

# QUISENBERRY ARCARI ARCHITECTS, LLC

318 Main Street, Farmington, CT 06032    www.qa-architects.com    t (860) 677 - 4594    f (860) 677 - 8534

REHABILITATION / RECONSTRUCTION WORK FOR:

## LYNDEN & JOY JOHNSON

APPLICANT # 2235

ISSUE DATE: AUGUST 5, 2014

31 SHELDON STREET

WATERBURY, CT

### LIST OF DRAWINGS

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- A1.2 FLOOR PLANS
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- M1.2 BASEMENT MECHANICAL PLAN

### COMMUNITY DEVELOPMENT BLOCK GRANT DISASTER RECOVERY PROGRAM (CDBG-DR)

### OWNER OCCUPIED REHABILITATION & REBUILDING PROGRAM (OORR)

SPONSORED IN CONJUNCTION WITH FUNDING FROM  
THE CONNECTICUT DEPARTMENT OF HOUSING



### LOCATION MAP



**ABBREVIATIONS**

A.F.F.	Above Finish Floor	HGT.	Height
A.C.	Acoustic, Acoustical	H.M.	Hollow Metal
A.C.T.	Acoustical Tile	HORIZ.	Horizontal
A/C	Air Conditioning	H.B.	Hose Bibb
A.H.U.	Air Handling Unit	IN.	Inch
ALT.	Alternate	INCL.	Included
ALUM.	Aluminum	INFO.	Information
ALF.	Aluminum Frame	I.D.	Inside Diameter
ANCH.	Anchor, Anchorage	INSUL.	Insulation
AB.	Anchor Bolt	INT.	Interior
L	Angle	JT.	Joint
ANOD.	Anodized	K.P.	Kick Plate
APFR.	Approved	LAB	Laboratory
ARCH.	Architect, Architectural	LAV.	Lavatory
ASB.	Asbestos	LTG.	Lighting
A.P.B.O.	As Provided By Owner	MACH.	Machine
A.S.B.O.	As Selected By Owner	MAINT.	Maintenance
ASPH.	Asphalt	MFRG.	Manufacturer
ASSY.	Assembly	M.BD.	Marker Board
ASST.	Assistant	MAS.	Masonry
AUTO.	Automatic	M.O.	Masonry Opening
BM	Beam	MAT.	Material
BRG.	Bearing	MAX.	Maximum
BEV.	Bevel, Beveled	MECH.	Mechanical
BIT.	Bituminous	MEZZ.	Mezzanine
BLK.	Block	MIN.	Minimum
BLKG.	Blocking	MISC.	Miscellaneous
BD.	Board	N	North
BOT.	Bottom	N.I.C.	Not In Contract
B.O.	Bottom Of	N.T.S.	Not To Scale
B.E.J.	Brick Expansion Joint	OFF.	Office
BLDG.	Building	O.C.	On Center
B.U.R.	Built Up Roofing	O.H.	Overhead
CAB.	Cabinet	O.D.	Outside Diameter
C.U.H.	Cabinet Unit Heater	PTD.	Painted
CAP.	Capacity	PR.	Pair
CASE	Casement	P.T.D.	Paper Towel Dispenser
CLG.	Ceiling	PASS.	Passage
CLGHT.	Ceiling Height	PERP.	Perpendicular
CEM.	Cement	PLAS.	Plaster
CTR.	Center	PLAM.	Plastic Laminate
CL	Centerline	PL	Plate
C.T.	Ceramic Tile	PLUMB.	Plumbing
C.BD.	Chalk Board	PLYWD.	Plywood
CLO.	Closet	PVC.	Polyvinylchloride
COL.	Column	P.E.J.	Precast Expansion Joint
CONC.	Concrete	PREFAB.	Prefabricated
CONF.	Conference	QTY.	Quantity
CJ	Control Joint	Q.T.	Quarry Tile
CONT.	Continuous	RAD.	Radius
CONTR.	Contractor	RWC	Rain Water Conductor
CORR.	Corridor	RECV.	Receiving
CRS.	Course, Courses	REFR.	Refrigerator
DEG.	Degree	REINF.	Reinforce
DEMO.	Demolition	REM	Remove
DEPT.	Department	REQD	Required
DET.	Detail	REV.	Revised, Revision
DIA.	Diameter	R.	Riser
DIM.	Dimension	R.D.	Roof Drain
DIST.	Distance	RM.	Room
DR.	Door	S.N.D.	Sanitary Napkin Dispenser
DBL.	Double	S.N.R.	Sanitary Napkin Receptacle
D.H.	Double Hung	SCHED.	Schedule
DN	Down	SC.	Scupper
D.S.	Downspout	SECT.	Section
DWG.	Drawing	S.J.	Seismic Joint
D.F.	Drinking Fountain	SHT.	Sheet
EA.	Each	SIM.	Similar
ELEC.	Electric, Electrical	S.D.	Soap Dispenser
EWC.	Electric Water Cooler	S.T.D.	Sound Transmission Class
EL.	Elevation	S.T.C.	Sound Transmission Coefficient
ELEV.	Elevator	SPEC.	Specifications
EMERG.	Emergency	SQ.	Square
EQ.	Equal	S.F.	Square Feet
EQUIP.	Equipment	S.S.	Stainless Steel
EXIST.	Existing	STD.	Standard
E.T.R.	Existing To Remain	STL.	Steel
EXP.	Expansion	STOR.	Storage
E.J.	Expansion Joint	STRUCT.	Structure, Structural
EXT.	Exterior	S.STL.	Structural Steel
E.I.I.F.S.	Exterior Insulation Finish System	SUSP.	Suspend, Suspension
FT.	Feet, Foot	S.A.T.C.	Susp. Acoustic Tile Ceiling
F.R.G.P.	Fiber Reinforced Gypsum Panel	T.BD.	Tack Board
FIN.	Finish, Finished	THRU	Through
F.E.	Fire Extinguisher	T.P.D.	Toilet Paper Dispenser
F.R.	Fire Retardant	T.M.E.	To Match Existing
FPRFG.	Fireproofing	T&G	Tongue and Groove
FIXT.	Fixture	T.O.	Top Of
FLASH	Flashing	T.	Tread
FLR.	Floor	TYP.	Typical
F.D.	Floor Drain	U.L.	Underwriter's Laboratory
FLR.FIN.	Floor Finish	U.H.	Unit Heater
FTG.	Footing	U.V.	Unit Ventilator
FDN	Foundation	U.O.N.	Unless Otherwise Noted
FURN.	Furnish, Furnishings, Furniture	VEST.	Vestibule
FURR.	Furred, Furring	VCT.	Vinyl Composition Tile
GA.	Gauge	W.P.	Waterproofing
GALV.	Galvanized	W.W.F.	Welded Wire Fabric
GYP. BD.	Gypsum Board	W.BD.	White Board
G.C.	General Contractor	W	With
H.C.	Handicapped	WD.	Wood

**WOOD**

- ALL STRUCTURAL WOOD SHALL BE IN ACCORDANCE WITH THE "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION" AND THE "MANUAL OF HOUSE FRAMING" AS PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION (NFPA), INCLUDING PROVISIONS FOR NAILING, FIRE STOPPING, ANCHORAGE, FRAMING AND BRACING.
- UNLESS NOTED OTHERWISE ON THE DRAWINGS, STRUCTURAL LUMBER SHALL BE AS FOLLOWS:
  - INTERIOR EXPOSURE: STRUCTURAL WOOD PROTECTED FROM MOISTURE SHALL BE HEM-FIR #2 OR BETTER
  - EXTERIOR EXPOSURE: STRUCTURAL WOOD EXPOSED TO MOISTURE, THE WEATHER, IN CONTACT WITH CONCRETE, LOCATED WITHIN 8 INCHES OF SOIL, OR LESS THAN 1 1/2 INCHES FROM THE FLOOR OF A CRAWL SPACE SHALL BE PRESERVATIVE TREATED SOUTHERN YELLOW PINE #2 OR BETTER, WITH RETENTION MEETING OR EXCEEDING THE REQUIREMENTS OF THE BUILDING CODE.
  - PLYWOOD: PLYWOOD SHALL BE IN ACCORDANCE WITH THE AMERICAN PLYWOOD ASSOCIATION (APA) SPECIFICATIONS (5 1/2). PLYWOOD FLOOR DECKING SHALL BE CONTINUOUS OVER TWO OR MORE SPANS WITH THE FACE-GRAIN RUNNING PERPENDICULAR TO SUPPORT JOISTS.
    - ROOF SHEATHING: C-D/EXT-APA, 1/2" THICK
    - WALL SHEATHING: C-D/EXT-APA, 1/2" THICK
    - SUBFLOORING: C-D/EXT-APA, 3/4" THICK
- NAILING SCHEDULE SHALL BE IN ACCORDANCE WITH THE LOCAL BUILDING CODES "RECOMMENDED FASTENING SCHEDULE", NAIL PLYWOOD SHEATHING AND SUBFLOORING 6" O.C. AT EDGES AND 12" O.C. ALONG INTERMEDIATE SUPPORTS, LEAVING SPACES BETWEEN PANELS AS RECOMMENDED BY THE APA. UTILIZE RING-SHANK OR SCREW TYPE NAILS FOR PLYWOOD SUBFLOORING AND APPLY APPROPRIATE CONSTRUCTION ADHESIVE TO ADEQUATELY SECURE PLYWOOD TO FLOOR JOISTS.
- INSTALL JOIST HANGERS, COLUMN CAPS AND BASES WHERE REQUIRED. METAL FABRICATIONS SHALL BE OF APPROPRIATE SIZE AND TYPE FOR THE MEMBERS AND SUPPORT CONDITIONS. WHERE FLANGE SUPPORT JOIST HANGERS ARE USED IN CONJUNCTION WITH STEEL BEAMS, CARE SHALL BE TAKEN TO INSTALL THE HANGERS CLEAR OF CONTACT WITH THE STEEL BEAM BY INSTALLING 2X WOOD TOP PLATES.
- NOTCHING SHALL NOT EXCEED 1/8TH OF THE DEPTH OF A JOIST OR RAFTER AND SHALL OCCUR ONLY IN THE OUTER QUARTER OF THE SPAN. NOTCHES SHALL NOT BE PERMITTED IN THE MIDDLE HALF OF THE SPAN. NOTCH LENGTH SHALL NOT EXCEED 1/3RD OF THE JOIST DEPTH. NOTCHES ARE NOT PERMITTED IN ENGINEERED LUMBER PRODUCTS.
- HOLES IN JOISTS OR RAFTERS SHALL OCCUR IN THE MIDDLE 1/3RD OF THE SPAN. THE HOLE DIAMETER SHALL NOT EXCEED 1/3RD OF THE JOIST DEPTH. HOLES IN ENGINEERED LUMBER PRODUCTS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES.

**DESIGN CRITERIA**

GROUND SNOW LOAD	WIND DESIGN			SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP
	SPEED (mph)	TOPOGRAPHIC effects	WIND EXPOSURE CATEGORY		Washing	Frost Ice depth	Tember	
30 psf	100	n/a	A	B	SEVERE	42"	MODERATE TO HEAVY	7° F
ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARD	AIR FREEZING INDEX	MEAN ANNUAL TEMP	CLIMATE ZONE				
YES	N/A	1,500 OR LESS	50° F	5A				

2009 INTERNATIONAL RESIDENTIAL CODE W/ 2013 CONNECTICUT AMENDMENT  
 2009 INTERNATIONAL ENERGY CONSERVATION CODE W/ 2013 CONNECTICUT AMENDMENT  
 2011 NATIONAL ELECTRICAL CODE (NFPA 70) W/ 2013 CONNECTICUT AMENDMENT

**ARCHITECTURAL SYMBOLS**

	EXISTING WALL
	WALL TO BE DEMOLISHED
	NEW STUD WALL
	NEW CMU WALL
	NEW FOUNDATION WALL
	KITCHEN HARDWOOD 15'-0" x 12'-0"
	ROOM NAME FLOOR FINISH ROOM SIZE (if applicable)
	SECTION MARKER
	ELEVATION MARKER
	WINDOW IDENTIFICATION
	ELEVATION MARKER
	EXISTING DOOR
	NEW DOOR

**GENERAL NOTES**

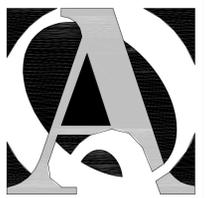
- ALL CONSTRUCTION ON THIS HOME, AND ANY CHANGES MADE TO THE DESIGN OF THIS HOME, EITHER BEFORE OR DURING CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE BUILDING CODE. NOTHING REPRESENTED WITHIN THESE PLANS SHALL ALLEVIATE THE APPLICABLE CODE REQUIREMENTS FOR THE CONSTRUCTION RELATED TO THIS PROJECT.
- NOTIFY QUISENBERRY ARCARI ARCHITECTS, LLC AT (860) 677-4594 IMMEDIATELY IF PROBLEMS SHOULD ARISE DURING THE CONSTRUCTION ON THIS HOME WITH RESPECT TO STRUCTURAL INTEGRITY, FRAMING CONFLICTS, OR GENERAL CONCERNS.
- THESE DRAWINGS DO NOT REPRESENT ALL COMPONENTS OR DETAILS REQUIRED TO PROPERLY RENOVATE/REPAIR THIS HOME. IT IS ASSUMED THAT THE WORK WILL BE PERFORMED BY COMPETENT, SKILLED AND LICENSED TRADE CONTRACTORS IN ACCORDANCE WITH INDUSTRY STANDARDS AND CARE.
- UNLESS OTHERWISE NOTED ON THE DRAWINGS, ALL NEW FINISHES SHALL MATCH EXISTING.
- PATCH EXISTING AREAS AFFECTED BY THE NEW WORK, MATCH EXISTING FINISHES UNLESS DIRECTED OTHERWISE BY QUISENBERRY ARCARI ARCHITECTS.

**CONCRETE**

- ALL CONCRETE WORK SHALL BE IN COMPLIANCE WITH THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 318) AND "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDING" (ACI 301).
- CONCRETE SHALL HAVE THE FOLLOWING MINIMUM COMPRESSIVE STRENGTH AT THE AGE OF 28 DAYS: 3000PSI, EXCEPT 4000PSI FOR EXTERIOR WORK.
- CONCRETE SHALL HAVE A SLUMP NOT EXCEEDING 5", EXCEPT FOR 4" SLABS.
- CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FOR THE CURING OF CONCRETE AS DIRECTED BY ACI 301. USE OF CALCIUM CHLORIDE SHALL NOT BE PERMITTED.
- REINFORCING BARS SHALL BE DEFORMED BILLET STEEL BARS AND CONFORM TO ASTM A-615-GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO ASTM-A-185.
- REINFORCING BARS MARKED "CONT." SHALL BE LAPPED 32 BAR DIAMETERS AT SPLICES AND CORNERS, HOOKED AT DISCONTINUOUS ENDS. WELDED WIRE FABRIC SHALL BE LAPPED 6" AT END SPLICES.
- CONTRACTOR SHALL INSTALL ALL ANCHORS, ANCHOR BOLTS, LEVELING PLATES, AND ALL INSERTS TO BE SET IN CONCRETE AS REQUIRED FOR THE WORK OF ALL TRADES.
- ALUMINUM OBJECTS SHALL NOT BE EMBEDDED OR IN CONTACT WITH CONCRETE.

**FINISHES**

- GYPSON BOARD**
- PROVIDE AND INSTALL GYPSON WALL BOARD IN ACCORDANCE WITH AMERICAN STANDARD SPECIFICATIONS FOR THE APPLICATION AND FINISHING OF GYPSON WALLBOARD, AS APPROVED BY THE AMERICAN STANDARDS ASSOCIATION, LATEST EDITION; APPLICABLE PARTS THEREOF ARE HEREBY MADE A PART OF THIS SPECIFICATION EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE CALLED FOR IN THE SPECIFICATION, IN LOCAL CODES, OR BY THE MANUFACTURER OF THE GYPSON WALLBOARD, WHOSE REQUIREMENTS SHALL BE FOLLOWED.
  - PROVIDE AND INSTALL MOISTURE-RESISTANT GYPSON WALLBOARD WHERE REQUIRED.
- PAINT**
- APPLICATION OF PAINT OR OTHER COATING SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. READY-MIXED PAINT SHALL NOT BE THINNED, EXCEPT AS PERMITTED IN THE APPLICATION INSTRUCTIONS.



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**REHABILITATION/RECONSTRUCTION WORK FOR:**  
**LYNDEN & JOY JOHNSON**  
 APPLICANT # 2235  
 31 SHELDON STREET  
 WATERBURY, CT

**Sheet Description:**

**GENERAL NOTES**

**Issue Dates:**

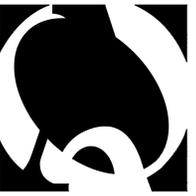
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**N.T.S**

**Project #:** QA 1346-09 **Drawn By:** AAT

**Sheet #:**

**G1.1**



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**REHABILITATION/RECONSTRUCTION WORK FOR:**  
**LYNDEN & JOY JOHNSON**  
APPLICANT # 2235  
31 SHELDON STREET  
WATERBURY, CT

Sheet Description:  
HAZARDOUS  
MATERIALS  
ABATEMENT  
—  
FIRST  
FLOOR

Issue Dates:  
JULY 2014

Project #: QA 1346-09  
Drawn By: AAT

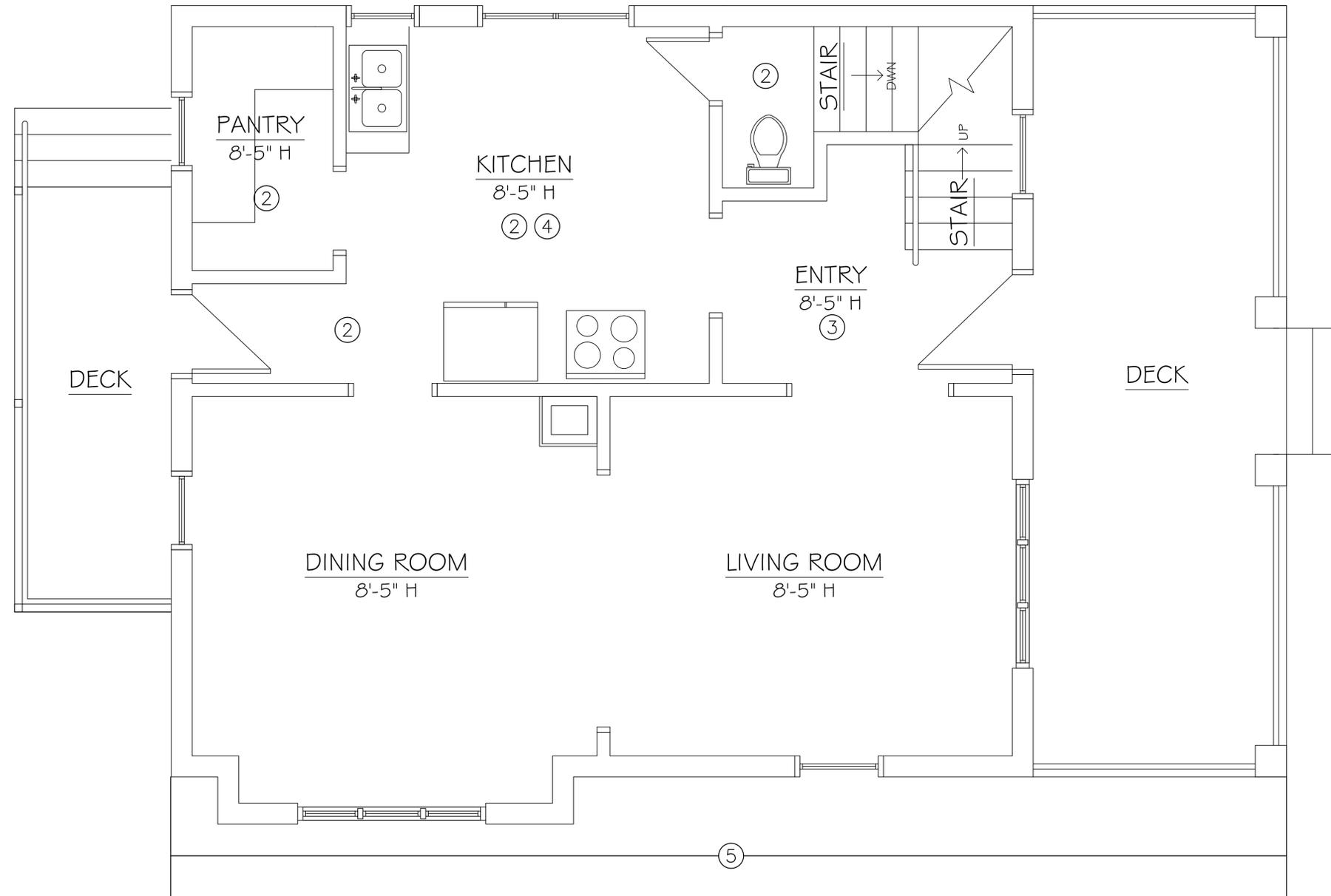
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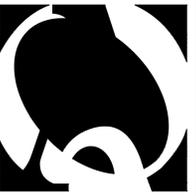
**HAZARDOUS MATERIALS ABATEMENT NOTES**

- ① THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE AND DISPOSE OF ASBESTOS CONTAINING ROOF FLASHING ASSOCIATED WITH CHIMNEY AS ACM.
- ② THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE AND DISPOSE OF ASBESTOS CONTAINING SHEET FLOORING AND GLUE AS ACM IN AREAS WHERE REPLACEMENT IS SCHEDULED BY RENOVATION ACTIVITIES.
- ③ THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE AND DISPOSE OF ASBESTOS CONTAINING FLOOR TILE AND GLUE/MASTIC AS ACM IN AREAS WHERE REPLACEMENT IS SCHEDULED BY RENOVATION ACTIVITIES.
- ④ WALLS CONTAIN LEAD BASED PAINT. THE CONTRACTOR IS REQUIRED TO COMPLY WITH EPA RRP AND HUD LEAD SAFE WORK PRACTICES. SEE SECTION 028300 LEAD ABATEMENT FOR ADDITIONAL INFORMATION.
- ⑤ THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL COVER LEAD SOIL HAZARD WITH LANDSCAPE FABRIC AND WASHED CRUSHED STONE.

**GENERAL PROJECT NOTES**

- THIS PROJECT MAY REQUIRE MULTIPLE MOBILIZATIONS. WORK IS TO BE COORDINATED WITH BUILDING OWNER AND OTHER TRADES.
- THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING CONSTRUCTION AND FOR TEMPORARY PROTECTION.
- THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF ALL EXISTING CONDITIONS AND QUANTITIES, AND FOR NOTIFYING THE CONSULTANT OF ANY DISCREPANCIES PRIOR TO FINALIZING BID.





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Sheet Description:  
HAZARDOUS  
MATERIALS  
ABATEMENT  
—  
SECOND  
FLOOR

Issue Dates:  
JULY 2014

Project #: QA 1346-09  
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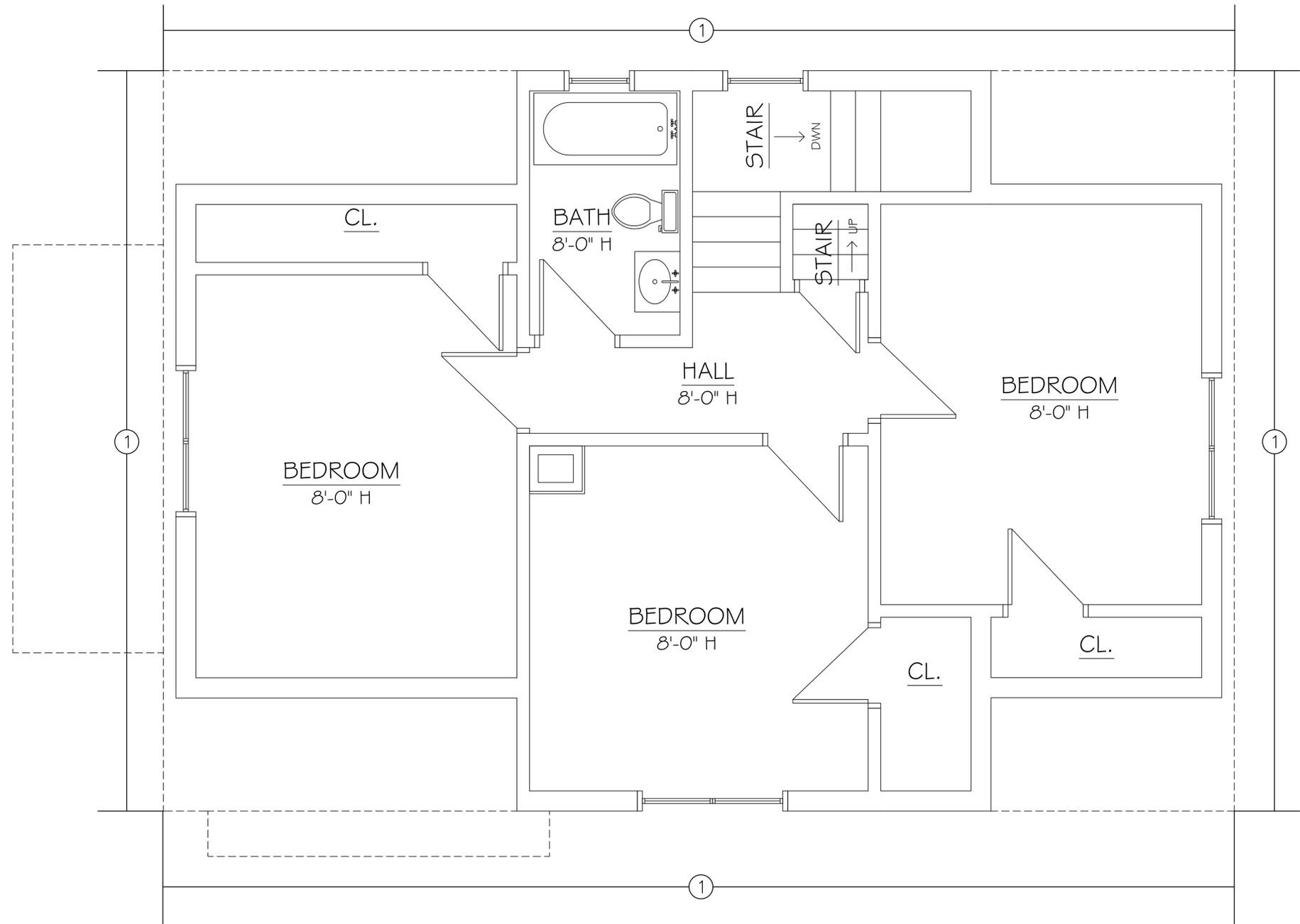
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HM-02

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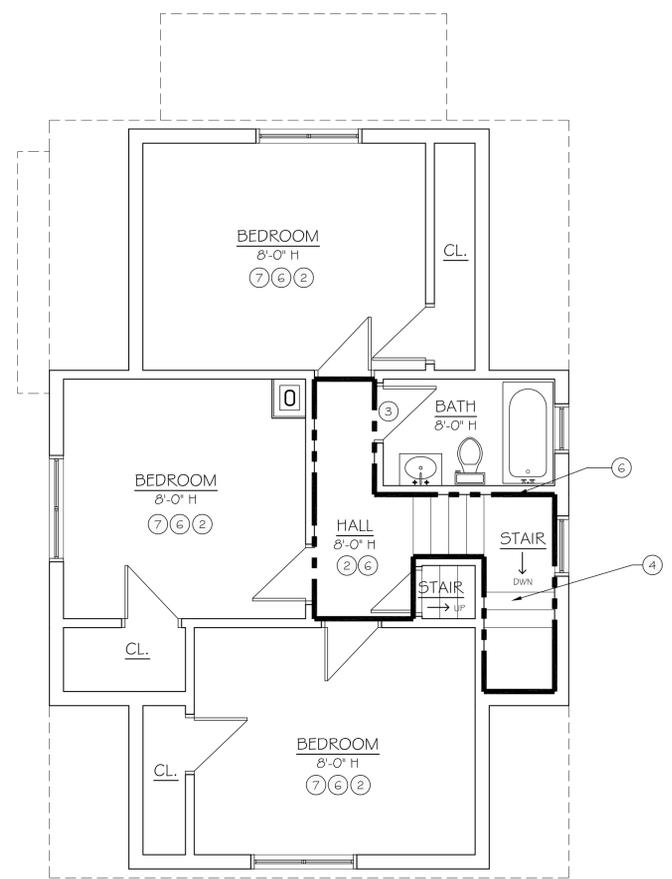
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**MAIN LEVEL FLOOR PLAN**

Issue Dates:  
 08/05/14

N.T.S.  
 Project #: QA 1346-09  
 Drawn By: AAT

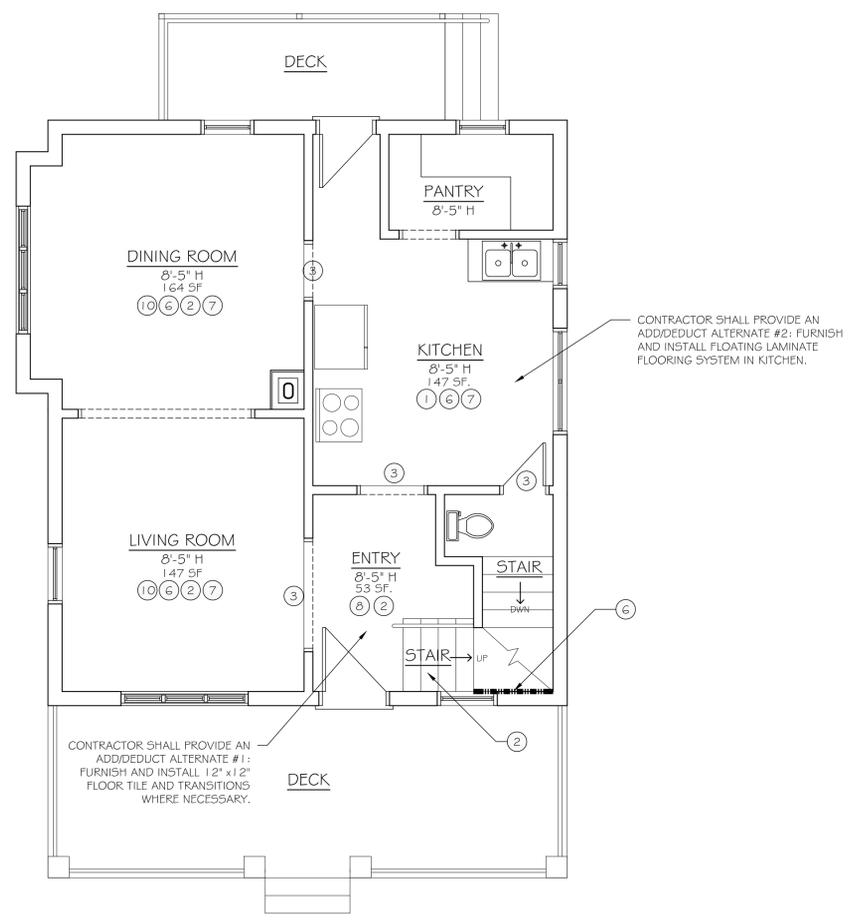
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**A1.1**

- FLOOR PLAN KEY NOTES**
- EXISTING SHEET VINYL FLOORING TO BE REMOVED AND REPLACED WITH NEW SHEET VINYL FLOORING TO MATCH EXISTING. EXACT EXISTING FLOORING COLOR, STYLE AND DIMENSIONS ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR.
  - EXISTING CARPET AND PAD TO BE REMOVED COMPLETE. FURNISH AND INSTALL NEW CARPET AND PAD TO MATCH EXISTING. EXACT COLOR AND STYLE TO BE FIELD VERIFIED.
  - FURNISH AND INSTALL NEW TRANSITION STRIP. REFER TO DETAIL ON SHEET AX.X
  - REPAIR, SHIM AND FASTEN EXISTING STAIR AND RETURN TO LEVEL. REMOVE AND REPLACE TREADS AND RISERS AS REQUIRED. REPLACE ADJACENT TRIM, CAULK AND PAINT AS REQUIRED.
  - FURNISH AND INSTALL STAINLESS STEEL FLUE LINER 1 EA. FOR EXISTING OIL FIRED BOILER AND HOT WATER HEATER.
  - PRIME 1 COAT AND PAINT 2 COATS WALLS & CEILINGS COMPLETE.
  - CUT, PATCH AND REPAIR EXISTING DRYWALL WALLS WHERE CRACKING HAS OCCURRED. JOINTS TO BE TAPED, 1 COAT PRIMER AND 2 COATS FINISH PAINT. COLOR TO MATCH EXISTING.
  - REMOVE EXISTING WALLPAPER DOWN TO EXISTING DRYWALL FINISH. FURNISH AND INSTALL NEW WALLPAPER TO MATCH EXISTING IN COLOR AND STYLE AS BEST POSSIBLE. PRIME 1 COAT AND PAINT 2 COATS EXISTING CEILING.
  - REMOVE WALLPAPER STENCIL ON ALL WALLS COMPLETE. REMOVE ADHESIVE AND PREPARE UPPER PORTION OF WALLS FOR CEILINGWALL TAPE JOINT & COMPOUND.
  - FURNISH AND INSTALL 1/4" DRYWALL CEILING OVERLAY ON THE EXISTING CEILING. TAPE AND COMPOUND ALL JOINTS 3 COATS.
  - TEMPORARILY SHORE EXISTING FRAMING TO PERMIT REMOVAL OF TWO EXISTING TEMPORARY POSTS.
  - SAWCUT EXISTING BASEMENT CONCRETE SLAB. FURNISH AND INSTALL NEW 20" X 20" X 12" CONCRETE FOOTING. (TOP OF FOOTING FLUSH WITH TOP OF SLAB).
  - FURNISH AND INSTALL NEW 4" X 4" WOOD POST WITH SIMPSON CAP AND SIMPSON ABA44 STANDOFF POST BASE.



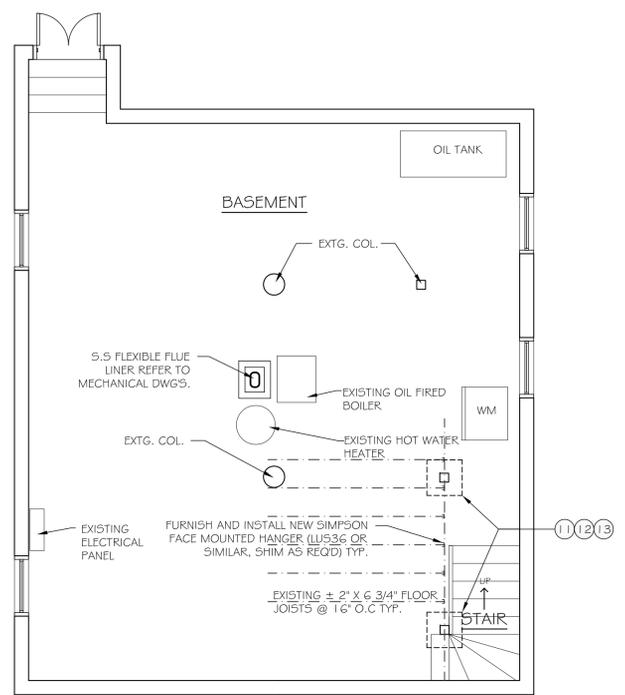
**SECOND FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

3



**FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

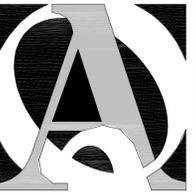
2



**BASEMENT PLAN**  
 SCALE: 1/4" = 1'-0"

1





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31 SHELDON STREET WATERBURY, CT

Sheet Description:

**ELEVATION AND DETAILS**

Issue Dates:

08/05/14

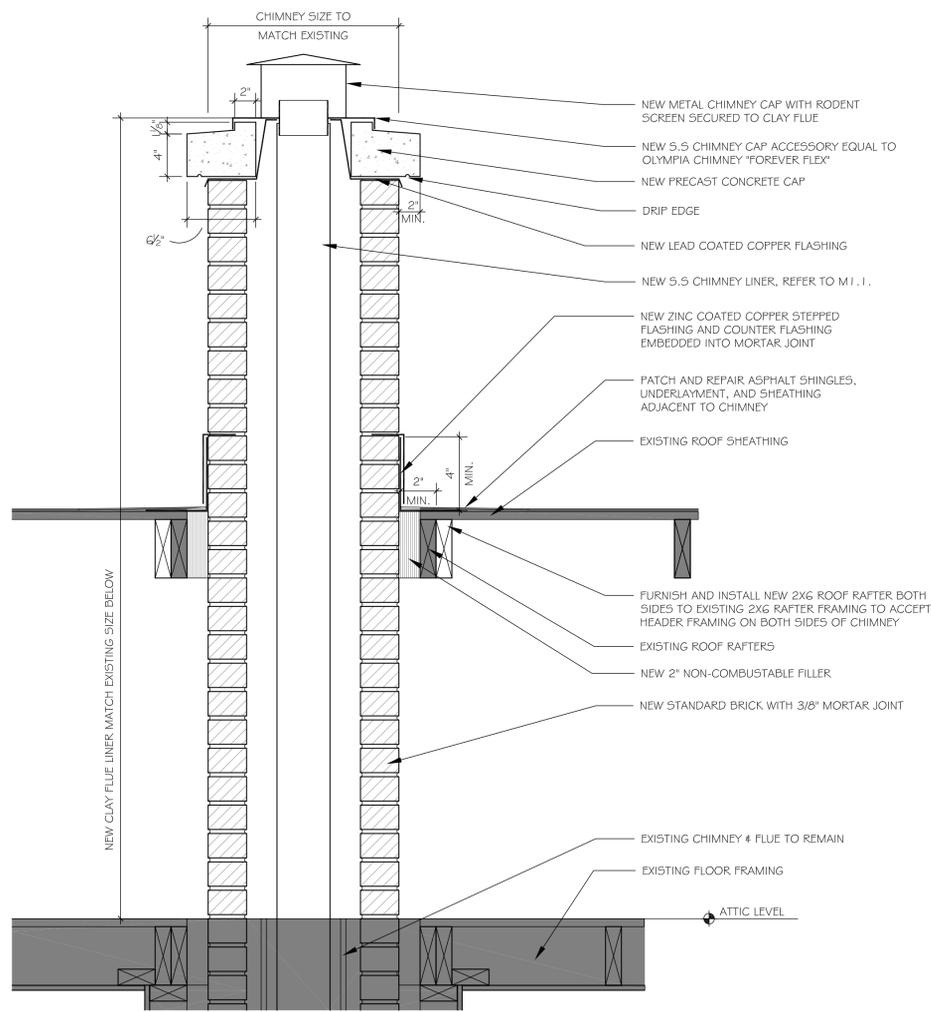
1/4" = 1'-0"

Project #: QA 1346-09

Drawn By: AAT

Sheet #:

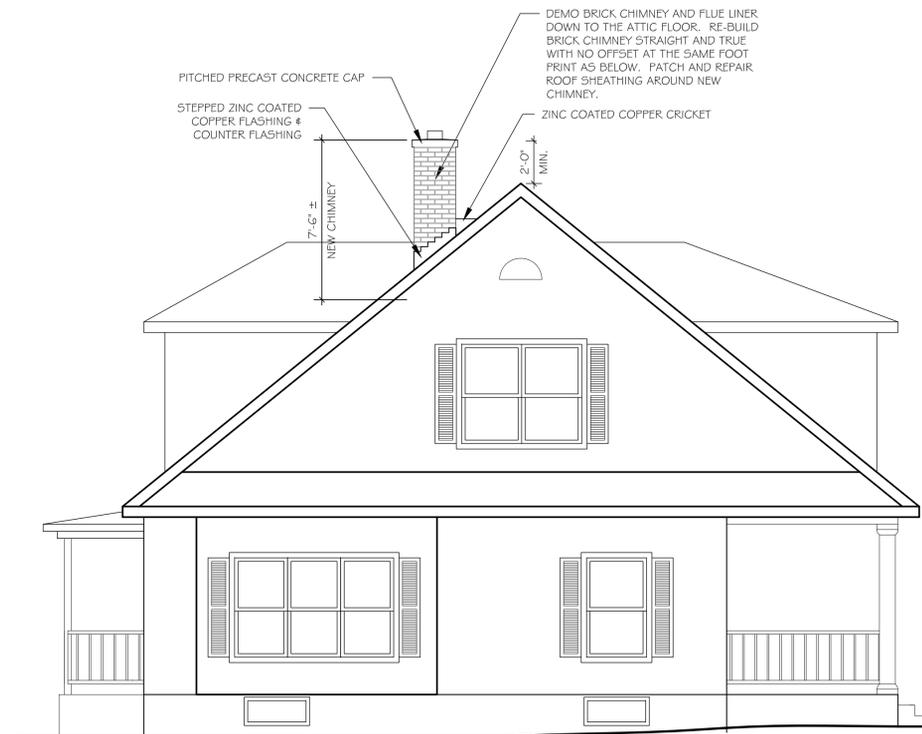
**A1.2**



**SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"

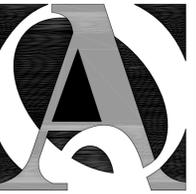
2



**SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"

1



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REHABILITATION/RECONSTRUCTION WORK FOR:  
**LYNDEN & JOY JOHNSON**  
 APPLICANT # 2235  
 31 SHELDON STREET  
 WATERBURY, CT

Sheet Description:

**BASEMENT MECHANICAL PLAN**

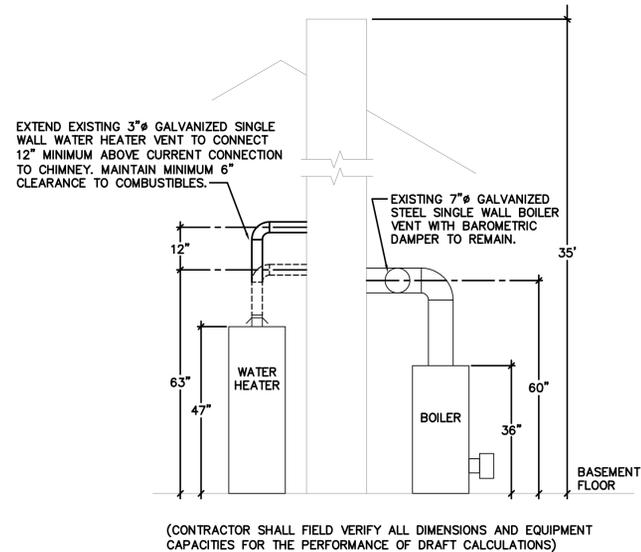
Issue Dates: August 5, 2014

SCALE: AS NOTED

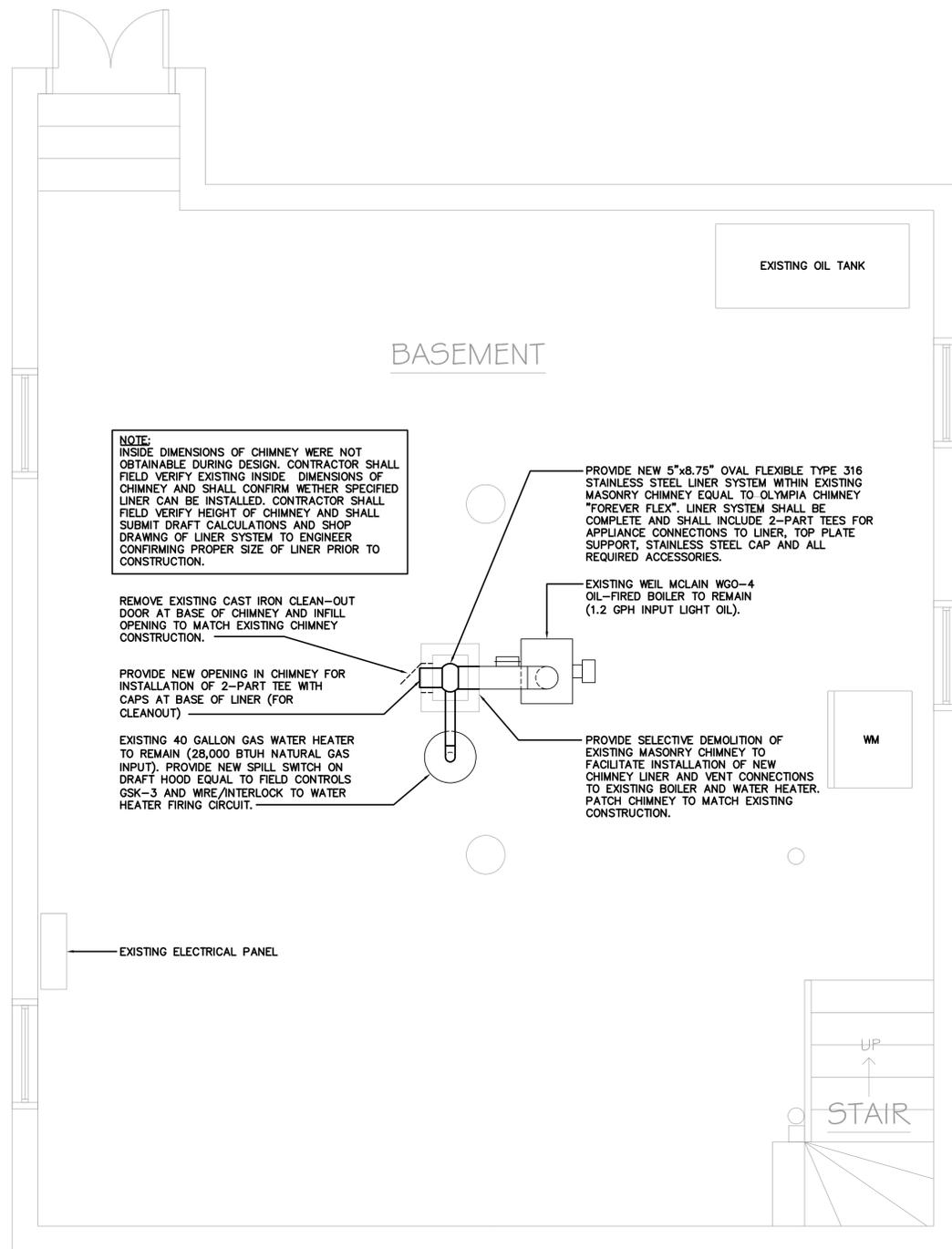
Project #: QA 1346-09  
 Drawn By: KAH

Sheet #:

**M1.1**



**CHIMNEY ELEVATION**  
 SCALE: N.T.S.



**BASEMENT MECHANICAL PLAN**  
 SCALE: 1/2"=1'-0"

LEGEND	
—	EXISTING TO REMAIN
- - - - -	EXISTING TO BE REMOVED
—	NEW WORK