVEWAY & PATIO ADJ. TO HOUSE BPW

**PLOT PLAN**  
SCALE: 1" = 10'  
1

SHEET 1