

AMAYA ARCHITECTS

ADDENDUM NUMBER 5

For:

**Kocturk Residence
37 Jarvis Court
Fairfield, Connecticut**

Project Number 2115

5th of October 2015

The Drawings and Specifications prepared by Amaya Architects and it's Consultants entitled "**Construction of a New Foundation under a Raised Structure and Structural Modifications**" and known as the "**Kocturk Residence and located at 37 Jarvis Court, Fairfield, Connecticut**" **Project Number 2115**, Drawings and Specifications dated the 21st of August 2015 (Bid Set), are hereby amended in the following particulars:

<u>Item #</u>	<u>Section/Dwg</u>	<u>Description</u>
1		Bid Due Date: The Construction Bids for the Kocturk Residence (DOH #2115) will be due on Thursday the 15 th of October 2015, at 4:00 PM in the offices of Amaya Architects.
2		Addendum Three: Delete Addendum Three from the list of Addendums issued – Addendum Five will supersede Addendum Three in context. Therefore, Addendums issued and to be included as part of the Bid Package shall include Addendums 1, 2, 4 and 5.
3	Section 00000B	Revise: Specification Section 00000B – Bid Breakdown. Bid Breakdown attached for Bidding purposes – Include in Bid package. Provide pricing to construct the front and rear decks as shown on the Drawings using Composite Decking material, PVC Composite Railings and Pressure Treated Lumber for the Structural System as part of the base bid. List cost separately. Provide alternate pricing to construct the front and rear decks using Pressure Treated Decking material, Pressure Treated Railings and Pressure Treated Lumber for the Structural System. List cost as an Alternate.

		Provide alternate pricing to remove and replace the existing vinyl siding with new material – Include the removal and replacement of the existing gutters and downspouts as part of this work.
4	Section 01100	Add: Specification Section 01100 – Summary of Work.
5	Section 01210	Revise: Specification Section 01210 – Allowances. Under subsection 3.3, Revise #1 – Flooring Allowance. Change amount of allowance to \$10,000.00. Under Subsection 3.3, Add #2 – Light Fixture Allowance. Light fixtures outlined in the Allowance shall be selected by the Owner.
6	Section 01230	Revise: Specification Section 01230 – Alternates. Under Subsection 3.1, Add #1 Decking Material Alternate using Pressure Treated Decking material, Pressure Treated Railings and Pressure Treated Lumber for the Structural System. Include all components of the decks in the pricing. Under Subsection 3.1, Add #2 Vinyl Siding Replacement Alternate Provide alternate pricing to remove the existing vinyl siding material on the entire house. Install new ½" insulation board over the existing sheathing. Provide new vinyl siding material as specified in Section 07460 - CertainTeed Monogram 46 Series as the basis of design. Installation to include soffits, fascia and trim components. In addition, provide new gutters and downspouts as part of this work.
7	Section 07460	Add: Specification Section 07460 – Vinyl Siding. New or replacement vinyl siding. For replacement vinyl siding match existing material in exposure, color, finish and type. New vinyl siding shall be as specified in Alternate #2 above.
8	Drawings D1, A1, A2, A4 and C2	Delete: Delete the following Drawings from the Bid Set – Drawings D1, A1, A2, A4 and C2, dated the 21 st of August 2015.
9	Drawings D1, A1, A2, A4 and C2	Add: Add the following Drawings to the Bid Set – Drawings D1, A1, A2, A4 and C2, dated the 21 st of September 2015, Drawing changes are outlined below, but not limited to the listed items.

10	Drawing C2	Revise: Revise Drawing C2, dated the 16 th of September 2015, to include the following items – Reduced size of rear (north side) deck, new concrete slab and stoop at base of rear stairs (north side), new concrete stoop at bottom of stairs on the front (south side), a 36” wide bituminous walkway to existing driveway (south side), installation of relocated pavers (north side) at new garage opening.
11	Drawing D1	Revise: Revise Drawing D1 to include the following items – Additional items scheduled for removal include; existing house siding only to extent required to accommodate the new/proposed construction activities, the front and rear entrance doors and two existing windows on the north (rear) side of the house.
12	Drawing A1	<p>Revise: Revise Drawing A1 to include the following items – Size of front and rear decks, new windows in the bathroom, and the kitchen (north side of house) and new entrance doors on both the north and south sides of the house.</p> <p>New windows should be sized to fit the existing openings and as manufactured by Andersen – 400 Series. The new entrance doors are specified under Specification Section 08230.</p>
13	Drawing A2	Revise: Revise Drawing A2 to include the following items – Size of front and rear decks, new entrance doors, new windows in the bathroom and the kitchen (north side of house), new vinyl siding material only where removed to accommodate the new/proposed construction activities, skim coating of the foundation wall and extending of downspouts to the existing underground drainage piping.
14	Drawing A4	Revise: Revise Drawing A4 to include the following items – Size of front and rear decks.
15		<p>Clarification: Owner Items Removed – The Owner will be responsible for the removal of non-attached items from the interior of the house – These items will include, but may not be limited to; furniture, personal items, photographs and clothing.</p> <p>In addition, the Owner will empty all cabinets scheduled to be removed during the construction phase.</p>

16		Clarification: General Contractor Items Removed – The General Contractor will be responsible for the removal, storage and re-installation of items attached to the floor or walls. These items include, but may not be limited to the kitchen cabinets, plumbing fixtures, the washer/dryer units, and the furnace. Refer to the Demolition Drawings for additional information.
17		Clarification: Electrical – Remove existing 60 AMP Service Panels and Meter Can – Replace with new 100 AMP Service Panel and Meter Can – Install as indicated on the Drawings and as required by local Utility Company. Install new service wire in a conduit from drop location to new meter can as specified – Run new conduit tight to underside of the exterior soffit.
18		Clarification: Pavers – All existing concrete pavers shall be removed and stored for reuse by the General Contractor. Contractor shall reinstall pavers at new garage opening on north side of building.
19		Clarification: Planter – The General contractor will be responsible for the removal of the existing concrete planter located on the north side of the house. Re-placement of the planter is not required.
20		Clarification: Deck Material – Under the Base Bid, the deck surface shall be composite lumber, the structural members shall be comprised of pressure treated lumber and the railing system shall be PVC low-maintenance composite materials. Composite decking and railing system shall be manufactured from same source. Provide alternate pricing for Pressure Treated decking material, railing system and structural supports. See Alternate #1.
21		Change in Scope: Concrete pad at bottom of exterior stairs – At both the front and rear entrance stairs, provide a concrete pad – size per the Drawings.
22		Clarification: Front and Rear Entrance Doors – Remove the existing front and rear entrance doors and replace with new Fiberglass Entrance Doors as specified within Section 08230.

23		Clarification: Tree Trimming – The existing 36" twin maple tree located on the south side of the house (front yard) will need to be trimmed. Trimming shall be only to allow the existing utility wires to pass through and the house to be raised.
24		Clarification: Survey Work – The General Contractor will be required to "Re-Instate" the site to original conditions as found prior to the start of Construction. Any survey work required to achieve the re-instating of the site is the responsibility of the General Contractor. This applies to the grass areas, planting at the base of the house (except at the location of the two garage openings), and general lawn areas disturbed during construction.
25		<p>Clarification: Asbestos Removal – As noted in the Summary of Work and included in the Environmental Report – The existing joint compound in the gypsum wallboard has been found to contain Asbestos Containing Materials.</p> <p>Where any gypsum wallboard material is scheduled to be removed or deemed as needing to be removed – the Asbestos Containing Materials will need to be removed per State and Local Regulations prior to any gypsum wallboard removal. This condition applies to the gypsum wallboard removal at the existing walls as indicated on the drawings and at all interior partitions.</p>
26		Clarification Interior Partitions – The extent of the gypsum wallboard removal at the interior partitions shall be as required to lift the existing house and reattach the existing partitions to the new wood flooring system.
27		Delete: Lighting Schedule on E1 Drawing. All light fixtures to be selected by the Owner within the allocated allowance amount.
28		Specification: Smart Vents – Smart Vents as shown on the drawings shall be by "Smart Vent" product number 1540-510 and include a built-in louver for ventilation. Each vent shall be designed for Flood Coverage of 200 SF and installed at a maximum of 12" above finish grade to the bottom of the opening.

29		<p>Alternate Work: Gutter and Downspouts – As part of Alternate #2 Replacement of the existing Vinyl Siding Material – Remove the existing gutters and downspouts – Provide new gutters and downspouts (that extend to grade) – Locations of the downspout drops should match the existing locations. Specifications as follow:</p> <p>Aluminum Gutter and Downspouts: Provide new 3 1/2" seamless aluminum gutters and downspouts complete with all accessories. Provide elbows, boots and other accessories required to extend downspouts to grade. Gutters shall be .032" extra heavy gauge. Downspouts and accessories shall be .024" thick minimum. Downspouts shall be nominal 2 1/2" x 3 1/4" corrugated aluminum. Provide continuous fascia apron and bar hangers at 24" o.c. for gutters. Spike and ferrule fasteners are not acceptable. Provide boots to join downspouts to perimeter drain system where existing boots are broken or missing. Provide lifetime warranty.</p> <p>Shop Finish, Rain Drainage: Provide manufacturer's standard baked-on acrylic shop finish on sheet metal rain drainage units (gutters, downspouts, and similar exposed units); 1.0 mil dry film thickness. Color to match existing.</p> <p>Connect new downspouts into the existing underground drainage system.</p>
30		<p>Change in Scope: Remove bottom two panels of the existing vinyl siding along the north side (rear) of the house (entire length) and replace with new siding as specified in Section 07460.</p>

END OF ADDENDUM FIVE

KOCTURK RESIDENCE #2115
37 JARVIS COURT
FAIRFIELD, CONNECTICUT

DOCUMENT 00000B – BID BREAKDOWN

1.	General Conditions	\$ _____
2.	Site Work	\$ _____
3.	Concrete	\$ _____
4.	Masonry Work	\$ _____
5.	Metal and Steel Work	\$ _____
6.	Carpentry (Not including North and South Decks)	\$ _____
	a. Composite Decks with PVC Composite Railing System – North and South Side as Specified on Drawings (include structural support system in pricing)	\$ _____
7.	Thermal and Moisture Protection	\$ _____
8.	Doors and Windows	\$ _____
9.	Interior Finishes	\$ _____
10.	Plumbing	\$ _____
11.	Mechanical	\$ _____
12.	Electrical	\$ _____
13.	Allowances	
	1. Interior Flooring	\$ 10,000.00
	2. Light Fixtures	\$ 2,500.00
	TOTAL BASE BID	\$ _____

Alternate One –
Pressure Treated Decking Material and Railing System
(Provide as a complete cost for construction of the decks
include structural support system in pricing).

\$ _____

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Alternate Two –

Remove and replace the existing vinyl siding with new Vinyl Siding Material – See Specification Section 07460 and Addendum #5, for additional information. In addition, provide new gutters and downspouts as part of this work.

\$_____

END OF DOCUMENT 00000B

SECTION 01100 — SUMMARY OF WORK

PART 1 - GENERAL

1.1 SUMMARY

- A. This Section includes:
1. Description of the Project and the Work.
 2. Alternates.
 3. Allowances.
 4. Unit Prices
 5. Use of Premises.
 6. Occupancy Requirements.
 7. Applications for Payment.
 8. Project Coordination.
 9. Project Meetings.
 10. Submittals.
 11. Reference Standards.
 12. Temporary Facilities.
 13. Material and Equipment.
 14. Installation Standards.
 15. Progress Cleaning.
 16. Cleaning, Maintenance and Protection.
 17. Cutting and Patching.
 18. Contract Closeout.
 19. Record Documents.
 20. Re-Instate Site.

1.2 WORK COVERED BY CONTRACT DOCUMENTS

- A. The Project consists of (but is not limited to) the raising of an existing structure, new concrete foundation walls and footings, new front and rear wood decks, and a new wood flooring system – as indicated on the drawings and contained here within.
1. Project Location: 37 Jarvis Court, Fairfield, Connecticut
 2. Owner: Schnaz Kocturk
 3. DOH Project Number: 2115
- B. The existing house and surrounding yard was flooded during Super Storm Sandy. Water entered the house around the perimeter at the base causing water damage to the base plate, wood studs and batt insulation in the exterior walls. Interior partitions were also sitting in water at the base.
- C. The scope of the project is to raise the house on an elevated foundation wall and install a new wood flooring system (the house currently is a slab on grade). The Work consists of the following items; however the work shall not be limited to these items.

1. Demolition: Selective demolition is required both on the interior and exterior of the house.

On the interior the work includes, but is not limited to the following – a portion of the wood studs comprising the exterior walls will need to be removed – This includes the gypsum wallboard to a height of (approximately) 4'-0", the existing batt insulation material and the existing wood base material. In addition, a portion of the interior partitions will need to be removed to allow for the installation of the new wood flooring system and removal of the damaged surfaces. Also included on the interior of the house is the removal of the existing concrete slab at the floor level.

Exterior work includes, but may not be limited to – the removal of the existing foundation wall system, miscellaneous concrete sidewalks and stoops and the removal of some of the existing grade to accommodate the new foundation wall construction.

2. Sitework: The Sitework portion of the project includes, but may not be limited to – stripping of the topsoil (stockpile for reuse), careful removal of the exterior shrubs (retain for possible reuse), rough and fine grading, spreading of the stockpiled topsoil (careful to grade away from the house), spreading of grass seed and hay.

Also included as part of the sitework is the required excavation work for the new foundation wall system, backfilling after the foundation system has been placed and re-grading.

NOTE: The existing driveway is scheduled to remain – Care should be taken to protect the existing bituminous during construction. Any damage that occurs will be the responsibility of the General Contractor to repair.

NOTE: The General Contractor will be responsible for removing and replacing any unsuitable soil found during the excavation process. All replaced or backfilled material should be compacted to a minimum of 95 percent.

NOTE: All disturbed areas of the site will need to be finished with topsoil, seeded and covered with hay for stabilization. The site should be re-instated back to the original conditions after construction has been completed.

3. Site Improvements: Site improvements will include, but not be limited to; spreading grass seed in disturbed areas of the site as indicated above - Cover the grass seed with hay for stabilization purposes. Repair planting beds if damaged during the construction activities. Replace mulch and plants removed during construction. Replace any damaged plants with like material.

Repair the existing driveway – if damaged during the construction activities as noted above.

NOTE: All repair work (noted above) shall be to the extent of the existing conditions before construction activities are undertaken.

4. Interior Construction: Work on the interior includes, but is not limited to; removing 4'-0" of gypsum wallboard material and the batt installation in the exterior walls, removing a portion of gypsum wallboard material on the interior walls to allow for the installation of the new wood flooring system and for separating the interior walls from the existing concrete slab, removal of the existing concrete slab, the construction of a new wood flooring system, pouring of a concrete foundation wall system, install new batt insulation in the exterior walls to height of removed gypsum wallboard, provide new gypsum wallboard material at all locations where removed and provide a new concrete slab under the existing house. Insulate the new flooring system as indicated on the drawings.

NOTE: Follow guidelines set forth in the Specifications for proper asbestos removal techniques during demolition of any gypsum wallboard surfaces.

5. Exterior Construction: Work on the exterior of the existing house includes, but may not be limited to; two new wood entrance platforms (use composite lumber for the main decking and stair material, and pressure treated lumber for the structural support system), removal and of the existing siding and/or the installation of new siding as required at the top of the foundation wall surrounding the new flooring system, work required to connect the existing house to the new foundation wall system.
6. Finishes: Paint all interior wall surfaces (colors as selected by the Owner or to match existing conditions), Paint all surfaces where disturbed by construction activities only - with one coat of primer and two coats of finish latex paint (color and finish as selected by the Owner). Provide new finished floor surfaces in all of the rooms throughout the house – wood flooring is new.
7. Fire Protection: Fire stopping material shall be provided at any and all penetrations through or into fire rated assemblies.
8. HVAC: The existing HVAC equipment is scheduled to be removed and reinstalled.
9. Electrical: Remove all existing electrical devices (switches, outlets and fixtures) as required to lift house and install a new flooring system under the existing house.

1.3 ALTERNATES

- A. Alternates: As outlined in Section 01230

1.4 ALLOWANCES

- A. Allowances: As outlined in Section 01210.

1.5 UNIT PRICES

- A. Unit Pricing: As outlined in Section 01220.

1.6 USE OF PREMISES

- A. Use of the Site: Limit use of the premises to work in areas indicated or within silt-fence. Confine operations to areas within contract limits indicated. Do not disturb portions of the site beyond the areas in which the Work is indicated.
 - 1. Protect adjoining properties from damage.
- B. Owner Use of Premises:
 - 1. The Owner reserves the right to place and install equipment in completed areas of the building prior to Substantial Completion of the Work, provided that such occupancy does not interfere with completion of the work. Placing of equipment by the Owner shall not constitute acceptance of the total Work.
- C. Contractor Use of Premises:
 - 1. Smoking is prohibited in the building.
 - 2. Maintain the existing building in a weathertight condition throughout the construction period.
 - 3. Repair damage caused by construction operations.
 - 4. Take all precautions necessary to protect the building during the construction period.
 - 5. Limit use of the premises to construction activities in the areas indicated.

1.7 OCCUPANCY REQUIREMENTS

- A. Non-Owner Occupancy: The Owner will not occupy the site or the dwelling during the construction period. The Owner will remove all personal items and non built-in items (furniture) from the premises prior to the start of construction.

1.8 APPLICATIONS FOR PAYMENT

- A. Schedule of Values: Coordinate the Schedule of Values and Applications for Payment with the Contractor's Construction Schedule, Submittal Schedule, and List of Subcontracts.
- B. Coordinate preparation of the Schedule of Values with preparation of the Contractor's Construction Schedule. Correlate line items in the Schedule of Values with other required administrative schedules and forms.
- C. Format and Content: Use the Project Manual's Bid Breakdown Form as a guide to establish the Schedule of Values. Include the following Project identification on the Schedule of Values:
 - 1. Project name and location.
 - 2. Name of the Architect.
 - 3. Project number.
 - 4. Contractor's name and address.
 - 5. Date of submittal.
- D. Payment Application Forms/Time: Use AIA Document G702 Requisition Form as the form for Applications for Payment. Payment is on a monthly basis.

- E. Application Preparation: Complete every entry, including notarization and execution by a person authorized to sign on behalf of the Contractor. The Architect will return incomplete applications without action.
 - 1. Entries shall match data on the Schedule of Values and the Contractor's Construction Schedule. Use updated schedules if revisions were made.
 - 2. Include amounts of Change Orders and Construction Change Directives issued prior to the last day of the construction period covered by the application.
 - 3. Applications shall be consistent with previous applications and payments as certified by the Architect and paid for by the DOH.

- F. Initial Application for Payment: Administrative actions and submittals that must precede or coincide with submittal of the first Application for Payment include the following:
 - 1. List of subcontractors.
 - 2. List of principal suppliers and fabricators.
 - 3. Schedule of Values.
 - 4. Contractor's Construction Schedule (preliminary if not final).
 - 5. Submittal Schedule (preliminary if not final).

- G. Application for Payment at Substantial Completion: Following issuance of the Certificate of Substantial Completion, submit an Application for Payment. This application shall reflect Certificates of Partial Substantial Completion issued previously for Owner occupancy of designated portions of the Work.
 - 1. Administrative actions and submittals that shall precede or coincide with this application include the following:
 - a. Occupancy permits.
 - b. Warranties and maintenance agreements.
 - c. Test/adjust/balance records.
 - d. Maintenance instructions.
 - e. Meter readings.
 - f. Changeover information related to Owner's occupancy.
 - g. Final cleaning.

- H. Final Payment Application: Administrative actions and submittals that must precede or coincide with submittal of the final Application for Payment include the following:
 - 1. Completion of Project closeout requirements.
 - 2. Completion of items specified for completion after Substantial Completion.
 - 3. Transmittal of Project construction records to the Owner.
 - 4. Certified property survey.
 - 5. Proof that taxes, fees, and similar obligations were paid.
 - 6. Removal of temporary facilities and services.
 - 7. Change of door locks to Owner's access.

1.9 PROJECT COORDINATION

- A. Before starting the Work, schedule a meeting with the Owner, Architect and others as necessary to review phasing of the Work.

- B. Submit a list of key individuals, the superintendent and other personnel at the site, with addresses and telephone numbers where they can be contacted.

1.10 PROJECT MEETINGS

- A. The Architect shall schedule and administer project meetings as required to review progress of the Work, status of the construction schedule, submittals, pending changes and substitutions, and other items affecting progress of the Work.

1.11 SUBMITTALS

- A. General: Submit product data, shop drawings, and samples to Architect in ample time to permit review and resubmitted in order to meet the Contract time schedule. Delays caused by failure to promptly submit shop drawings and samples shall not be cause for extension of completion date.
 - 1. Accompany each submittal with a completed transmittal/submittal coversheet. Include project name, Contractor, supplier or fabricator. Identify material or product, and note any deviation from the requirements of the Contract Documents.
 - 2. Review all material and stamp with approval prior to submittal to the Architect.
 - 3. Submittals made without the Contractor's stamped approval, complete identification, or transmittal/submittal coversheet will be returned to the Contractor for correction.
 - 4. The Architect will review and return shop drawings and samples within a reasonable time after receipt.
 - 5. The Architect will not accept facsimile (FAX) submittals.
- B. Shop Drawings and Product Data:
 - 1. Submit shop drawings in the form of a reproducible transparency.
 - 2. Submit four (4) copies of product data and schedules of standard manufactured items in hard copy format.
 - 3. Shop drawings shall show subject work in detail. Show contiguous work by other trades for proposed relationship and transition.
 - 4. **Do not fabricate or install work until the Architect has reviewed and approved submitted shop drawings.** Work shown on shop drawings marked "Amend As Noted" may be fabricated at the Contractor's discretion.
 - 5. Do not use reproducibles of Contract Drawings for shop drawings.
- C. Samples:
 - 1. Samples submitted shall show the full variation of color, type, size, finish, and texture of the materials.
 - 2. Material furnished for the project which are not equal to or which show excessive variation of finish from previously submitted samples shall be immediately removed from the Project and replaced.
 - 3. The Architect will not assume responsibility for the return of samples.

1.12 REFERENCE STANDARDS

- A. Terms such as "directed", "requested", "authorized", "selected", "approved", "required", and "permitted" mean "directed by the Architect", and similar phrases. However, no implied meaning shall be interpreted to extend the Architect's responsibility into the Contractor's area of construction supervision.

- B. The term "approved", where used in conjunction with the Architect's action on the Contractor's submittals, applications, and requests, is limited to the duties and responsibilities of the Architect. Such approval shall not release the Contractor from responsibility to fulfill Contract requirements unless otherwise provided in the Contract Documents.
- C. The term "Regulations" includes laws, ordinances, statutes, and lawful orders issued by authorities having jurisdiction, as well as rules, conventions, and agreements within the construction industry that control performance of the Work, whether lawfully imposed by authorities having jurisdiction or not.
- D. The term "furnish" is used to mean "supply and deliver to the Project Site, ready for unloading, unpacking, assembly, installation, and similar operations."
- E. The term "install" is used to describe operations at project site including the actual "unloading, unpacking, assembly, erection, placing, anchoring, applying, working to dimension, finishing, curing, protecting, cleaning, and similar operations."
- F. The term "provide" means "to furnish and install, complete and ready for the intended use."
- G. Specification Content: These Specifications use certain conventions for style of language and the intended meaning of certain term, words, and phrases when used in particular situations.
 - 1. Abbreviated Language: Language used in the Specifications and other Contract Documents is abbreviated. Words implied, but not stated, shall be interpolated, as the sense requires. Singular words shall be interpreted as plural and plural words interpreted as singular where applicable as the context of the Contract Documents indicates.
 - 2. Imperative mood and streamlined language are generally used in the Specifications. The Contractor shall perform requirements expressed in the imperative mood. At certain locations in the text, subjective language is used for clarify to describe responsibilities that must be fulfilled indirectly by the Contractor or by others when so noted.
 - a. The words "shall," "shall be," or "shall comply with," depending on the context, are implied where a colon (:) is used within a sentence or phrase.
- H. Installer:
 - 1. An "Installer" is the Contractor or an entity engaged by the Contractor, either as an employee, subcontractor, or sub-subcontractor, for performance of a particular construction activity, including installation, erection, application, and similar operations.
 - 2. Installers are required to be experienced in the operations they are engaged to perform.
 - 3. The term "experienced", when used with the term "Installer" means having a minimum of 5 previous projects similar in size and scope to this Project, being familiar with the precautions required, and having complied with requirements of the authority having jurisdiction.
- I. Project Site: Space available to the Contractor for performance of construction activities, either exclusively or in conjunction with others performing other construction activities as part of the Project.

1. The extent of the Project Site is shown on the Drawings.
 2. Do not use or encroach on adjoining property.
 3. Do not use street for storage or parking of equipment.
- J. Industry Organizations: Where abbreviations and acronyms are used in Specifications or other Contract Documents, they shall mean the recognized name of the entities indicated in Gale Research's "Encyclopedia of Associations" or in Columbia Books' "National Trade & Professional Associations of the U.S."
- K. Industry Organizations: Where referenced in the Contract documents, the following acronyms or abbreviations shall be defined by the associated industry organization:
1. Names and addresses are subject to change and are believed to be, but are not assured to be, accurate and up to date as of date of Contract Documents.
 - a. AAMA American Architectural Manufacturer's Association
1540 East WP Road, Suite 310
Palatine, IL 60067 (708) 202-1350
 - b. AASHTO American Association of State Highway and Transportation Officials
444 North Capitol Street, Suite 249
Washington, D.C. 20001 (202) 624-5800
 - c. ACI American Concrete Institute
P.O. Box 19150
Detroit, MI 48219 (313) 532-2600
 - d. ACIL American Council of Independent Laboratories
1629 K Street, NW
Washington, D.C. 20006 (202) 887-5872
 - e. AIA American Institute of Architects
1735 New York Avenue, NW
Washington, DC 20006 (202) 626-7300
 - f. AISC American Institute of Steel Construction
One East Wacker Drive, Suite 3100
Chicago, IL 60601-2001 (312) 670-2400
 - g. ANSI American National Standards Institute
11 West 42nd Street, 13th Floor
New York, NY 10036 (212) 642-4900
 - h. APA American Plywood Association
P.O. Box 11700
Tacoma, WA 98411 (206) 565-6600
 - i. ASHRAE American Society of Heating, Refrigerating and Air Conditioning
Engineers
1791 Tullie Circle, NE
Atlanta, GA 30329 (404) 636-8400
 - j. ASTM American Society for Testing and Materials
1916 Race Street
Philadelphia, PA 19103-1187 (215) 299-5400
 - k. AWI Architectural Woodwork Institute
P.O. Box 1550
13924 Braddock Road, Suite 100
Centerville, VA 22020 (703) 222-1100
 - l. AWPA American Wood Preservers' Association

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m.	AWS	P.O. Box 286 Woodstock, MD 21163-0286 American Welding Society 550 Le Jeune Road, NW P.O. Box 351040 Miami, FL 33135	(410) 465-3169 (305) 443-9353
n.	BIA	Brick Institute of America 11490 Commerce Park Drive Reston, VA 22091	 (703) 620-0010
o.	CRI	Carpet and Rug Institute P.O. Box 2048 Dalton, GA 30722	 (706) 278-3176
p.	CRSI	Concrete Reinforcing Steel Institute 933 Plum Grove Road Schaumburg, IL 60173	 (708) 517-1200
q.	DHI	Door and Hardware Institute 14170 Newbrook Drive Chantilly, VA 22102-2223	 (703) 222-2010
r.	FGMA	Flat Glass Marketing Association White Lakes Professional Building 3310 SW Harrison Street Topeka, KS 66611-2279	 (913) 266-7013
s.	FM	Factory Mutual Research Organization 1151 Boston-Providence Turnpike P.O. Box 9102 Norwood, MA 02062	 (617) 762-4300
t.	GA	Gypsum Association 810 First Street, NE, Suite 510 Washington, DC 20002	 (202) 289-5440
u.	IGCC	Insulating Glass Certification Council c/o ETL Testing Laboratories, Inc. P.O. Box 2040 Route 11, Industrial Park Cortland, NY 13045	 (607) 753-6711
v.	NAAMM	National Association of Architectural Metal Manufacturers 600 S. Federal Street, Suite 400 Chicago, IL 60605	 (312) 922-6222
w.	NBHA	National Builders Hardware Association (Now DHI)	
x.	NCMA	National Concrete Masonry Association 2302 Horse Pen Road Herndon, VA 22071-3406	 (703) 713-1900
y.	NEC	National Electric Code (from NFPA)	
z.	NECA	National Electrical Contractors Association 3 Bethesda Metro Center, Suite 1100 Bethesda, MD 20814	 (301) 657-3110
aa.	NEMA	National Electrical Manufacturers Association 2101 L Street, NW, Suite 300	

KOCTURK RESIDENCE #2115
37 JARVIS COURT
FAIRFIELD, CONNECTICUT

- bb. NFPA Washington, DC 20037 (202) 457-8400
National Fire Protection Association
One Batterymarch Park
P.O. Box 9101
Quincy, MA 02269-9101 (617) 770-3000 or (800) 344-3555
- cc. N.F.P.A. National Forest Products Association
(See AFPA. now known as the American Wood Council of the
American Forest and Paper Association)
- dd. NPCA National Paint and Coatings Association
1500 Rhode Island Avenue, NW
Washington, DC 20005 (202) 462-6272
- ee. NRCA National Roofing Contractors Association
10255 West Higgins Road, Suite 600
Rosemont, IL 60018-5607 (708) 299-9070
- ff. NTMA National Terrazzo and Mosaic Association
3166 Des Plaines Avenue, Suite 132
Des Plaines, IL 60018 (708) 635-7744
- gg. NWWDA National Wood Window and Door Association (Formerly NWMA)
1400 E. Touhy Avenue, #G54
Des Plaines, IL 60018 (708) 299-5200 or (800) 223-2301
- hh. RFCI Resilient Floor Covering Institute
966 Hungerford Drive, Suite 12-B
Rockville, MD 20805 (301) 340-8580
- ii. SDI Steel Deck Institute
P.O. Box 9506
Canton, OH 44711 (216) 493-7886
- jj. S.D.I. Steel Door Institute
30200 Detroit Road
Cleveland, OH 44145 (216) 899-0010
- kk. SIGMA Sealed Insulating Glass Manufacturers Association
401 North Michigan Avenue
Chicago, IL 60611 (312) 644-6610
- ll. SJI Steel Joist Institute
1205 48th Street North, Suite A
Myrtle Beach, SC 29577 (803) 449-0487
- mm. SMACNA Sheet Metal and Air Conditioning Contractors National Association
4201 Lafayette Center Drive
Chantilly, VA 22021 (703) 803-2980
- nn. TCA Tile Council of America
P.O. Box 326
Princeton, NJ 08542 (609) 921-7050
- oo. UL Underwriters Laboratories
333 Pfingsten Road
Northbrook, IL 60062 (312) 272-8800

L. Federal government agencies:

1. The following acronyms or abbreviations indicate names of standard or specification producing agencies of the federal government.

2. Names and addresses are subject to change and are believed to be, but are not assured to be, accurate and up to date as of the date of the Contract Documents.
 - a. CS Commercial Standard (U.S. Department of Commerce)
Government Printing Office
Washington, DC 20402 (202) 783-3238
 - b. DOC Department of Commerce
14th Street and Constitution Avenue, NW
Washington, DC 20230 (202) 482-2000
 - c. EPA Environmental Protection Agency
401 M Street, SW
Washington, DC 20460 (202) 382-2090
 - d. FS Federal Specification (from GSA) Specifications Unit (WFSIS)
7th and D Streets, SW
Washington, DC 20407 (202) 708-9205
 - e. GSA General Services Administration
F Street and 18th Street, NW
Washington, DC 20405 (202) 708-5082
 - f. OSHA Occupational Safety and Health Administration
(U.S. Department of Labor)
200 Constitution Avenue, NW
Washington, DC 20210 (202) 219-6091
 - g. PS Product Standard of NBS (U.S. Department of Commerce)
Government Printing Office
Washington, DC 20402 (202) 783-3238

1.13 TEMPORARY FACILITIES

- A. Water Service: The Contractor will provide, maintain and pay for costs of operating water systems as required for construction.
- B. Electric Power Service: The Contractor shall provide maintain and pay for costs of electric power service.
 1. The Contractor shall install temporary power distribution system, disconnects, extension cords and wiring devices of sufficient size, capacity and power characteristics to accommodate performance of work during the construction period.
 2. The Contractor shall provide temporary lighting in all work areas to meet or exceed standards required by O.S.H.A.
- C. Toilet and Wash Facilities: Do not use wash facilities for cleaning tools or equipment.
- D. Toilets:
 1. Provide single-occupant self-contained units of the chemical, aerated recirculation, or combustion type, properly vented.
 2. Units to be fully enclosed with a shell of glass fiber reinforced polyester or similar non-absorbent material.
 3. Locate and shield units for privacy.
- E. Wash Facilities

1. Install potable-water-supply wash facilities at locations convenient to construction personnel involved in the handling of compounds and materials where wash-up is necessary to maintain a healthy and sanitary condition.
2. Drain and dispose of drainage properly. Supply soap and other cleaning compounds appropriate for each condition.
3. Where recommended or required by governing authorities or recognized standards, provide shower baths, safety showers, eyewash fountains and similar facilities for the convenience, safety and sanitation of construction personnel.

F. Temporary Heat: The Contractor will provide, (if required) maintain and pay for costs of operating a temporary heating system.

1. Contractor shall install distribution piping, ductwork and fans required to distribute heat for service during the construction period.
2. Contractor shall provide temporary heat as needed for performance of the work, for curing or drying and for protection of work from adverse effects of low temperatures or high humidity.
3. Do not use gasoline-burning space heaters, open flame, or salamander type heating units.
4. Select heating equipment known to be safe, which will not have a harmful effect upon, completed work or work being installed.
5. Coordinate heating and ventilation to produce required ambient conditions and to minimize the consumption of fuel.
6. Maintain temperature and humidity conditions as required for specific work. Where no minimum is specified, maintain a minimum temperature of 45°F in permanently enclosed portions of the building and areas where finished work has been installed.
7. Except where use of the permanent heating system is authorized, provide vented self-contained LP gas or fuel oil heaters with individual space thermostatic control for temporary heat.

G. Temporary Enclosures: Provide temporary partitions and ceilings where required to separate work areas if required.

H. Protection of Installed Work: Provide temporary protection for installed products. Control traffic in immediate area to minimize possible damage.

I. Temporary Fire Protection: Install and maintain temporary fire protection facilities of the types needed to adequately protect against reasonably predictable and controllable fire losses.

1. Smoking is prohibited in the building.
2. Store combustible materials in containers in recognized fire-safe locations.
3. Maintain unobstructed access to fire extinguishers, fire hydrants, temporary fire protection facilities, stairways and other access routes for fighting fires.

1.14 MATERIAL AND EQUIPMENT

A. Product Specification Requirements: Where only a single product or manufacturer is named, furnish the product indicated. When two or more products or manufacturers are named, furnish one of the products indicated.

1. Substitutions will be considered if approved by Owner.

- B. Performance Specification Requirements: Where Specifications require compliance with performance requirements, furnish products that comply with these requirements, which are recommended by the manufacturer for the application indicated.
- C. Deliver, store and handle products in accordance with the manufacturer's recommendations, using means and methods that will prevent damage, deterioration and loss, including theft.
- D. Schedule delivery to minimize storage at the site and to prevent overcrowding of construction spaces.
- E. Deliver products to the site in the manufacturer's original sealed container or other packaging system, complete with labels and instructions for handling, storing, unpacking, protecting and installing.
- F. Store heavy materials away from the Project structure in a manner that will not endanger the supporting construction.
- G. Store products, subject to damage by the elements, above ground and under cover, in a weathertight enclosure with ventilation adequate to prevent condensation. Maintain temperature and humidity within range required by manufacturer's instructions.

1.15 INSTALLATION STANDARDS

- A. Place the work in correct position and, unless specifically called for otherwise, build and install parts of the work level, plumb, and square.
- B. Paint aluminum embedded in masonry or in contact with dissimilar metals with bituminous paint.
- C. Inspect each product upon delivery and again immediately before installation. Do not install damaged or defective products, materials, or equipment.

1.16 PROGRESS CLEANING

- A. Establish a system for daily collection and disposal of waste materials from construction areas and elsewhere on the Project site. Enforce requirements strictly.
- B. Remove and legally dispose of all rubbish, debris, and damaged material. Do not allow trash and combustible materials to accumulate in the Building or on the site. Do not hold collected materials at the site longer than seven days.
 - 1. Do not bury or burn waste materials on the site.
 - 2. Do not wash waste materials into sewers, waterways or wetland areas.
- C. Transport demolished materials off Owner's property and dispose of them legally
- D. Handle waste materials that are hazardous, dangerous, or unsanitary, separately from other inert waste by appropriate containerizing.

- E. Provide rodent-proof containers conveniently located on each floor level to encourage depositing of garbage and similar wastes by construction personnel.

1.17 CLEANING, MAINTENANCE AND PROTECTION

- A. During handling and installation of products at the Project site, clean and protect the work in progress, as well as the adjoining work, as part of a continuing maintenance program.
- B. Clean each element at the time of installation. Apply protective coverings on installed work, where required to protect from damage or deterioration, up to Substantial Completion and acceptance of the Work.
- C. Adjust and lubricate operable components of equipment installed.
- D. After painting operations have begun in an area, do cleaning only with commercial vacuum cleaning equipment. Do not use brooms.
- E. Cover existing carpeting and floor finishes to remain to prevent damage and soiling during selective demolition. Install temporary partitions to contain dust from adjacent areas not included in the renovation area.
- F. Clean adjacent structures and improvements of dust, dirt and debris caused by selective demolition. Return adjacent areas to condition existing before start of selective demolition.

1.18 CUTTING AND PATCHING

- A. Do not cut and patch structural elements in a manner that would reduce their load-carrying capacity or load-deflection ratio.
- B. Do not cut and patch construction exposed on the exterior or in occupied spaces, in a manner that would, in the Architect's opinion, reduce the building's aesthetic qualities, or result in visual evidence of cutting and patching.
- C. Do not cut or penetrate the existing roof surface for any mechanical or electrical construction, which could expose the building interior to water damage or interfere with building occupancy. If any cutting or penetrating of roof membrane is required, the Contractor shall notify the Architect prior to any commencing any work.
- D. Cut existing construction using methods least likely to damage adjoining elements, to minimize noise and vibration in the occupied structure. Use hand or small power tools designed for sawing and grinding, not hammering and chopping.
- E. Do not perform welding operations or use cutting torches inside the building.
- F. Restore exposed finishes of patched areas and extend finish restoration into retained adjoining construction in a manner that will eliminate evidence of patching and finishing.

1.19 CONTRACT CLOSEOUT

- A. Substantial Completion: Before requesting inspection for certification of Substantial Completion, complete the following. List exceptions in the request.
1. In the Application for Payment that coincides with, or first follows the date Substantial Completion is claimed, show 100 percent completion for the portion of the Work claimed as substantially complete. Include supporting documentation for completion as indicated in these Contract Documents and a statement showing an accounting of changes to the Contract Sum.
 2. If 100 percent completion cannot be shown, include a list of incomplete items, the value of incomplete construction, and reasons the Work is not complete.
 3. Advise Owner of pending insurance changeover requirements.
 4. Submit specific warranties, workmanship bonds, maintenance agreements, final certifications and similar documents.
 5. Obtain and submit releases enabling the Owner unrestricted use of the Work and access to services and utilities; include occupancy permits, operating certificates and similar releases.
 6. Deliver tools, spare parts, extra stock, and similar items.
 7. Make final changeover of permanent locks and transmit keys to the Owner. Advise the Owner's personnel of changeover in security provisions.
 8. Complete start-up testing of systems, and instruction of the Owner's operating and maintenance personnel.
 9. Discontinue or change over and remove temporary facilities from the site, along with construction tools, mock-ups, and similar elements.
 10. Complete final clean up requirements, including touch-up painting. Touch-up and otherwise repair and restore marred exposed finished.
- B. Final Clean-Up and Repair:
1. Remove remaining temporary construction, excess material and equipment.
 2. Remove waste, foreign matter, and debris resulting from construction, from the building areas and the site.
 3. Restore material, property and construction damaged by construction personnel and equipment during performance of the Work.
 4. In addition to removal of debris and cleaning included in other Sections, clean exposed-to-view surfaces of the Work.
 5. Clean and renovate permanent products and systems used to provide temporary services and facilities during construction.
 6. Remove temporary protection and labels, which are not required to remain.
 7. Replace damaged or broken glass and other damaged transparent materials.
- C. Preliminary Procedures: Before requesting inspection for certification of completion, submit the following. List exceptions in the request.
1. Final payment request with releases and supporting documentation not previously submitted and accepted.
 2. Certificates of insurance for products and completed operations where required.
 3. Updated final statement, accounting for final additional changes to the Contract Sum.
 4. Certified copy of the Architect's final inspection list of items to be completed or corrected, stating that each item has been completed or otherwise resolved for acceptance, and that the list has been endorsed and dated by the Architect.

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5. Final meter readings for utilities, a measured record of stored fuel, and similar data as of the date of Substantial Completion, or when the Owner took possession of and responsibility for corresponding elements of the Work.
6. Consent of surety to final payment.
7. Evidence of final, continuing insurance coverage complying with insurance requirements.

1.20 RECORD DOCUMENTS

- A. Maintain a set of Construction Documents separate from those used for construction. Clearly identify it as the Record Set and keep it current.
 1. Record on the Drawings information on construction-in-place, which varies from the Contract Document data.
 2. Carefully locate hidden and underground utilities, as they are uncovered or as installed. Record locations from permanent structures.
- B. On completion of the project, transfer data from the field Record Drawings to a fresh set of prints, which will be provided by the Architect.
 1. Submit the prints to the Architect for review.
 2. Upon approval by the Architect, reproduce the prints onto a set of mylar reproducible prints and deliver to the Owner, along with reviewed record set.
 3. The General Contractor shall provide two sets of As-Built Drawings and Specifications.

1.21 RE-INSTATE SITE

- A. The General Contractor shall be responsible for "Re-Instating" the Site to original conditions (including, but not limited to topsoil, walkways, gravel driveways and bituminous pavement). Stripped topsoil shall be re-spread to finish grade elevations and seeded.

PART 2 - PRODUCTS [Not Used]

PART 3 - EXECUTION [Not Used]

END OF SECTION 01100

SECTION 01210 – ALLOWANCES

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. This Section includes administrative and procedural requirements governing the following:
 - 1. Lump-sum allowances.
 - 2. Unit-cost allowances.
 - 3. Quantity allowances.
 - 4. Contingency allowances.
 - 5. Testing and inspecting allowances.
- B. See Division 01 Section 01400 "Quality Requirements" for procedures governing the use of allowances for testing and inspecting.

1.3 SELECTION AND PURCHASE

- A. At the earliest practical date after award of the Contract, advise Architect of the date when final selection and purchase of each product or system described by an allowance must be completed to avoid delaying the Work.
- B. At Architect's request, obtain proposals for each allowance for use in making final selections. Include recommendations that are relevant to performing the Work.
- C. Purchase products and systems selected by Architect from the designated supplier.

1.4 SUBMITTALS

- A. Submit proposals for purchase of products or systems included in allowances, in the form specified for Change Orders.
- B. Submit invoices or delivery slips to show actual quantities of materials delivered to the site for use in fulfillment of each allowance.
- C. Coordinate and process submittals for allowance items in same manner as for other portions of the Work.

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FAIRFIELD, CONNECTICUT

1.5 COORDINATION

- A. Coordinate allowance items with other portions of the Work. Furnish templates as required to coordinate installation.

1.6 LUMP-SUM ALLOWANCES

- A. Allowance shall include cost to Contractor of specific products and materials selected by Architect and/or Owner under each allowance listed in the Schedule of Allowances (Section 3.3) and shall include applicable sales tax.
- B. Unless otherwise indicated, Contractor's costs for receiving and handling at Project site, labor, installation, overhead and profit, and similar costs related to products and materials selected under each allowance shall be included as part of the Base Bid.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine products covered by an allowance promptly on delivery for damage or defects. Return damaged or defective products to manufacturer for replacement.

3.2 PREPARATION

- A. Coordinate materials and their installation for each allowance with related materials and installations to ensure that each allowance item is completely integrated and interfaced with related work.

3.3 SCHEDULE OF ALLOWANCES

- 1. Interior Floor Finish Material – Allowance includes all finish floor materials throughout the house. New flooring materials shall match the existing house conditions before lifting (Vinyl Plank).

\$ 10,000.00

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FAIRFIELD, CONNECTICUT

2. Light Fixture – Allowance to include light fixtures as follows; 3 light fixtures located on front (south) entrance deck, 4 light fixtures located on rear (north) deck, 1 light fixture located over each of the two “garage” openings and 3 light fixtures located in the space under the house in the storage space. Switching for the fixtures shall be as follows – Front and rear decks as indicated on the E1 Drawing, light fixture over garage doors from inside of house located near the front entrance and via motion detector, storage space lighting as indicated on the E1 Drawing. All fixtures to be selected by the Owner.

\$ 2,500.00

END OF SECTION 01210

SECTION 01230 - ALTERNATES

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of Contract, including General and Supplementary Conditions and Division 1 Specifications Sections, apply to work of this Section.

1.2 SUMMARY

- A. This Section includes administrative and procedural requirements for alternates.

1.3 DEFINITIONS

- A. Alternate: An amount proposed by bidders and stated on the Bid Form for certain work defined in the Bidding Requirements that may be added to or deducted from the Base Bid amount if Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
 - 1. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternate into the Work. No other adjustments are made to the Contract Sum.
 - 2. Alternate pricing shall include all materials, equipment, installation costs, and markups necessary for complete installation of the work described below. All related connections, piping or repairs shall be included in the Alternate Pricing unless otherwise noted.

1.4 PROCEDURES

- A. Coordination: Modify or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.
 - 1. Include as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not indicated as part of alternate.
- B. Notification: Immediately following award of the Contract, notify each party involved, in writing, of the status of each alternate. Indicate if alternates have been accepted, rejected, or deferred for later consideration. Include a complete description of negotiated modifications to alternates.
- C. Execute accepted alternates under the same conditions as other work of the Contract.

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37 JARVIS COURT
FAIRFIELD, CONNECTICUT

- D. Schedule: A Schedule of Alternates is included at the end of this Section. Specification Sections referenced in schedule contain requirements for materials necessary to achieve the work described under each alternate.

PART 2 - PRODUCTS

2.1 MANUFACTURES

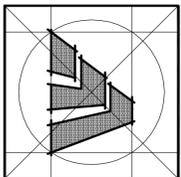
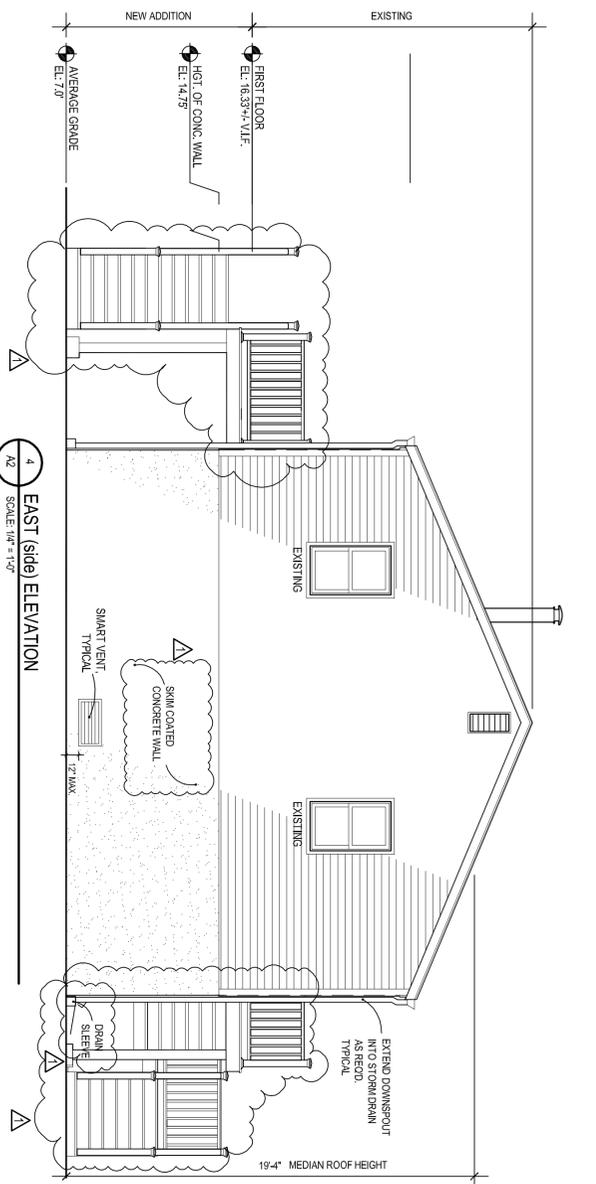
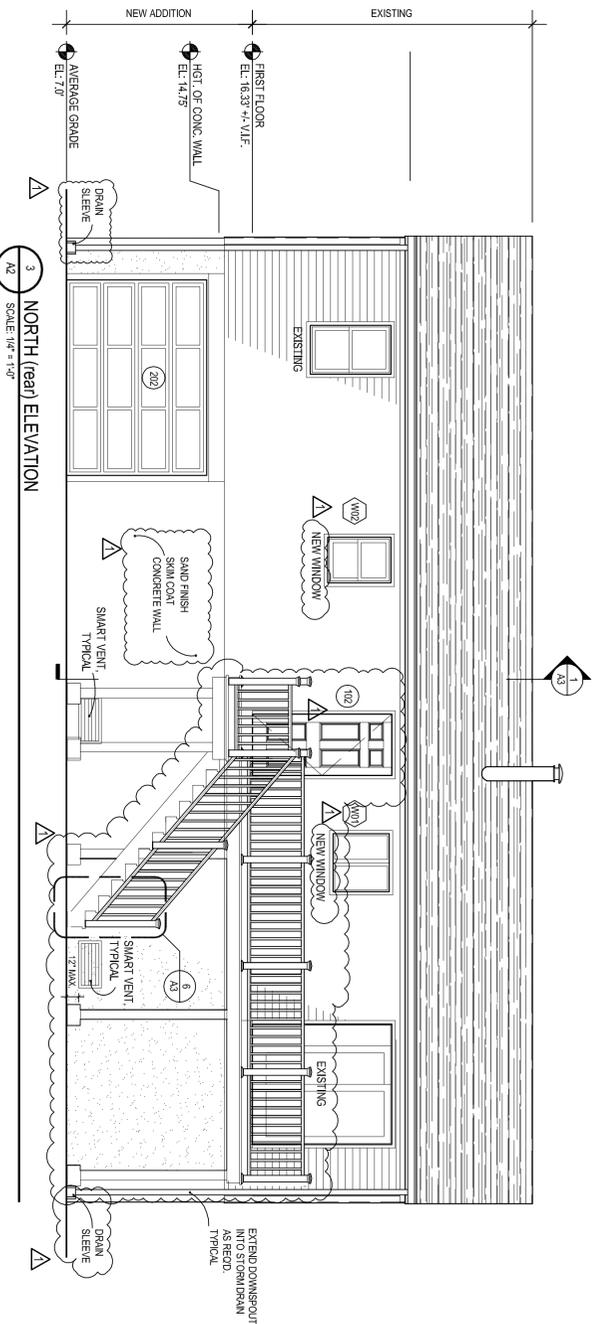
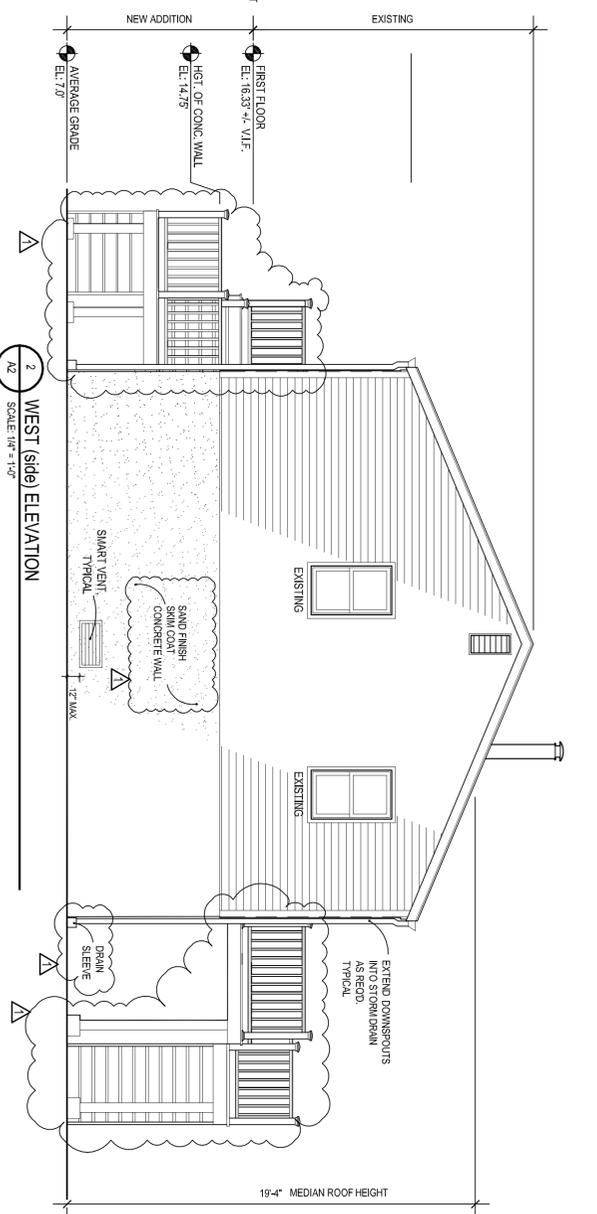
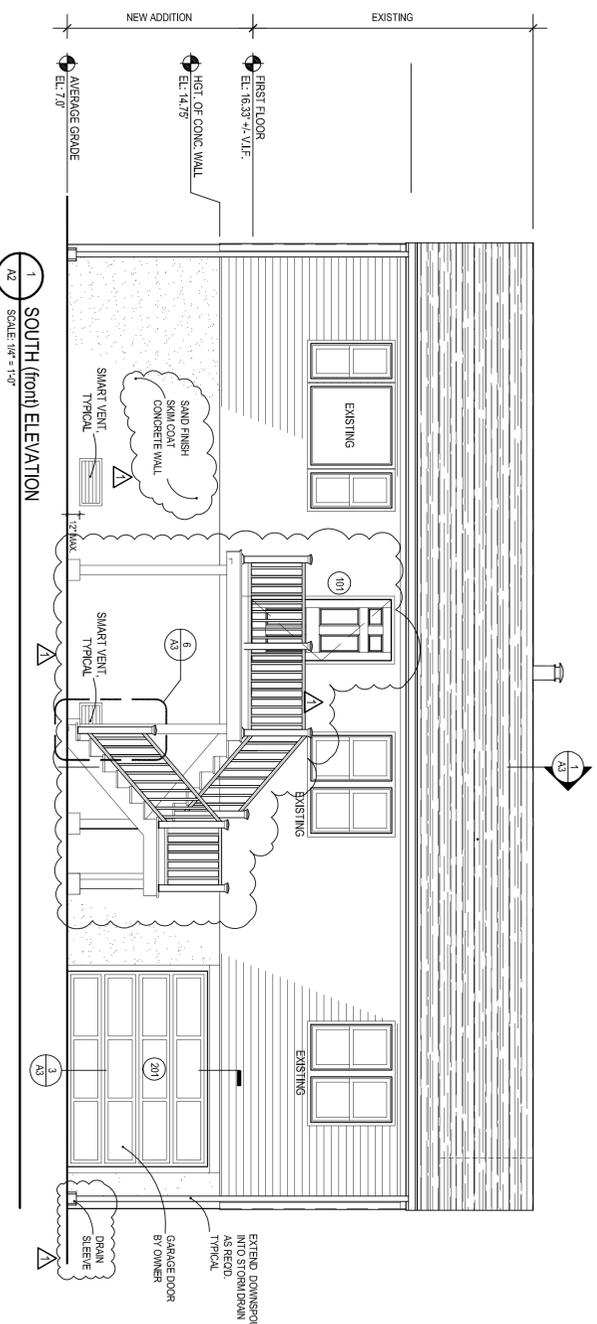
- A. See Manufacturer's listed on the Drawings, or in other Specification Sections, or as listed below.
- B. Substitutions will be considered, but must be approved by both the Architect and the Owner.

PART 3 - EXECUTION

3.1 SCHEDULE OF ALTERNATES

1. Decking Material – Provide alternate pricing to construct the front and rear decks using Pressure Treated Decking material, Pressure Treated Railings and Pressure Treated Lumber for the Structural System. Provide as a complete cost for construction of the decks.
2. Vinyl Siding (Including replacement of the Gutters and Downspouts) – Provide alternate pricing to remove the existing vinyl siding material on the entire house. Install new 1/2" insulation board over the existing sheathing. Provide new vinyl siding material as specified in Section 07460 - CertainTeed Monogram 46 Series as the basis of design. Installation to include soffits, fascia and trim components as required for a complete package. Include in the pricing the removal and replacement of the existing gutters and downspouts.

END OF SECTION 01230



Amaya Architects
 American Institute of Architects
 294 PARKERBROOK RD. ORANGE, CT 06487
 TEL. (203) 795-6556 FAX (203) 795-8971

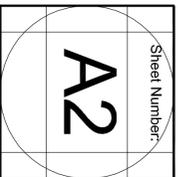
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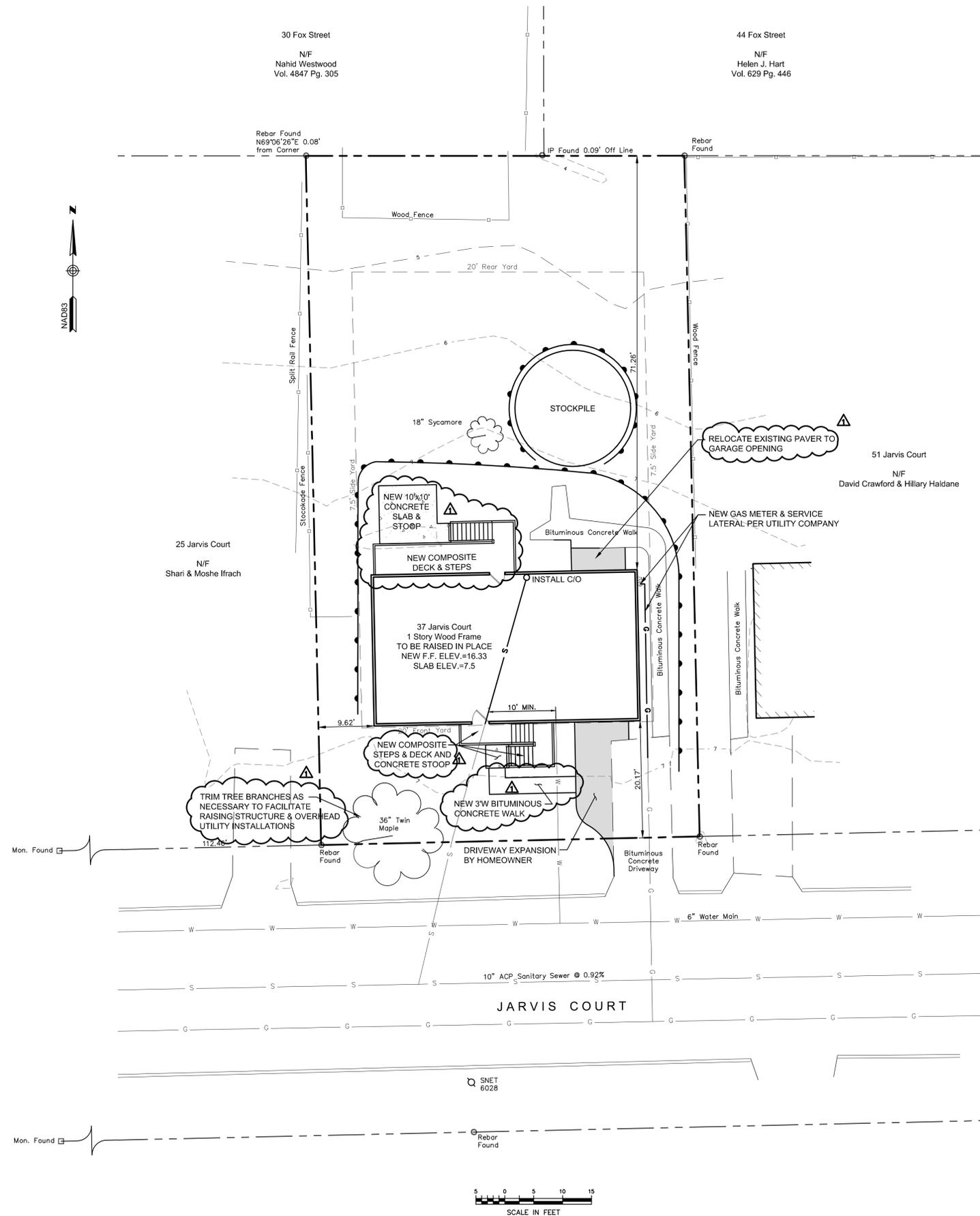
APPLICATION # 2115
KOCTURK RESIDENCE
 37 JARVIS COURT
 Fairfield, CT 06824

**STATE OF CONNECTICUT
 DEPARTMENT OF HOUSING**
 COMMUNITY DEVELOPMENT BLOCK GRANT
 DISASTER RECOVERY PROGRAM
 OWNER OCCUPIED REHABILITATION
 AND REBUILDING PROGRAM (OORR)

Date:
 ISSUED FOR BID 08/21/2015
 REV.  09/21/2015

Job Number: 14010724
 Drawn By: R.C.S.





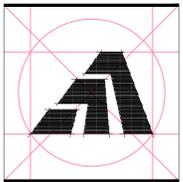
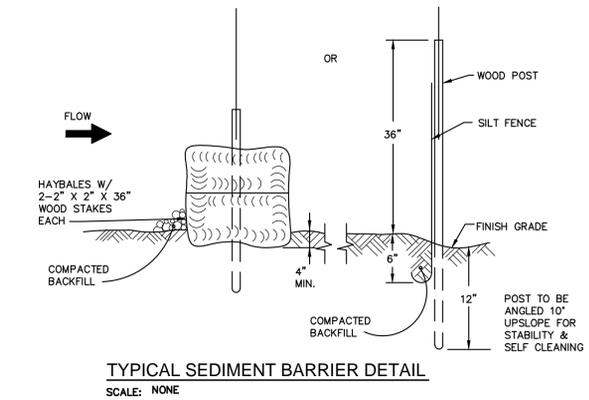
LEGEND

- Property Corner
- Rebar Found
- Property Line
- - - Setback Line
- Wooden Fence
- G Existing Gas Service
- W Existing Watermain
- S Existing Sanitary Sewer
- Proposed Erosion Control Barrier
- G Proposed Gas Service Lateral
- W Proposed Water Service Lateral
- S Proposed Sanitary Sewer
- Proposed Bituminous Concrete Driveway



GENERAL NOTES:

- Prior to demolition, all erosion control barriers shall be placed in accordance with the Town of Fairfield's requirements and shall be left in place and maintained until the work has been completed and surfaces stabilized.
- It shall be the responsibility of the contractor to monitor the condition of the erosion control structures. If the effectiveness or integrity of the structures is found to be insufficient or if the structures are damaged in any way, the contractor shall make whatever repairs are necessary to ensure that proper erosion control is maintained.
- If additional erosion and sedimentation control structures are necessary to minimize erosion and sedimentation as determined in the field, the contractor shall install structures as required at the contractor's expense.
- Removal existing overhead wires and re-attachment to be in accordance with United Illuminating Company specifications.
- Shut-off/disconnection of existing gas service and installation of new gas meter and service lateral per Southern Connecticut Gas Company Specifications.
- Disconnect existing sanitary sewer lateral. Protect end from debris and construction activities. Reconnect with new service lateral under slab. New connection to be inspected per Town of Fairfield's requirements.
- Construction debris shall be removed and disposed of from the site at the contractor's expense. Dumpsters and other refuse containers shall not be placed in the street.
- The underground utilities depicted hereon have been compile from observable evidence, such as manholes, catch basins and water gates. These location must be considered as approximate in nature. Additionally, other such features may exist on the sites, the existence of which is unknown to Loureiro Engineering Associates, Inc. (LEA). The size, location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. Call Be-For-You-Dig at 1-800-922-4455 or 811.
- Every effort shall be taken to reuse existing utility laterals without opening road. If necessary, permits from the City of Fairfield shall be required for street openings prior to construction.
- Any plantings removed for construction shall be replaced with species consistent with the Coastal Management Act.



Amaya Architects
American Institute of Architects

284 RACEBROOK RD. TEL (203) 795-5656
ORANGE, CT 06477 FAX (203) 799-3871

Survey Consultant:



Loureiro Engineering Associates, Inc.
100 Northwest Drive
Plainville, Connecticut 06062
Phone: 860-747-8181 / Fax: 860-747-8822
An Employee Owned Company
email: info@loureiro.com
Comm No. 01MH4.02

Sheet Title:
SITE PLAN

KOCTURK RESIDENCE
37 JARVIS COURT
Fairfield, Connecticut 06824

STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
(CDBG-DR)

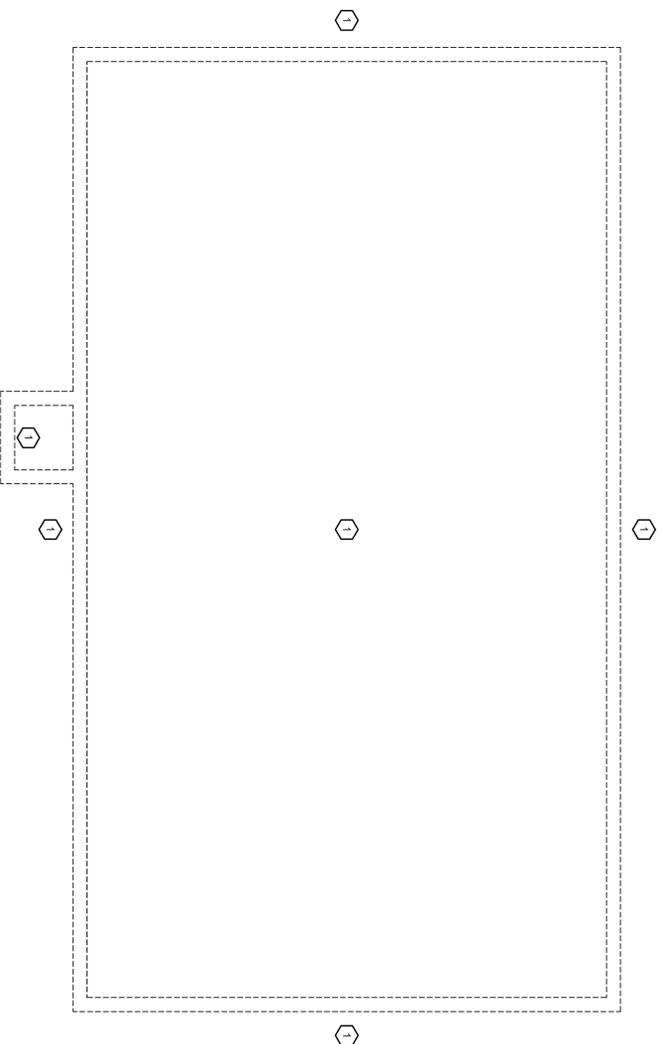
Date:
9/16/2015

Job Number: 000
Drawn By: P.A.C.
Approved By: E.G.S.

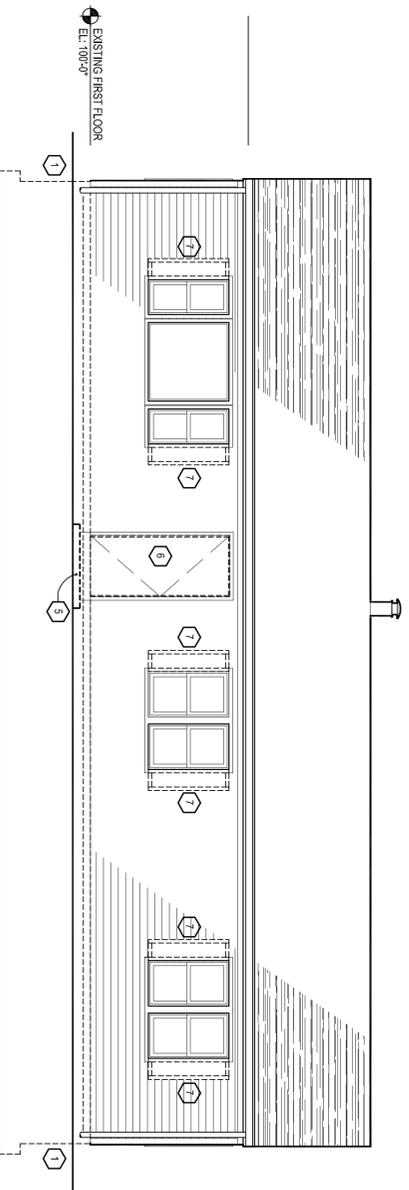
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To my knowledge and belief, the information is substantially correct as noted hereon.

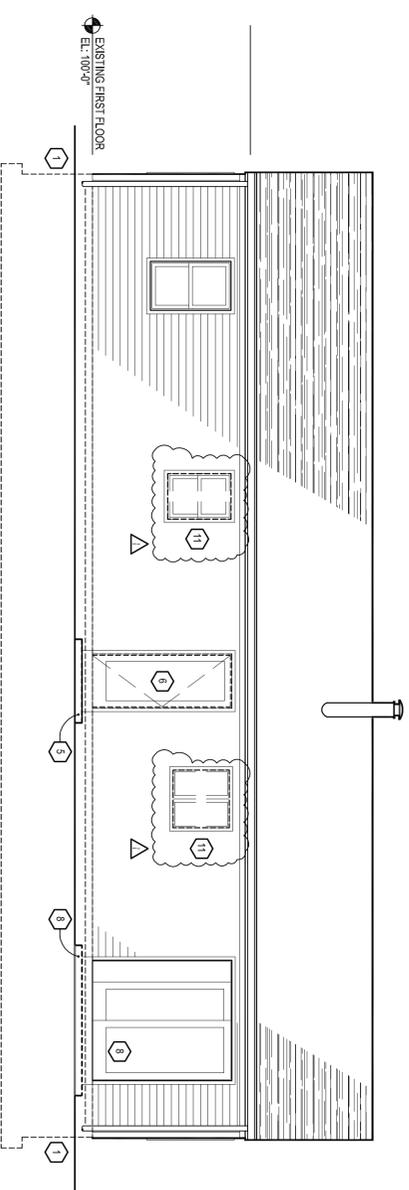
Edward G. Shelton, L.S. #9266



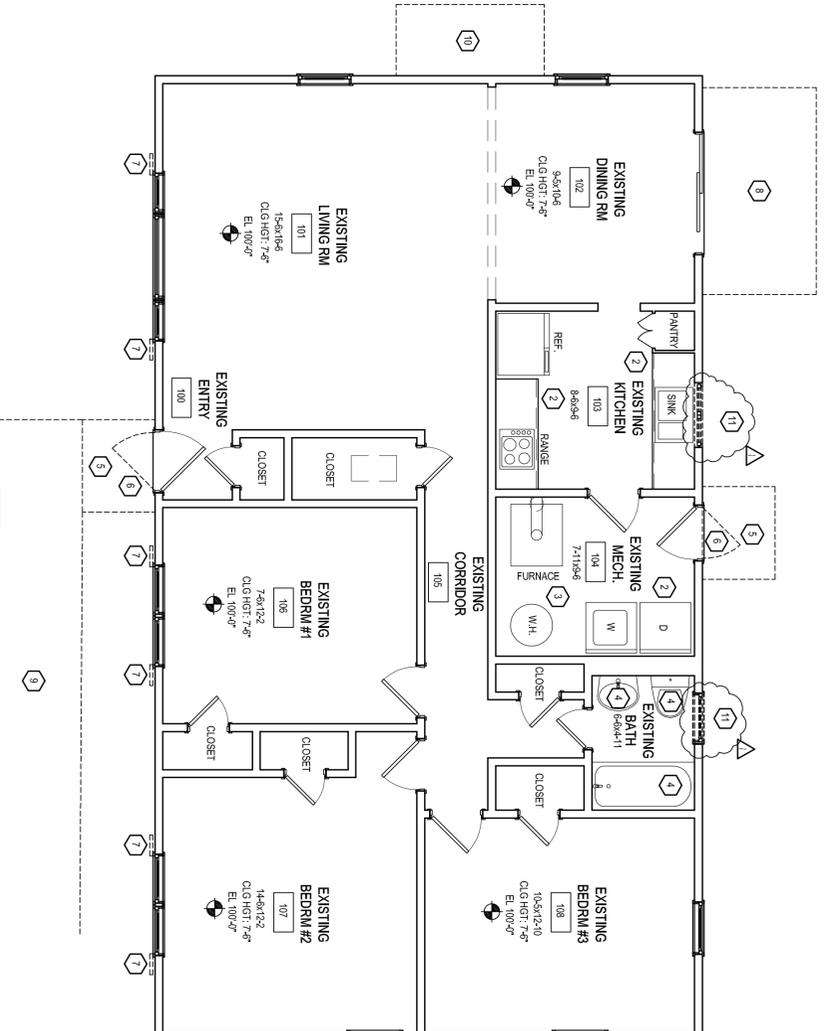
1 FOUNDATION DEMO PLAN
D1 SCALE: 1/4" = 1'-0"



3 FRONT ELEVATION - DEMOLITION
D1 SCALE: 1/4" = 1'-0"

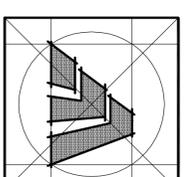


4 REAR ELEVATION - DEMOLITION
D1 SCALE: 1/4" = 1'-0"



2 FIRST FLOOR DEMO PLAN
D1 SCALE: 1/4" = 1'-0"

Wall Partition Legend	
	EXISTING PARTITION TO REMAIN
	EXISTING WALLS TO BE REMOVED
Demolition Notes	
1	REMOVE EXISTING FOUNDATION WALL, FLOOR FINISH AND SLAB. CORRESPONDING EXTENT OF DEMOLITION WITH NEW WORK AS DEPICTED IN ALL CONSTRUCTION DOCUMENTS
2	REMOVE AND STORE EXISTING KITCHEN CABINETS AND APPLIANCES. TO BE REINSTALLED AND OR REUSED
3	REMOVE AND STORE EXISTING MECHANICAL EQUIPMENT. TO BE REINSTALLED AND OR REUSED
4	REMOVE AND STORE EXISTING PLUMBING FIXTURES. TO BE REINSTALLED AND OR REUSED
5	REMOVE EXISTING CONCRETE STOOP
6	REMOVE EXISTING STORM DOOR AND FRAME. DO NOT REPLACE
7	REMOVE EXISTING SHUTTERS. DO NOT REPLACE
8	REMOVE EXISTING WOOD DECK
9	REMOVE EXISTING WALKWAY
10	REMOVE EXISTING SHED
11	REMOVE EXISTING WINDOW



Amaya Architects
American Institute of Architects
294 PACERBROOK RD. ORANGE, CT 06477
TEL: (203) 795-5555
FAX: (203) 795-5571

Sheet Title:
DEMOLITION PLANS

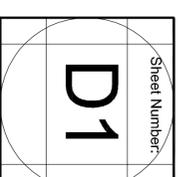
APPLICATION # 2115

KOCTURK RESIDENCE
37 JARVIS COURT
Fairfield, CT 06824

**STATE OF CONNECTICUT
DEPARTMENT OF HOUSING**
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
OWNER OCCUPIED REHABILITATION
AND REBUILDING PROGRAM (OORR)

Date:
ISSUED FOR BID 08/21/2015
REV. 09/21/2015

Job Number: 140107.24
Drawn By: R.C.S.



SECTION 07460 – VINYL SIDING

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to work of this Section.

1.2 SUMMARY

- A. This Section includes siding and all siding accessories required for a complete installation. Accessories are based on type of siding selected.

1.3 SUBMITTALS

- A. Product Data: For each type of product indicated.
- B. Samples: For siding including related accessories.
- C. Qualification Data: For qualified vinyl siding Installer.
- D. Product certificates.
- E. Product test reports.
- F. Research/evaluation reports.
- G. Maintenance data.
- H. Warranty: Sample of special warranty.

1.4 QUALITY ASSURANCE

- A. Vinyl Siding Installer Qualifications: A qualified installer who employs a VSI-Certified Installer on Project.
- B. Source Limitations: Obtain each type, color, texture and pattern of siding, including related accessories, from single source from single manufacturer.
- C. Preinstallation Conference: Conduct conference at Project site.

1.5 WARRANTY

- A. Special Warranty: Standard form in which manufacturer agrees to repair or replace siding that fail(s) in materials or workmanship within specified warranty period.
 - 1. Warranty Period: Lifetime Limited Warranty including Lifetime Fade Protection to original purchaser.

1.6 EXTRA MATERIALS

- A. Furnish extra materials that match products installed and that are packaged with protective covering for storage and identified with labels describing contents.
 - 1. Furnish full lengths of siding including related accessories, in a quantity equal to 4 squares of each color and type installed or as otherwise directed by Owner.

PART 2 - PRODUCTS

2.1 VINYL SIDING

- A. General: Integrally colored vinyl siding complying with ASTM D 3679.
Basis-of-Design Product: Match existing material or subject to compliance with requirements, provide CertainTeed Monogram 46 Series.
- B. Design: Match existing siding or provide Double 4" Clapboard, rough cedar finish with STUdfinder Installation System.
- C. Nail Hem: Match existing siding or provide RigidForm 220 Technology Roll over Nail Hem.
- D. Lock: Match existing siding or provide CertiLock self-aligning post formed positive lock.
- E. Width: Match existing siding or provide 8" width material.
- F. Length: Match existing siding or provide 12 Feet – 6 Inches.
- G. Nominal Thickness: Match existing siding or provide 0.046 Inch material.
- H. Panel Projection: Match existing siding or provide 3/4 Inch projection.
- I. Panel Exposure: Match existing siding or provide 4 Inch exposure.
- J. Color: Match existing house or as selected by Owner from standard Manufacturer's color selections.

2.2 ACCESSORIES

- A. Siding Accessories, General: Provide starter strips, edge trim, outside and inside corner caps, and other items as recommended by siding manufacturer for building on figuration and to match existing conditions.
 - 1. Provide accessories made from same material as matching color and texture of adjacent siding unless otherwise indicated.
- B. Vinyl Accessories: Integrally colored vinyl accessories complying with ASTM D 3679 except for wind-load resistance.
 - 1. Texture: Smooth
- C. Flashing: Provide tin/zinc coated copper flashing complying with Division 07 Section "Sheet Metal Flashing and Trim" at window and door heads and where indicated.
- D. Fasteners:
 - 1. For fastening to wood, use siding nails of sufficient length to penetrate a minimum of 1 inch into substrate.
 - 2. For fastening to metal, use ribbed bugle-head screws of sufficient length to penetrate a minimum of ¼ inch, or three screw-threads, into substrate.
 - 3. For fastening vinyl, use hot-dip galvanized fasteners. Where fasteners will be exposed to view, use prefinished aluminum fasteners in color to match item being fastened.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine substrates for compliance with requirements for installation tolerances and other conditions affecting performance of siding and related accessories.
- B. Proceed with installation only after unsatisfactory conditions have been corrected.

3.2 INSTALLATION

- A. General: Remove existing siding as required to accommodate the proposed construction outlined on the Drawings. Save for reuse. Re-install existing removed siding where possible. Provide new siding as specified above to complete installation.
- B. General: Comply with siding manufacturer's written installation instructions applicable to products and applications indicated unless more stringent requirements apply.

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1. Do not install damaged components, replace with new material as indicated above.
 2. Center nails in elongated nailing slots without binding siding to allow for thermal movement.
- C. Install vinyl siding and related accessories according to ASTM D 4756.
1. Install fasteners for horizontal vinyl siding no more than 16 inches o.c.
 2. Install fasteners for vertical vinyl siding no more than 12 inches o.c.
- D. Install joint sealants as specified in Division 07 Section "Joint Sealants" and to produce weathertight installation.

3.3 ADJUSTING AND CLEANING

- A. Remove damaged, improperly installed, or otherwise defective materials and replace with new materials complying with specified requirements.
- B. Clean finished surfaces according to manufacturer's written instructions and maintain in a clean condition during construction.

END OF SECTION 07460