

AMAYA ARCHITECTS

ADDENDUM NUMBER 5

For:

**Englander Residence
32 Field Court
Milford, Connecticut**

Project Number 2243

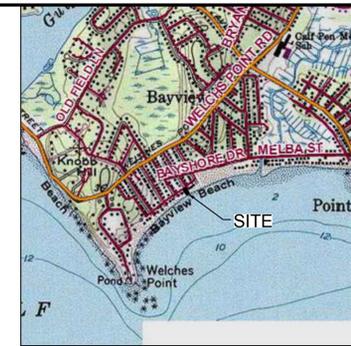
23rd of February 2016

The Drawings and Specifications prepared by Amaya Architects and it's Consultants entitled "**Construction of a New Pier Foundation under a Raised Structure and Interior Renovations**", and known as the "**Englander Residence**" and located at "**32 Field Court, Milford, Connecticut 06460 – Drawings and Specifications dated the 1st of December 2015 - Project Number 2243**", are hereby amended in the following particulars:

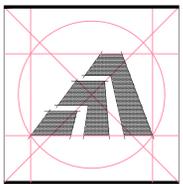
<u>Item #</u>	<u>Section/Dwg</u>	<u>Description</u>
		The attached Addendum Five Drawings are being issued as Schematic Design Drawings for General Informational purposes only. This package of Drawings is to be utilized for pricing the complete demolition and reconstruction of the Structure. They should be used in conjunction with the original Bid Package – except where noted.
1	Drawing V1	Delete the following Drawing from the Original Bid Package – V1 Existing Conditions.
2	Drawing C1	Delete the following Drawing from the Original Bid Package – C1 Demolition Plan.
3	Drawing C2	Delete the following Drawing from the Original Bid Package – C2 Site Plan & Details.
4	Drawing V1	Add the following "Revised" Drawing to the Bid Package – V1 Existing Conditions.
5	Drawing C1	Add the following "Revised" Drawing to the Bid Package – C1 Demolition Plan.
6	Drawing C2	Add the following "Revised" Drawing to the Bid Package – C2 Site Plan & Details.

7	Drawing A1	Add the following Drawing to the Bid Package – A1 Proposed Floor Plan, dated the 22 nd of February 2016.
8	Drawing A2	Add the following Drawing to the Bid Package – A2 Proposed Elevations, dated the 22 nd of February 2016.
9	Drawing A2.1	Add the following Drawing to the Bid Package – A2.1 Proposed Elevations, dated the 22 nd of February 2016.
10	Drawing A3	Add the following Drawing to the Bid Package – A3 Sections & Details, dated the 22 nd of February 2016.
11	Drawing S-3a	Add the following Drawing to the Bid Package – S-3a Structural Plans and Details, dated the 22 nd of February 2016.

END OF ADDENDUM FIVE



VICINITY MAP
Scale: 1"=1,500'



Amaya Architects
American Institute of Architects

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Loureiro Engineering Associates, Inc.
100 Northwest Drive
Plainville, Connecticut 06062
Phone: 860-747-6181 / Fax: 860-747-8822
An Employee Owned Company
email: info@loureiro.com
Comm No. 01MH4.02

Sheet Title:
EXISTING CONDITIONS

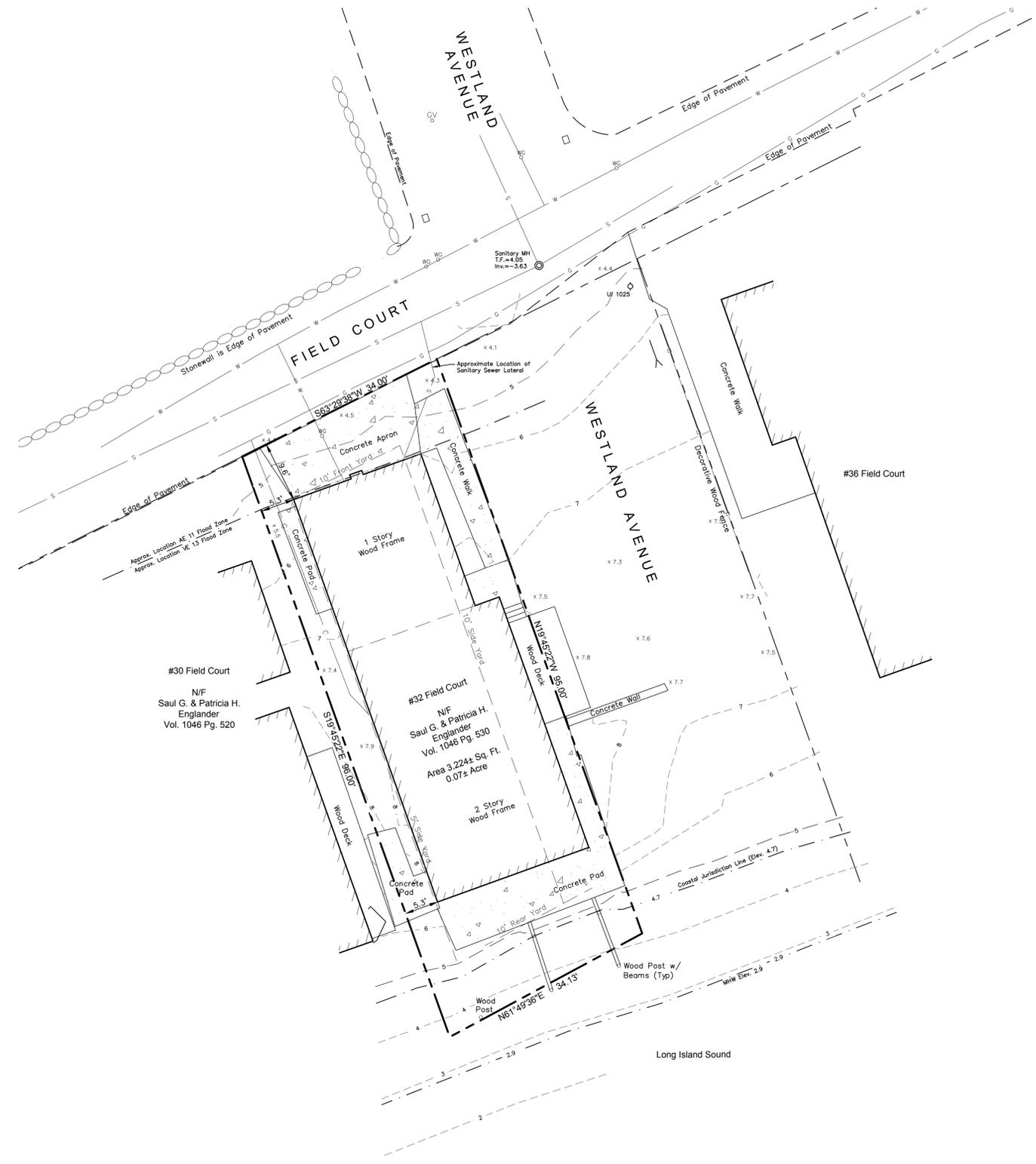
ENGLANDER RESIDENCE
32 FIELD COURT
Milford, Connecticut 06460

STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
(CDBG-DR)

Date: _____

Job Number: 000
Drawn By: P.A.C.
Approved By: E.G.S.

Sheet Number:
V-1



NOTES:

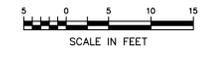
- This map and survey have been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and "The Minimum Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors on September 26, 1996.
- The type of survey performed and the mapped features depicted hereon are in accordance with the requirements of a Property/Boundary and Topographic Survey.
- The boundary determination / opinion is based upon a Dependent Resurvey of map reference 6A.
- This map conforms to Class A-2 horizontal accuracy, Class T-2 Topographic accuracy and V-2 Vertical accuracy.
- The north arrow, bearings and elevations are based upon the Connecticut State Coordinate System (NAD83) and NAVD88 respectively, derived from City of Milford Benchmark BM-88-06 with published coordinates N636,611.674 E921,185.311 and elevation 22.95.
- Map References:
 - "Survey of Property prepared for Saul G. Englander & Patricia A. Englander of Parcels designated as No. 32 Field Court situated in the City of Milford, County of New Haven, State of Connecticut," scale: 1"=10' dated June 15, 2013p Flanagan's Surveying & Mapping
 - "Map of Lots situated at Bayview owned by George E. Haskins & H.C.C. Miles, Milford, Conn." scale: 1"=50' date January 13, 1922 prepared by W.C. Morehouse; map on file in the City of Milford Land Records as map R3.
 - "Map of Lots woned by Louis E. Guyott, Bayview-Milford-Conn." scale: 1"=40' date February 16, 1929 prepared by W.C. Morehouse, map on file in the City of Milford Land Records as map E453.
- Parcel is subject to restrictions as defined in Volume 154 page 475 of the City of Milford Land Record.
- Parcel is located in Flood Zone VE - Coastal Flood Zone with velocity hazard (wave action base elevation determined to be 13) and Flood Zone AE (base flood elevation determined to be 11) as depicted on "FIRM, Flood Rate Insurance Map, New Haven County, Connecticut, (all jurisdictions), Panel 533 of 635, Milford, City of," Map Number 09003C0533J, map revised July 8, 2013.
- Parcel is depicted on the City of Milford Tax Assessor's Map 30, Block 639 as Lot 14.
- Parcel is zoned R-5 and is subject to the following zoning requirements:

Minimum Lot Size	5,000 Square Feet
Minimum Frontage	50 Feet
Minimum Depth	70 Feet
Front Yard	10 Feet or Actual which ever is greatest
Side Yard	10 Feet one side, 5 Feet the other side
Rear Yard	20'
Maximum Height	3 Stories
- The underground utilities depicted hereon have been compiled from observable evidence, such as manholes, catch basins and water gates. These location must be considered as approximate in nature. Additionally, other such features may exist on the sites, the existence of which is unknown to Loureiro Engineering Associates, Inc. (LEA). The size, location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. Call Be-For-You-Dig at 1-800-922-4455 or 811.

G:\SURVEY PROJECTS\01MH401\001_MILFORD\32 FIELD COURT\01MH401 EXISTING CONDITIONS.DWG Tbx: EXIST COND Saved: 2/22/2016 11:47 AM Plotted: 2/22/2016 11:53 PM

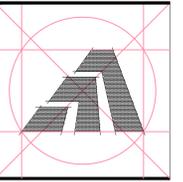
LEGEND

•	Property Corner
—	Property Line
- - -	Setback Line
G	Existing Gas Line
W	Existing Watermain
S	Existing Sanitary Sewer



To my knowledge and belief, the foregoing is substantially correct as noted hereon.

Edward G. Shelomis, L.S. #9266



Amaya Architects
American Institute of Architects

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Civil Consultant:



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Plainville, Connecticut 06062
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An Employee Owned Company
email: info@loureiro.com
Comm No. 01MH4.02

Sheet Title:
DEMOLITION PLAN

ENGLANDER RESIDENCE
32 FIELD COURT
Milford, Connecticut 06460

**STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
(CDBG-DR)**

Date:

Job Number: 000
Drawn By: P.A.C.
Approved By: E.G.S.

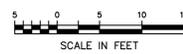
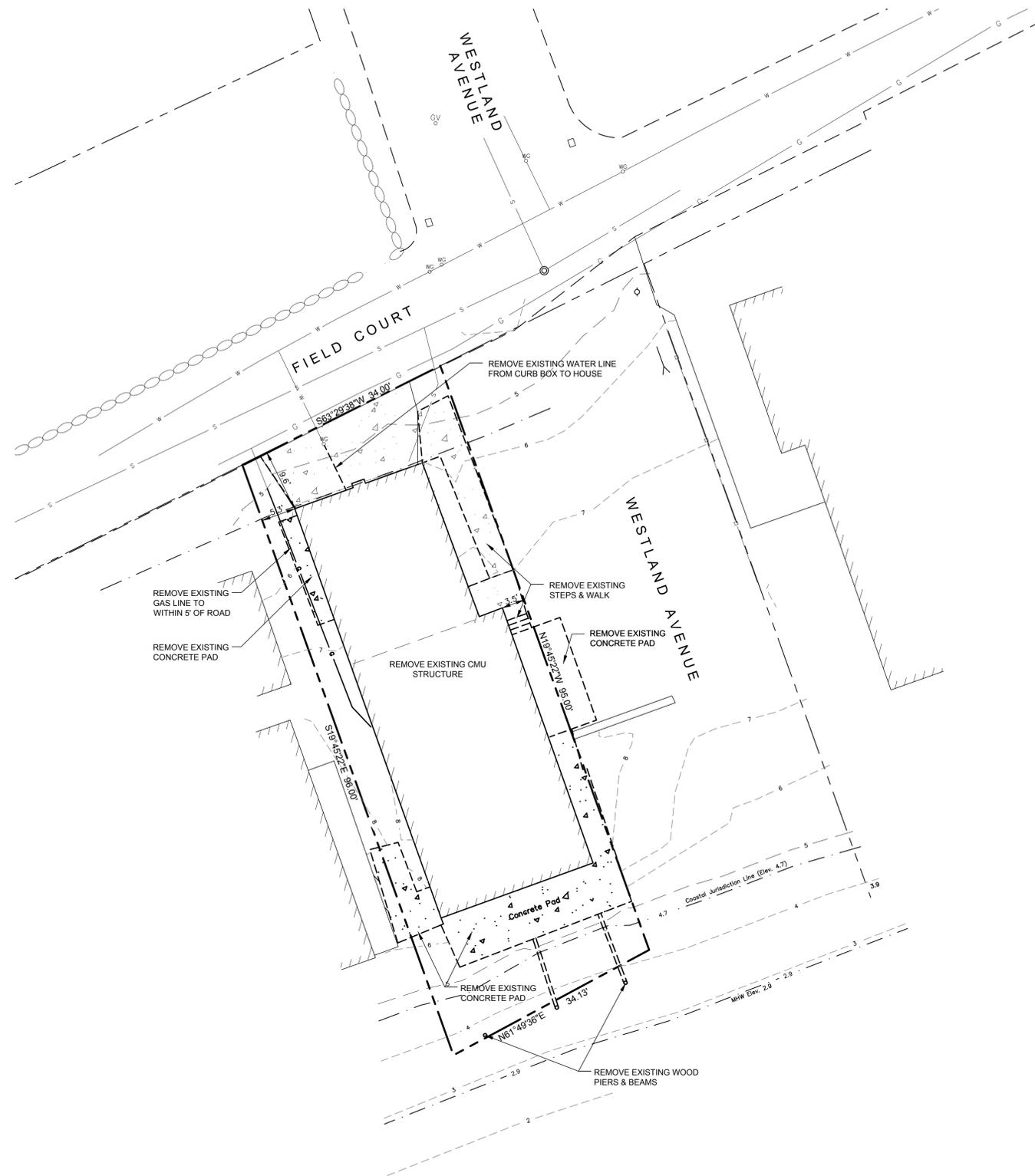
Sheet Number:
C-1

GENERAL NOTES:

1. Prior to demolition, all erosion control barriers shall be placed in accordance with the Town of Milford's requirements and shall be left in place and maintained until the work has been completed and surfaces stabilized.
2. It shall be the responsibility of the contractor to monitor the condition of the erosion control structures. If the effectiveness or integrity of the structures is found to be insufficient or if the structures are damaged in any way, the contractor shall make whatever repairs are necessary to ensure that proper erosion control is maintained.
3. If additional erosion and sedimentation control structures are necessary to minimize erosion and sedimentation as determined in the field, the contractor shall install structures as required at the contractor's expense.
4. All debris from the demolition and any required environmental mitigation such as asbestos abatement or other hazardous building material shall be immediately removed from the site at the contractor's expense. All materials shall be disposed of off site at an approved facility.
5. Contractor to contact all utility companies to shut-off or disconnects existing services prior to construction.
6. Removal existing overhead electric cables and reinstall per with United Illuminating Company specifications.
7. Shut-off/disconnection of existing gas service and remove existing lateral to within 5 feet of the road. Install of new gas meter and service lateral per Southern Connecticut Gas Company Specifications.
8. Disconnect existing sanitary sewer lateral. Protect end from debris and construction activities. Reconnect with new service lateral.
9. No stockpile of any material will be permitted to the rear of the site.
10. The underground utilities depicted hereon have been compiled from observable evidence, such as manholes, catch basins and water gates. These locations must be considered as approximate in nature. Additionally, other such features may exist on the sites, the existence of which is unknown to Loureiro Engineering Associates, Inc. (Loureiro). The size, location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. Call Be-For-You-Dig at 1-800-922-4455 or 811.
11. Prior to issuance of a Building Permit, details of the apron, sidewalk and residential inspection riser shall be presented to City of Milford Planning and Zoning for approval.
12. Permits from the City of Milford Engineering department required for driveway apron, sidewalk, and for sanitary work prior to construction.

LEGEND

•	Property Corner
○	Rebar Found
—	Property Line
- - -	Setback Line
x	Chain Link Fence
□	Wooden Fence
○	Stonewall
w	Existing Watermain
s	Existing Sanitary Sewer
g	Existing Gas

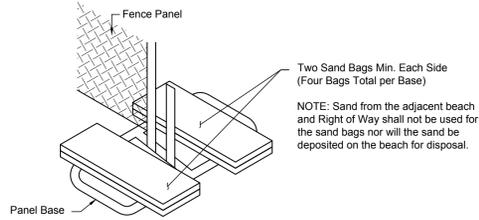


To my knowledge and belief the information is substantially correct as noted hereon.

Edward G. Shelton, P.E. #9266

ZONING TABLE - R-5 ZONE			
	Required	Existing	Proposed
Min. Lot Area	5,000 S.F.	3,224± S.F.	No Change
Min. Setbacks			
Front Yard	10'	9.6'	10.0'
Side Yard	5' & 10'	3.6'	4.09'
Rear Yard	20'	15.9'	18.5±
Max. Height (Stories)	3	1	2
Max. Height	35	N/A	33.8±*
Building Floor Area	45%	49.6%	46.0%
Lot Coverage	65%	70.4%	63.3%

* Mean Roof Height

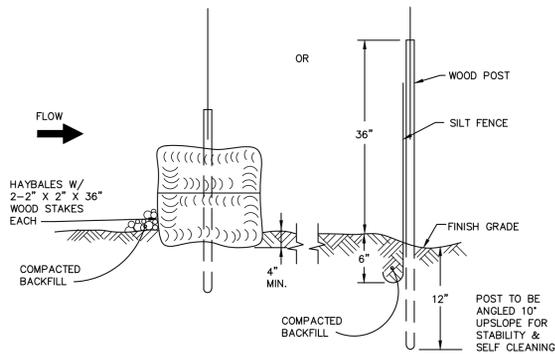


FENCE PANEL BASE DETAIL

SCALE: NONE

Two Sand Bags Min. Each Side
(Four Bags Total per Base)

NOTE: Sand from the adjacent beach and Right of Way shall not be used for the sand bags nor will the sand be deposited on the beach for disposal.



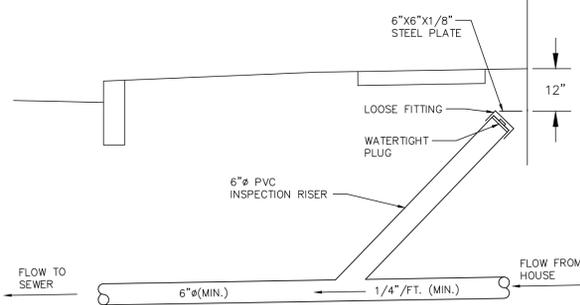
TYPICAL SEDIMENT BARRIER DETAIL

SCALE: NONE

A CONDITION OF ALL SEWER PERMITS FOR INSTALLING RESIDENTIAL SEWER CONNECTIONS IS THE REQUIREMENT TO FURNISH AND INSTALL A SEWER INSPECTION RISER IN THAT AREA OF THE STREET RIGHT-OF-WAY BETWEEN THE CURB AND THE STREETLINE (FRONT PROPERTY LINE). THE INSPECTION RISER IS TO CONSIST OF A 45° WYE FITTING INSTALLED ON THE HOUSE CONNECTION SEWER APPROXIMATELY 4 FEET BEHIND THE STANDARD CURB LOCATION*. A 6"Ø PVC INSPECTION RISER PIPE IS TO BE INSTALLED TO WITHIN 12" OF THE FINISHED GROUND SURFACE AND FITTED WITH A WATERTIGHT PLUG. A 6"x6"x1/8" STEEL PLATE IS TO BE PLACED ABOVE THE END OF THE INSPECTION RISER WHEN BACKFILLING THE AREA TO GRADE TO ASSIST WITH FUTURE RECOVERY OF THE INSPECTION RISER BY MEANS OF A MAGNETIC DETECTOR.

*IN A SEWER EASEMENT THE INSPECTION RISER IS TO BE AT THE EDGE OF THE EASEMENT.

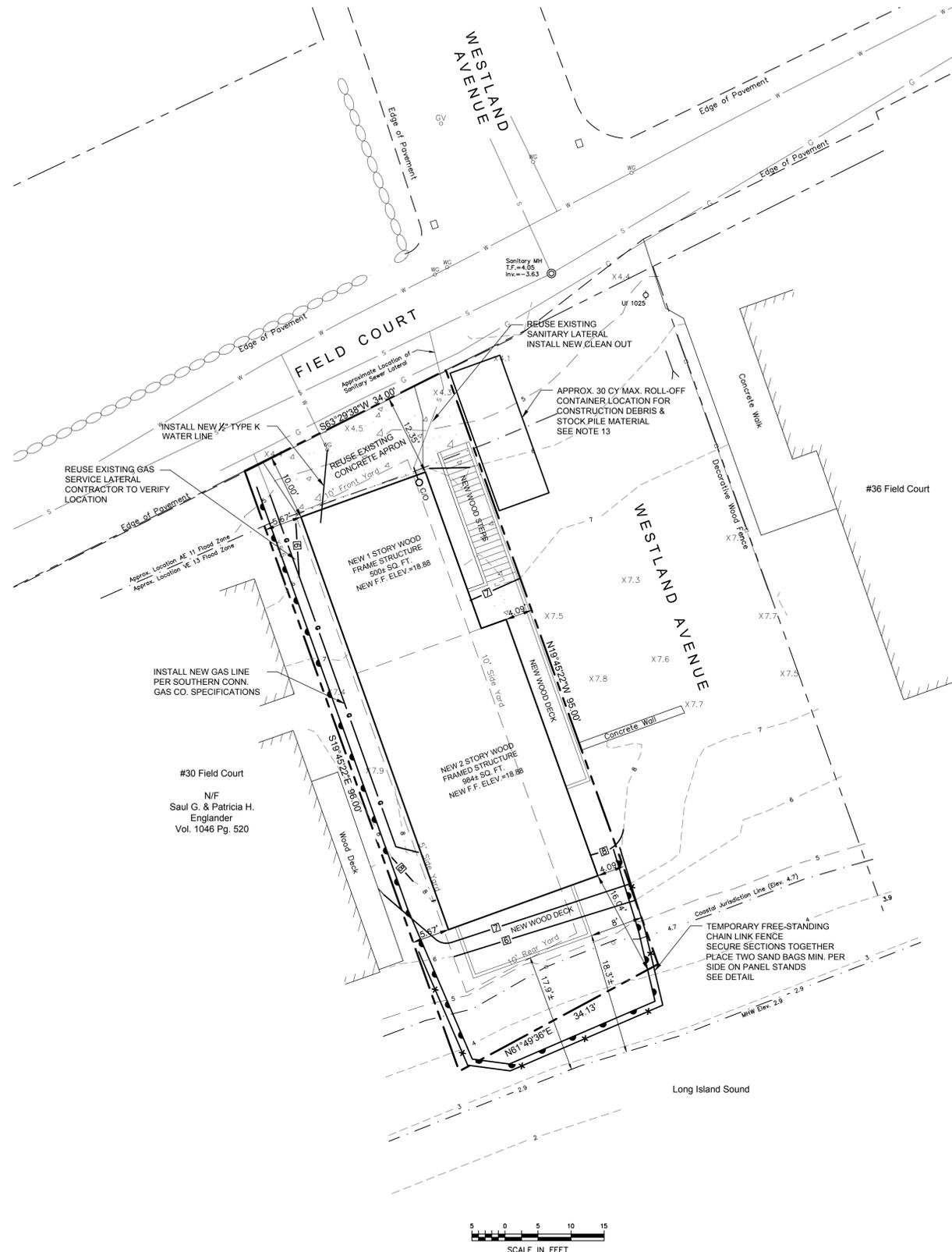
*IN LOCATIONS WHERE AN EXISTING LATERAL EXTENDS TO THE STREET LINE, THE "Y" CONNECTION SHALL BE PLACED AS CLOSE TO THE STREET LINE AS POSSIBLE, WITH THE INSPECTION RISER EXTENDING TO WITHIN 12" OF GRADE AND LOCATED ON PRIVATE PROPERTY.



INSPECTION RISER DETAIL

N.T.S. N.T.S.

INFORMATION SHOWN ON THIS DETAIL WAS PREPARED FOR USE BY THE CITY OF MILFORD. RESPONSIBILITY FOR THE USE OF THIS INFORMATION RESTS WITH THE USER. THE CITY OF MILFORD, ITS EMPLOYEES, AGENTS, OR AGENTS ARE TO BE HELD HARMLESS AGAINST ANY LIABILITY RESULTING FROM ANY OCCURRENCE ASSOCIATED WITH THE USE OF THIS INFORMATION. ALTERATION OF THE STANDARD DETAIL IS STRICTLY UNAUTHORIZED WITHOUT APPROVAL OF THE CITY ENGINEER.

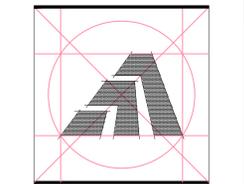


GENERAL NOTES:

- Prior to demolition, all erosion control barriers shall be placed in accordance with the Town of Milford's requirements and shall be left in place and maintained until the work has been completed and surfaces stabilized.
- It shall be the responsibility of the contractor to monitor the condition of the erosion control structures. If the effectiveness or integrity of the structures is found to be insufficient or if the structures are damaged in any way, the contractor shall make whatever repairs are necessary to ensure that proper erosion control is maintained.
- If additional erosion and sedimentation control structures are necessary to minimize erosion and sedimentation as determined in the field, the contractor shall install structures as required at the contractor's expense.
- All debris from the demolition and any required environmental mitigation such as asbestos abatement or other hazardous building material shall be immediately removed from the site at the contractor's expense. All materials shall be disposed of off site at an approved facility.
- Contractor to contact all utility companies to shut-off or disconnects existing services prior to construction.
- Remove existing overhead electric cables and reinstall per with United Illuminating Company specifications.
- Shut-off/disconnection of existing gas service and remove existing lateral to within 5 feet of the road. Install of new gas meter and service lateral per Southern Connecticut Gas Company Specifications.
- Disconnect existing sanitary sewer lateral. Protect end from debris and construction activities. Reconnect with new service lateral.
- No stockpile of any material will be permitted to the rear of the site.
- The underground utilities depicted hereon have been compiled from observable evidence, such as manholes, catch basins and water gates. These locations must be considered as approximate in nature. Additionally, other such features may exist on the sites, the existence of which is unknown to Loureiro Engineering Associates, Inc. (Loureiro). The size, location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. Call Be-For-You-Dig at 1-800-922-4455 or 811.
- Prior to issuance of a Building Permit, details of the apron, sidewalk and residential inspection riser shall be presented to City of Milford Planning and Zoning for approval.
- Permits from the City of Milford Engineering department required for driveway apron, sidewalk, and for sanitary work prior to construction.
- 30 cubic yard roll-off container maximum. No more than one container on site at any time. Containers cannot be placed in the Field Court Right of Way and cannot obstruct public access to the beach within the Westland Avenue Right of Way.
- No heavy equipment shall be parked or block access to the beach along Westland Avenue without permission from the Town of Milford. Any access to the rear of the building from the beach will require a temporary authorization from CTDEEP OLISP. Any applicable fees for permits shall be at the Contractor's expense.

LEGEND

●	Property Corner
○	Rebar Found
---	Property Line
- - -	Setback Line
x	Chain Link Fence
□	Wooden Fence
○-○-○	Stonewall
---	Existing Gas Service
---	Existing Watermain
---	Existing Sanitary Sewer
○	Proposed Erosion Control Barrier
○	Proposed Gas Service Lateral
○	Proposed Water Service Lateral
○	Proposed Sanitary Sewer
○	Proposed Spot Elevation
+6.5	Tidal Wetland Line per CGS Sections 22a-28 through 22a-35 (Elev. 3.9)



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Comm No. 01MH4.02

Sheet Title:
SITE PLAN & DETAILS

ENGLANDER RESIDENCE
32 Field Court
Milford, Connecticut 06460

STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
(CDBG-DR)

Date: _____

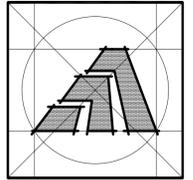
Job Number: 000
Drawn By: P.A.C.
Approved By: E.G.S.

Sheet Number:
C-2

To my knowledge and belief, the plans are substantially correct as noted hereon.

Edward G. Steinhilber
Edward G. Steinhilber, P.E. PROFESSIONAL ENGINEER
#9266





Amaya Architects
American Institute of Architects

284 RACEBROOK RD. TEL: (203) 795 5656
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Sheet Title:
PROPOSED ELEVATIONS

APPLICATION #2243

ENGLANDER RESIDENCE
32 Field Court
Milford, Connecticut 06460

STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
(CDBG-DR)

Date: 02-22-16

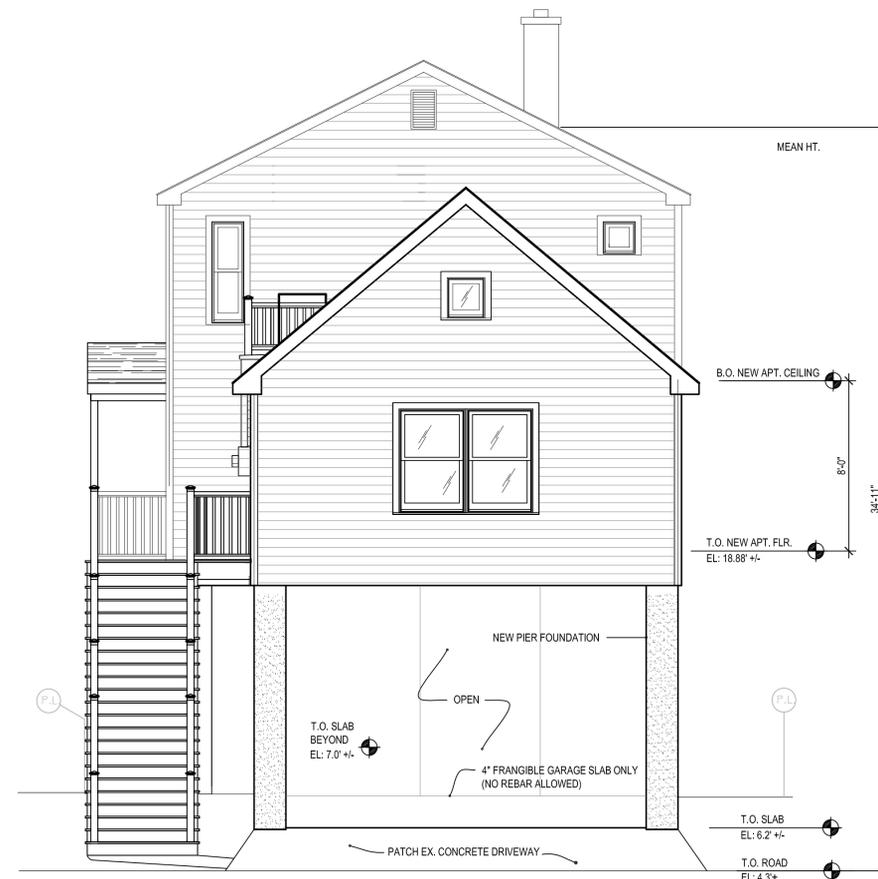
Job Number: 2243
Drawn By: J.V.L.

Sheet Number:

A2



2 FRONT ELEVATION (EAST)
SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION (NORTH)
SCALE: 1/4" = 1'-0"

EXISTING



T.O. ATTIC FLOOR
B.O. CEILING
7'-5"

T.O. THIRD FLOOR
B.O. CEILING
8'-0"

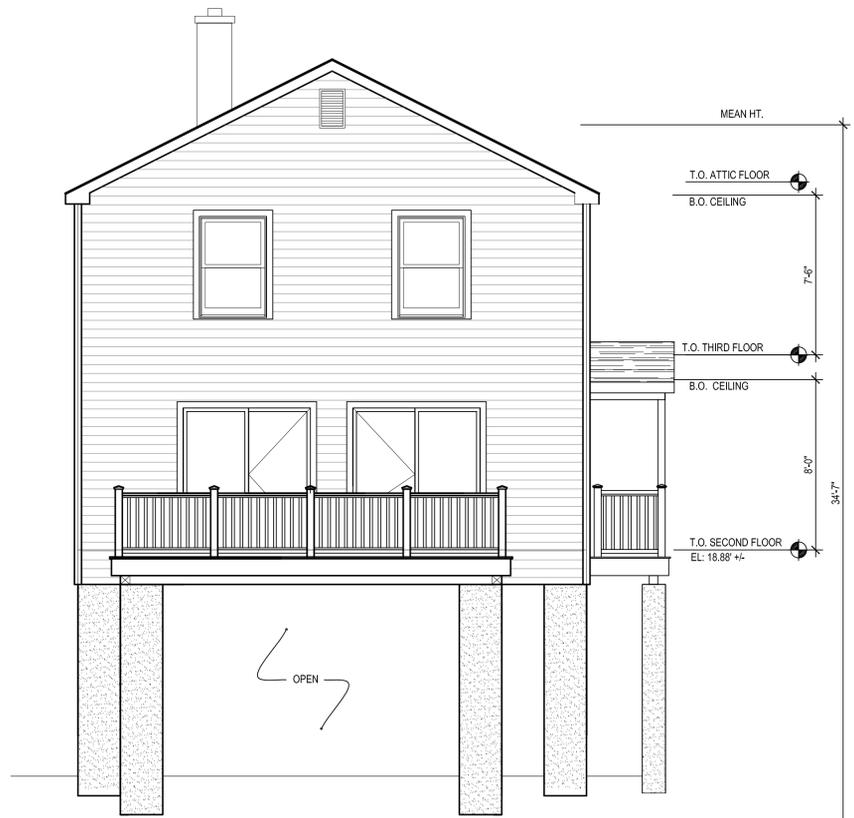
T.O. SECOND FLOOR
EL: 18.88' +/-

B.O. CEILING
8'-0"

T.O. INLAW APT. FLR.
EL: 18.88' +/-

NEW PIER FOUNDATION

4 RIGHT ELEVATION (WEST)
A2.1 SCALE: 1/4" = 1'-0"



MEAN HT.

T.O. ATTIC FLOOR
B.O. CEILING
7'-5"

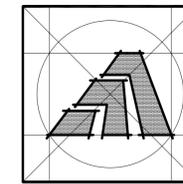
T.O. THIRD FLOOR
B.O. CEILING
8'-0"

T.O. SECOND FLOOR
EL: 18.88' +/-

34'-7"

AVERAGE GRADE
EL: 4.3±

3 REAR ELEVATION (SOUTH)
A2.1 SCALE: 1/4" = 1'-0"



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PROPOSED ELEVATIONS

APPLICATION #2243

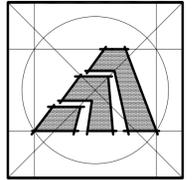
ENGLANDER RESIDENCE
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COMMUNITY DEVELOPMENT BLOCK GRANT
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(CDBG-DR)

Date: 02-22-16

Job Number: 2243
Drawn By: J.V.L.

Sheet Number:
A2.1



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American Institute of Architects

284 RACEBROOK RD. TEL (203) 795 5656
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Sheet Title:
SECTIONS & DETAILS

APPLICATION #2243

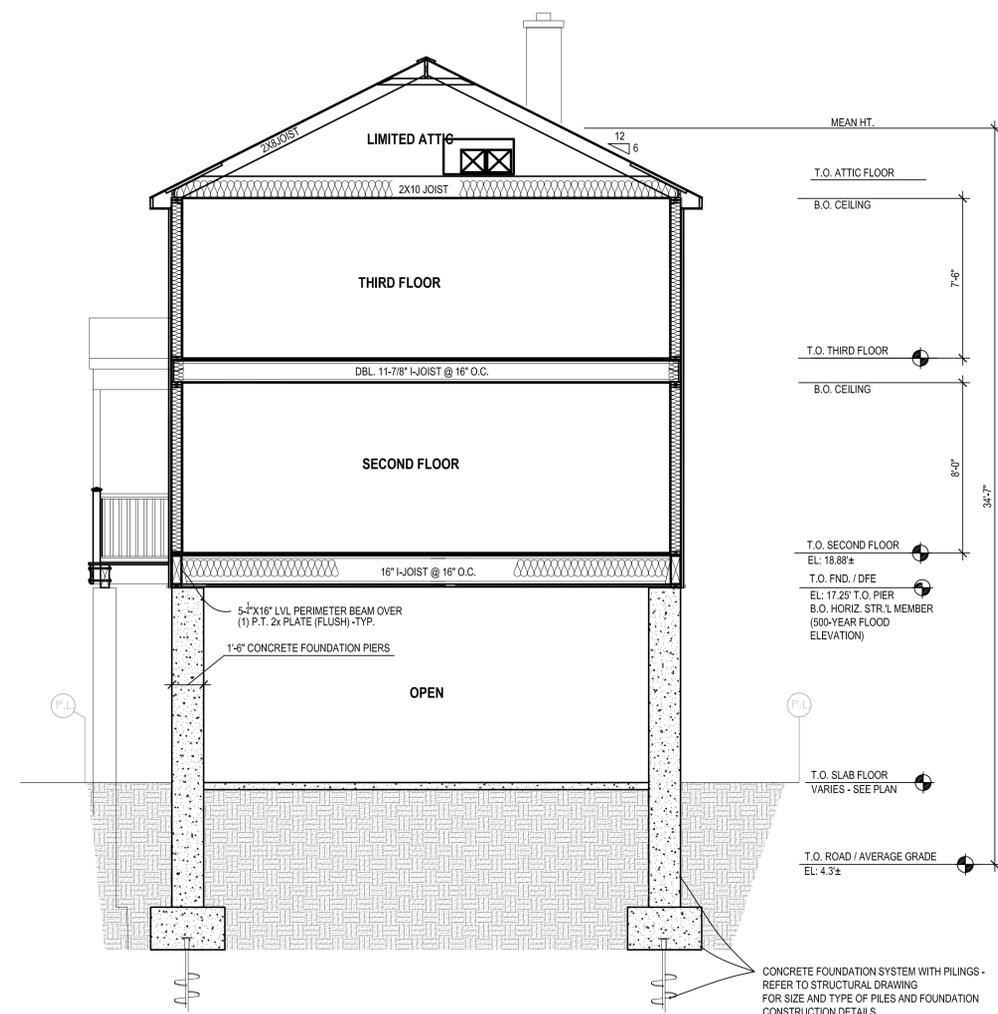
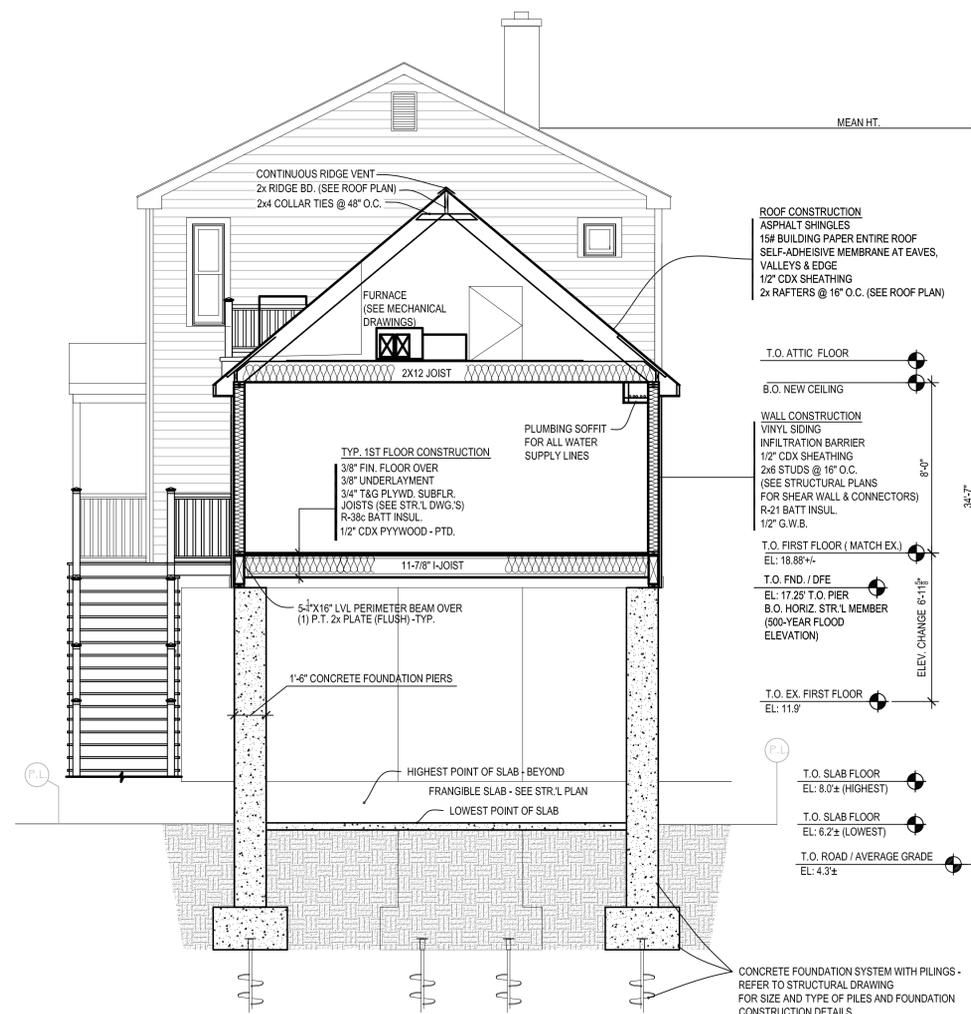
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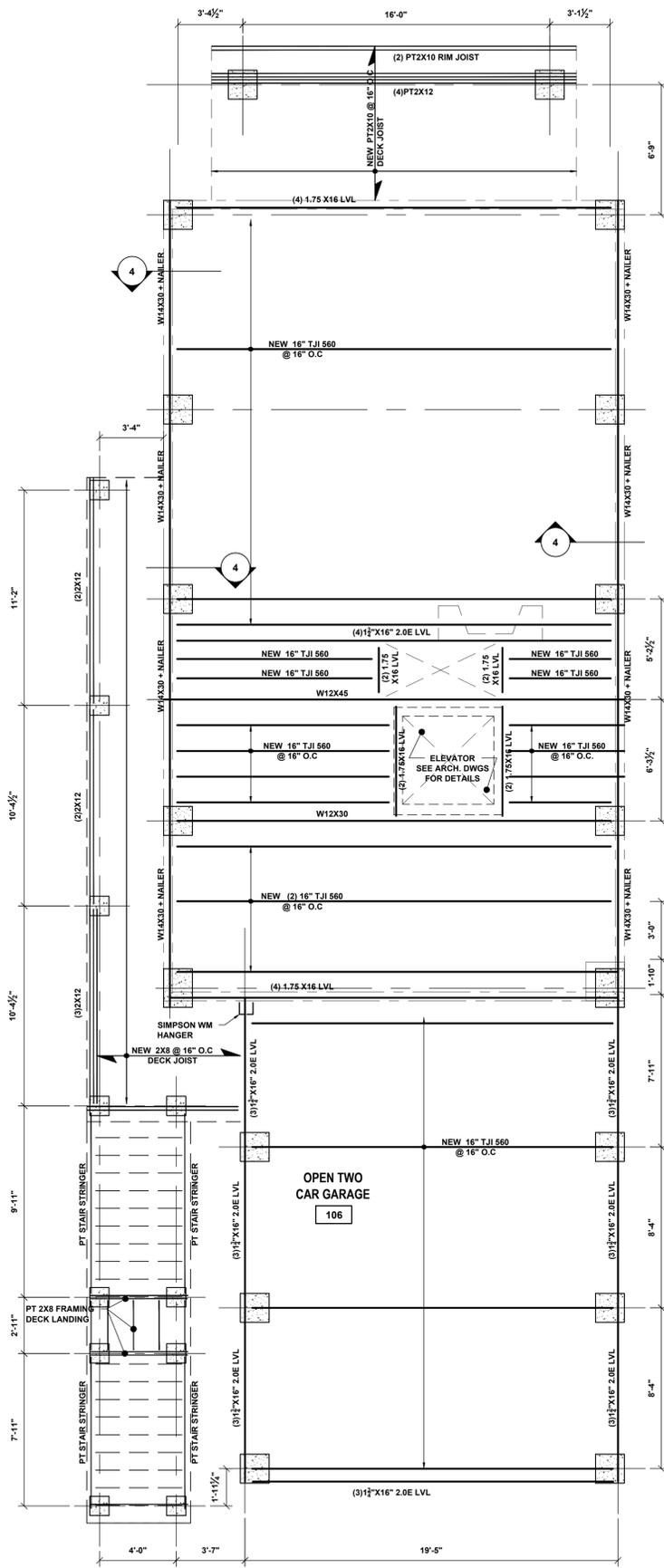
STATE OF CONNECTICUT
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Date: 02-22-16

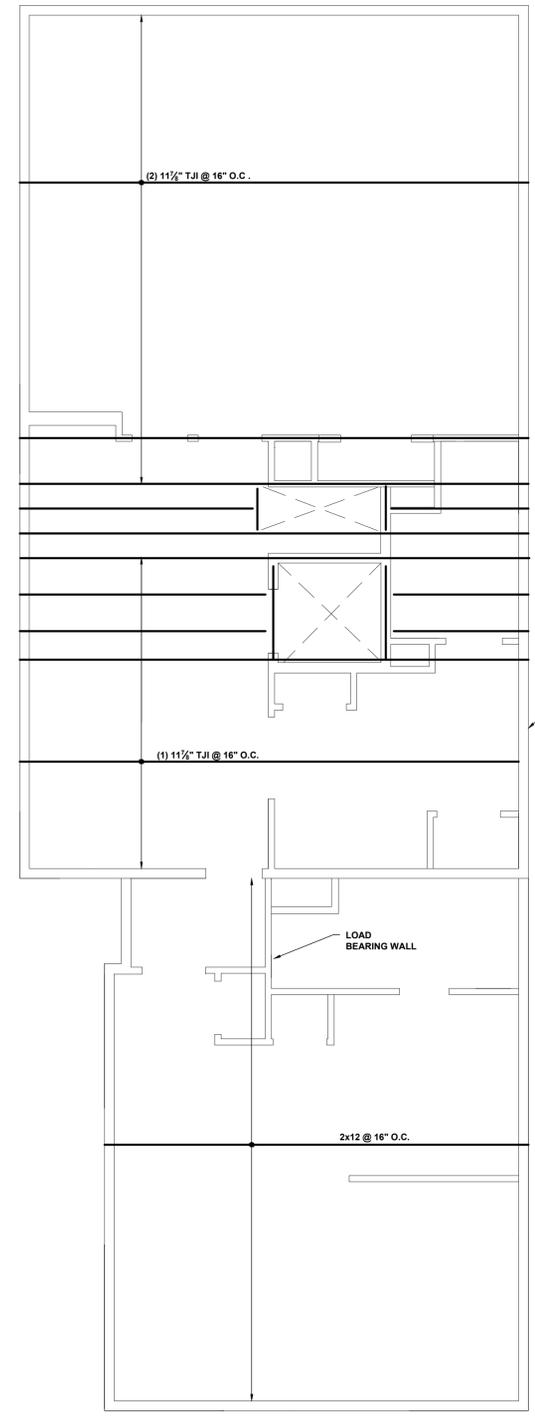
Job Number: 2243
Drawn By: J.V.L.

Sheet Number:
A3

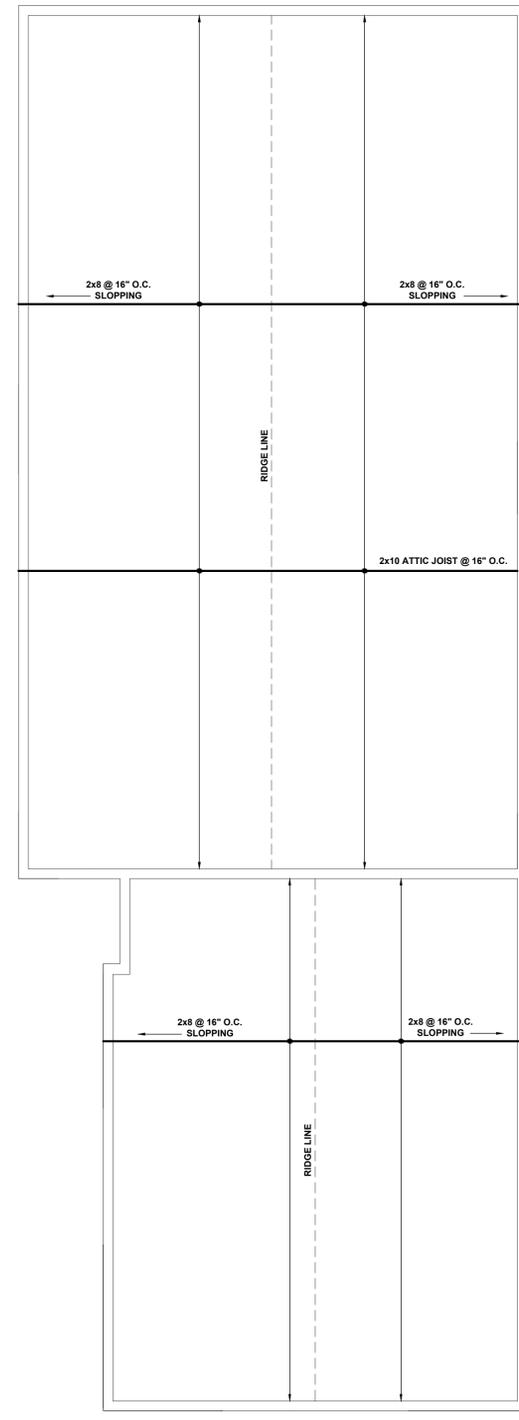




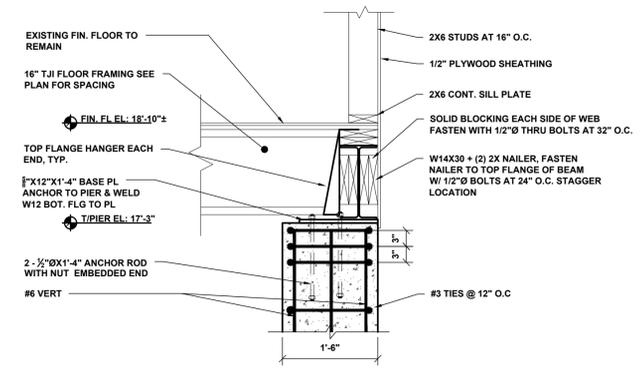
1 ALTERNATE FIRST FLOOR FRAMING PLAN
1/4"=1'-0"



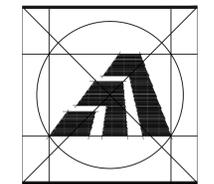
2 ALTERNATE SECOND FLOOR FRAMING PLAN
1/4"=1'-0"



3 ALTERNATE ROOF FRAMING PLAN
1/4"=1'-0"



4 WALL SECTION AT PERIMETER WALL
3/4"=1'-0"



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email: info@loureiro.com
Comm No. 01MH4.21

Sheet Title:
STRUCTURAL PLANS
AND DETAILS

APPLICATION # 2243

ENGLANDER RESIDENCE
32 Field Court
Milford, Connecticut 06460

STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
(CDBG-DR)

Date: 12-01-15
Revision 1: 02-22-16

Job Number:
Drawn By: JRO
Approved By: EGS

Sheet Number:
S-3a

SCHEMATIC
ONLY



C:\AUTOCAD\PRODUCTS\UNIM421 32 FIELD COURT\DWG\REVISED DWG\UNIM421 32-23_OPTION 2.DWG Tab: 5-3 Saved: 2/22/2016 4:46 PM Plotted: 2/22/2016 4:47 PM