



QUISENBERRY ARCARI

ARCHITECTS, LLC

318 Main Street, Farmington, CT 06032 www.qa-architects.com t (860) 677 - 4594 f (860) 677 - 8534

REHABILITATION / RECONSTRUCTION WORK FOR:

NICHOLAS PERO

APPLICANT # 2161

ISSUE DATE: OCTOBER 31, 2014

9 PARKER STREET

PRESTON, CT

LIST OF DRAWINGS

- COVER
- SITE PLAN
- GENERAL NOTES
- HM-01 HAZARDOUS MATERIALS ABATEMENT - BASEMENT
- HM-02 HAZARDOUS MATERIALS ABATEMENT - FIRST FLOOR
- D1.1 DEMO FLOOR PLANS
- A1.1 FLOOR PLANS
- A1.2 ROOF PLAN AND DETAILS
- A2.1 EXTERIOR ELEVATIONS
- A3.1 DOOR & WINDOW ELEVATIONS AND DETAILS
- A4.1 BATHROOM ELEVATIONS

- PD1.1 PLUMBING DEMOLITION PLANS
- MD1.1 MECHANICAL DEMOLITION PLANS
- ED1.1 ELECTRICAL DEMOLITION PLANS
- P1.1 PLUMBING PLANS
- M1.1 MECHANICAL PLANS
- E1.1 ELECTRICAL PLANS

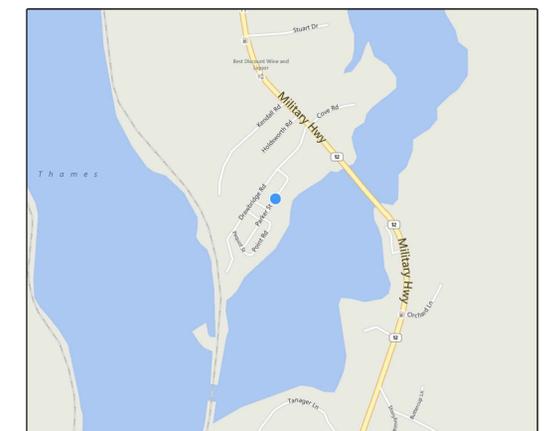
COMMUNITY DEVELOPMENT BLOCK GRANT DISASTER RECOVERY PROGRAM (CDBG-DR)

OWNER OCCUPIED REHABILITATION & REBUILDING PROGRAM (OORR)

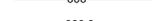
SPONSORED IN CONJUNCTION WITH FUNDING FROM
THE CONNECTICUT DEPARTMENT OF HOUSING



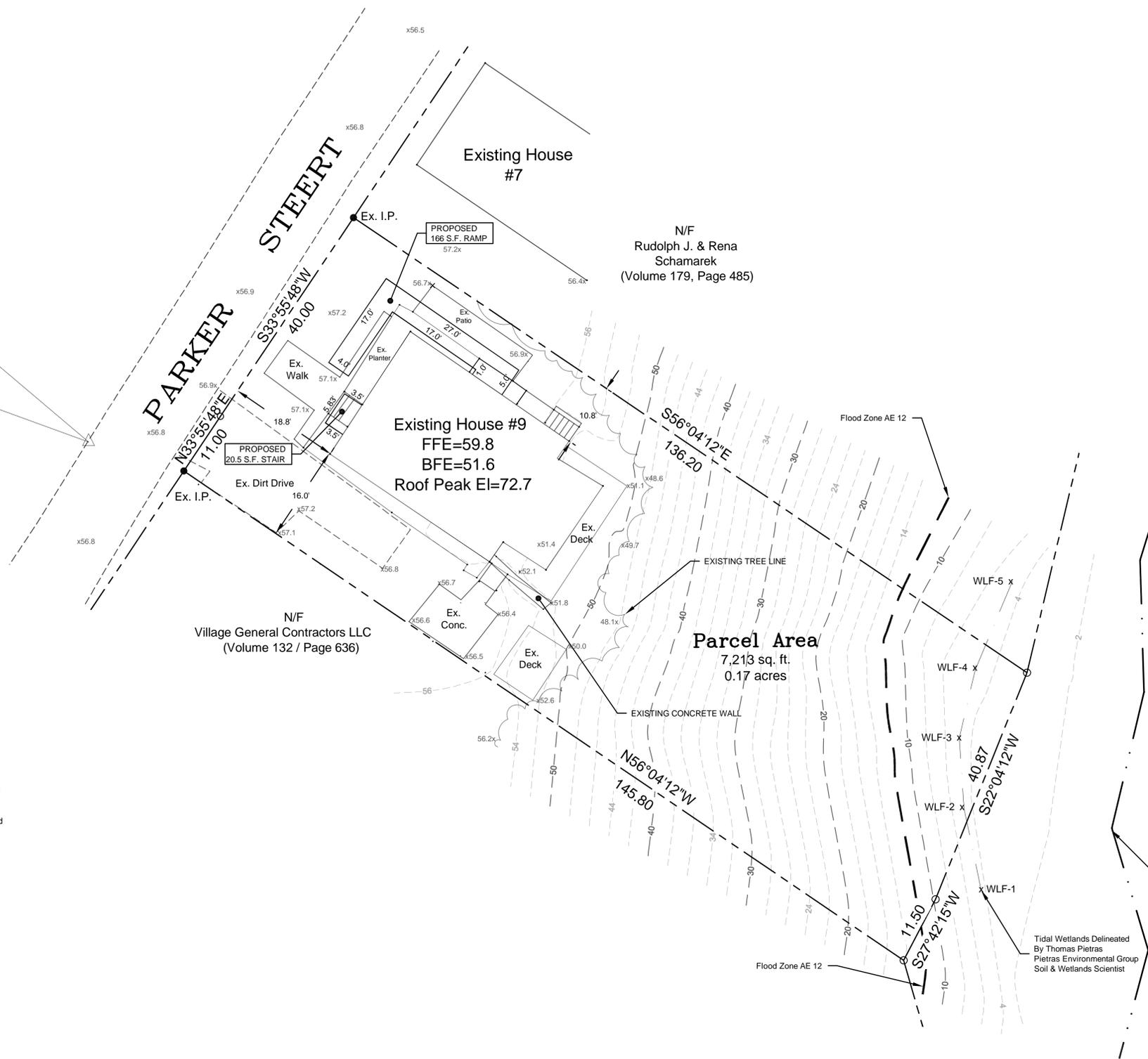
LOCATION MAP



LEGEND

-  = Existing utility pole
-  = Existing light pole
-  = Existing fire hydrant
-  = Existing water valve
-  = Existing gas valve
-  = Existing underground pipe
-  = Existing edge of pavement
-  = Existing bituminous concrete lip curb
-  = Existing well
-  = Existing catch basin
-  = Existing drainage manhole
-  = Existing sanitary manhole
-  = Existing contour
-  = Existing spot elevation
-  = Existing iron pin
-  = Existing drill hole
-  = Existing monument

BENCHMARK
 Traverse Spike Nail
 Elev. = 56.41'
 Datum: NAVD 1988



SURVEY NOTES:

1. This map has been prepared pursuant to the Regulation of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
2. Type of survey performed: Existing Conditions Survey
3. Boundary determination category: Dependent Resurvey
4. Class of accuracy:
 Horizontal: A-2
 Vertical: T-2
5. The intent of this map is to depict or note the position of boundaries with respect to: (A) locations of all boundary monumentation found or set; (B) Apparent improvements and features, including as a minimum: dwellings, barns, garages, sheds, driveways, roadways, surface utilities, visible bodies of water and swimming pools; (C) record easements and visible means of ingress and egress; (D) record and apparent means of ingress and egress; (E) lines of occupation, including as a minimum: fences, walls, hedges and yards; (F) deed restrictions pertaining to the location of buildings or other apparent improvements; (G) unresolved conflicts with record deed descriptions and maps; (H) all apparent boundary encroachments; and (I) monumentation required to be set at all corners created by a deflection angle of not less than 70 degrees between two consecutive courses at an intervals not to exceed 600 feet (180 meters) along the boundaries between said corners, except where natural or man-made monumentation defines or occupies the line.
6. Map References:
 a) "Plan of Happyland Park, Preston, Conn., June 1936, Scale: 1" = 20', Prepared by Geroge E. Pitcher & Son," Recorded in the Preston Land Records in Map Book 1 / Page 160-161.
7. Per agreement with property owner no boundary corners were set by this survey unless noted hereon. All monumentation found is depicted or noted hereon.
8. Zone: R-40
9. Total area: 7,213 S.F. / 0.17 Ac.
10. Owner: Nicholas & Andrea M. Pero
11. Town of Preston Assessors Map #026 Block #01 Parcel #009
12. Filed in Volume 140, Page 996 of the Town Clerk's office.
13. Contours are established from field topography and depicted at 2 foot intervals.
14. Vertical Datum is NAVD 1988 and based on the CGS Mon LX 7616.
15. There are Tidal Wetlands located on the property as shown. The waterline of the Poquetanuck Cove is within 250' of the subject property.
16. The subject property is situated in Zone "AE", (Elevation 12.0') which is a "Special Flood Hazard Area" subject to inundation by 1% annual-chance flood event determined by FEMA. The 500 Year Flood Event elevation is 15.0'. (Firm Map 09011C Panel 352 Suffix G / Effective date of July 18, 2011) The Subject Property is in Coastal Area Management (CAM).
17. This survey does not include the location of any underground improvements or encroachments, subsurface utility lines or buried debris. Nor does it necessarily reflect the existence of any waste dumps or hazardous materials. The underground items depicted or noted are approximate and are not guaranteed. Notify "CALL BEFORE YOU DIG" 1-800-922-4455 prior to any excavation operations.

POQUETANUCK COVE

11-19-2014	Add Tidal Wetlands & Prop. Ramp-Deck
DATE	REVISION
To the best of my knowledge and belief, this map is substantially correct as noted hereon.	
	
Stephen M. Giudice, L.S.	#70145
Reg. No.	
NOT VALID UNLESS EMBOSSED SEAL OR SEAL IS AFFIXED HERETO	

EXISTING CONDITIONS SURVEY
 PREPARED FOR
QUISENBERRY ARCARI ARCHITECTS, LLC
 9 PARKER STREET
 PRESTON, CONNECTICUT
 OCTOBER 1, 2014
 SCALE: 1"=10'

cole
 HARRY E. COLE & SON
 engineering, surveying, planning.

876 South Main Street
 P.O. Box 44
 Plantsville, CT 06479-0044

Tel: (860) 628-4484
 Fax: (860) 628-0196
 www.usacole.com

F.B.#: 477 PROJECT #: 1231

ABBREVIATIONS

A.F.F.	Above Finish Floor	HGT.	Height
A.C.	Acoustic, Acoustical	H.M.	Hollow Metal
A.C.T.	Acoustical Tile	HORIZ.	Horizontal
AC	Air Conditioning	H.B.	Hose Bibb
A.H.U.	Air Handling Unit	IN.	Inch
ALT.	Alternate	INCL.	Included
ALUM.	Aluminum	INFO.	Information
ALF.	Aluminum Frame	I.D.	Inside Diameter
ANCH.	Anchor, Anchorage	INSUL.	Insulation
AB.	Anchor Bolt	INT.	Interior
L	Angle	JT.	Joint
ANOD.	Anodized	K.P.	Kick Plate
APFR.	Approved	LAB	Laboratory
ARCH.	Architect, Architectural	LAV.	Lavatory
ASB.	Asbestos	LTG.	Lighting
A.P.B.O.	As Provided By Owner	MACH.	Machine
A.S.B.O.	As Selected By Owner	MAINT.	Maintenance
ASPH.	Asphalt	MFRG.	Manufacturer
ASSY.	Assembly	M.BD.	Marker Board
ASST.	Assistant	MAS.	Masonry
AUTO.	Automatic	M.O.	Masonry Opening
BM	Beam	MAT.	Material
BRG.	Bearing	MAX.	Maximum
BEV.	Bevel, Beveled	MECH.	Mechanical
BIT.	Bituminous	MEZZ.	Mezzanine
BLK.	Block	MIN.	Minimum
BLKG.	Blocking	MISC.	Miscellaneous
BD.	Board	N	North
BOT.	Bottom	N.I.C.	Not In Contract
B.O.	Bottom Of	N.T.S.	Not To Scale
B.E.J.	Brick Expansion Joint	OFF.	Office
BLDG.	Building	O.C.	On Center
B.U.R.	Built Up Roofing	O.H.	Overhead
CAB.	Cabinet	O.D.	Outside Diameter
C.U.H.	Cabinet Unit Heater	PTD.	Painted
CAP.	Capacity	PR.	Pair
CASE	Casement	P.T.D.	Paper Towel Dispenser
CLG.	Ceiling	PASS.	Passage
CLGHT.	Ceiling Height	PERP.	Perpendicular
CEM.	Cement	PLAS.	Plaster
CTR.	Center	PLAM.	Plastic Laminate
CL	Centerline	PL	Plate
C.T.	Ceramic Tile	PLUMB.	Plumbing
C.BD.	Chalk Board	PLYWD.	Plywood
CLO.	Closet	P.V.C.	Polyvinylchloride
COL.	Column	P.E.J.	Precast Expansion Joint
CONC.	Concrete	PREFAB.	Prefabricated
CONF.	Conference	QTY.	Quantity
CJ	Control Joint	Q.T.	Quarry Tile
CONT.	Continuous	RAD.	Radius
CONTR.	Contractor	RWC	Rain Water Conductor
CORR.	Corridor	RECV.	Receiving
CRS.	Course, Courses	REFR.	Refrigerator
DEG.	Degree	REINF.	Reinforce
DEMO.	Demolition	REM	Remove
DEPT.	Department	REQD	Required
DET.	Detail	REV.	Revised, Revision
DIA.	Diameter	R.	Riser
DIM.	Dimension	R.D.	Roof Drain
DIST.	Distance	RM.	Room
DR.	Door	S.N.D.	Sanitary Napkin Dispenser
DBL.	Double	S.N.R.	Sanitary Napkin Receptacle
D.H.	Double Hung	SCHED.	Schedule
DN	Down	SC.	Scupper
D.S.	Downspout	SECT.	Section
DWG.	Drawing	S.J.	Seismic Joint
D.F.	Drinking Fountain	SHT.	Sheet
EA.	Each	SIM.	Similar
ELEC.	Electric, Electrical	S.D.	Soap Dispenser
EWC.	Electric Water Cooler	S.T.D.	Sound Transmission Class
EL	Elevation	S.T.C.	Sound Transmission Coefficient
ELEV.	Elevator	SPEC.	Specifications
EMERG.	Emergency	SQ.	Square
EQ.	Equal	S.F.	Square Feet
EQUIP.	Equipment	S.S.	Stainless Steel
EXIST.	Existing	STD.	Standard
E.T.R.	Existing To Remain	STL.	Steel
EXP.	Expansion	STOR.	Storage
E.J.	Expansion Joint	STRUCT.	Structure, Structural
EXT.	Exterior	S.STL.	Structural Steel
E.I.F.S.	Exterior Insulation Finish System	SUSP.	Suspend, Suspension
FT.	Feet, Foot	S.A.T.C.	Susp. Acoustic Tile Ceiling
F.R.G.P.	Fiber Reinforced Gypsum Panel	T.BD.	Tack Board
FIN.	Finish, Finished	THRU	Through
F.E.	Fire Extinguisher	T.P.D.	Toilet Paper Dispenser
F.R.	Fire Retardant	T.M.E.	To Match Existing
FPRFG.	Fireproofing	T&G	Tongue and Groove
FIXT.	Fixture	T.O.	Top Of
FLASH	Flashing	T.	Tread
FLR.	Floor	TYP.	Typical
F.D.	Floor Drain	U.L.	Underwriter's Laboratory
FLR.FIN.	Floor Finish	U.H.	Unit Heater
FTG.	Footing	U.V.	Unit Ventilator
FDN	Foundation	U.O.N.	Unless Otherwise Noted
FURN.	Furnish, Furnishings, Furniture	VEST.	Vestibule
FURR.	Furred, Furring	VCT.	Vinyl Composition Tile
GA.	Gauge	W.P.	Waterproofing
GALV.	Galvanized	W.W.F.	Welded Wire Fabric
GYP. BD.	Gypsum Board	W.BD.	White Board
G.C.	General Contractor	W	With
H.C.	Handicapped	WD.	Wood

FINISHES

- GYPSUM BOARD**
- PROVIDE AND INSTALL GYPSUM WALL BOARD IN ACCORDANCE WITH AMERICAN STANDARD SPECIFICATIONS FOR THE APPLICATION AND FINISHING OF GYPSUM WALLBOARD, AS APPROVED BY THE AMERICAN STANDARDS ASSOCIATION, LATEST EDITION; APPLICABLE PARTS THEREOF ARE HEREBY MADE A PART OF THIS SPECIFICATION EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE CALLED FOR IN THE SPECIFICATION, IN LOCAL CODES, OR BY THE MANUFACTURER OF THE GYPSUM WALLBOARD, WHOSE REQUIREMENTS SHALL BE FOLLOWED.
 - PROVIDE AND INSTALL MOISTURE-RESISTANT GYPSUM WALLBOARD WHERE REQUIRED. PROVIDE TYPE X GYPSUM BOARD AS CALLED FOR ON THE DRAWINGS.
 - PROVIDE ½" TYPE X GYPSUM BOARD AT ALL WALLS BETWEEN GARAGE AND HOUSE. ¾" TYPE X GYPSUM BOARD SHALL BE PROVIDED AT GARAGE CEILING WHICH HAS LIVING SPACE ABOVE.

- PAINT**
- APPLICATION OF PAINT OR OTHER COATING SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. READY-MIXED PAINT SHALL NOT BE THINNED, EXCEPT AS PERMITTED IN THE APPLICATION INSTRUCTIONS.

THERMAL & MOISTURE PROTECTION

- PROVIDE AND INSTALL BUILDING THERMAL INSULATION IN ACCORDANCE WITH THE FOLLOWING:
 - A. EXTERIOR WALLS: R-19 MINIMUM
 - B. SLOPED CEILINGS: R-30 MINIMUM
 - C. FLAT CEILINGS: R-38 MINIMUM
 - D. CEILINGS OVER UNCONDITIONED SPACE: R-21 MINIMUM
 - E. CEILINGS OVER BASEMENT: R-21 MINIMUM
- INSTALL VENTING IN SLOPED CEILING AREAS TO PERMIT AIRFLOW ALONG THE COOL SIDE OF THE INSULATION FROM THE EAVE TO RIDGE.
- DO NOT LEAVE KRAFT-PAPER FACED INSULATION EXPOSED. INSTALL TYPE FSK FOIL TO PROTECT EXPOSED INSULATION.
- INSTALL EITHER INTERIOR AND/OR EXTERIOR FOUNDATION INSULATION AS REQUIRED BY LOCAL BUILDING CODES.

ELECTRICAL NOTES

- ELECTRICAL DRAWINGS ARE INTENDED TO BE USED FOR SCHEMATIC DESIGN ONLY. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF FINAL ELECTRICAL DESIGN.
- FINAL LOCATIONS OF ALL ELECTRICAL DEVICES AND THEIR INTENDED OPERATION IS TO BE COORDINATED WITH THE OWNER.
- ELECTRICAL CONTRACTOR SHALL PURCHASE AND INSTALL ALL NEW COMPONENTS AS REQUIRED TO PROPERLY SERVICE THE SPACE(S) AFFECTED BY THIS CONSTRUCTION PROJECT. IF THE MODIFICATION OF EXISTING ELECTRICAL SYSTEMS IS NECESSARY, SUCH MODIFICATIONS SHALL NOT ADVERSELY AFFECT THE OPERATION OF THESE SYSTEMS.
- ELECTRICAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
- COORDINATE ELECTRICAL WORK WITH THE WORK OF OTHER TRADES. DO NOT ALTER THE WORK OF PREVIOUS TRADES WITHOUT PRIOR APPROVAL.
- ELECTRICAL CONTRACTOR MUST PROVIDE AND INSTALL ALL DUCT WORK ASSOCIATED WITH EXHAUST FANS.
- PERFORM ALL NEW ELECTRICAL WORK IN ACCORDANCE WITH LOCAL CODES AND ACCEPTED STANDARDS OF PRACTICE.

ELECTRICAL MOUNTING HEIGHTS

- ALL DIMENSIONS ARE TO THE CENTER OF THE DEVICE UNLESS OTHERWISE NOTED. SEE ELECTRICAL DRAWINGS FOR TYPES AND LOCATIONS.
- RECEPTACLES: 18" A.F.F. (AT LOCATIONS ABOVE CASEWORK, MOUNT BOTTOM OF RECEPTACLE AT 2" ABOVE BACKSPASH, AT LOCATIONS BELOW CASEWORK, MOUNT AT 24" A.F.F.)
- EXTERIOR RECEPTACLES: 24" A.F.F. (20" A.F.F.)
- SWITCHES: 48" A.F.F.
- BOILER EMERGENCY SWITCHES: 60" A.F.F.
- DATA / PHONE OUTLETS: 18" A.F.F.
- TV OUTLETS: 18" A.F.F. OR 18" BELOW FINISHED CEILING
- WALL PHONE: 48" A.F.F. TO CENTER OF EARPIECE
- SECURITY KEYPAD: 48" A.F.F.

CONCRETE

- ALL CONCRETE WORK SHALL BE IN COMPLIANCE WITH THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 318) AND "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDING" (ACI 301).
- CONCRETE SHALL HAVE THE FOLLOWING MINIMUM COMPRESSIVE STRENGTH AT THE AGE OF 28 DAYS: 3000PSI, EXCEPT 4000PSI FOR EXTERIOR WORK.
- CONCRETE SHALL HAVE A SLUMP NOT EXCEEDING 5", EXCEPT FOR 4" SLABS.
- CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FOR THE CURING OF CONCRETE AS DIRECTED BY ACI 301. USE OF CALCIUM CHLORIDE SHALL NOT BE PERMITTED.
- REINFORCING BARS SHALL BE DEFORMED BILLET STEEL BARS AND CONFORM TO ASTM A-615-GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO ASTM-A-185.
- REINFORCING BARS MARKED "CONT." SHALL BE LAPPED 32 BAR DIAMETERS AT SPLICES AND CORNERS, HOOKED AT DISCONTINUOUS ENDS. WELDED WIRE FABRIC SHALL BE LAPPED 6" AT END SPLICES.
- CONTRACTOR SHALL INSTALL ALL ANCHORS, ANCHOR BOLTS, LEVELING PLATES, AND ALL INSERTS TO BE SET IN CONCRETE AS REQUIRED FOR THE WORK OF ALL TRADES.
- ALUMINUM OBJECTS SHALL NOT BE EMBEDDED OR IN CONTACT WITH CONCRETE.
- REINFORCED CONCRETE FLOOR SLABS SHALL BE PLACED ON A MINIMUM OF 6" OF CRUSHED ¾" STONE ON STRUCTURAL FILL PLACED IN 8" LAYERS AND COMPACTED TO 95% OF MODIFIED OPTIMUM DENSITY ON FIRM, INORGANIC, VIRGIN SOIL. NOT LESS THAN ONE LAYER OF STRUCTURAL FILL SHALL BE USED.

CONCRETE MASONRY

- ALL MASONRY SHALL CONFORM TO AND BE ERECTED IN ACCORDANCE WITH ACI 530 BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES AND ACI 530.1 SPECIFICATION FOR MASONRY STRUCTURES.
- ALL MASONRY WALLS ARE TO BE CONSTRUCTED OF CONCRETE MASONRY WITH COMPRESSIVE STRENGTH FM = 1500 P.S.I. THE CONTRACTOR IS RESPONSIBLE FOR ASSURING MASONRY STRENGTH AS SPECIFIED.
- TYPE "M" OR "S" MORTAR SHALL BE USED IN ALL MASONRY.
- CONTINUOUS HORIZONTAL JOINT REINFORCING SHALL BE INSTALLED IN ALTERNATE COURSES OF ALL MASONRY. EXTERIOR MASONRY VENEER SHALL BE TIED TO INTERIOR MASONRY BLOCKWORK IN ACCORDANCE WITH DRAWING NOTATIONS.
- REINFORCING STEEL FOR MASONRY SHALL BE GRADE 60. ALL LAP SPLICES SHALL BE A MINIMUM OF 48 BAR DIAMETERS (I.E. #4 BAR = 24").
- ALL MASONRY UNIT CORES CONTAINING REINFORCING BARS SHALL BE FILLED WITH 2000 P.S.I. GROUT. GROUT SHALL BE INSTALLED IN USING LOW LIFT GROUT METHOD (5'-0" MAXIMUM LIFTS).

METALS

- STRUCTURAL STEEL COMPONENTS SHALL CONFORM TO THE CURRENT SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS AS ADOPTED BY THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION.
- UNLESS OTHERWISE NOTED, ALL STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH ASTM SPECIFICATIONS A-36. STEEL FOR PIPE COLUMNS SHALL BE IN ACCORDANCE WITH ASTM SPECIFICATIONS A-501.
- ALL STEEL-TO-STEEL CONNECTIONS SHALL BE FABRICATED IN ACCORDANCE WITH INDUSTRY STANDARD PRACTICES FOR BOLTED OR WELDED CONNECTIONS.
- ALL STEEL SHALL BE PAINTED WITH ONE SHOP COAT OF RED-OXIDE PRIMER. GALVANIZED MEMBERS SHALL BE UTILIZED WHERE SHOWN ON THE DRAWINGS.

WOOD

- ALL STRUCTURAL WOOD SHALL BE IN ACCORDANCE WITH THE "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION" AND THE "MANUAL OF HOUSE FRAMING" AS PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION (NFPA), INCLUDING PROVISIONS FOR NAILING, FIRE STOPPING, ANCHORAGE, FRAMING AND BRACING.
- UNLESS NOTED OTHERWISE ON THE DRAWINGS, STRUCTURAL LUMBER SHALL BE AS FOLLOWS:
 - A. INTERIOR EXPOSURE: STRUCTURAL WOOD PROTECTED FROM MOISTURE SHALL BE HEM-FIR #2 OR BETTER
 - B. EXTERIOR EXPOSURE: STRUCTURAL WOOD EXPOSED TO MOISTURE, THE WEATHER, IN CONTACT WITH CONCRETE, LOCATED WITHIN 8 INCHES OF SOIL, OR LESS THAN 18 INCHES FROM THE FLOOR OF A CRAWL SPACE SHALL BE PRESERVATIVE TREATED SOUTHERN YELLOW PINE #2 OR BETTER, WITH RETENTION MEETING OR EXCEEDING THE REQUIREMENTS OF THE BUILDING CODE.
 - C. PLYWOOD: PLYWOOD SHALL BE IN ACCORDANCE WITH THE AMERICAN PLYWOOD ASSOCIATION (APA) SPECIFICATIONS (Y 510). PLYWOOD FLOOR DECKING SHALL BE CONTINUOUS OVER TWO OR MORE SPANS WITH THE FACE-GRAIN RUNNING PERPENDICULAR TO SUPPORT JOISTS.
 - I. ROOF SHEATHING: C-D/EXT-APA, ½" THICK
 - II. WALL SHEATHING: C-D/EXT-APA, ½" THICK
 - III. SUBFLOORING: C-D/EXT-APA, ¾" THICK
- NAILING SCHEDULE SHALL BE IN ACCORDANCE WITH THE LOCAL BUILDING CODES RECOMMENDED FASTENING SCHEDULE. NAIL PLYWOOD SHEATHING AND SUBFLOORING AND C AT EDGES AND 12" O.C. ALONG INTERMEDIATE SUPPORTS, LEAVING SPACES BETWEEN PANELS AS RECOMMENDED BY THE APA. UTILIZE RING-SHANK OR SCREW TYPE NAILS FOR PLYWOOD SUBFLOORING AND APPLY APPROPRIATE CONSTRUCTION ADHESIVE TO ADEQUATELY SECURE PLYWOOD TO FLOOR JOISTS.
- INSTALL JOIST HANGERS, COLUMN CAPS AND BASES WHERE REQUIRED. METAL FABRICATIONS SHALL BE OF APPROPRIATE SIZE AND TYPE FOR THE MEMBERS AND SUPPORT CONDITIONS. WHERE FLANGE SUPPORT JOIST HANGERS ARE USED IN CONJUNCTION WITH STEEL BEAMS, CARE SHALL BE TAKEN TO INSTALL THE HANGERS CLEAR OF CONTACT WITH THE STEEL BEAM BY INSTALLING 2X WOOD TOP PLATES.
- NOTCHING SHALL NOT EXCEED 1/8TH OF THE DEPTH OF A JOIST OR RAFTER AND SHALL OCCUR ONLY IN THE OUTER QUARTER OF THE SPAN. NOTCHES SHALL NOT BE PERMITTED IN THE MIDDLE HALF OF THE SPAN. NOTCH LENGTH SHALL NOT EXCEED 1/3RD OF THE JOIST DEPTH. NOTCHES ARE NOT PERMITTED IN ENGINEERED LUMBER PRODUCTS.
- HOLES IN JOISTS OR RAFTERS SHALL OCCUR IN THE MIDDLE 1/3RD OF THE SPAN. THE HOLE DIAMETER SHALL NOT EXCEED 1/3RD OF THE JOIST DEPTH. HOLES IN ENGINEERED LUMBER PRODUCTS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES.
- ENGINEERED LUMBER INDICATED ON THE DRAWINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. JOISTS LABELED TJI ARE COMPOSITE I-JOISTS AS MANUFACTURED BY TRUS-JOIST. MEMBERS LABELED LVL ARE LAMINATED VENEER LUMBER (1.9E MICROLAM BY TRUS-JOIST). THE SUBSTITUTION OF OTHER PRODUCTS ARE ONLY PERMITTED WITH BACKUP ENGINEERING PLANS AND CALCULATIONS.

FOUNDATION

- ALL FOOTINGS SHALL REST ON UNDISTURBED SOIL WITH A MINIMUM BEARING CAPACITY OF 4000 PSF. BACKFILL OVER-EXCAVATION WITH CONCRETE, NOT ADDITIONAL SOIL.
- NO BACKFILLING OF FOUNDATION WALLS SHALL BE UNDERTAKEN UNTIL SUITABLE WALL BRACING (TEMPORARY OR PERMANENT) HAS BEEN INSTALLED.
- DO NOT POUR FOOTINGS ON FROZEN SOIL. REMOVE ALL FROST PRIOR TO POURING CONCRETE.
- BOTTOM OF FOOTINGS SHALL BE INSTALLED BELOW GRADE TO PROVIDE PROTECTION FROM FROST PENETRATION. CONSULT WITH LOCAL BUILDING OFFICIALS REGARDING REQUIRED DEPTH IN THE LOCALE WHERE THE FOUNDATION IS CONSTRUCTED.
- PROVIDE 2-#5 REINFORCING BARS CONTINUOUS IN THE TOP AND BOTTOM OF WALLS, AND IN CONTINUOUS FOOTINGS. SEE FOUNDATION PLAN FOR ADDITIONAL REINFORCING REQUIRED AT COLUMN FOOTINGS.
- PROVIDE ½" DIAMETER ANCHOR BOLTS AT 6'-0" O.C. MAXIMUM TO SECURE FRAMING SILL TO FOUNDATION.
- PROVIDE EXTERIOR AND/OR INTERIOR FOOTING DRAINS AS REQUIRED BY SITE CONDITIONS.
- INSTALL FOUNDATION WATERPROOFING TO BELOW GRADE SURFACES.
- INSTALL FOUNDATION INSULATION AS REQUIRED BY LOCAL CODES.

DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN		SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	
	SPEED (mph)	TOPOGRAPHIC effects		Weathering	Frost Ice depth	Tempest		
30 psf	105	r/1a	B	B	SEVERE	42"	MODERATE TO HEAVY	7° F
ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARD	AIR FREEZING INDEX	MEAN ANNUAL TEMP	CLIMATE ZONE				
YES	AE ZONE	1,500 OR LESS	50° F	5A				

CODES THIS PROJECT WAS DESIGNED TO:
 2009 INTERNATIONAL RESIDENTIAL CODE W/ 2013 CONNECTICUT AMENDMENT
 2009 INTERNATIONAL ENERGY CONSERVATION CODE W/ 2013 CONNECTICUT AMENDMENT
 2011 NATIONAL ELECTRICAL CODE (NFPA 70) W/ 2013 CONNECTICUT AMENDMENT

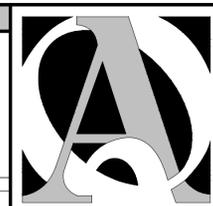
ARCHITECTURAL SYMBOLS

	EXISTING WALL
	WALL TO BE DEMOLISHED
	NEW STUD WALL
	NEW CMU WALL
	NEW FOUNDATION WALL
	ROOM NAME FLOOR FINISH ROOM SIZE (if applicable)
	SECTION MARKER
	ELEVATION MARKER
	WINDOW IDENTIFICATION
	ELEVATION MARKER
	EXISTING DOOR
	NEW DOOR

KITCHEN HARDWOOD
15'-0" x 12'-0"

GENERAL NOTES

- ALL CONSTRUCTION ON THIS HOME, AND ANY CHANGES MADE TO THE DESIGN OF THIS HOME, EITHER BEFORE OR DURING CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE BUILDING CODE. NOTHING REPRESENTED WITHIN THESE PLANS SHALL ALIENATE THE APPLICABLE CODE REQUIREMENTS FOR THE CONSTRUCTION RELATED TO THIS PROJECT.
- NOTIFY QUISENBERRY ARCAI ARCHITECTS, LLC AT (860) 677-4594 IMMEDIATELY IF PROBLEMS SHOULD ARISE DURING THE CONSTRUCTION ON THIS HOME WITH RESPECT TO STRUCTURAL INTEGRITY, FRAMING CONFLICTS, OR GENERAL CONCERNS.
- THESE DRAWINGS DO NOT REPRESENT ALL COMPONENTS OR DETAILS REQUIRED TO PROPERLY CONSTRUCT THIS HOME. IT IS ASSUMED THAT THE WORK WILL BE PERFORMED BY COMPETENT, SKILLED AND LICENSED TRADE CONTRACTORS IN ACCORDANCE WITH INDUSTRY STANDARDS AND CARE.
- UNLESS OTHERWISE NOTED ON THE DRAWINGS, ALL NEW FINISHES (ROOFING, SIDING, TRIM, ETC.) SHALL MATCH EXISTING.
- PATCH EXISTING AREAS AFFECTED BY THE NEW WORK. MATCH EXISTING FINISHES UNLESS DIRECTED OTHERWISE BY THE OWNER.
- EXTEND EXISTING SERVICES (MECHANICAL, PLUMBING, ELECTRICAL, ETC.) TO ACCOMMODATE THE NEW CONSTRUCTION. PROVIDE UPGRADES TO EXISTING COMPONENTS AS NECESSARY TO PROVIDE SATISFACTORY PERFORMANCE WITHIN THE COMPLETED STRUCTURE.



QUISENBERRY ARCAI ARCHITECTS, LLC
 www.qa-architects.com
 T (860) 677-4594
 F (860) 677-8534
 318 Main Street
 Farmington, CT 06032

REHABILITATION/RECONSTRUCTION WORK FOR:

NICHOLAS PERO
 APPLICANT #2161
 9 PARKER STREET
 PRESTON, CT

Sheet Description:

GENERAL NOTES

Issue Dates:

OCTOBER 31, 2014

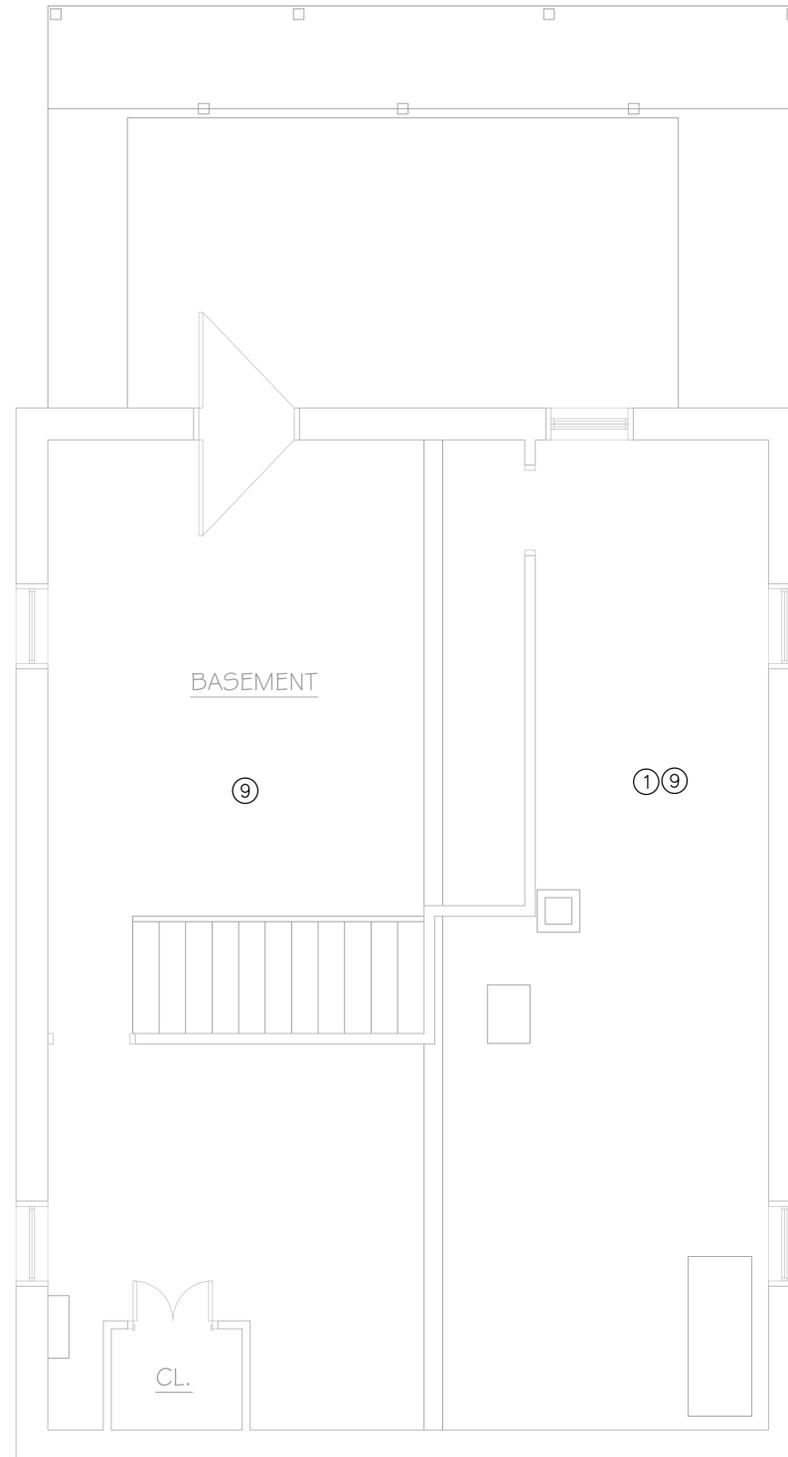
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Project #: QA 1346-23

Drawn By:

Sheet #:

G1.1



HAZARDOUS MATERIALS ABATEMENT NOTES:

- ① THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE AND DISPOSE OF ASBESTOS CONTAINING INTERNAL FURNACE/BOILER UNIT MATERIALS AS ACM. INCLUDES REMOVAL AND DISPOSAL OF ENTIRE FURNACE/BOILER UNIT AS ACM.
- ② THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE AND DISPOSE OF ASBESTOS CONTAINING ROOF VENT AND CHIMNEY FLASHING AS ACM.
- ③ THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE AND DISPOSE OF ASBESTOS CONTAINING ROOF FLASHING MATERIALS AT ROOF AND SIDING JUNCTION AS ACM.
- ④ THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE LEAD CONTAINING WINDOW TRIM AND SILLS. DISPOSE OF MATERIALS AS HAZARDOUS LEAD WASTE.
- ⑤ THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE LEAD BASED PAINT ON DOOR JAMB/CASING. DISPOSE OF MATERIALS AS HAZARDOUS LEAD WASTE.
- ⑥ THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE LEAD CONTAINING DOOR JAMB/CASING AND LINTEL. DISPOSE OF MATERIALS AS HAZARDOUS LEAD WASTE.
- ⑦ THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL WET MOP AND HEPA VACUUM LEAD DUST ON FLOORS. DISPOSE OF MATERIALS AS HAZARDOUS LEAD WASTE.
- ⑧ THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL WET MOP AND HEPA VACUUM LEAD DUST ON INTERIOR WINDOW SILLS. DISPOSE OF MATERIALS AS HAZARDOUS LEAD WASTE.
- ⑨ THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE MOLD CONTAMINATED SHEETROCK. DISPOSE OF MATERIALS AS GENERAL CONSTRUCTION AND DEMOLITION DEBRIS.

GENERAL PROJECT NOTES:

THIS PROJECT MAY REQUIRE MULTIPLE MOBILIZATIONS. WORK IS TO BE COORDINATED WITH BUILDING OWNER AND OTHER TRADES.

THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING CONSTRUCTION AND FOR TEMPORARY PROTECTION.

THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF ALL EXISTING CONDITIONS AND QUANTITIES, AND FOR NOTIFYING THE CONSULTANT OF ANY DISCREPANCIES PRIOR TO FINALIZING BID.



**QUISENBERRY ARCARI
ARCHITECTS, LLC**
www.qa-architects.com
T (860) 677-4594
F (860) 677-8534
318 Main Street
Farmington, CT 06032

FUSS & O'NEILL
EnviroScience, LLC
56 QUARRY ROAD
TRUMBULL, CONNECTICUT 06611
203.753.3838
www.fussandoneill.com



REHABILITATION/RECONSTRUCTION WORK FOR:

NICHOLAS PERO

APPLICANT # 2161

PRESTON, CT

9 PARKER STREET

Sheet Description:

**HAZARDOUS
MATERIALS
ABATEMENT
—
BASEMENT**

Issue Dates:

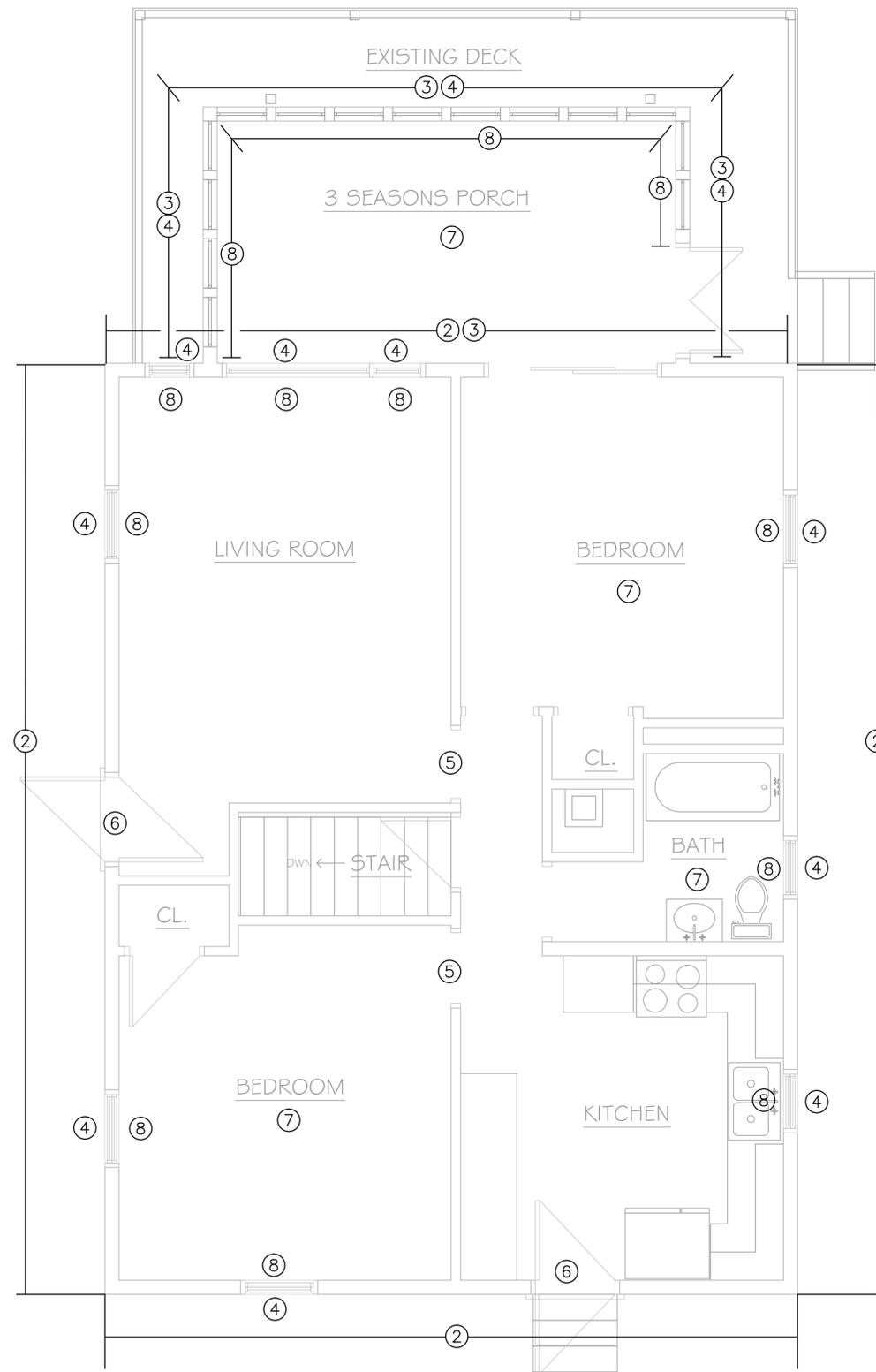
SEPTEMBER 2014

Project #: **QA 1346-23**

Drawn By: **AAT**

Sheet #:

HM-01



HAZARDOUS MATERIALS ABATEMENT NOTES:

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- ⑥ THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE LEAD CONTAINING DOOR JAMB/CASING AND LINTEL. DISPOSE OF MATERIALS AS HAZARDOUS LEAD WASTE.
- ⑦ THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL WET MOP AND HEPA VACUUM LEAD DUST ON FLOORS. DISPOSE OF MATERIALS AS HAZARDOUS LEAD WASTE.
- ⑧ THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL WET MOP AND HEPA VACUUM LEAD DUST ON INTERIOR WINDOW SILLS. DISPOSE OF MATERIALS AS HAZARDOUS LEAD WASTE.
- ⑨ THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE MOLD CONTAMINATED SHEETROCK. DISPOSE OF MATERIALS AS GENERAL CONSTRUCTION AND DEMOLITION DEBRIS.

GENERAL PROJECT NOTES:

THIS PROJECT MAY REQUIRE MULTIPLE MOBILIZATIONS. WORK IS TO BE COORDINATED WITH BUILDING OWNER AND OTHER TRADES.

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QUISENBERRY ARCARI ARCHITECTS, LLC
 www.qa-architects.com
 T (860) 677-4594
 F (860) 677-8534
 318 Main Street
 Farmington, CT 06032



FUSS & O'NEILL
 EnviroScience, LLC
 56 QUARRY ROAD
 TRUMBULL, CONNECTICUT 06611
 203.753.3518
 www.fussandoneill.com

REHABILITATION/RECONSTRUCTION WORK FOR:

NICHOLAS PERO
 APPLICANT # 2161

9 PARKER STREET PRESTON, CT

Sheet Description:

HAZARDOUS MATERIALS ABATEMENT - FIRST FLOOR

Issue Dates:

SEPTEMBER 2014

Project #: QA 1346-23 Drawn By: AAT

Sheet #:

HM-02



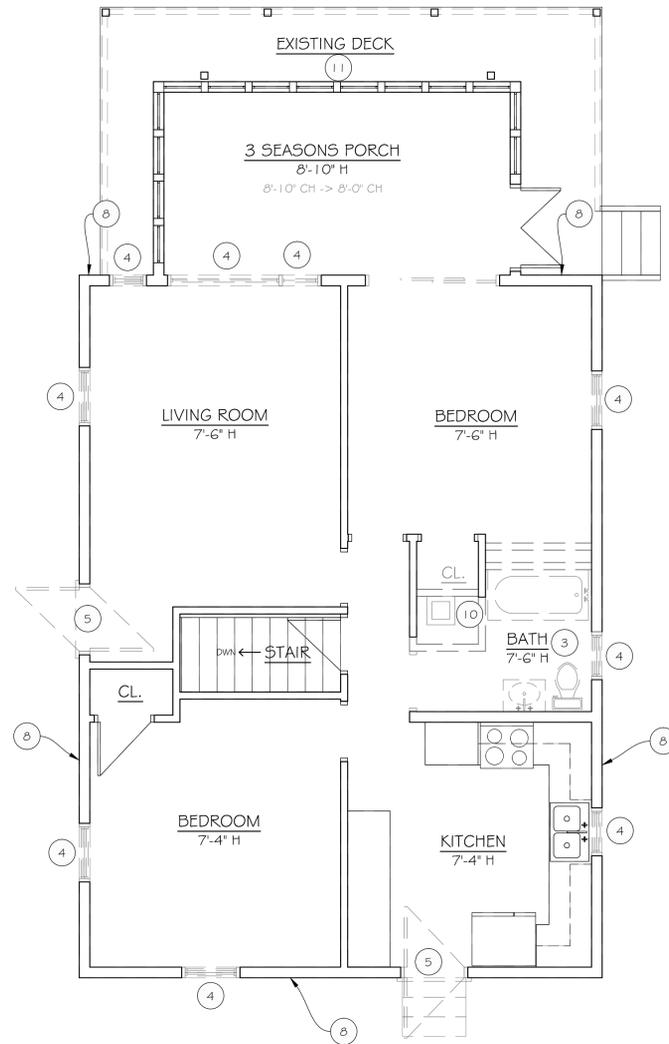
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 www.qa-architects.com
 T (860) 677-4594
 F (860) 677-8534
 318 Main Street
 Farmington, CT 06032

GENERAL DEMOLITION NOTES:

- WALLS/DOORS/ETC. SHOWN DASHED ARE TO BE REMOVED
- REFER TO HAZARDOUS MATERIALS REPORT PRIOR TO START OF DEMOLITION FOR EXTENT OF AND REQUIREMENTS FOR THE REMOVAL OF HAZARDOUS MATERIALS
- COORDINATE WITH OWNER ITEMS TO BE REMOVED AND SAVED PRIOR TO START OF DEMOLITION

DEMOLITION KEY NOTES:

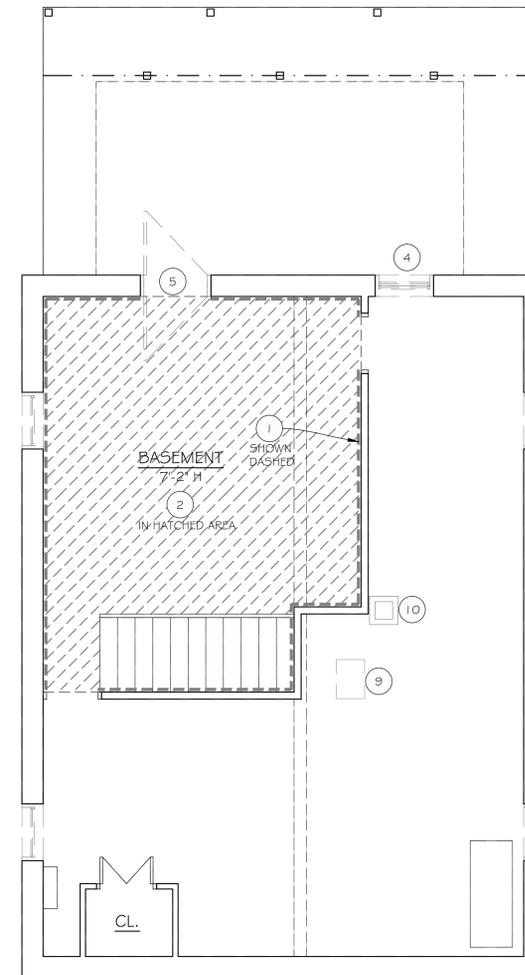
- 1 REMOVE ALL WALL FINISH & FRAMING DOWN TO EXISTING MASONRY WALLS
- 2 REMOVE ALL FLOOR FINISHES DOWN TO EXISTING SUB FLOOR
- 3 REMOVE ALL EXISTING PLUMBING FIXTURES, SEE PLUMB. DWGS.
- 4 REMOVE EXISTING WINDOW AND RELATED CONSTRUCTION BACK TO ROUGH OPENING
- 5 REMOVE EXISTING DOOR AND RELATED CONSTRUCTION BACK TO ROUGH OPENING
- 6 REMOVE ALL DRYWALL BACK TO EXISTING FRAMING
- 7 REMOVE EXISTING FLOORING DOWN TO SLAB
- 8 REMOVE EXISTING SIDING, BUILDING PAPER, WOOD TRIM & ASSOCIATED CONSTRUCTION BACK TO EXISTING SHEATHING
- 9 REMOVE BOILER & ASSOCIATED CONSTRUCTION AS REQ'D FOR NEW BOILER INSTALLATION, SEE MEP DRAWINGS
- 10 REMOVE EXIST. CHIMNEY TO FLOOR SLAB
- 11 REMOVE EXISTING RAILING ASSEMBLY



DEMOLITION FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

2



DEMOLITION BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"

1

REHABILITATION/RECONSTRUCTION WORK FOR:

NICHOLAS PERO

APPLICANT #2161

9 PARKER STREET PRESTON, CT

Sheet Description:

DEMOLITION FLOOR PLANS

Issue Dates:

OCTOBER 31, 2014

Scale: 1/4" = 1'-0"

Project #:

QA 1346-23

Drawn By:

CJO

Sheet #:

D1.1



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 www.qa-architects.com
 T (860) 677-4594
 F (860) 677-8534
 318 Main Street
 Farmington, CT 06032

REHABILITATION/RECONSTRUCTION WORK FOR:

NICHOLAS PERO

APPLICANT #2161

PRESTON, CT

9 PARKER STREET

Sheet Description:

FLOOR PLANS

Issue Dates:

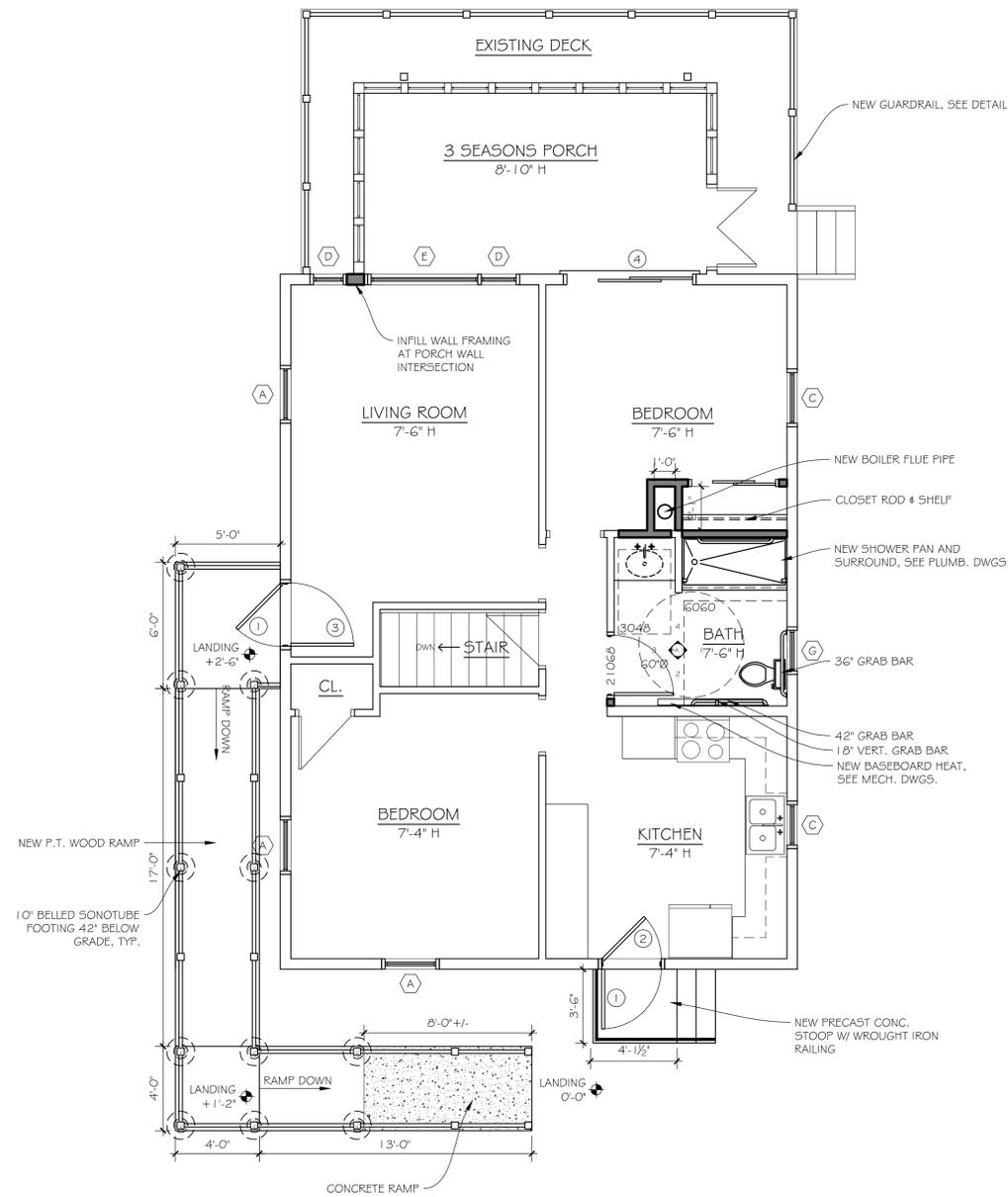
OCTOBER 31, 2014

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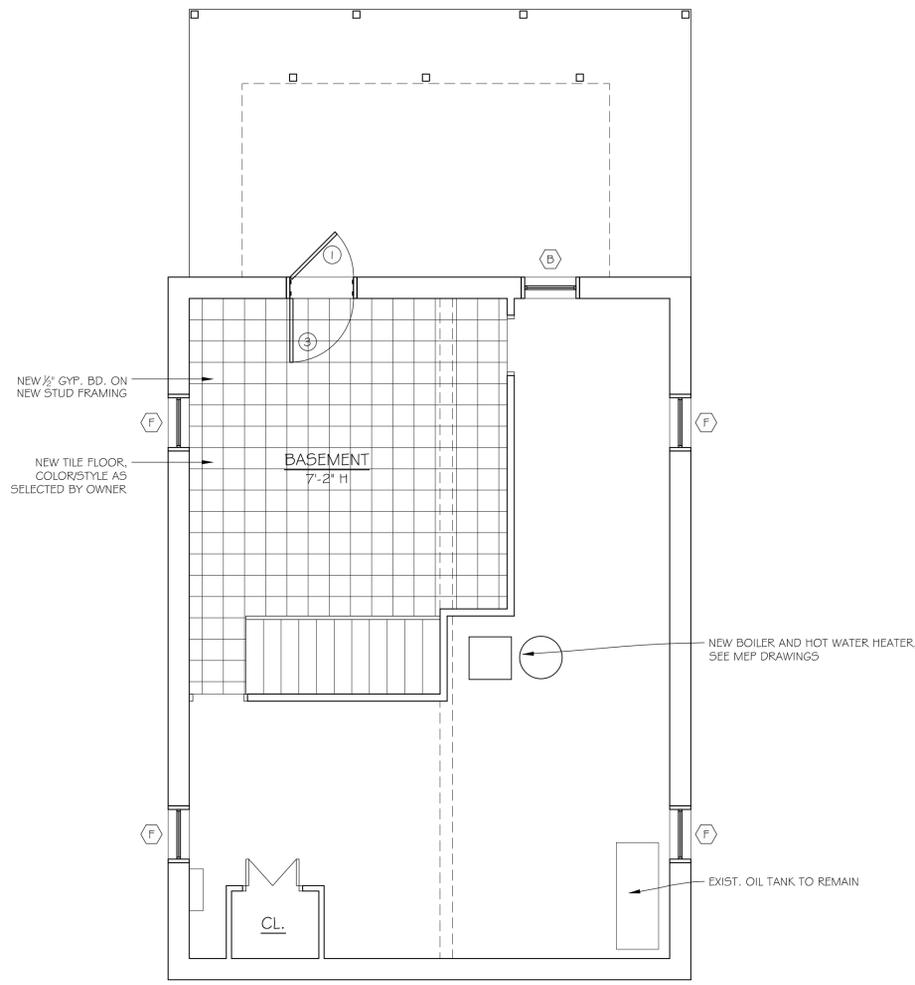
Project #: QA 1346-23
 Drawn By: CJO

Sheet #:

A1.1



2



1



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REHABILITATION/RECONSTRUCTION WORK FOR:

NICHOLAS PERO
 APPLICANT #2161

9 PARKER STREET PRESTON, CT

Sheet Description:
EXTERIOR ELEVATIONS

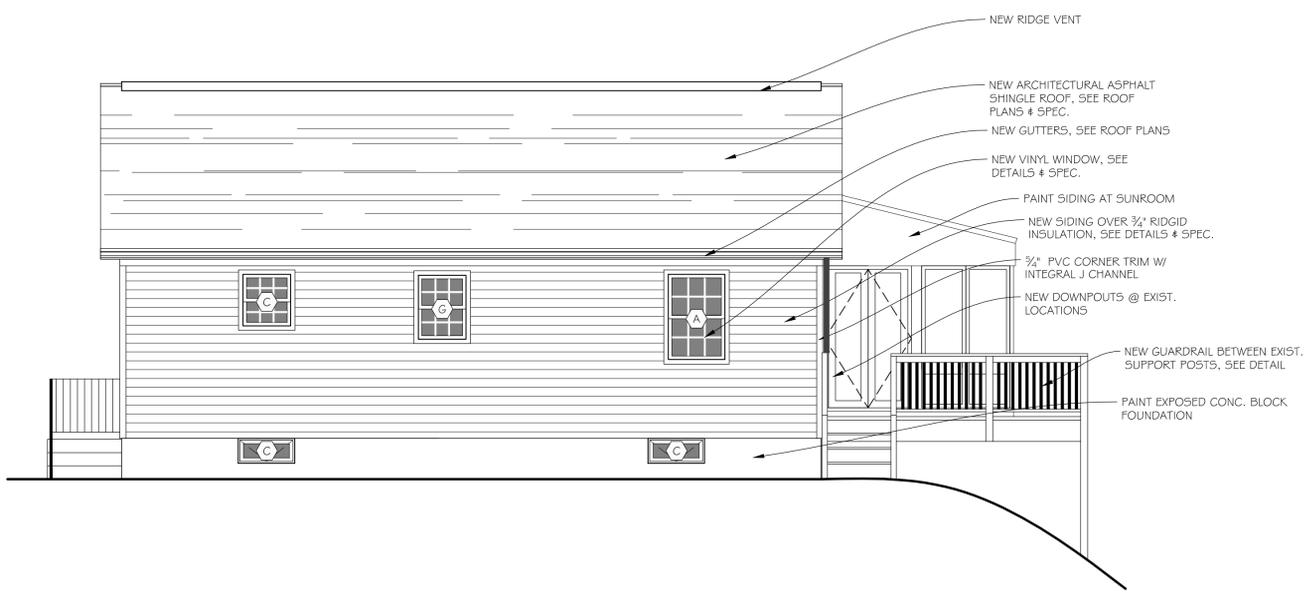
Issue Dates:
 OCTOBER 31, 2014

Scale: 1/4" = 1'-0"

Project #: QA 1346-23
 Drawn By: CJO

Sheet #:

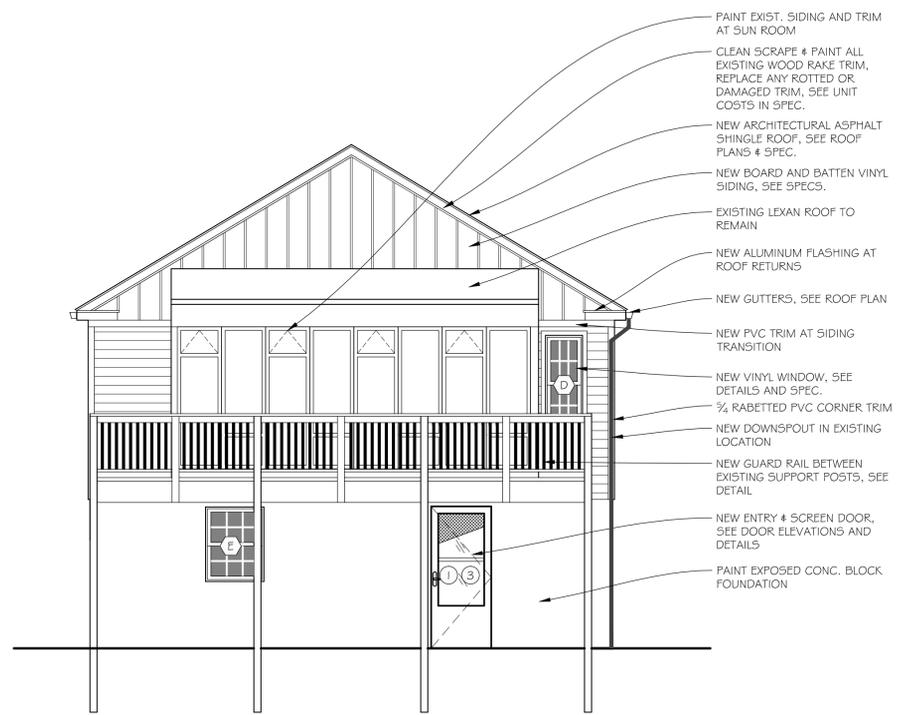
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LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

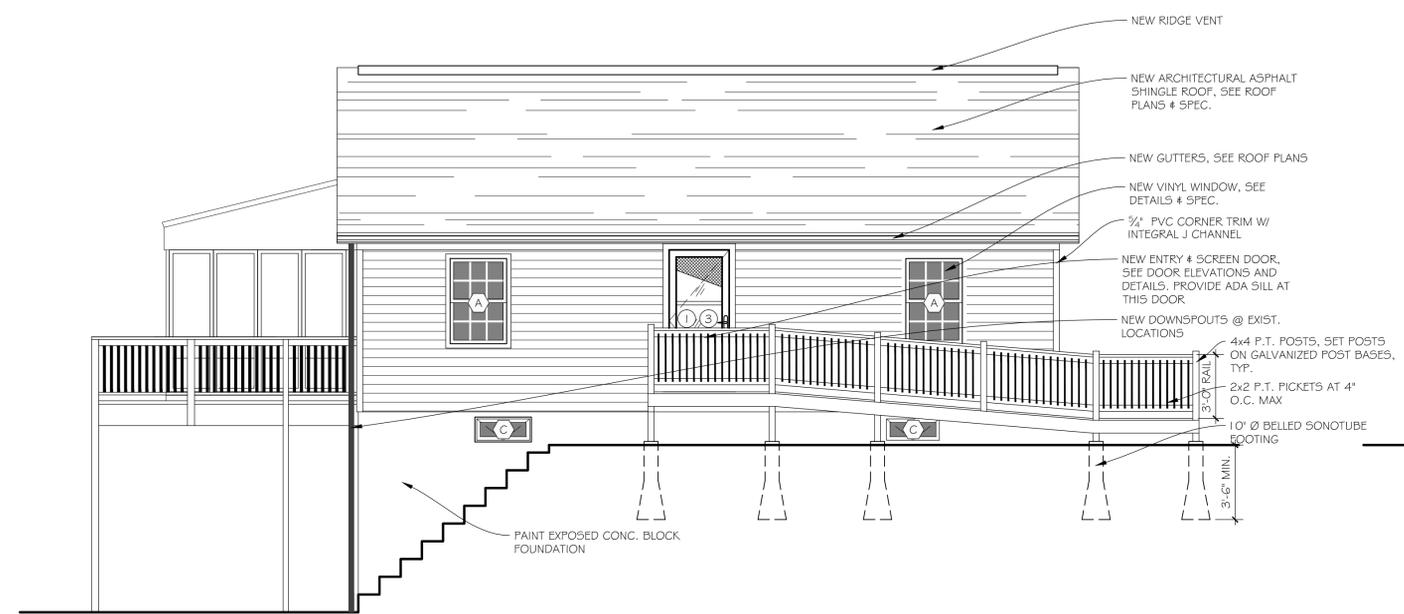
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REAR ELEVATION

SCALE: 1/4" = 1'-0"

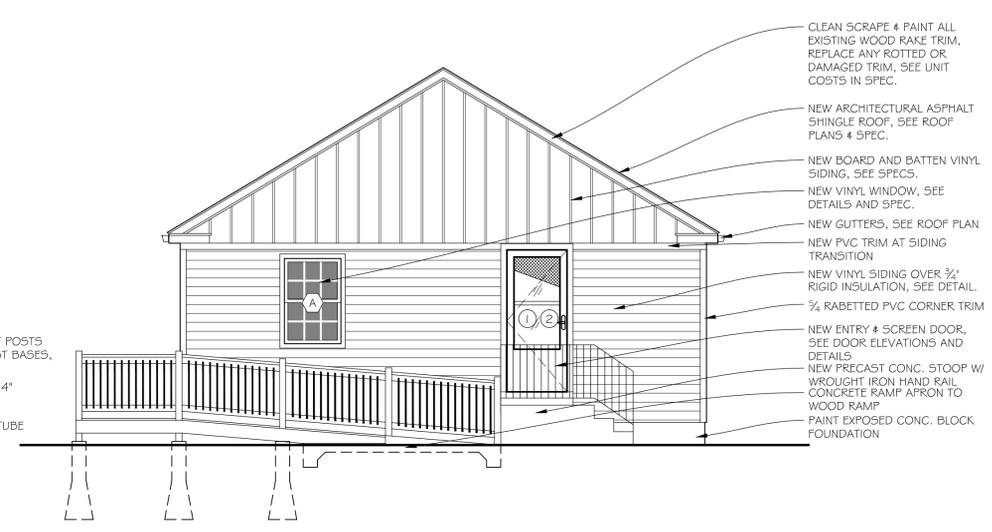
2



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

3



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

1



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ARCHITECTS, LLC**
www.qa-architects.com
T (860) 677-4594
F (860) 677-8534
318 Main Street
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REHABILITATION/RECONSTRUCTION WORK FOR:

NICHOLAS PERO
APPLICANT #2161

PRESTON, CT

9 PARKER STREET

Sheet Description:

**BATHROOM
ELEVATIONS**

Issue Dates:

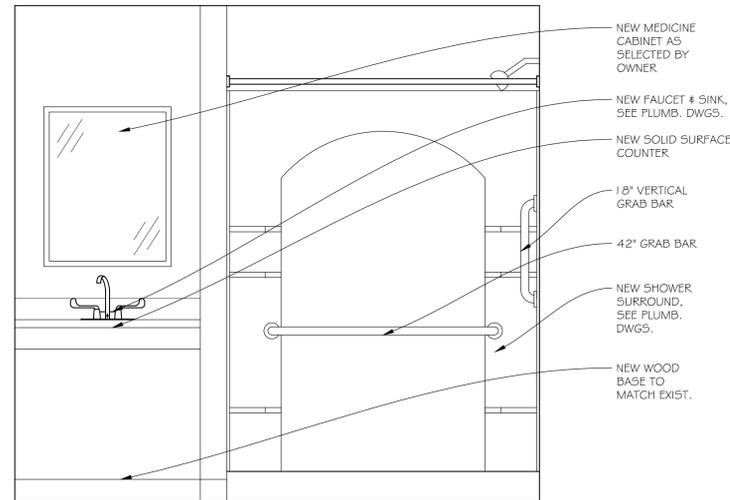
OCTOBER 31, 2014

Scale: AS NOTED

Project #: QA 1346-23
Drawn By: CJO

Sheet #:

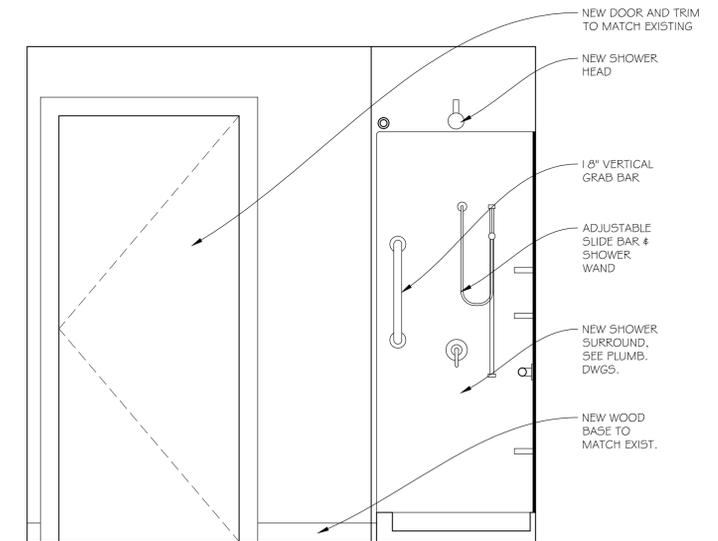
A3.1



BATHROOM ELEVATION

SCALE: 3/4" = 1'-0"

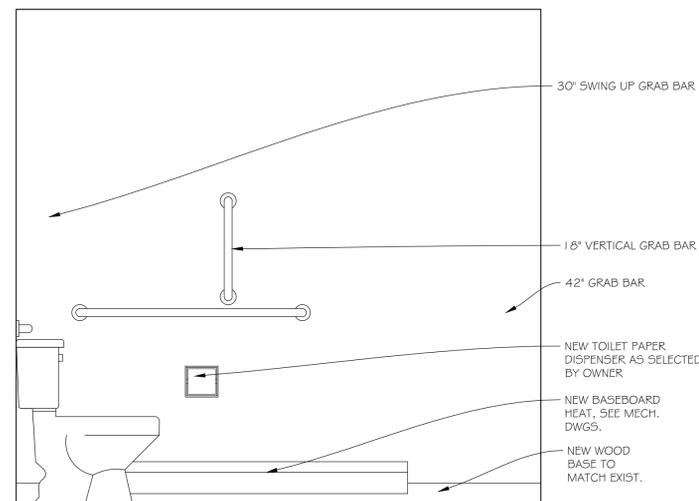
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BATHROOM ELEVATION

SCALE: 3/4" = 1'-0"

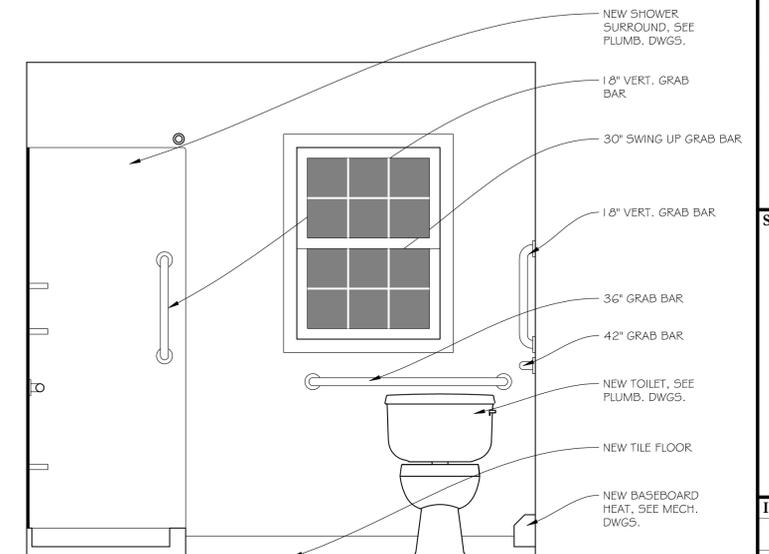
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BATHROOM ELEVATION

SCALE: 3/4" = 1'-0"

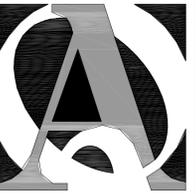
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BATHROOM ELEVATION

SCALE: 3/4" = 1'-0"

1



QUISENBERRY ARCARI ARCHITECTS, LLC
 www.qa-architects.com
 T (860) 677-4594
 F (860) 677-8534
 318 Main Street
 Farmington, CT 06032



RZ Design Associates, Inc.
 MECHANICAL AND ELECTRICAL ENGINEERING
 750 N. MAIN ST. SUITE 201
 ROCKY HILL, CT 06067
 T (860) 438-4456
 F (860) 438-4459
 www.rzdesignassociates.com

REHABILITATION/RECONSTRUCTION WORK FOR:

NICHOLAS PERO

APPLICANT #2161

PRESTON, CT

9 PARKER STREET

Sheet Description:

PLUMBING DEMOLITION PLAN

Issue Dates:

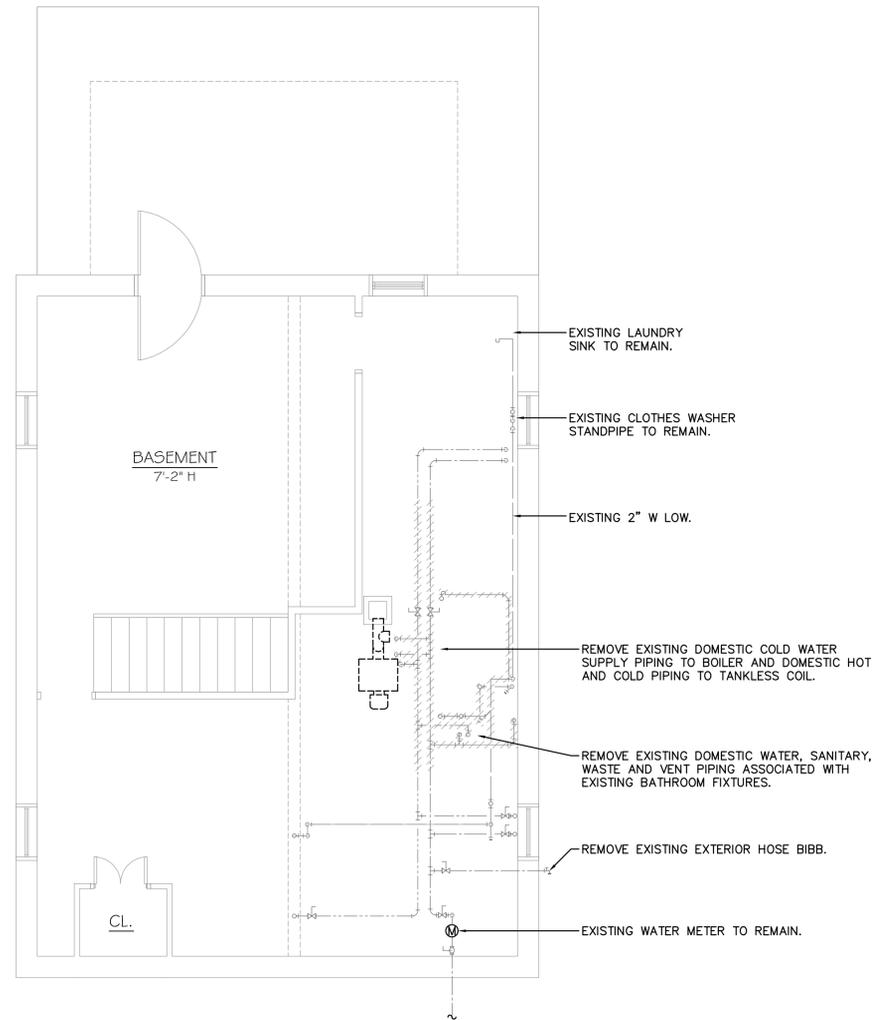
OCTOBER 31, 2014

Scale: 1/4" = 1'-0"

Project #: QA 1346-23
 Drawn By: JRB

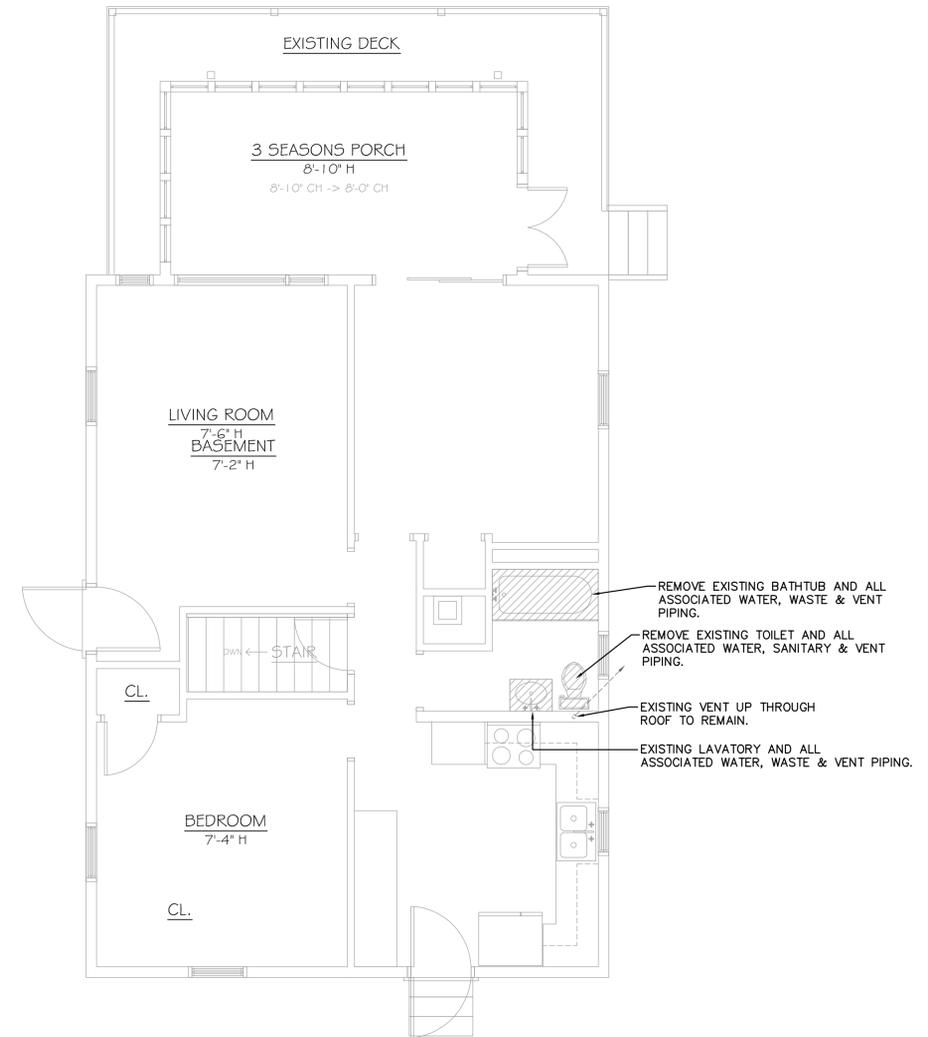
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BASEMENT PLUMBING DEMOLITION PLAN

SCALE: 1/4"=1'-0"

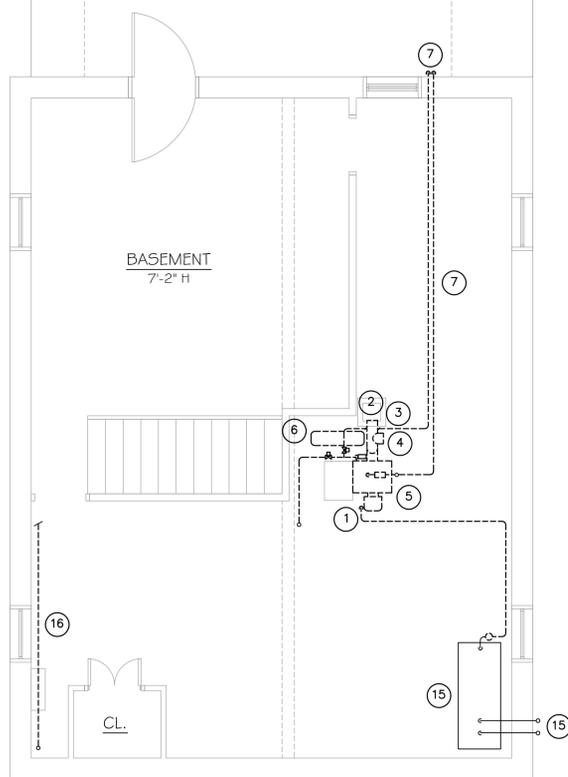


FIRST FLOOR PLUMBING DEMOLITION PLAN

SCALE: 1/4"=1'-0"

DEMOLITION KEY NOTES #

- | | |
|---|--|
| 1) DISCONNECT EXISTING FUEL OIL SUPPLY PIPING AT OIL BURNER CONNECTION. SEE NEW WORK PLAN FOR PIPING REQUIREMENTS. | 8) DISCONNECT AND REMOVE EXISTING HOT WATER WALL HEATER COMPLETE. |
| 2) DISCONNECT AND REMOVE EXISTING BOILER BREECHING FROM EXISTING BOILER TO EXISTING MASONRY CHIMNEY COMPLETE. | 9) DISCONNECT AND REMOVE EXISTING FINNED-TUBE RADIATION AND PIPING TO ACCOMMODATE NEW CONSTRUCTION. CAP PIPING IN BASEMENT BELOW AND RETAIN FOR REUSE. SEE NEW WORK PLAN FOR PIPING & COVER MODIFICATIONS. |
| 3) DISCONNECT AND REMOVE EXISTING BOILER STACK SWITCH FROM EXISTING BOILER BREECHING COMPLETE. COORDINATE WITH ELECTRICAL CONTRACTOR FOR REMOVAL OF POWER WIRING. | 10) REMOVE EXISTING LOW-VOLTAGE THERMOSTAT COMPLETE. REMOVE LOW-VOLTAGE CONTROL WIRING FROM THERMOSTAT LOCATION BACK TO ZONE VALVE TERMINALS COMPLETE. |
| 4) DISCONNECT AND REMOVE EXISTING BOILER DRAFT CONTROL FROM EXISTING BOILER BREECHING COMPLETE. | 11) DISCONNECT AND REMOVE EXISTING FAN/LIGHT/HEATER AND EXHAUST DUCTWORK COMPLETE. COORDINATE WITH ELECTRICAL CONTRACTOR FOR REMOVAL OF POWER WIRING. |
| 5) DISCONNECT AND REMOVE EXISTING OIL-FIRED HEATING BOILER, OIL BURNER, OPERATING CONTROLS AND SAFETY CONTROLS COMPLETE. COORDINATE WITH ELECTRICAL CONTRACTOR FOR REMOVAL OF POWER WIRING. | 12) EXISTING FINNED-TUBE RADIATION AND PIPING TO REMAIN FOR REUSE. |
| 6) DISCONNECT AND REMOVE EXISTING HEATING PUMP, AIR SEPARATOR, EXPANSION TANK, ZONE VALVES AND NEAR BOILER PIPING COMPLETE. RETAIN EXISTING SUPPLY AND RETURN RISERS UP TO FIRST FLOOR FOR REUSE. | 13) EXISTING RANGE HOOD TO REMAIN. |
| 7) DISCONNECT AND REMOVE EXISTING HOT WATER SUPPLY AND RETURN PIPING FROM EXISTING WALL HEATER TO BOILER COMPLETE. | 14) EXISTING LOW-VOLTAGE THERMOSTAT TO REMAIN. |
| | 15) EXISTING FUEL OIL STORAGE TANK TO REMAIN. REMOVE EXISTING OIL FILTER AND PIPING. |
| | 16) DISCONNECT AND REMOVE EXISTING 3/4" HEATING PIPE PASSING OVER ELECTRICAL SERVICE PANEL. SEE NEW WORK PLAN FOR PIPING RELOCATION. |

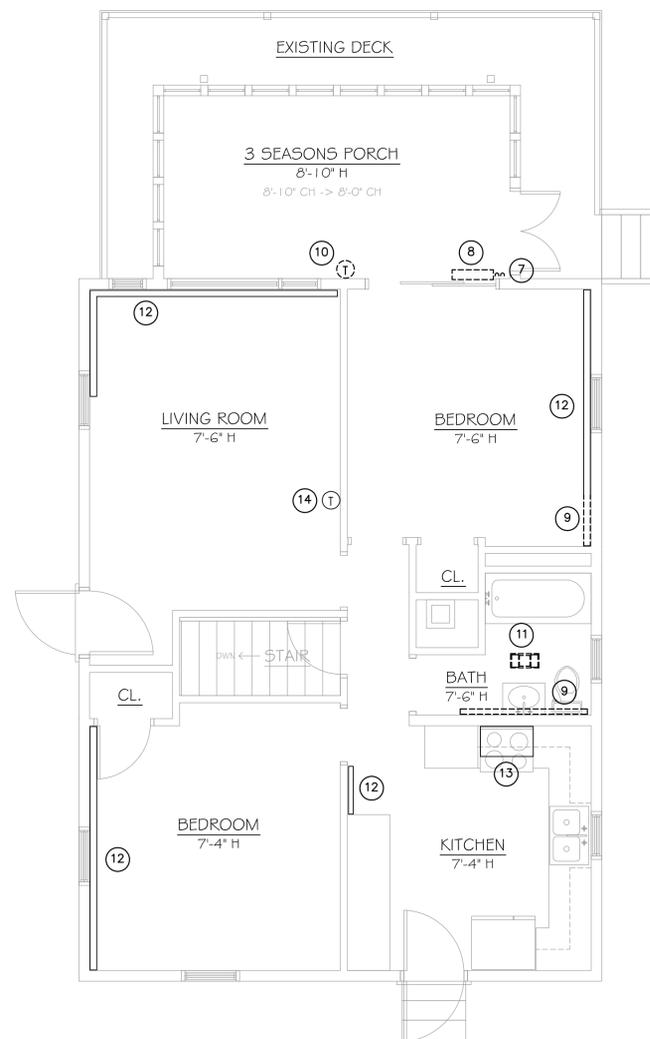


BASEMENT MECHANICAL DEMOLITION PLAN

SCALE: 1/4"=1'-0"

LEGEND

- EXISTING TO REMAIN
- - - - - EXISTING TO BE REMOVED



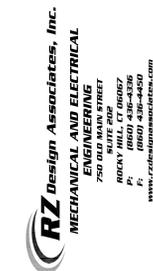
FIRST FLOOR MECHANICAL DEMOLITION PLAN

SCALE: 1/4"=1'-0"



QUISENBERRY ARCARI ARCHITECTS, LLC

www.qa-architects.com
 T (860) 677-4594
 F (860) 677-8534
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 Farmington, CT 06032



REHABILITATION/RECONSTRUCTION WORK FOR:

NICHOLAS PERO

APPLICANT #2161

PRESTON, CT

9 PARKER STREET

Sheet Description:

FLOOR PLANS

Issue Dates:

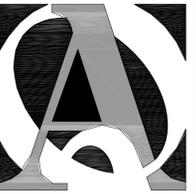
OCTOBER 31, 2014

Scale: 1/4" = 1'-0"

Project #: QA 1346-23
 Drawn By: KAH

Sheet #:

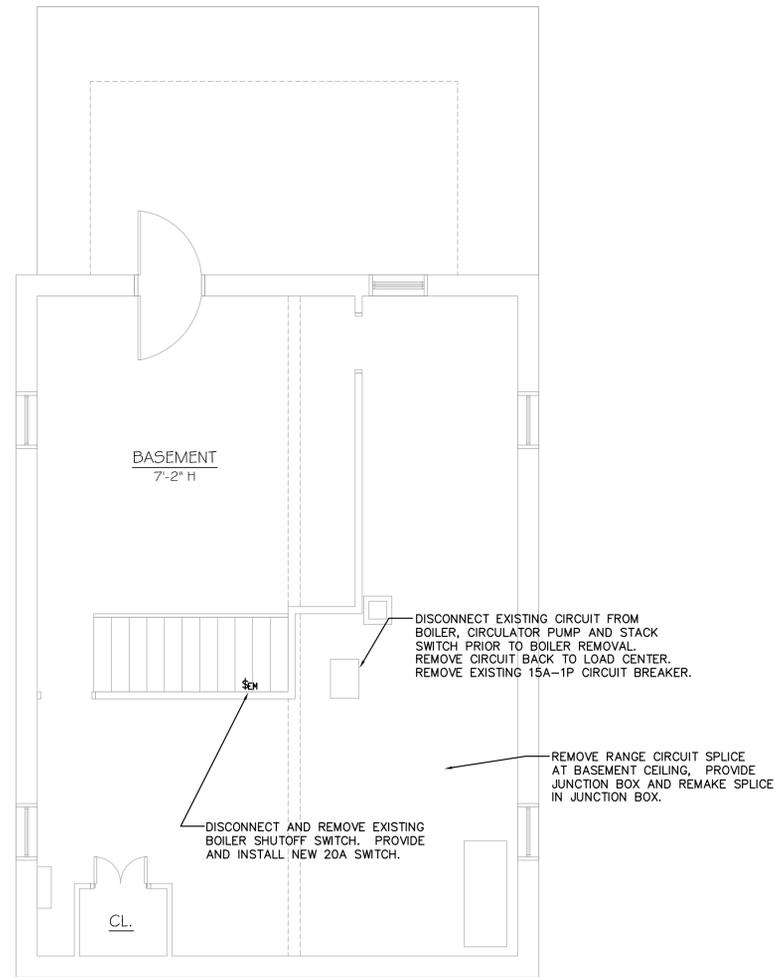
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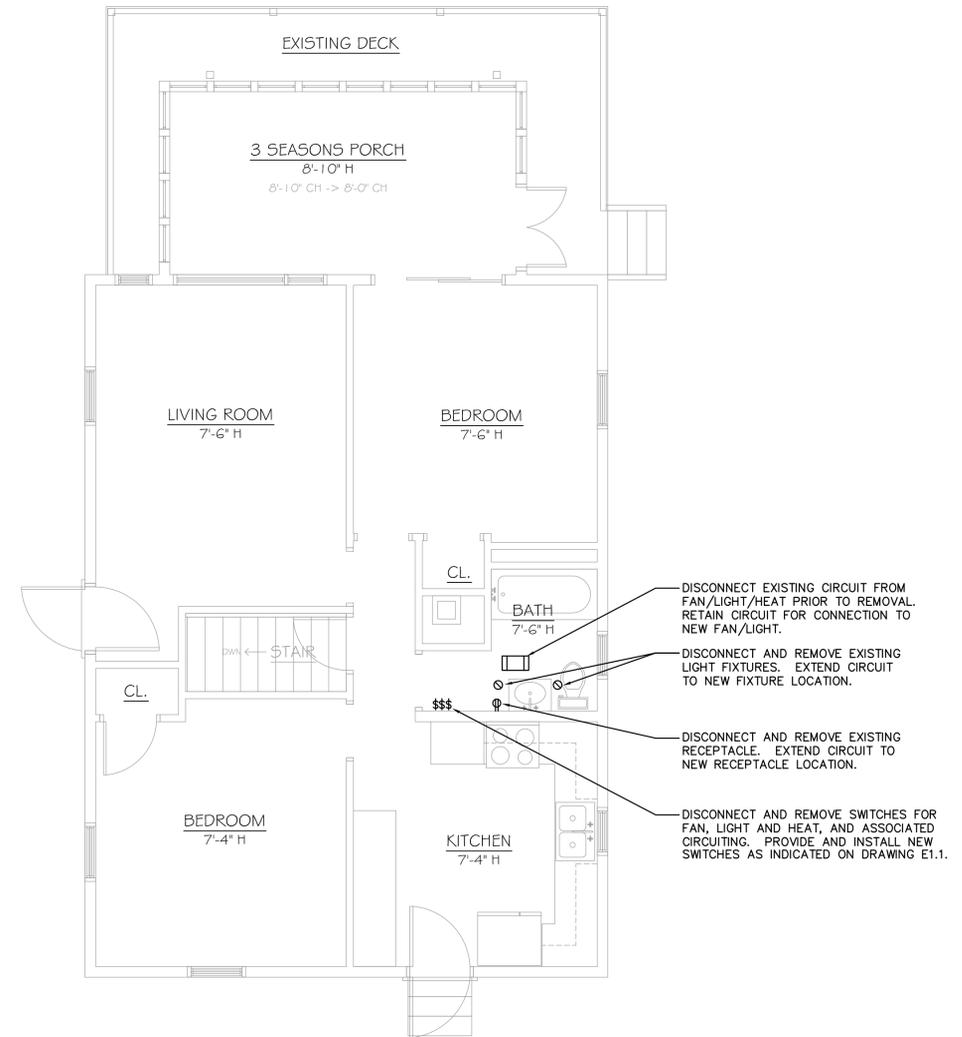
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 www.qa-architects.com
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 Farmington, CT 06032



RZ Design Associates, Inc.
MECHANICAL AND ELECTRICAL ENGINEERING
 720 NORTH MAIN STREET
 SUITE 200
 ROCKY HILL, CT 06067
 T (860) 438-4400
 F (860) 438-4409
 www.rzdesignassociates.com



BASEMENT ELECTRICAL DEMOLITION PLAN
 SCALE: 1/4"=1'-0"



FIRST FLOOR ELECTRICAL DEMOLITION PLAN
 SCALE: 1/4"=1'-0"

REHABILITATION/RECONSTRUCTION WORK FOR:

NICHOLAS PERO
 APPLICANT #2161

9 PARKER STREET PRESTON, CT

Sheet Description:

FLOOR PLANS

Issue Dates:

OCTOBER 31, 2014

Scale: 1/4" = 1'-0"

Project #: QA 1346-23
 Drawn By: KAH

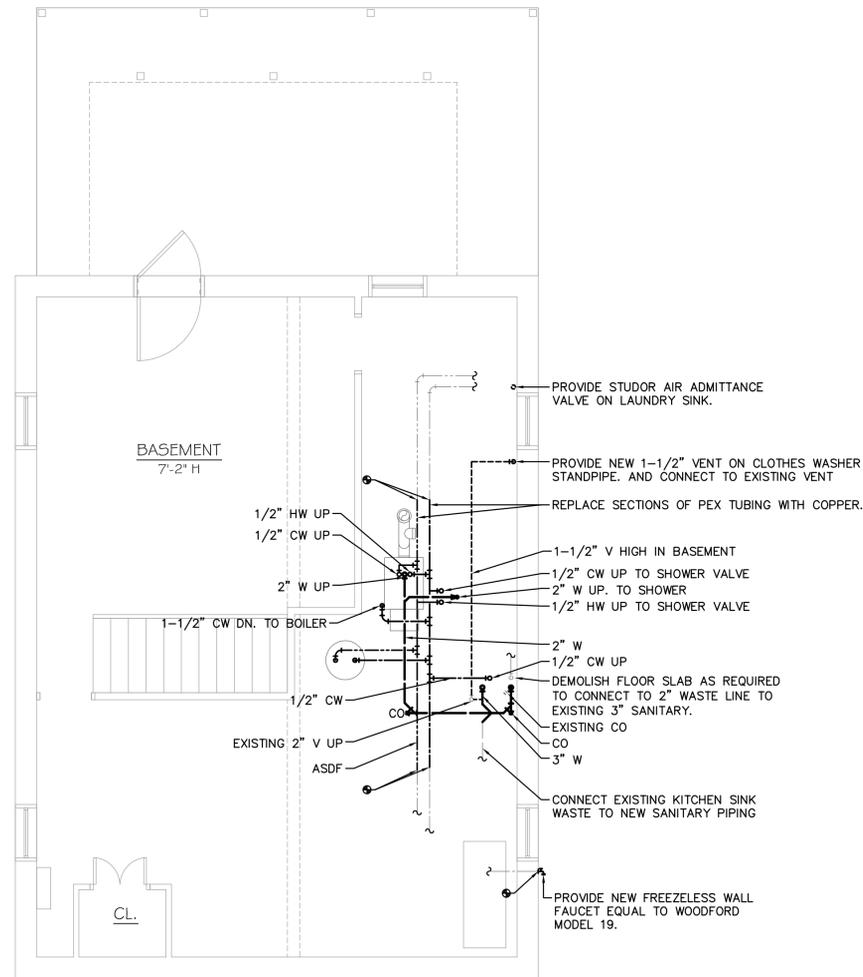
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PLUMBING FIXTURE SCHEDULE

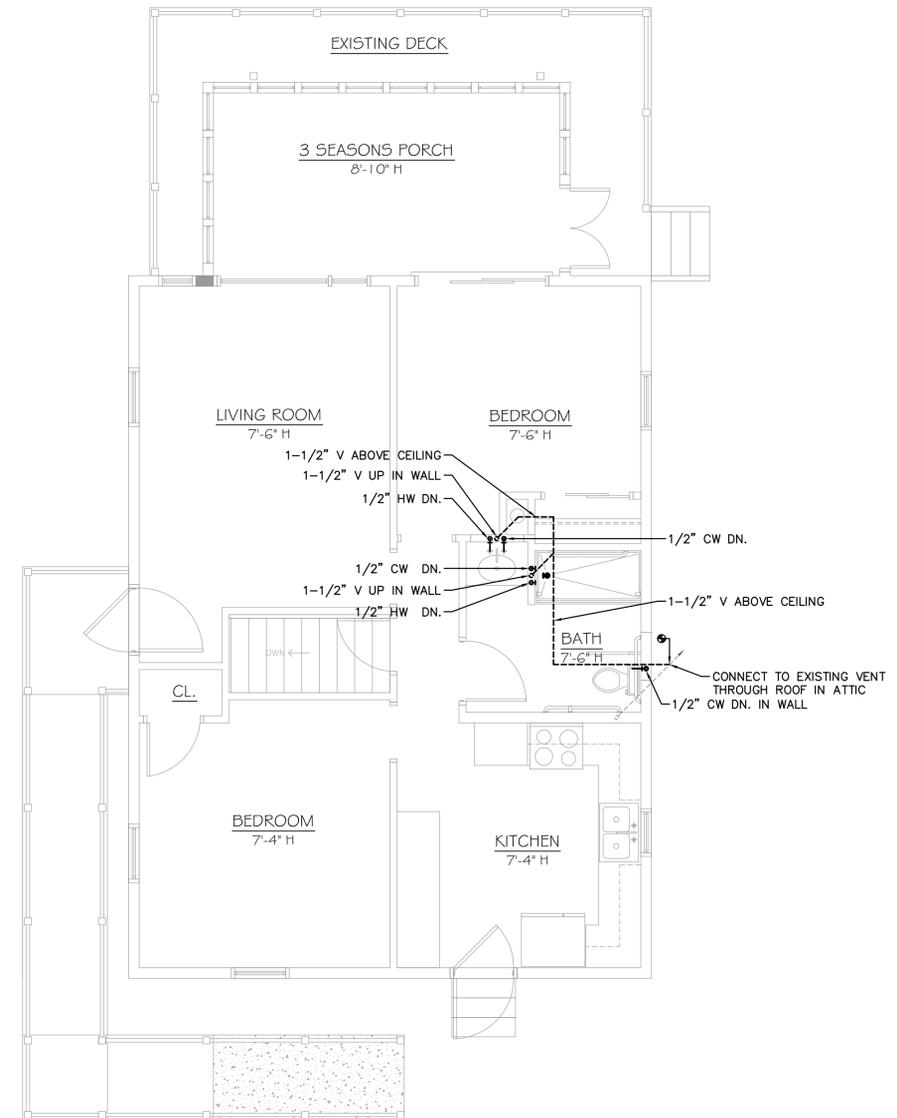
TOILET:	AMERICAN STANDARD # 215AA.104 CADET PRO RIGHT HEIGHT TOILET, VITREOUS CHINA, ELONGATED BOWL, 1.28 GPF, #5321.110 SEAT WITH COVER, WAX RING, POLISHED CHROME TRIP LEVER AND FLOOR HARDWARE, COLOR: WHITE, PROVIDE CHROME PLATED ANGLE SUPPLY WITH STOP.
LAVATORY:	AMERICAN STANDARD # 0495.300 OVALYN UNDERCOUNTER SINK, VITREOUS CHINA, FRONT OVERFLOW, COLOR: WHITE, DELTA 2538-MPU-DST TWO HANDLE DECK MOUNTED FAUCET WITH POP-UP DRAIN, 1.5 GPM, CHROME PLATED LEAD-FREE BRASS. PROVIDE CHROME PLATED BRASS P-TRAP, ANGLE STOPS AND SUPPLIES.
TUB/SHOWER:	STERLING #72230106 ENSEMBLE 60" CURVE SHOWER WITH BACKER BOARDS, COMPRESSION MOLDED FROM VIKRELL MATERIAL, TONGUE-AND-GROOVE FOUR PIECE MODULAR DESIGN, DELTA T171238 SHOWER VALVE WITH 2.5 GPM RAINCAN SHOWER HEAD

MINIMUM PLUMBING FIXTURE CONNECTION SCHEDULE				
FIXTURE	HOT	COLD	SOIL OR WASTE	VENT
TOILET	-	1/2"	3"	2"
LAVATORY	1/2"	1/2"	1-1/2"	1-1/2"
SINK	1/2"	1/2"	1-1/2"	1-1/2"
TUB/SHOWER	1/2"	1/2"	2"	1-1/2"
CLOTHES WASHER	1/2"	1/2"	2"	1-1/2"



BASEMENT PLUMBING PLAN

SCALE: 1/4"=1'-0"



FIRST FLOOR PLUMBING PLAN

SCALE: 1/4"=1'-0"



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 www.qa-architects.com
 T (860) 677-4594
 F (860) 677-8534
 318 Main Street
 Farmington, CT 06032



REHABILITATION/RECONSTRUCTION WORK FOR:

NICHOLAS PERO

APPLICANT #2161

PRESTON, CT

9 PARKER STREET

Sheet Description:

PLUMBING FLOOR PLAN

Issue Dates:

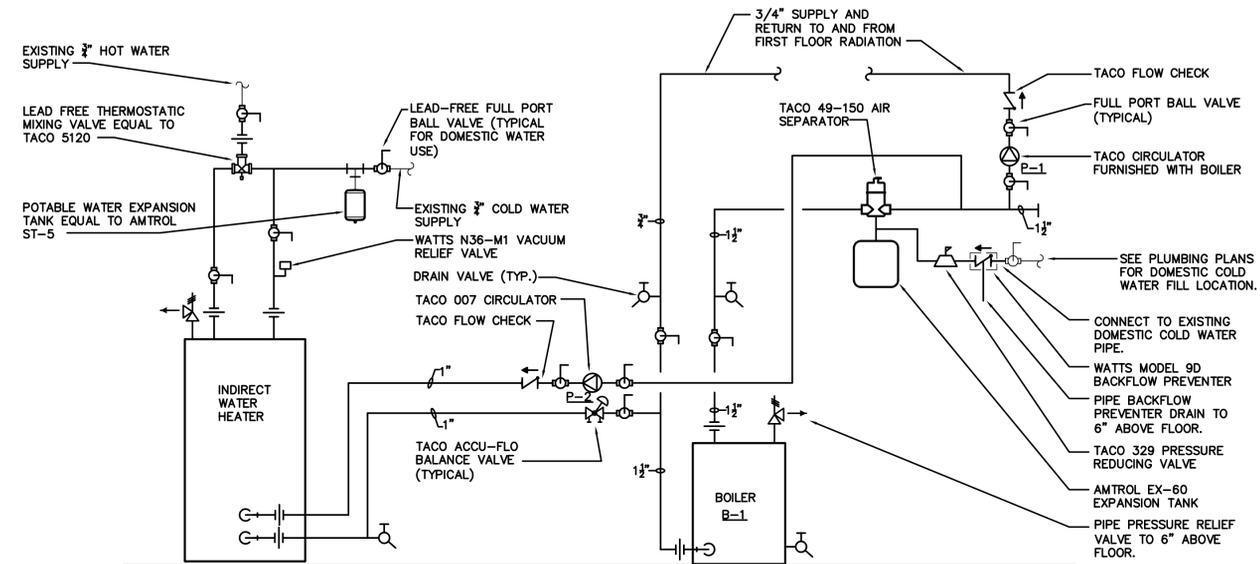
OCTOBER 31, 2014

Scale: 1/4" = 1'-0"

Project #: QA 1346-23
 Drawn By: KAH

Sheet #:

P1.1



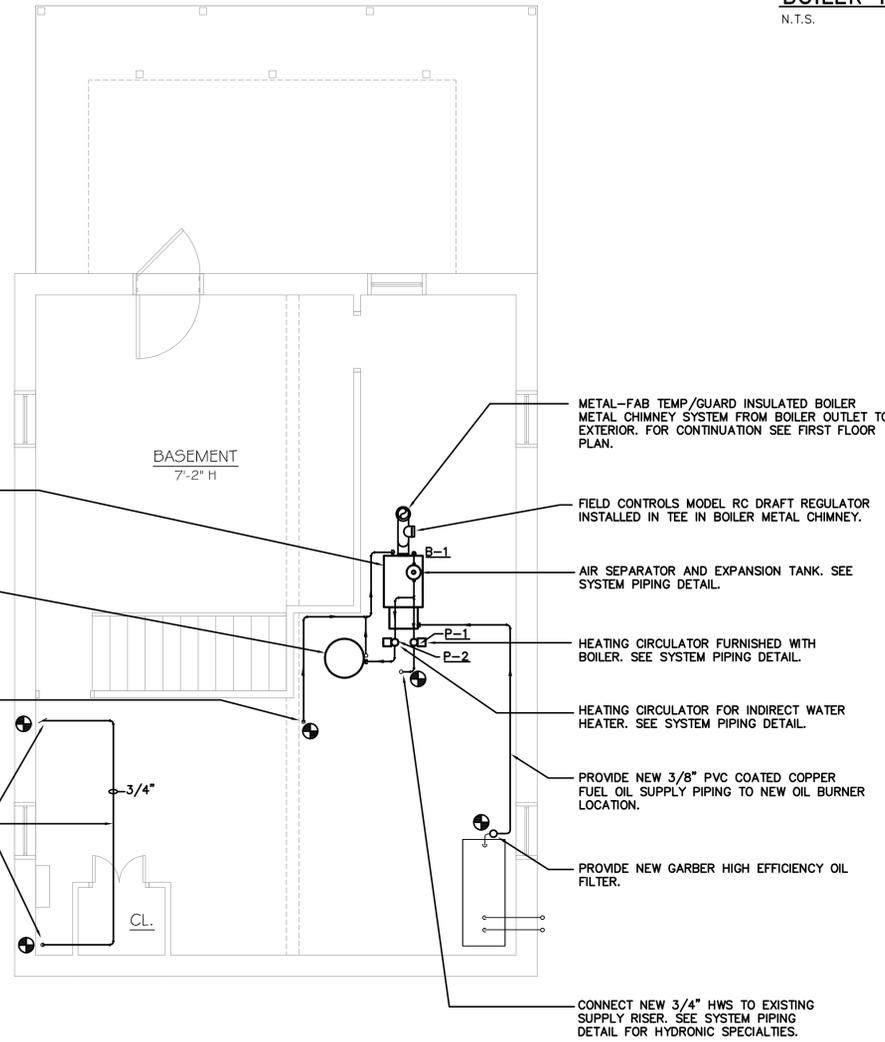
BOILER PIPING SCHEMATIC
N.T.S.

PROVIDE WEIL-McLAIN ULTRA OIL SERIES 3, MODEL UO-4E OIL-FIRED, CAST IRON, 3-PASS, SECTIONAL BOILER. 1.2 GPH INPUT, 148 MBH DOE HEATING CAPACITY, 129 MBH NET IFR, 87.0 AFUE, BECKET BURNER, CIRCULATOR AND AFM RESET CONTROL MODULE w/ ALL REQUIRED REMOTE SENSORS. CONTRACTOR TO PROVIDE ALL REQUIRED LOW-VOLTAGE CONTROL WIRING AND CONDUIT FOR FIELD INSTALLATION. SEE SYSTEM PIPING.

PROVIDE WEIL-McLAIN AQUA PLUS MODEL 45 INDIRECT WATER HEATER. SEE SYSTEM PIPING DETAIL.

CONNECT NEW 3/4" HWR TO EXISTING AND RUN TO BOILER RETURN CONNECTION. SEE SYSTEM PIPING DETAIL.

RUN NEW 3/4" COPPER HEATING SUPPLY FROM AND TO LOCATIONS SHOWN. PIPING SHALL BE SET BACK A MINIMUM OF 3'-0" FROM THE FRONT FACE OF THE EXISTING ELECTRICAL SERVICE PANEL.



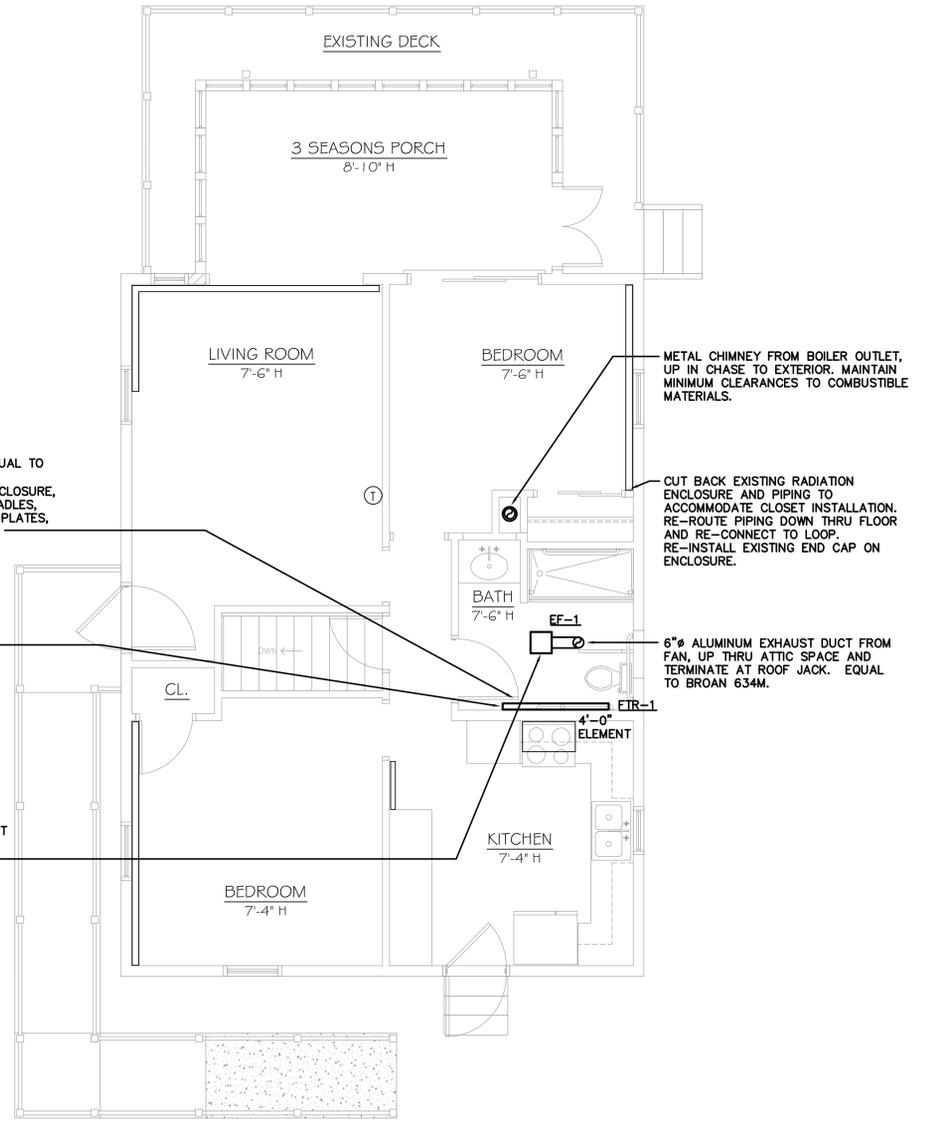
BASEMENT MECHANICAL PLAN
SCALE: 1/4"=1'-0"

LEGEND	
	EXISTING TO REMAIN
	NEW WORK

PROVIDE BASEBOARD RADIATION EQUAL TO SLANT/FIN FINE/LINE 30. PROVIDE COMPLETE ASSEMBLY INCLUDING ENCLOSURE, ELEMENTS, BRACKETS, DAMPER, CRADLES, END CAPS, INSIDE CORNER, SPLICE PLATES, ETC. ELEMENT LENGTHS AS SHOWN.

PROVIDE NEW 3/4" HWS PIPING FROM RADIATION INLET AND OUTLET CONNECTIONS DOWN THRU FLOOR AND RE-CONNECT TO EXISTING SERIES LOOP. FIELD VERIFY CONNECTION POINTS.

PROVIDE PANASONIC FV-11-15VKL1 FAN/LIGHT. 90 CFM, 115V, 0.12HP, BACKDRAFT DAMPER, DC MOTOR, 2-7W LED LAMPS, NIGHT LIGHT MODULE, 6" DUCT COLLAR, CONDENSATION SENSOR w/ DELAY TIMER, MOTION SENSOR w/ DELAY TIMER, UL LISTED FOR TUB/SHOWER w/ GFCI CIRCUIT. COORDINATE EXACT LOCATION WITH EXISTING CEILING JOIST LOCATIONS.



FIRST FLOOR MECHANICAL PLAN
SCALE: 1/4"=1'-0"



QUISENBERRY ARCARI ARCHITECTS, LLC
www.qa-architects.com
T (860) 677-4594
F (860) 677-8534
318 Main Street
Farmington, CT 06032

RZ Design Associates, Inc.
MECHANICAL AND ELECTRICAL ENGINEERING
720 W. MAIN ST. SUITE 200
FARMINGTON, CT 06032
TEL: (860) 677-4594
FAX: (860) 677-8534
www.rzdesignassociates.com

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PRESTON, CT

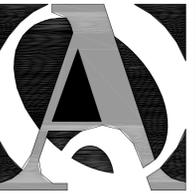
Sheet Description:
FLOOR PLANS

Issue Dates:
OCTOBER 31, 2014

Scale: 1/4" = 1'-0"
Project #: QA 1346-23
Drawn By: KAH

Sheet #:

M1.1



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 T (860) 677-4594
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 Farmington, CT 06032



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NICHOLAS PERO
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PRESTON, CT

9 PARKER STREET

Sheet Description:

FLOOR PLANS

Issue Dates:

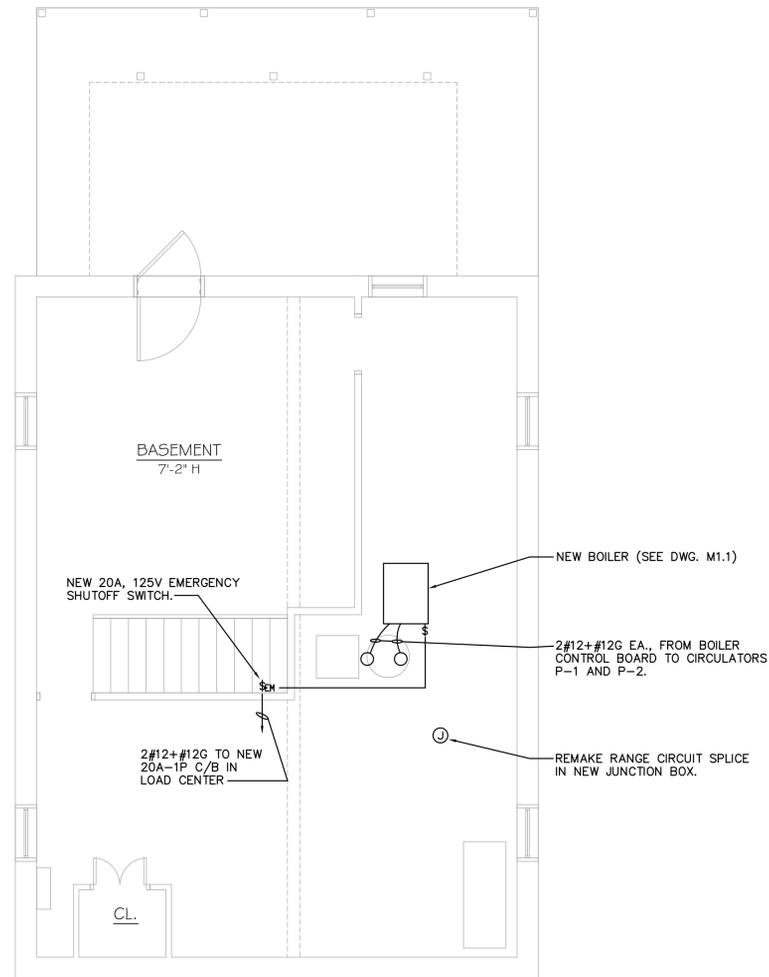
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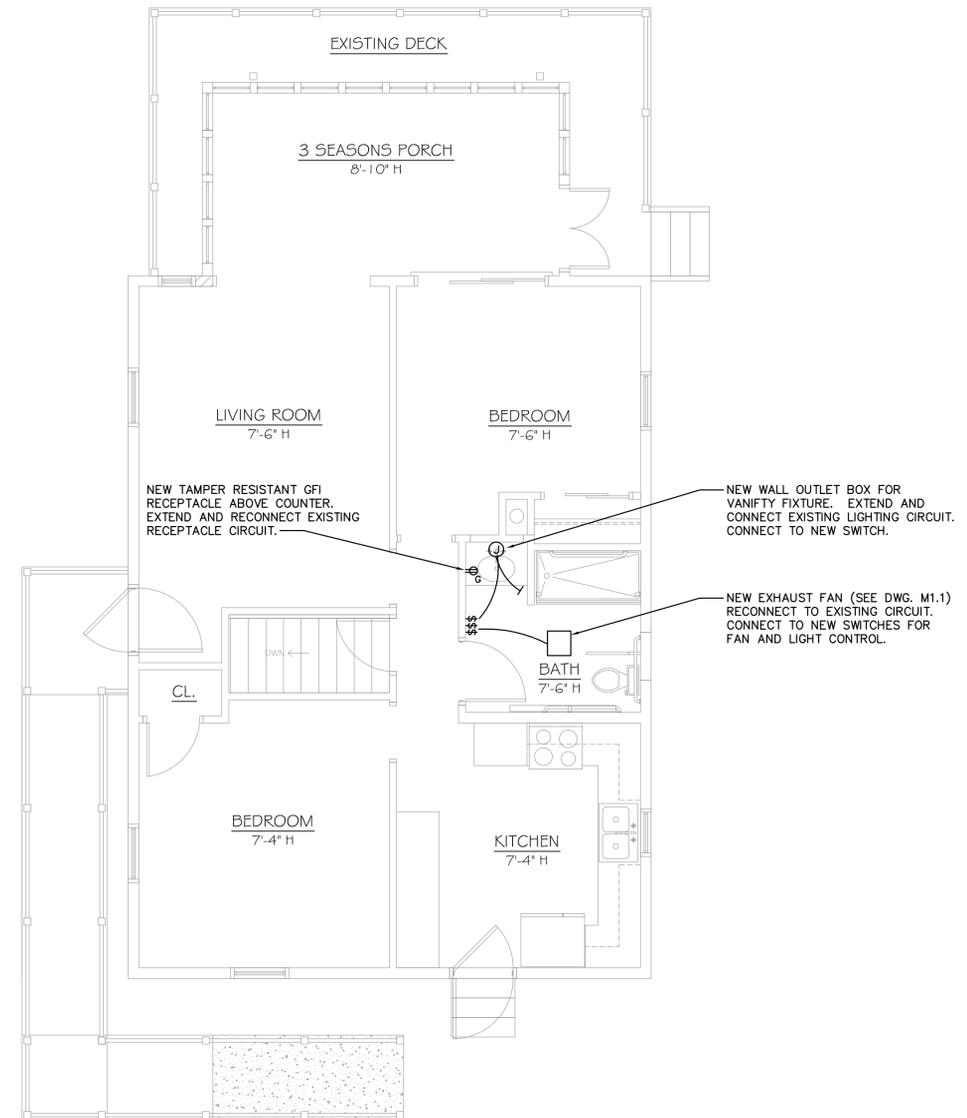
Sheet #:

E1.1



BASEMENT ELECTRICAL PLAN

SCALE: 1/4"=1'-0"



FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/4"=1'-0"