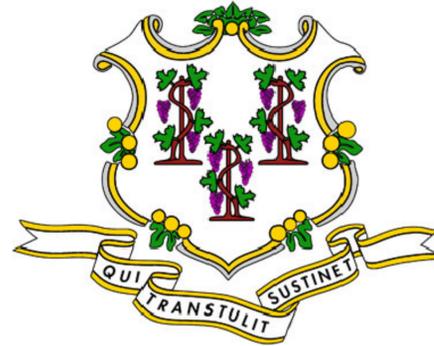


SUPER STORM SANDY *Response and Recovery*

STATE OF CONNECTICUT DEPARTMENT OF HOUSING COMMUNITY DEVELOPMENT BLOCK GRANT DISASTER RECOVERY PROGRAM

OWNER OCCUPIED REHABILITATION AND REBUILDING PROGRAM (OORR)

GOVERNOR OF CONNECTICUT:
DANNEL P. MALLOY



COMMISSIONER OF HOUSING:
EVONNE M. KLEIN

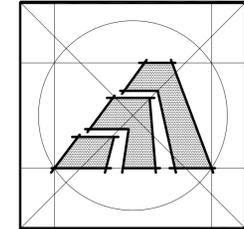
APPLICATION NO. 2115

KOCTURK RESIDENCE
37 JARVIS COURT
FAIRFIELD, CONNECTICUT 06824

AUGUST 21, 2015



ARCHITECT:



Amaya Architects

American Institute of Architects

284 RACEBROOK RD. TEL (203) 795 5656
ORANGE, CT 06477 FAX (203) 799 3871

CIVIL ENGINEER: M.E.P. ENGINEER:



Engineering • Construction • EHS • Energy • Waste

Loureiro Engineering Associates, Inc.
100 Northwest Drive
Plainville, Connecticut 06062
Phone: 860-747-6181 / Fax: 860-747-8822
An Employee Owned Company
email : info@loureiro.com
Comm No. 01MH4.08

STRUCTURAL ENGINEER:

Cmars Engineering, LLC
STRUCTURES FOUNDATIONS INVESTIGATIONS
58 Orchard Hill Road, Branford, CT 06405
Tel 203-483-8789 Fax 203-483-8285

ENVIROMENTAL:

FREEMAN
COMPANIES

LAND DEVELOPMENT
ENGINEERING DESIGN
CONSTRUCTION SERVICES

36 John Street, Hartford, CT 06106

MBE | DBE | SBE | SBA 8(a) Certified
Direct Office# 860-256-8113 | Fax 860-986-7161 | Cell 860-908-4499
www.freemancos.com

GENERAL NOTES

- SCOPE OF WORK INCLUDES: PROPOSED RENOVATION - ELEVATING EXISTING HOUSE, ADDING NEW REIN. CONC. FOUNDATION, ADDING NEW DECKS AND STAIRS, INTERIOR, EXTERIOR AND STRUCTURAL ALTERATIONS.
- THE WORK DESCRIBED IN THESE DOCUMENTS IS TO MEET HIGHEST QUALITY STANDARDS IN BOTH MATERIAL AND WORKMANSHIP. ANY SUBSTANDARD WORK WILL BE REJECTED.
- ALL WORK SHALL CONFORM TO THE MUNICIPALITY'S APPLICABLE BUILDING CODE, FIRE DEPT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE BUILDING DEPT, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES AS REQUIRED BY GOVERNING MUNICIPAL AGENCIES.
- THE CONTRACTOR SHALL VERIFY ALL DRAWING DIMENSIONS AND FIELD CONDITIONS, AND SHALL REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCING WORK.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWING.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH THE REQUIREMENTS OF LOCAL AUTHORITIES.
- THE CONTRACTOR SHALL LAYOUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR ALL OTHER TRADES (PLUMBING, ELECTRICAL, ETC.) IF APPLICABLE
- PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGNING IF APPLICABLE.
- THE CONTRACTOR UPON COMPLETION OF JOB, SHALL APPLY FOR CERTIFICATE OF OCCUPANCY, AND SHALL ARRANGE FOR BUILDING DEPT INSPECTIONS AND SIGN-OFFS REQUIRED TO OBTAIN CERTIFICATE OF OCCUPANCY.
- MANUFACTURED ARTICLES ARE TO BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS IN ALL CASES. CONTRACTOR SHALL NOTIFY DESIGNER OF ANY CONDITIONS THAT IS IN CONFLICT WITH MANUFACTURER'S SPECIFICATIONS OR INSTRUCTIONS THAT MIGHT VOID A MANUFACTURER'S WARRANTY.
- THE CONTRACTOR SHALL ASSEMBLE IN A BINDER AND PASS ALONG TO THE OWNER ALL EQUIPMENT AND MATERIAL WARRANTIES THAT MAY EXTEND BEYOND THE BASE GUARANTEE PERIOD, AS WELL AS INSTALLATION AND MAINTENANCE INSTRUCTIONS IF APPLICABLE.
- NO SUBSTITUTIONS FOR MATERIALS SPECIFIED HEREIN SHALL BE PERMITTED WITHOUT PRIOR APPROVAL BY ARCHITECT.
- ARCHITECT AND ASSOCIATED CONSULTANTS DISCLAIMS ANY ACTUAL OR CONSEQUENTIAL DAMAGES ARISING FROM THIRD PARTY RELATIONSHIPS. THESE DRAWINGS DO NOT PROVIDE ALL OR ANY SPECIFIC DETAIL IN AREAS INCLUDING BUT NOT LIMITED TO NAILING, GLUING, CAULKING, FLASHING, PAINTING AND WATERPROOFING, OR CRAFTSMANSHIP. G.C. IS RESPONSIBLE TO PROVIDE PROPER SUPERVISED WORKMANSHIP.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR "REINSTATING" THE SITE TO ORIGINAL CONDITIONS. STRIPPED TOPSOIL SHALL BE RE-SPREAD TO FINISH GRADE ELEVATION AND SEEDED.

16. All items indicated on the drawings as being by Owner shall not be included in the Bid price.

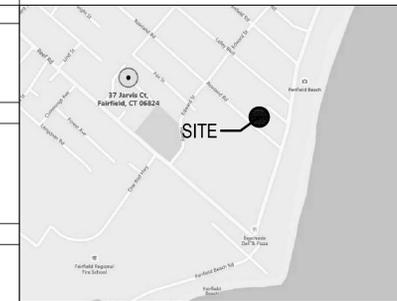
ABBREVIATIONS

AC AIR CONDITIONING	L LENGTH
ACU AIR CONDITIONING UNIT	LAM LAMINATE
AFF ABOVE FINISHED FLOOR	LAV LAVATORY
AHU AIR HANDLING UNIT	LBL LABEL
ALUM ALUMINUM	LBS POUNDS
ANOD ANODIZED	LH LEFT HAND
AT ACOUSTICAL TILE	LN FT LINEAR FEET
BD BOARD	LT LIGHT
BLDG BUILDING	LTG LIGHTING
BO BY OTHERS	MAS MASONRY
CAB CABINET	MAX MAXIMUM
CD CEILING DIFFUSER	MECH MECHANICAL
CFM CUBIC FEET PER MINUTE	MFR MANUFACTURE(R)
< CENTER LINE	MIN MINIMUM
CLG CEILING	MISC MISCELLANEOUS
CLL CONTRACT LIMIT LINE	MM MILLIMETER
CMU CONCRETE MASONRY UNIT	MO MASONRY OPENING
COL COLUMN	MTD MOUNTED
CONC CONCRETE	MTL METAL
CONST CONSTRUCTION	MULL MULLION
CONT CONTINUOUS	MW MILLWORK
CPT CARPET(ED)	NA NOT APPLICABLE
CS COUNTER SINK	NIC NOT IN CONTRACT
CT CERAMIC TILE	NO NUMBER
CTR COUNTER	NOM NOMINAL
CU FT CUBIC FEET	NTS NOT TO SCALE
CU IN CUBIC INCHES	OC ON CENTER
CW COLD WATER (CITY)	OD OUTSIDE DIAMETER
D DEPTH	OPNG OPENING
DEMO DEMOLITION	OPP OPPOSITE
DET DETAIL	PART PARTITION
DF DRINKING FOUNTAIN	PL PLATE
DHW DOMESTIC HOT WATER	PL LAM PLASTIC LAMINATE
DIAG DIAGONAL	PLBG PLUMBING
DIAM DIAMETER	PLYWD PLYWOOD
DIM DIMENSION	PNL PANEL
DN DOWN	PNT PAINT
DR DOOR	PT POINT
	QT QUARRY TILE
DS DOOR STOP	R RISE(R)
DW DISH WASHER	RA RETURN AIR
DWG DRAWING	RAD RADIUS
DWR DRAWER	RD ROOF DRAIN
EA EACH	REF REFERENCE
EF EXHAUST FAN	REIN REINFORCEMENT
EH ELECTRIC HEATER	REM REMOVE
EL.ELEV. ELEVATION	REQD REQUIRED
ELEC ELECTRIC	REV REVISION
EMER EMERGENCY	RH RIGHT HAND
ENG ENGINEER	RM ROOM
EP ELECTRIC PANEL	RO ROUGH OPENING
EQ EQUAL	RPM REVOLUTIONS PER MINUTE
EQUIP EQUIPMENT	SA SUPPLY AIR
EXIST'G EXISTING	SC SOLID CORE
EXP EXPANSION	SHT SHEET
EXT EXTERIOR	SIM SIMILAR
FACT FIN FACTORY FINISH	SP SPEAKER
FBO FURNISHED BY OTHERS	SPEC(S) SPECIFICATION(S)
FE FIRE EXTINGUISHER	SQ SQUARE
FEC FIRE EXTINGUISHER CABINET	SQ FT SQUARE FOOT (FEET)
FEE FINISH FLOOR ELEVATION	SO IN SQUARE INCH
FIN FINISHED	SS STAINLESS STEEL
FL FLUORESCENT	ST STREET
FPF FACE OF FINISH	STL STEEL
FP FIRE PROOFING	STD STANDARD
FPSC FIRE PROOF SOLID CORE	SUSP SUSPENDED
FR FIRE RESISTANT	SYM SYMMETRY(ICAL)
FS FULL SCALE	SYS SYSTEM
FT FEET	T & G TONGUE & GROOVE
FTR FINNED TUBE RADIATION	TEL TELEPHONE
GA GALVE	TEMP TEMPERATURE
GC GENERAL CONTRACTOR	THERM THERMOSTAT
GL GLASS	THK THICKNESS
GWB GYPSUM WALLBOARD	THRU THROUGH
HC HOLLOW CORE	TOS TOP OF SLAB
HD HEAVY DUTY	TR TREAD
HDW HARDWARE	TST TOP OF STEEL
HDWD HARDWOOD	TV TELEVISION
HM HOLLOW METAL	TYP TYPICAL
HOR HORIZONTAL	UNO UNLESS OTHERWISE NOTED
HR HOUR	V VOLTS
HT HEIGHT	VAC VACUUM
HTG HEATING	VCT VINYL COMPOSITE TILE
HVAC HEATING, VENT, AIR COND.	VERT VERTICAL
HWH HOT WATER HEATER	VIF VERIFY IN FIELD
ID INSIDE DIAMETER	W WIDTH
IN INCH	W/ WITH
INCL INCLUDE(ING)	W/O WITHOUT
INFO INFORMATION	WB WOOD BASE
INSUL INSULATION	WC WATER CLOSET
INTR INTERIOR	WD WOOD
INV INVERT	WP WATERPROOF
IRC INTERNATIONAL RESIDENTIAL CODE	WPT WORKING POINT
J-BOX JUNCTION BOX	WR WATER RESISTANT
JO JOINT	WT WEIGHT
KT KNOCK OUT	YD YARD
KPL KICKPLATE	

LIST OF DRAWINGS

ARCHITECTURAL DRAWINGS	STRUCTURAL DRAWINGS
CS COVERSHEET	S-1 FOUNDATION PLAN
T1 TITLE SHEET: GENERAL NOTES, DRAWING LIST, APPLICABLE CODES, SITE MAP, SYMBOL LEGEND, ETC.	S-2 FIRST FLOOR FRAMING PLAN
Ex-1 EXISTING FIRST FLOOR PLAN/FRAMING PLAN	
Ex-2 EXISTING SECOND FLOOR PLAN/FRAMING PLAN	
	M.E.P. DRAWINGS
D-1 DEMOLITION PLAN	E-1 ELECTRICAL PLANS
A-1 FOUNDATION AND FIRST FLOOR PLANS	P-1 PLUMBING PLAN
A-2 ELEVATIONS	SP-1 MEP SPECIFICATIONS
A-3 SECTION, SECTION DETAILS	
A-4 ENLARGED STAIR PLANS	
	SITE DRAWINGS
	V-1 EXISTING CONDITIONS
	C-1 SITE PLAN
	C-2 SITE PLAN

LOCATION MAP



BUILDING DESIGN DATA

GROUP R-3 FOR SINGLE FAMILY (3) STORY DWELLING
 BUILDING CATEGORY: II
 CONSTRUCTION TYPE: V
 WIND SPEED 100 MPH [PER IRC 2009 AND 2013 CT AMENDMENTS(AMD)]
 WIND IMPORTANCE FACTOR - (Iw)=1.49 - PER TABLE R301.2(3)
 WIND EXPOSURE - "C"
 REQUIRED: DFE = 11.00' x 1.25 (500-YEAR FLOOD ELEV. ADJUSTMENT) = 13.75' + 1'-0" (FREEBOARD) = 14.75' TOTAL
 PROPOSED: DFE = 14.75' (TOP OF FOUNDATION)
 DESIGNED FOR 500-YEAR FLOOD BASED ON NFIP REGULATORY REQUIREMENTS: FLOOD PLAIN MANAGEMENT REGULATIONS BY LOCAL JURISDICTION AND PER LATEST FIRM FLOOD MAPS & CONSENSUS STANDARDS

APPLICABLE CODES

APPLICABLE CODES: 2009 INTERNATIONAL RESIDENTIAL CODE AND CT 2013 AMENDMENTS.

PER SECTION R102 - APPLICABILITY - R102.7.1 EXISTING STRUCTURES, OR REPAIRS - MEETS REQUIREMENTS

PER SECTION AJ101 PURPOSE AND INTENT - AJ301 REPAIRS - AJ301.1.2 - PLUMBING MATERIALS AND SUPPLIES - MEETS REQUIREMENTS AJ301.4 - ELECTRICAL - MEETS REQUIREMENTS

PER SECTION R301 DESIGN CRITERIA - R301.1 APPLICATION / MEETS REQUIREMENTS R301.2 - CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA / MEETS REQUIREMENTS R301.2.1 (AMD) - WIND LIMITATIONS / MEETS REQUIREMENTS TABLE R301.2.(1) (AMD) - CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA: (AMD) - GROUND SNOW LOAD - 30 LBS PSF / PROVIDED (AMD) - WIND SPEED (MPH) - 100 MPH PER APPENDIX R / MEETS REQUIREMENTS (AMD) - SEISMIC DESIGN CATEGORY - CATEGORY B - (N/A) (AMD) - FLOOD HAZARD - AE (AMD) - SUBJECT TO DAMAGE - FROST LINE DEPTH - 42 INCHES / PROVIDED

R301.2(2) - COMPONENT AND CLADDING LOADS: EXISTING (N/A)

R301.2(3) - HEIGHT AND EXPOSURE COEFFICIENTS FOR TABLE R301.2(2): 1.49 ADJUSTMENT PROVIDED

R301.2.1.4 (AMD) - EXPOSURE CATEGORY / EXPOSURE C

R301.4 - DEAD LOADS & R301.5 - LIVE LOADS - ATTIC FLOOR: 10 PSF DL / 20 PSF SL / EXISTING (N/A) SECOND / MAIN FLOOR: 10 PSF DL / 40 PSF LL / NEW WD. FLOOR AND BEAMS PROVIDED DECK FLOOR: 10 PSF DL / 40 PSF LL / PROVIDED

R301.6 (AMD) - ROOF LOAD - EXISTING

R301.7 - ALLOWABLE DEFLECTION / N/A

PER SECTION R302 - FIRE-RESISTANT CONSTRUCTION: R302.1 (AMD) - EXTERIOR WALLS - MINIMUM FIRE SEPERATION / EXISTING WALLS - NO RATING REQUIRED NEW DECKS AND STAIRS / SHALL MEET 5'-0" REQUIREMENTS - NO RATING REQUIRED

PER SECTION R303 - LIGHT, VENTILATION AND HEATING / MEETS REQUIREMENTS

PER SECTION R304 - MINIMUM ROOM AREAS / MEETS REQUIREMENTS

PER SECTION R305 - CEILING HEIGHTS / MEETS REQUIREMENTS

PER SECTION R306 - SANITATION / MEETS REQUIREMENTS (BACKFLOW VALVE PROVIDED)

PER SECTION R307 - TOILET, BATH AND SHOWER SPACES / MEETS REQUIREMENTS

PER SECTION R308 - GLAZING - R308.4 - HAZARDOUS LOCATIONS / TEMPERED WINDOWS PROVIDED

PER SECTION R309 - GARAGES - R309.1 - FLOOR SURFACE / MEETS REQUIREMENTS R309.3 - FLOOD HAZARD AREAS / MEETS REQUIREMENTS R309.4 - AUTOMATIC GARAGE DOOR OPENERS / MEETS REQUIREMENTS

PER SECTION R310 - EMERGENCY ESCAPE AND RESCUE OPENINGS - R310.1 - EMERGENCY ESCAPE AND RESCUE REQUIRED / N/A (EXISTING) R310.1.1 - MINIMUM OPENING AREA / PROVIDED IN EACH BEDROOM 5.7 REQ'D / N/A (EXISTING)

PER SECTION R311 - MEANS OF EGRESS - R311.1 - MEANS OF EGRESS / N/A (EXISTING) R311.2 - EGRESS DOOR / N/A (EXISTING) R311.3.1 - FLOOR ELEVATIONS AT THE REQUIRED EGRESS DOOR / N/A (EXISTING)

PER SECTION R312 - GUARDS - R312.1 - WHERE REQUIRED / PROVIDED R312.2 - HEIGHT / MEETS REQUIREMENTS R312.3 - OPENING LIMITATIONS / MEETS REQUIREMENTS

PER SECTION R313 - AUTOMATIC FIRE SPRINKLER SYSTEM - R313.2 (AMD) - ONE AND TWO FAMIL DWELLINGS AUTOMATIC FIRE SPRINKLER SYSTEM / N/A (EXISTING)

PER SECTION R314 - SMOKE ALARM: R314 - SMOKE ALARMS (PROVIDED) R314.4 (AMD) - POWER SOURCE (MEETS REQUIREMENTS)

PER SECTION R315 - CARBON MONOXIDE ALARM: R315.1 (AMD) - CARBON MONOXIDE ALARMS (PROVIDED)

PER SECTION R316 - FOAM PLASTIC: R316.4 - THERMAL BARRIER / N/A

PER SECTION R317 - PROTECTION OF WOOD AND WOOD BASED PRODUCTS AGAINST DECAY: R317.1 - LOCATION REQUIRED (MEETS REQUIREMENTS)

PER SECTION R318 - PROTECTION AGAINST SUBTERRANEAN TERMITES: R318.1 - SUBTERRANEAN TERMITE CONTROL METHODS (METHOD #3 PROVIDED)

PER SECTION R319 - SITE ADDRESS: R319.1 - ADDRESS NUMBERS (MEETS REQUIREMENTS)

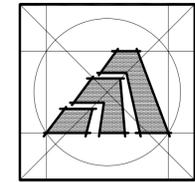
PER SECTION R320 - ACCESSIBILITY: R320.1 - SCOPE (NOT REQUIRED / NOT PROVIDED)

PER SECTION R321 - ELEVATORS AND PLATFORM LIFTS: (NOT REQUIRED / NOT PROVIDED)

PER SECTION R322 - FLOOD-RESISTANT CONSTRUCTION: R322.1 - GENERAL (COMPLIES) R322.1.2 - STRUCTURAL SYSTEM (PROVIDED) R322.1.3 - FLOOD-RESISTANT CONSTRUCTION (MEETS REQUIREMENTS) R322.1.4 - ESTABLISHING THE DESIGN FLOOD ELEVATION - 100-YEAR REQUIRED (AE 11' + 1'-0" FREEBOARD) R322.1.4.1 - DETERMINATION OF THE DESIGN FLOOD ELEVATION (500-YEAR FLOOD PROVIDED) R322.1.5 - LOWEST FLOOR (EXCEEDS MIN. REQUIREMENTS) R322.1.6 - PROTECTION OF MECHANICAL AND ELECTRICAL (PROVIDED) R322.1.7 - PROTECTION OF WATER SUPPLY AND SANITARY SEWGE SYSTEMS (PROVIDED) R322.1.8 - FLOOD RESISTANT MATERIALS (PROVIDED) R322.1.10 - AS-BUILT ELEVATION DOCUMENTAION (PROVIDED) R322.2.1 - ELEVATION REQUIREMENTS (PROVIDED) R322.2.2 - ENCLOSED AREA BELOW DESIGN FLOOD ELEVATION (MEETS #1 REQUIREMENTS) R322.2.3 - FOUNDATION DESIGN AND CONSTRUCTION (MEETS REQUIREMENTS) R322.3.4 - WALLS BELOW DESIGN FLOOD ELEVATION (MEETS REQUIREMENTS) R322.3.5 - ENCLOSED AREAS BELOW DESIGN FLOOD ELEVATION (MEETS REQUIREMENTS) R322.3.6 - CONSTRUCTION DOCUMENTS (MEETS REQUIREMENTS)

LEGEND

	GRAVEL
	CONCRETE
	MORTAR, GROUT
	STEEL
	FRAMING LUMBER
	HARDWOOD
	PLYWOOD
	BATT INSULATION
	GYPSUM WALLBOARD
	KEY NOTE
	DETAIL DRAWING NO.
	BUILDING SECTION
	WALL SECTION
	SECTION DETAIL
	COLUMN GRID
	PLAN / WALL DETAIL
	INTERIOR ELEVATION DRAWING NO.
	DATUM POINT (ELEVATION)
	DOOR NUMBER
	WINDOW NUMBER
	PARTITION TYPE
	REVISION FLAG
	REFERENCE KEY
	REMOVAL NOTE
	ROOM NUMBER
	EQUIPMENT TYPE
	CABINET TYPE
	C.O.D. CARBON MONOXIDE DETECTOR
	S.D. SMOKE DETECTOR (HARD WIRE)
	H.D. HEAT DETECTOR (HARD WIRE)
	CEILING FAN/LIGHT



Amaya Architects
 American Institute of Architects

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Sheet Title:
TITLE SHEET

APPLICATION # 2115

KOCTURK RESIDENCE
 37 JARVIS COURT
 Fairfield, CT 06824

STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
 OWNER OCCUPIED REHABILITATION
 AND REBUILDING PROGRAM (OORR)

Date: 06/21/2015

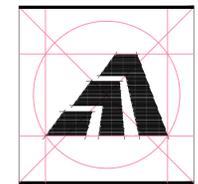
Project Number: 2115
 Drawn By: JVL

Sheet Number:
T1

PROJECT DATA

OWNER: SEHAJZ KOCTURK
 37 JARVIS COURT
 FAIRFIELD, CONNECTICUT 06824

SITE LOCATION: 37 JARVIS COURT
 FAIRFIELD, CONNECTICUT 06824



Amaya Architects
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Survey Consultant:



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An Employee Owned Company
email: info@loureiro.com
Comm No. 01MH4.02

Sheet Title:
EXISTING CONDITIONS

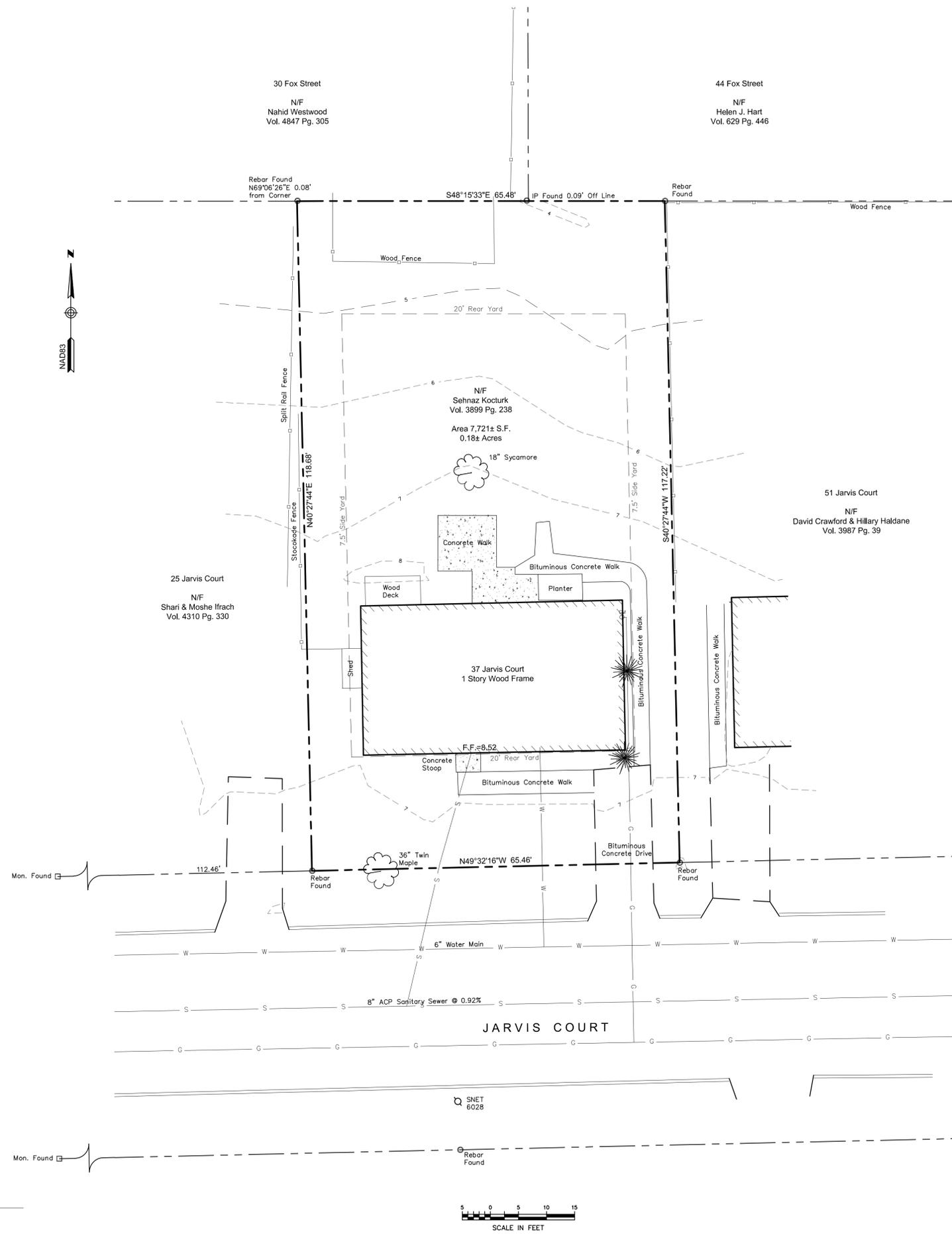
KOCTURK RESIDENCE
37 JARVIS COURT
Fairfield, Connecticut 06824

STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
(CDBG-DR)

Date:

Job Number: 000
Drawn By: P.A.C.
Approved By: E.G.S.

Sheet Number:
V-1



NOTES:

- This map and survey have been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and "The Minimum Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors on September 26, 1996.
- The type of survey performed and the mapped features depicted hereon are in accordance with the requirements of a Property/Boundary and Topographic Survey.
- The boundary determination / opinion is based upon a Dependent Resurvey of map reference 6A.
- This map conforms to Class A-2 horizontal accuracy, Class T-2 Topographic accuracy and V-2 Vertical accuracy.
- The north arrow, bearings and elevations are based upon the Connecticut State Coordinate System (NAD83) and NAVD88 respectively, derived from GPS observations on March 23, 2015 using GEOID03.
- Map References:
 - "Subdivision Map prepared for Town of Fairfield, Reef Road, Fairfield, Connecticut," scale: 1"=40' dated March 14, 2005 revised 5/17/2005 prepared by The Huntington Company, LLC; map on file in the Town of Fairfield Land Records as map 7075.
 - "Section One, Map of Property for William M. & Anthony J. Pascone Inc., Fairfield, Conn.," scale: 1"=50' dated December 23, 1959 prepared by The Huntington Company; map on file in the Town of Fairfield Land Records as map3080.
- Parcel is subject to covenants, restrictions and conditions as described in Volume 3561 page 142, Volume 3426 page 313, and Volume 3809 page 325 of the Town of Fairfield Land Records.
- Parcel is located in Flood Zone AE, base flood elevation determined to be 11, as depicted on "FIRM, Flood Rate Insurance Map, Fairfield County, Connecticut, (all jurisdictions)", Panel 438 of 626, Map Number 09003C0438G, map revised July 8, 2013.
- Parcel is depicted on the Town of Fairfield Tax Assessor's Map 183 as Lot 116J.
- Parcel is zoned Residential B and is subject to the following zoning requirements:

Minimum Lot Size	6,000 Square Feet
Minimum Frontage	60 Feet
Front Yard	20 Feet
Side Yard	5 Feet, 15 feet total both sides
Rear Yard	20'
Maximum Height	40 feet or 3 Stories
- The underground utilities depicted hereon have been compiled from observable evidence, such as manholes, catch basins and water gates. These locations must be considered as approximate in nature. Additionally, other such features may exist on the sites, the existence of which is unknown to Loureiro Engineering Associates, Inc. (LEA). The size, location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. Call Be-For-You-Dig at 1-800-922-4455 or 811.

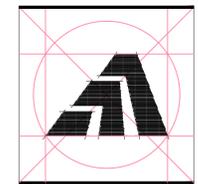
LEGEND

●	Property Corner
—	Property Line
- - -	Setback Line
- C -	Existing Gas Line
- W -	Existing Watermain
- S -	Existing Sanitary Sewer

To my knowledge and belief the foregoing is substantially correct as noted hereon.

 Edward G. Shelomis, L.S. #9266

E:\SURVEY PROJECTS\01M401\DOWN\FAIRFIELD\01M424_37_JARVIS EXISTING CONDITIONS.DWG Tab: EXIST COND Sheet: 8/25/2015 10:15 AM Plotted: 8/25/2015 10:18 AM



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Sheet Title:
SITE PLAN

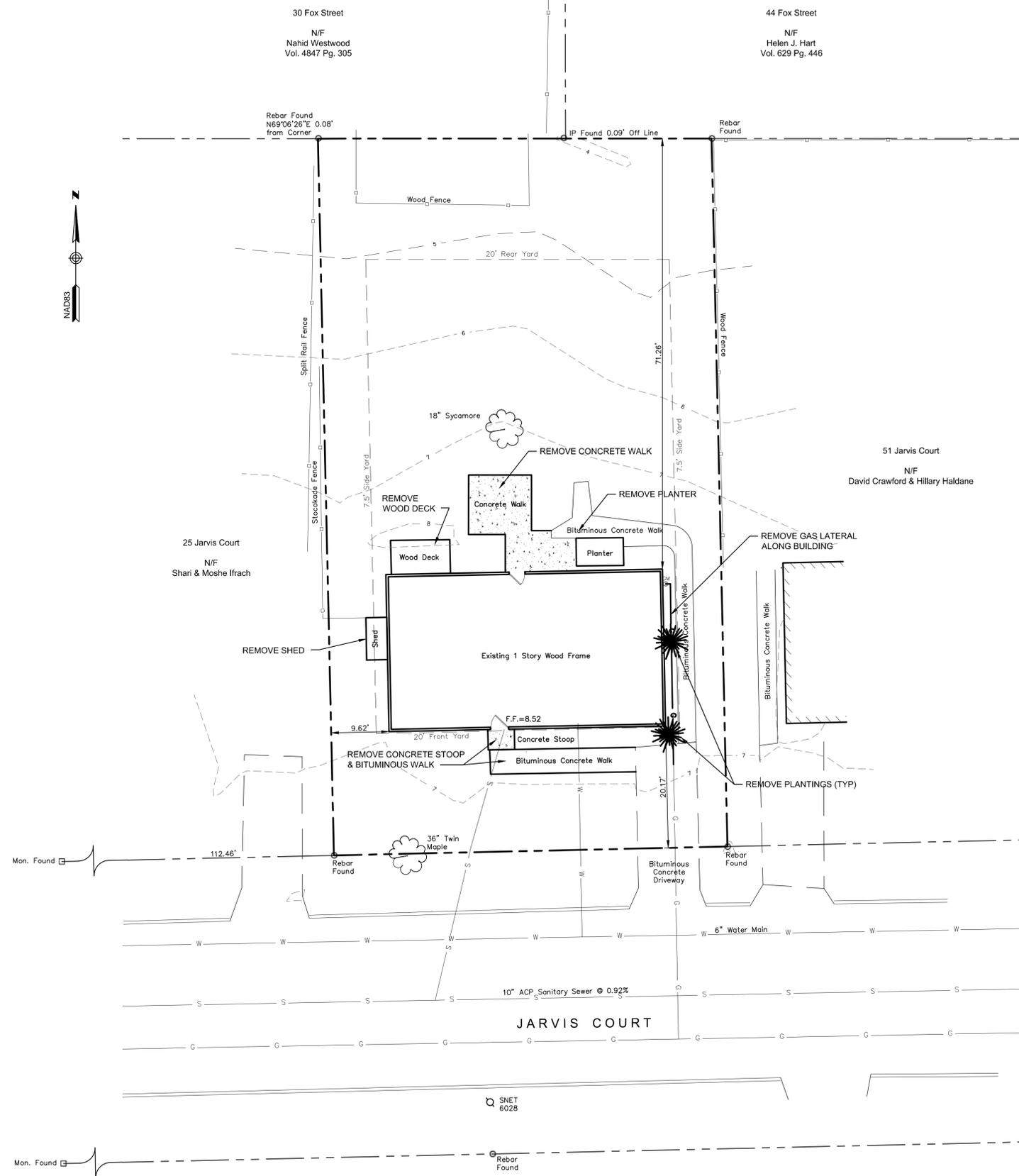
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37 JARVIS COURT
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**STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
(CDBG-DR)**

Date:

Job Number: 000
Drawn By: P.A.C.
Approved By: E.G.S.

Sheet Number:
C-1



DEMOLITION NOTES:

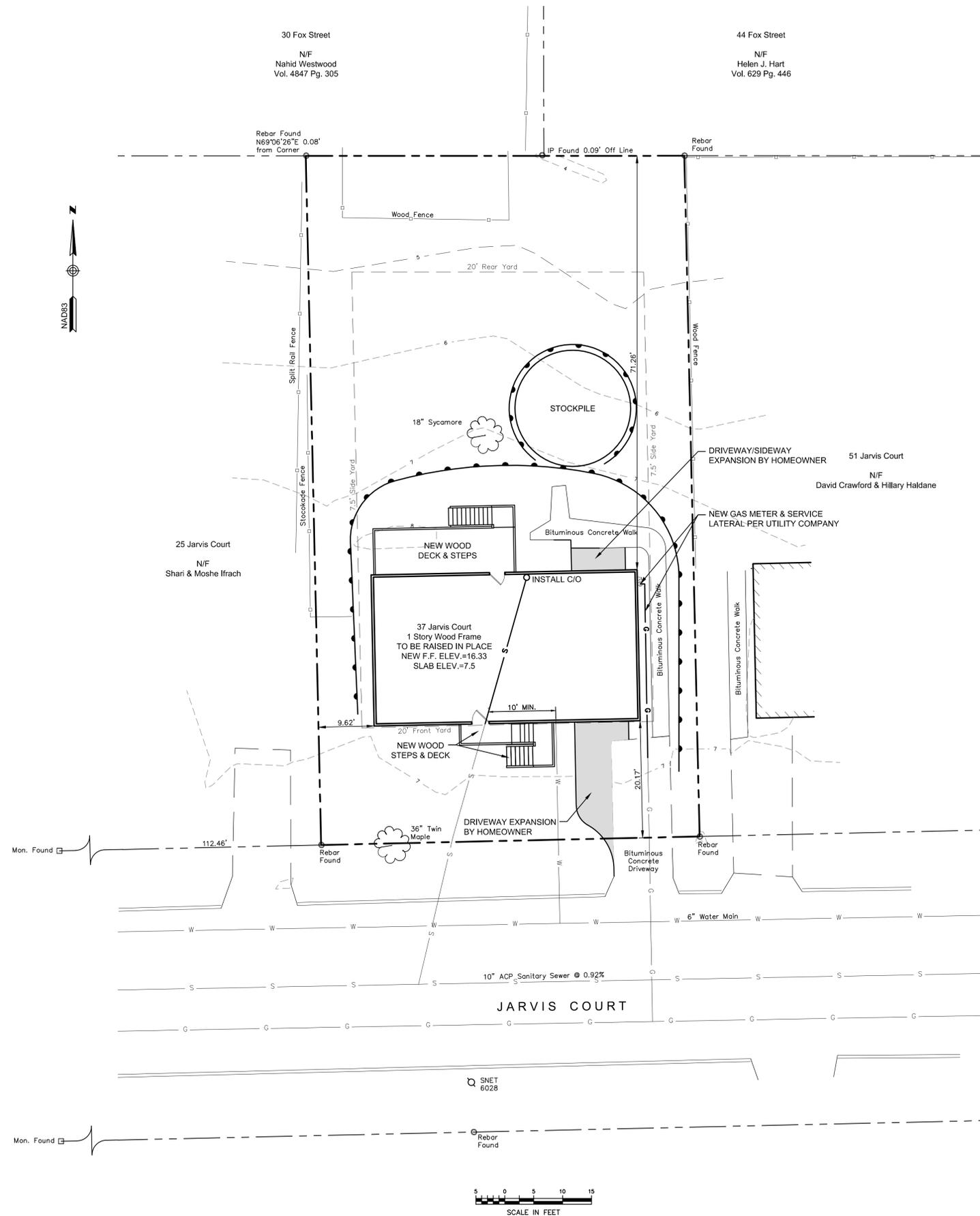
- Prior to initiation of any demolition, all erosion control barriers shall be placed as shown on the Erosion Control drawing and where required by the owner's representative. The erosion control barriers shall be left in place and maintained until the work is completed and the surfaces have been temporarily stabilized.
- If additional erosion control structures are necessary to minimize erosion and sediment as determined in the field, the Contractor shall install structures as required.
- Contractor shall be responsible for permits and all utility disconnects (sanitary, storm, water, gas, electric, telephone, CATV, etc.) in accordance with the appropriate utility company requirements prior to starting demolition.
- Sanitary laterals should be cut back as necessary for construction and in accordance with the Town of Milford's requirements.
- Every effort shall be taken to reuse existing utility laterals without opening road. If necessary, permits from the City of Fairfield shall be required for street openings prior to construction.
- All debris from the demolition and any required environmental mitigation such as asbestos abatement or other hazardous building material shall be immediately removed from the site at the contractor's expense. All materials shall be disposed of off site at an approved facility.
- The concrete building slab shall be removed completely and disposed of offsite at the contractor's expense.
- Bituminous concrete driveway to be maintained through demolition to avert need for anti-tracking pad.
- The underground utilities depicted hereon have been compiled from observable evidence, such as manholes, catch basins and water gates. These locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which is unknown to Loureiro Engineering Associates, Inc. (LEA). The size, location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. Call Be-For-You-Dig at 1-800-922-4455 or 811.
- Construction debris shall be removed and disposed of from the site at the contractor's expense. Dumpsters and other refuse containers shall not be placed in the street.
- The underground utilities depicted hereon have been compiled from observable evidence, such as manholes, catch basins and water gates. These locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which is unknown to Loureiro Engineering Associates, Inc. (LEA). The size, location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. Call Be-For-You-Dig at 1-800-922-4455 or 811.
- Every effort shall be taken to reuse existing utility laterals without opening road. If necessary, permits from the City of Fairfield shall be required for street openings prior to construction.

LEGEND

•	Property Corner
—	Property Line
- - -	Setback Line
— G —	Existing Gas Line
— W —	Existing Watermain
— S —	Existing Sanitary Sewer

To my knowledge and belief, the map is substantially correct as noted hereon.

Edward G. Shelomis, L.S. #9266



LEGEND

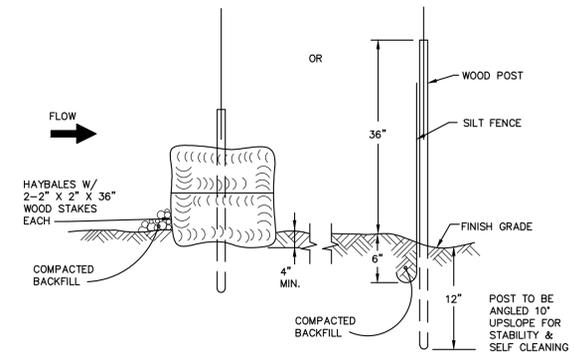
●	Property Corner
○	Rebar Found
---	Property Line
- - -	Setback Line
□	Wooden Fence
G	Existing Gas Service
W	Existing Watermain
S	Existing Sanitary Sewer
—●—	Proposed Erosion Control Barrier
G	Proposed Gas Service Lateral
W	Proposed Water Service Lateral
S	Proposed Sanitary Sewer
—	Proposed Bituminous Concrete Driveway



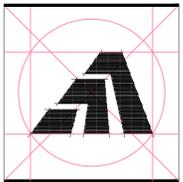
VICINITY MAP
Scale: 1"=1,500'

GENERAL NOTES:

- Prior to demolition, all erosion control barriers shall be placed in accordance with the Town of Fairfield's requirements and shall be left in place and maintained until the work has been completed and surfaces stabilized.
- It shall be the responsibility of the contractor to monitor the condition of the erosion control structures. If the effectiveness or integrity of the structures is found to be insufficient or if the structures are damaged in any way, the contractor shall make whatever repairs are necessary to ensure that proper erosion control is maintained.
- If additional erosion and sedimentation control structures are necessary to minimize erosion and sedimentation as determined in the field, the contractor shall install structures as required at the contractor's expense.
- Removal existing overhead wires and re-attachment to be in accordance with United Illuminating Company specifications.
- Shut-off/disconnection of existing gas service and installation of new gas meter and service lateral per Southern Connecticut Gas Company Specifications.
- Disconnect existing sanitary sewer lateral. Protect end from debris and construction activities. Reconnect with new service lateral under slab. New connection to be inspected per Town of Fairfield's requirements.
- Construction debris shall be removed and disposed of from the site at the contractor's expense. Dumpsters and other refuse containers shall not be placed in the street.
- The underground utilities depicted hereon have been compile from observable evidence, such as manholes, catch basins and water gates. These location must be considered as approximate in nature. Additionally, other such features may exist on the sites, the existence of which is unknown to Loureiro Engineering Associates, Inc. (LEA). The size, location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. Call Be-For-You-Dig at 1-800-922-4455 or 811.
- Every effort shall be taken to reuse existing utility laterals without opening road. If necessary, permits from the City of Fairfield shall be required for street openings prior to construction.
- Any plantings removed for construction shall be replaced with species consistent with the Coastal Management Act.



TYPICAL SEDIMENT BARRIER DETAIL
SCALE: NONE



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Survey Consultant:



Loureiro Engineering Associates, Inc.
100 Northwest Drive
Plainville, Connecticut 06062
Phone: 860-747-8181 / Fax: 860-747-8822
An Employee Owned Company
email: info@loureiro.com
Comm No. 01MH4.02

Sheet Title:
SITE PLAN

KOCTURK RESIDENCE
37 JARVIS COURT
Fairfield, Connecticut 06824

STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
(CDBG-DR)

Date:

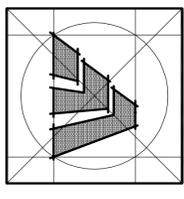
Job Number: 000
Drawn By: P.A.C.
Approved By: E.G.S.

Sheet Number:
C-2

To my knowledge and belief, the information is substantially correct as noted hereon.

Edward G. Shelton, L.S. #9266

E:\AUTOCAD\PROJECTS\01MH424 37 JARVIS COURT\DWG\01MH424 37 JARVIS SITE PLAN.DWG Job: SITE: 6/25/2015 10:17 AM Printed: 6/25/2015 10:18 AM



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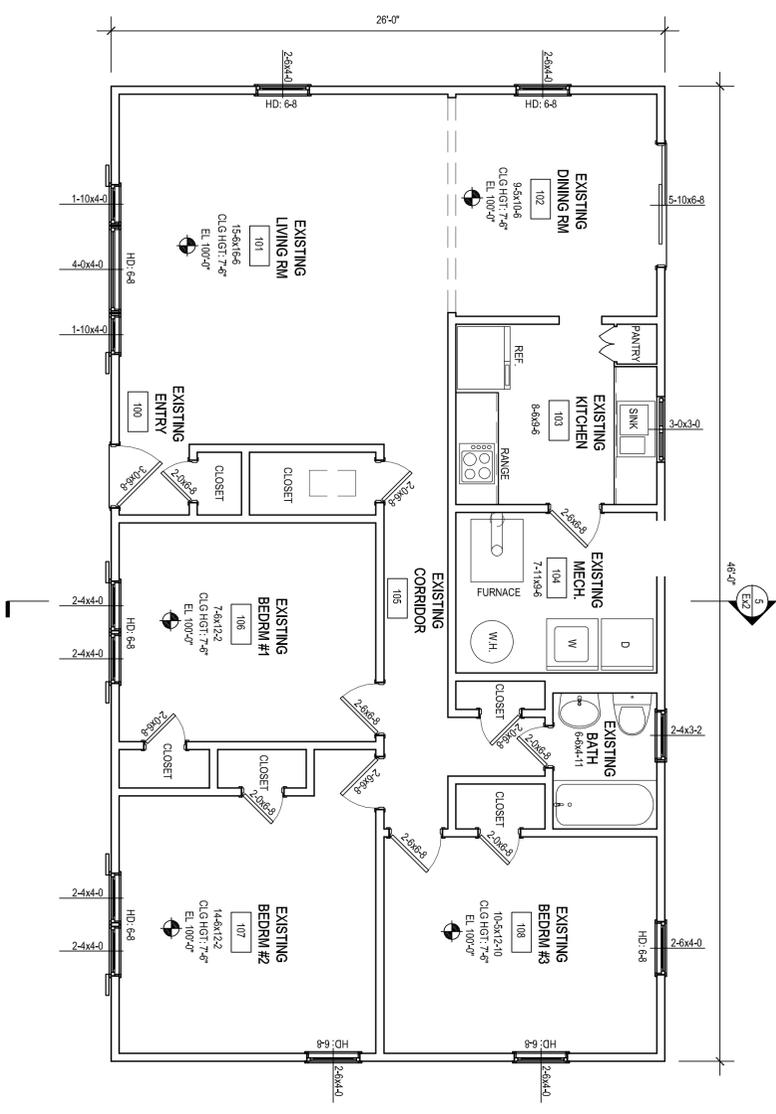
Sheet Title: **EXISTING
 ROOF AND FLOOR PLANS**

APPLICATION # 2115
KOCTURK RESIDENCE
 37 JARVIS COURT
 FAIRFIELD, CT 06824

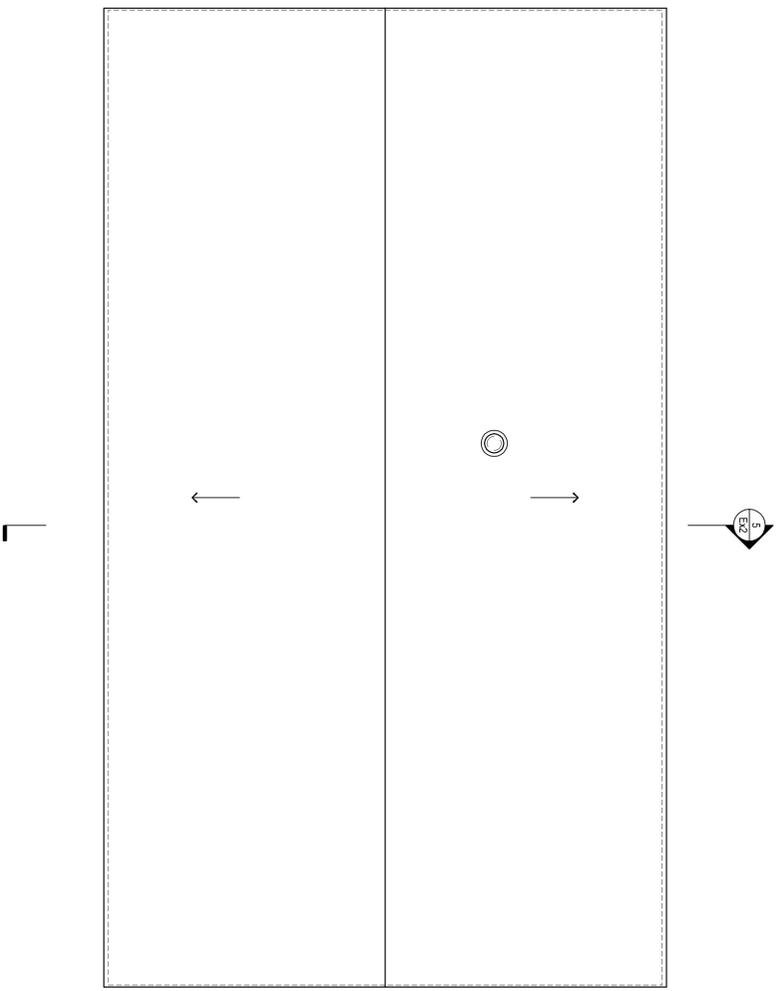
**STATE OF CONNECTICUT
 DEPARTMENT OF HOUSING**
 COMMUNITY DEVELOPMENT BLOCK GRANT
 DISASTER RECOVERY PROGRAM
 OWNER OCCUPIED REHABILITATION
 AND REBUILDING PROGRAM (OORR)

Date:
 ISSUED FOR BID 08/21/2015

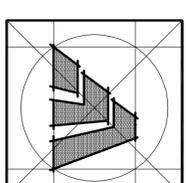
Job Number: 140107.24
 Drawn By: R.C.S.



1 EXISTING FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



2 EXISTING ROOF PLAN
 SCALE: 1/4" = 1'-0"



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Sheet Title: **SECTION & EXISTING ELEVATIONS**

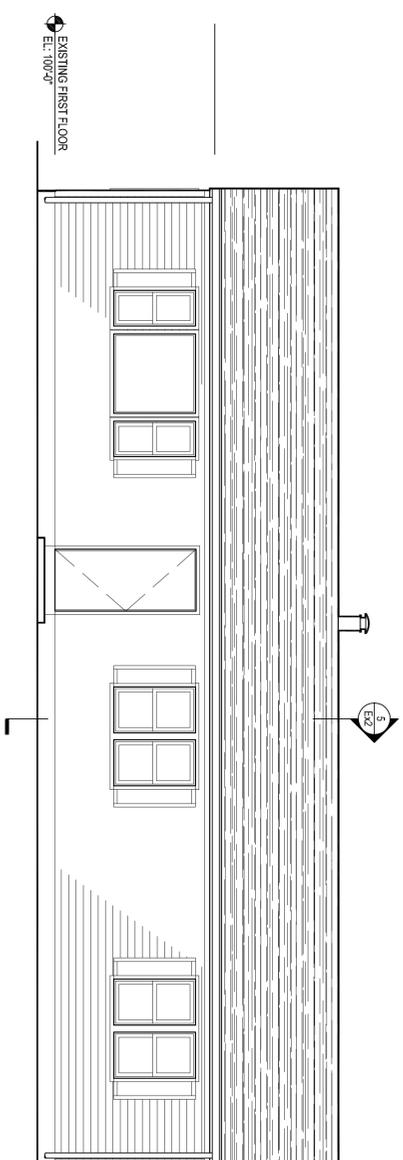
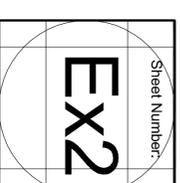
APPLICATION # 2115

KOCTURK RESIDENCE
 37 JARVIS COURT
 FAIRFIELD, CT 06824

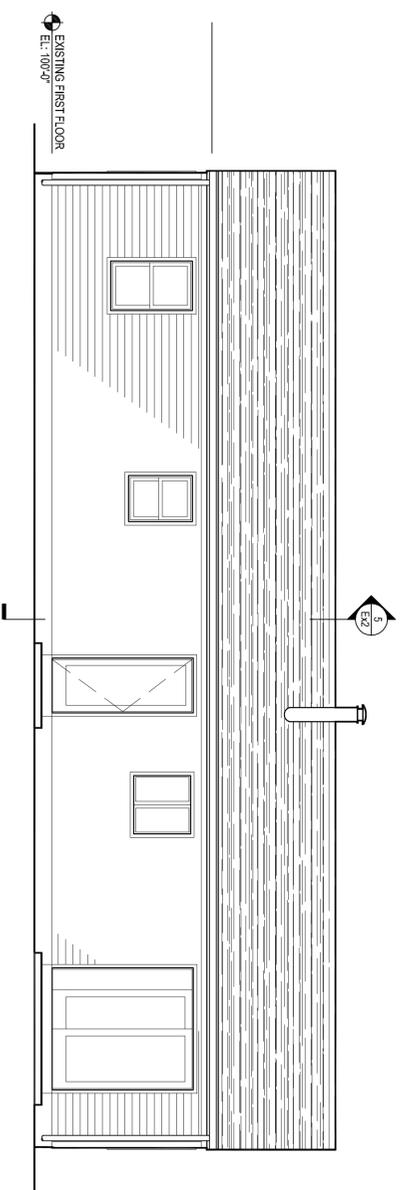
**STATE OF CONNECTICUT
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 DISASTER RECOVERY PROGRAM**
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Date:
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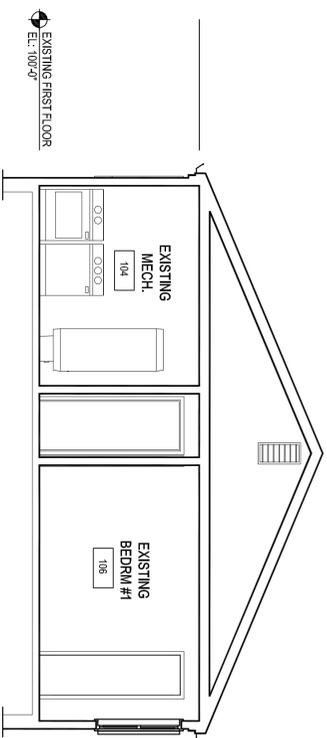
Job Number: 140107.24
 Drawn By: R.C.S.



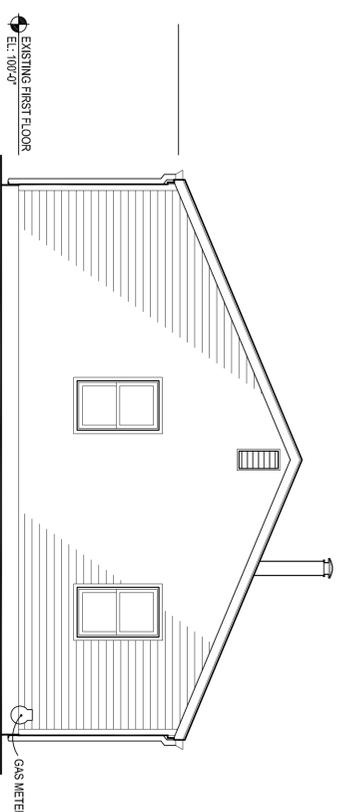
1 EXISTING FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



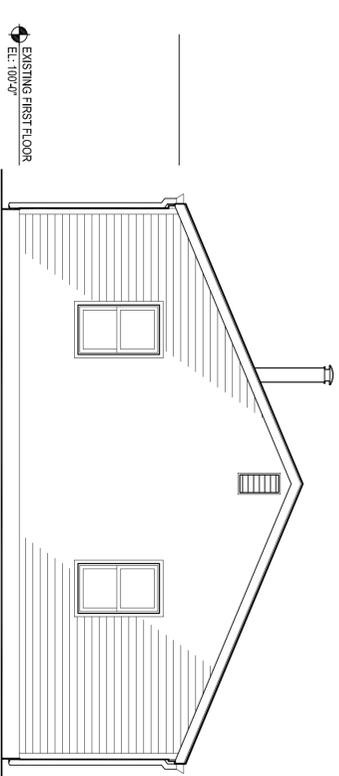
2 EXISTING REAR ELEVATION
 SCALE: 1/4" = 1'-0"



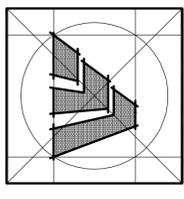
5 EXISTING BUILDING SECTION
 SCALE: 1/4" = 1'-0"



4 EXISTING RIGHT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



3 EXISTING LEFT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



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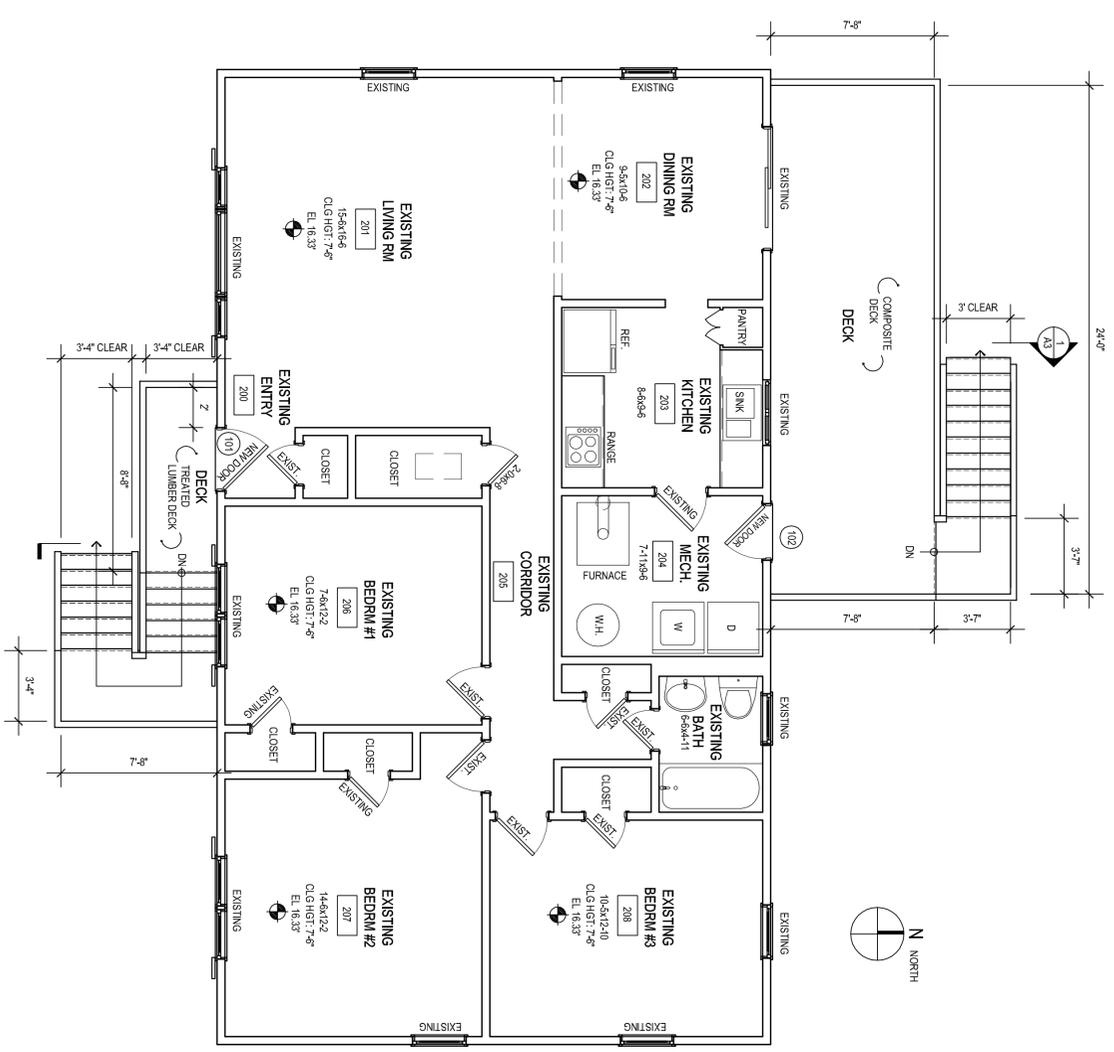
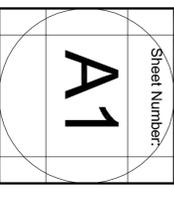
Sheet Title: **FOUNDATION AND FLOOR PLANS**

APPLICATION # 2115

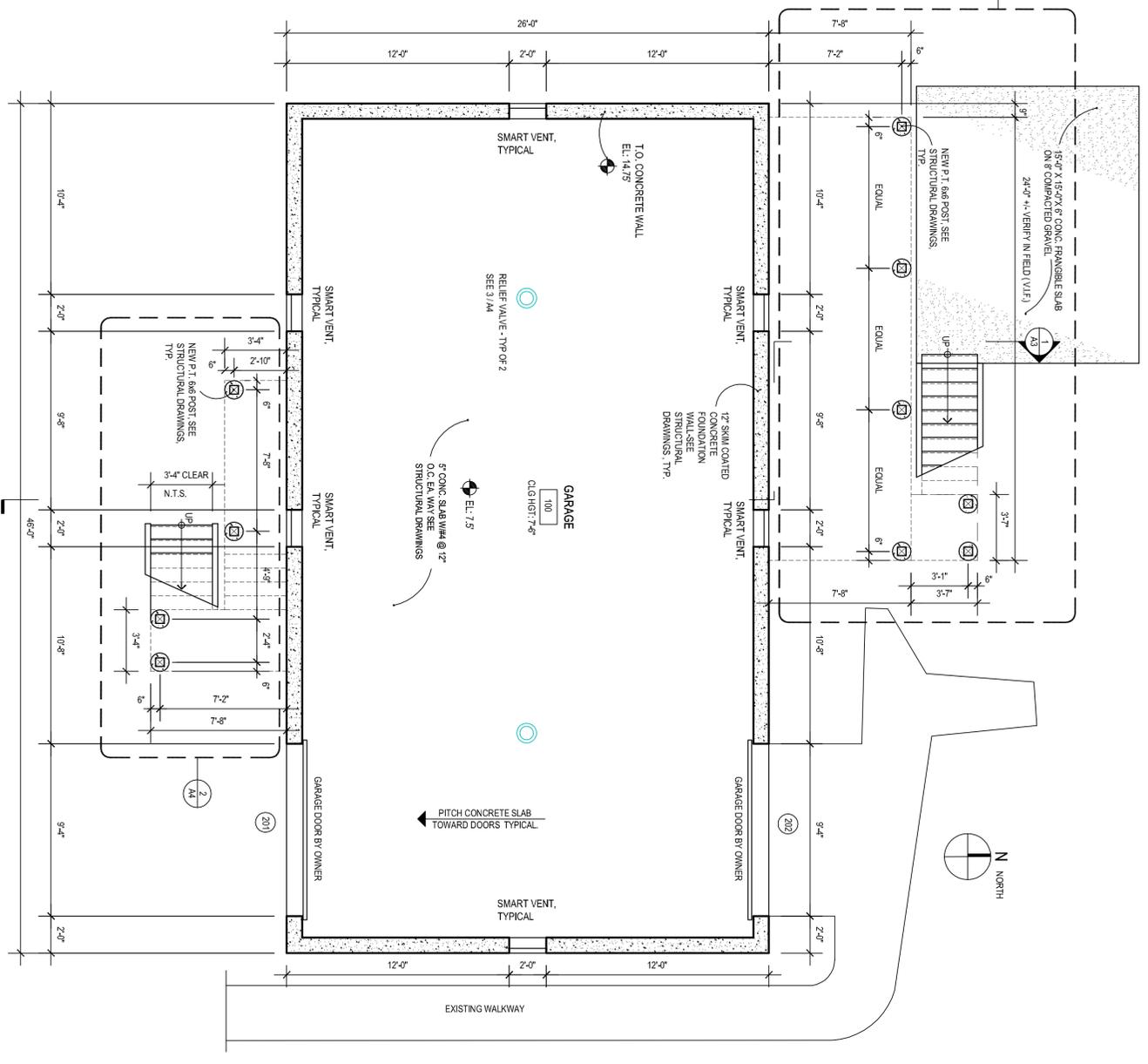
KOCTURK RESIDENCE
37 JARVIS COURT
Fairfield, CT 06824

**STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM**
OWNER OCCUPIED REHABILITATION
AND REBUILDING PROGRAM (OOR)

Date:
ISSUED FOR BID 08/21/2015
Job Number: 140107.24
Drawn By: R.C.S.



2 EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

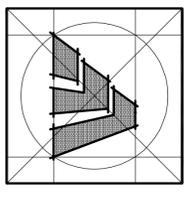
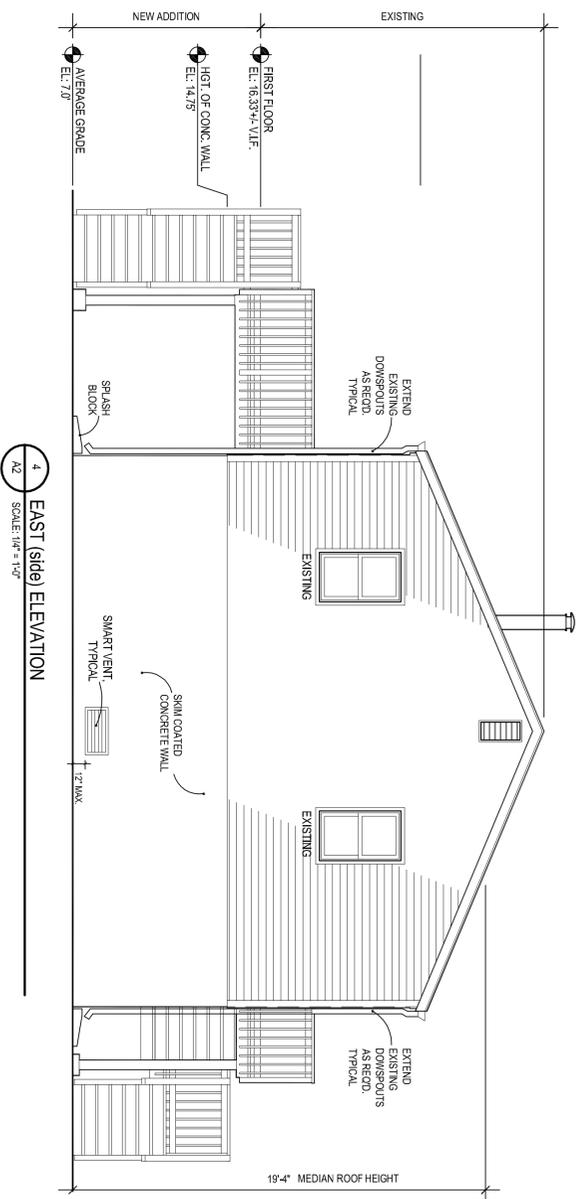
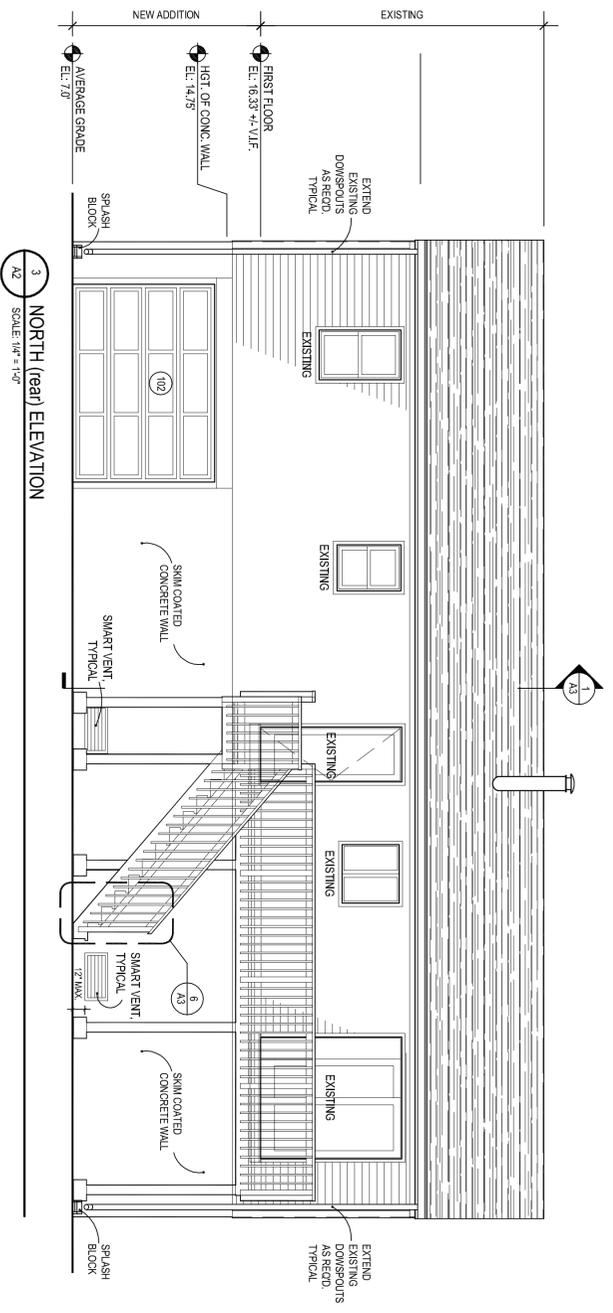
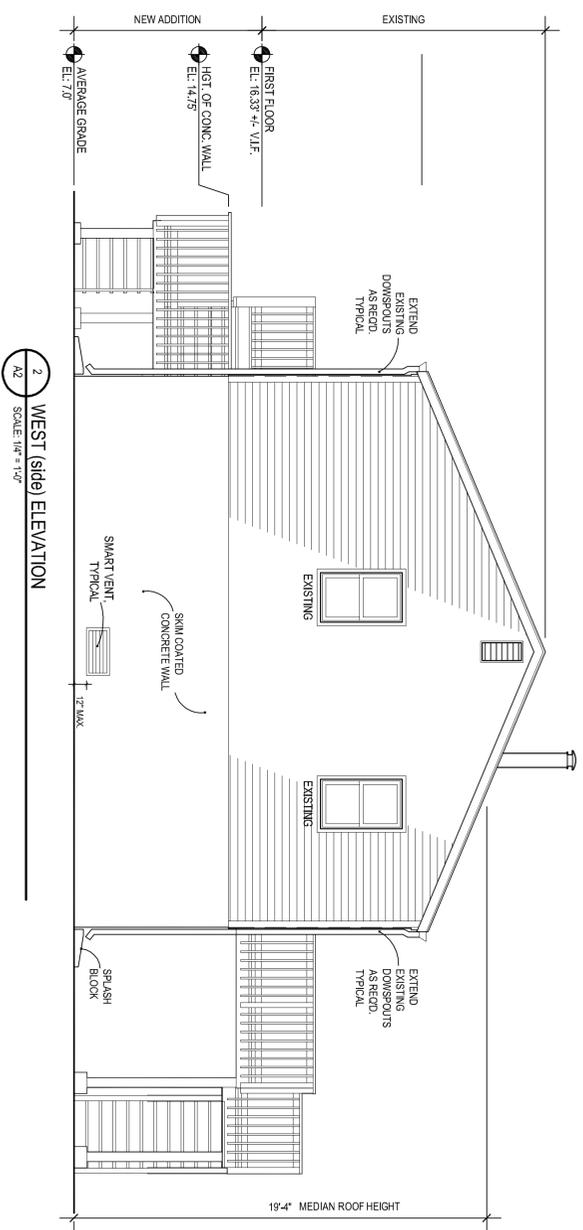
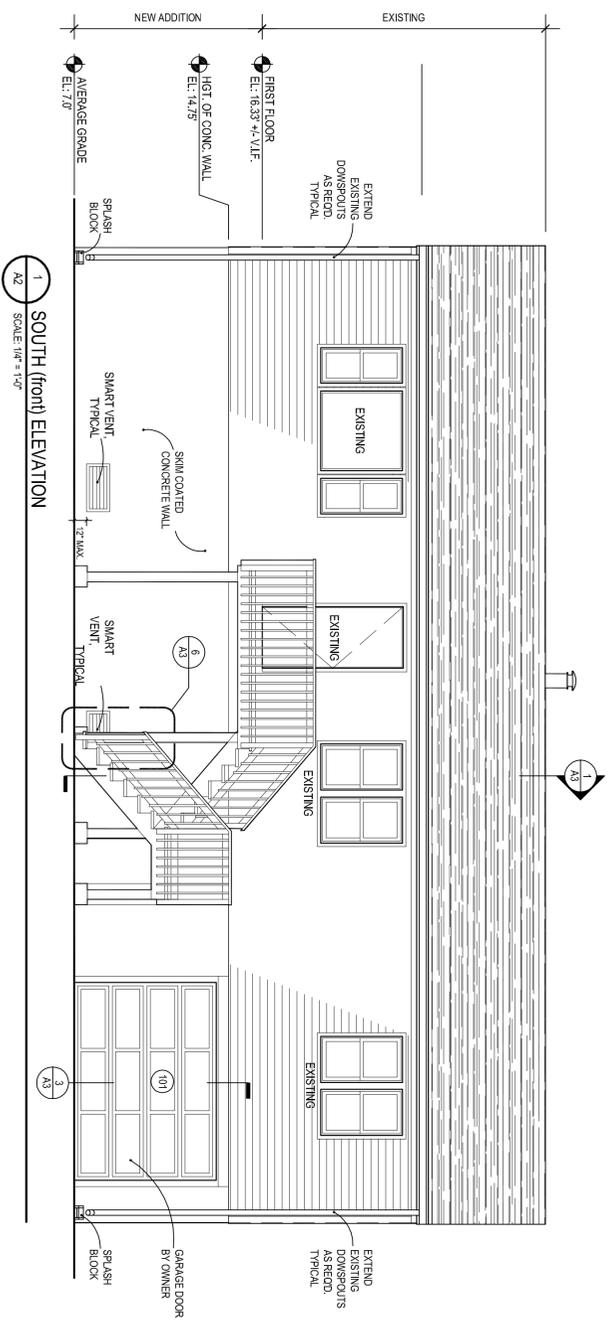


1 FOUNDATION / GARAGE PLAN
SCALE: 1/4" = 1'-0"

WALL PARTITION LEGEND	
	NEW CONCRETE FOUNDATION WALL
	NEW PARTITION
	EXISTING PARTITION TO REMAIN

DOOR SCHEDULE									
SYMBOL	ROOM	MANUF.	MODEL N.	SIZE WxD x HGT	MATERIAL	FINISH	FRAME	DETAILS	REMARKS
(101)	FRONT DECK THERMA TRU	SIX PANEL	3-0 x 6-8	3-0 x 6-8	FIBERGLASS	SHOP PAINT			PROVIDE PEEP HOLE - SELF CLOSING HOWVER
(102)	REAR DECK THERMA TRU	SIX PANEL	3-0 x 6-8	3-0 x 6-8	FIBERGLASS	SHOP PAINT			PROVIDE PEEP HOLE - SELF CLOSING HOWVER
(201)	GARAGE 100 CLOPNV	GENERIC	9-0 x 6-8	9-0 x 6-8	FIBERGLASS	SHOP PAINT			OVERHEAD DOOR UNIT - BY OWNER
(202)	GARAGE 100 CLOPNV	GENERIC	9-0 x 6-8	9-0 x 6-8	FIBERGLASS	SHOP PAINT			OVERHEAD DOOR UNIT - BY OWNER

1. ALL DOOR UNITS LABELED "GENERIC". MODEL NUMBER IS REFERRED TO DOOR PANEL STYLE TO BE SELECTED BY OWNER.



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Sheet Title:
ELEVATIONS - SECTION

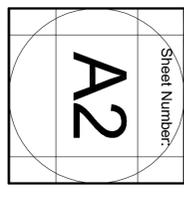
APPLICATION # 2115

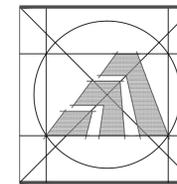
KOCTURK RESIDENCE
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STATE OF CONNECTICUT
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Sheet Title:
FOUNDATION PLAN

APPLICATION # 2115

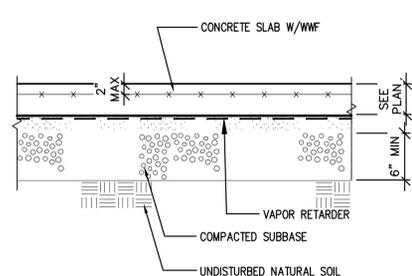
KOCTURK RESIDENCE
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Fairfield, CT 06824

STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
OWNER OCCUPIED REHABILITATION
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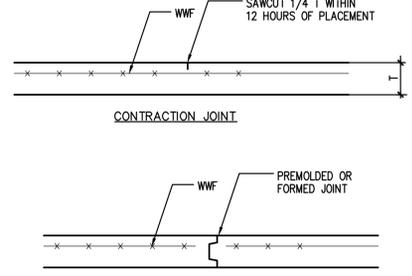
Date:
ISSUED FOR BID 08/21/2015

Job Number: 140107.24
Drawn By: CMM

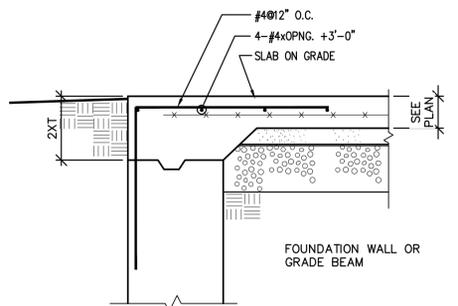
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S1



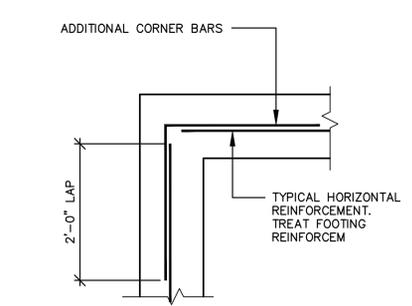
A TYPICAL SLAB ON GRADE
Scale: NTS



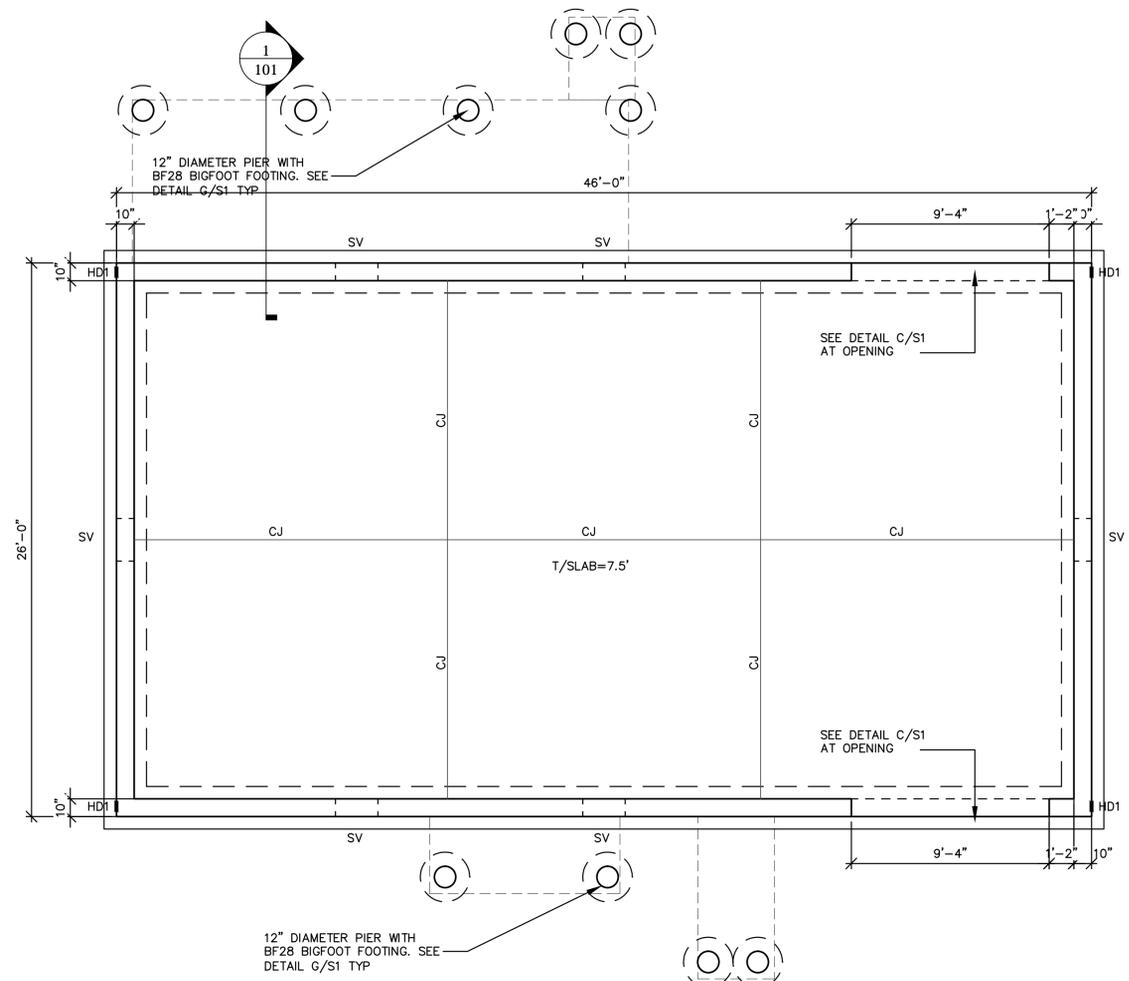
B TYPICAL SLAB ON GRADE JOINTS
Scale: NTS



C TYPICAL SLAB ON GRADE AT DOORS
Scale: NTS

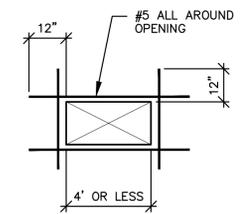


D TYPICAL CORNER BARS
Scale: NTS

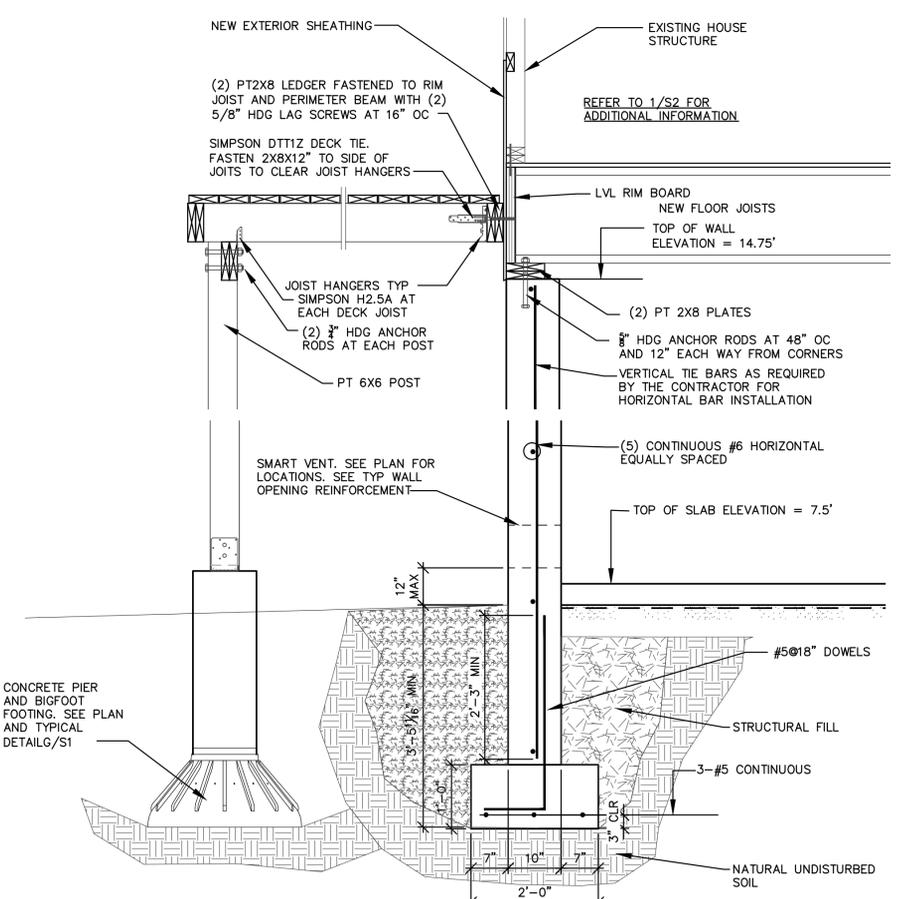


FOUNDATION PLAN
Scale: 1/4"=1'-0"

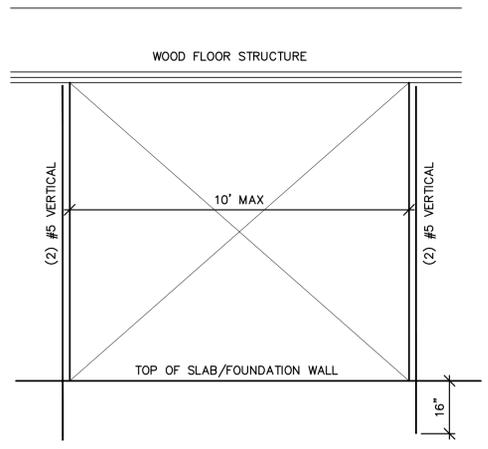
- FOUNDATION PLAN NOTES:
1. SLAB ON GRADE CONSTRUCTION: 4" MINIMUM THICK CONCRETE WITH 6X6-W2.9XW2.9 WWF ON 6 MIL VAPOR BARRIER ON 6" MINIMUM COMPACTED SAND/GRAVEL OVER NATURAL UNDISTURBED SOIL.
 2. TOP OF FOUNDATION WALL ELEVATION = 14.75'
 3. BOTTOM OF ALL FOOTINGS TO BE ELEVATION 3.0' OR 3'-6" BELOW FINISHED GRADE.
 4. T/SLAB = X.XX' DENOTES TOP OF SLAB ELEVATION.
 5. CJ DENOTES SLAB CONSTRUCTION JOINT OR CONTRACTION JOINT.
 6. SV DENOTES SMART VENT.
 7. HD1 DENOTES SIMPSON STHDRJ14 STRAP TIE HOLDOWN EMBEDDED INTO FOUNDATION WALL.



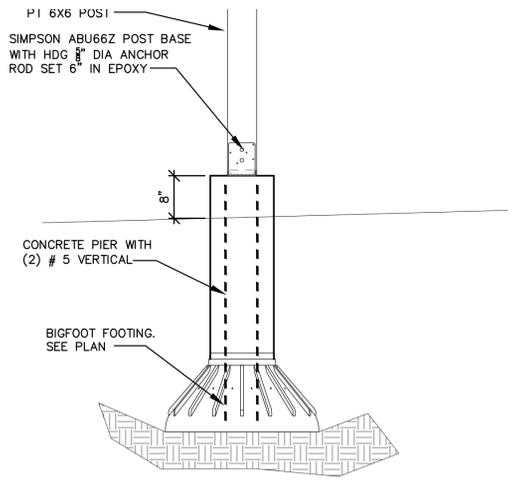
E TYPICAL REINFORCEMENT AT WALL OPENINGS
Scale: NTS



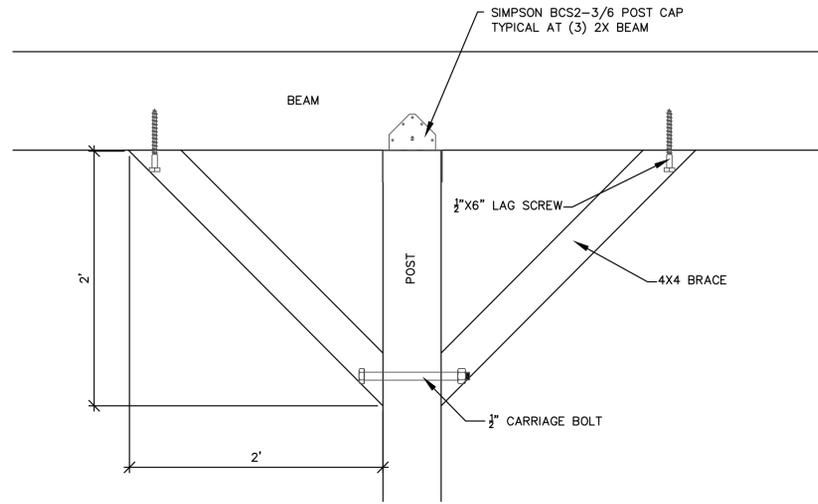
1 SECTION
Scale: 3/4"=1'-0"



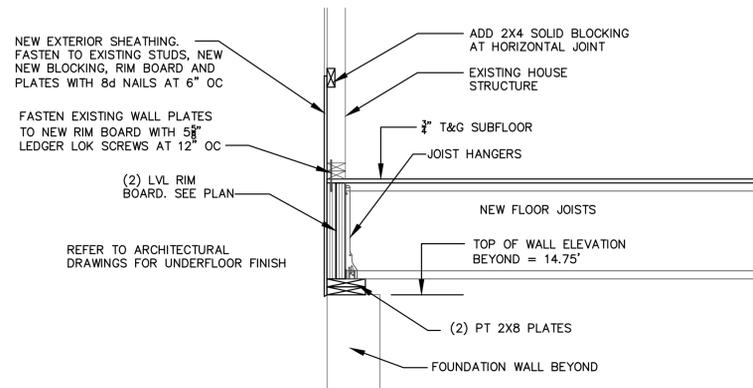
F TYPICAL REINFORCEMENT AT WALL OPENINGS
Scale: NTS



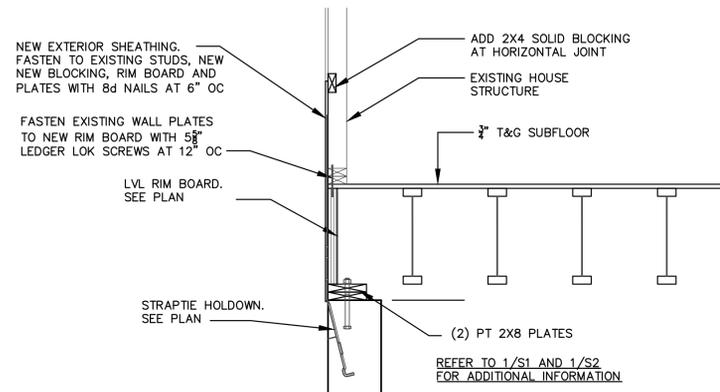
G TYP POST BASE AND PIER
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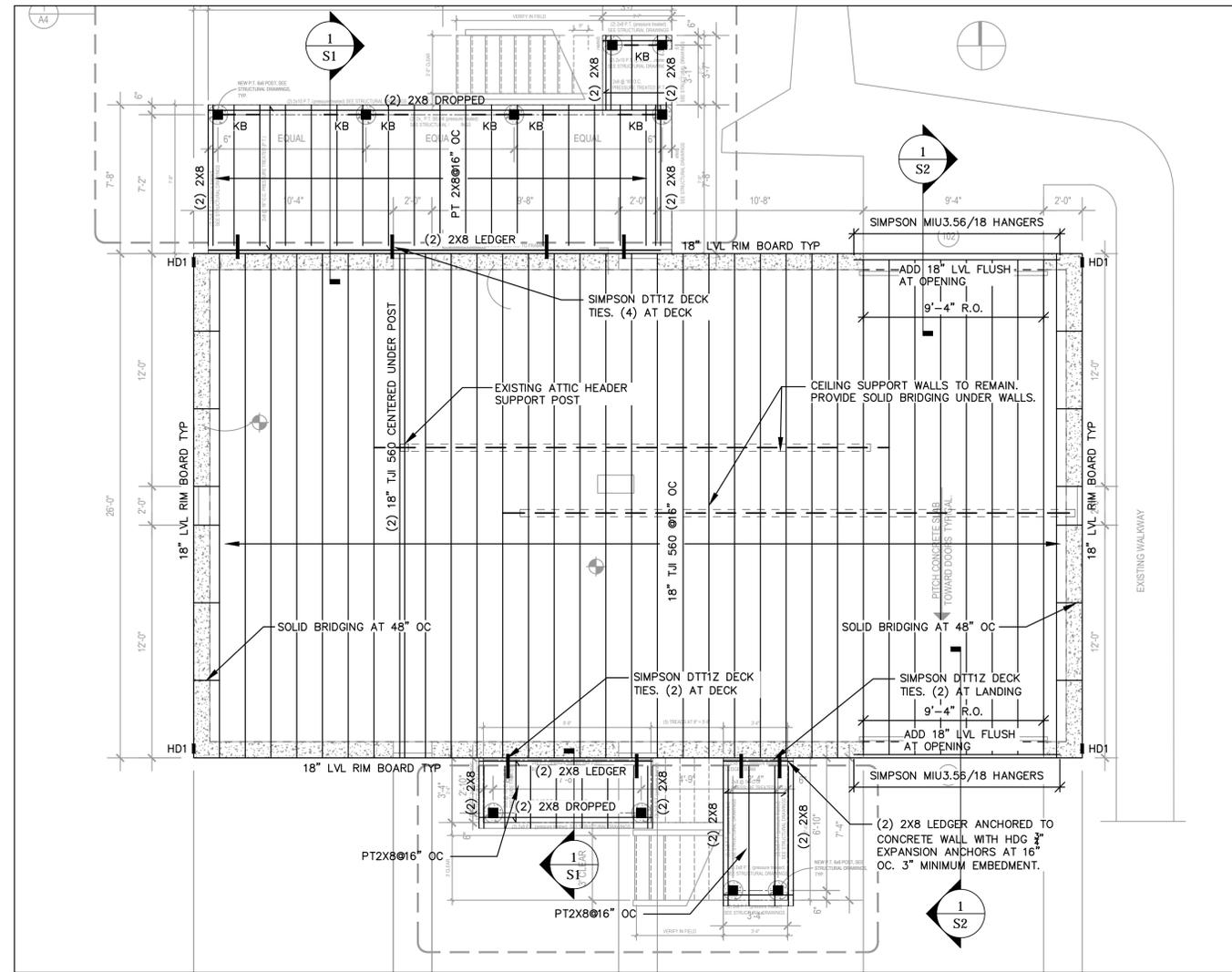
TYPICAL KNEE BRACE
Scale: 3/4"=1'-0"



1 SECTION
Scale: 3/4"=1'-0"



2 SECTION
Scale: 3/4"=1'-0"



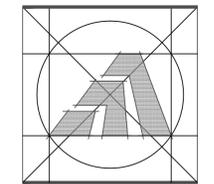
1ST FLOOR FRAMING PLAN
Scale: 1/4"=1'-0"

- FRAMING PLAN NOTES:**
- FLOOR CONSTRUCTION: 3/4" TONGUE AND GROOVED SHEATHING GLUED AND SCREWED TO I-JOISTS AND LSL RIM JOISTS.
 - ALL EXTERIOR DECKS AND STAIR FRAMING TO BE PRESERVATIVE TREATED.
 - FLOOR DESIGN CRITERIA IS: DEAD LOAD 15 PSF, LIVE LOAD 40 PSF, LIVE LOAD DEFLECTION = L/480
 - DECK DESIGN CRITERIA IS: DEAD LOAD 10 PSF, LIVE LOAD 40 PSF, LIVE LOAD DEFLECTION = L/360
 - HD1 DENOTES SIMPSON STH0R14 STRAP TIE EMBEDDED IN FOUNDATION WALL.
 - HDG DENOTES HOT DIPPED GALVANIZED.
 - KB DENOTES KNEE BRACE. SEE TYP DETAIL.

- DESIGN BASIS**
- ALL WORK SHALL CONFORM TO THE STATE BUILDING CODE, 2013 AMENDMENT TO THE 2005 CONNECTICUT SUPPLEMENT.
 - AMERICAN CONCRETE INSTITUTE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 318)
 - AMERICAN CONCRETE INSTITUTE "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" (ACI 301)
 - WOOD DESIGN IS BASED ON ALLOWABLE STRESS DESIGN.
 - THE EXISTING HOUSE STRUCTURE IS NOT BEING RETRO-FITTED TO COMPLY WITH THE CURRENT CODE REQUIREMENTS.
 - SOIL BORING DATED 5/8/15 BY COASTAL MATERIALS TESTING LAB, LLC INC. MAXIMUM ALLOWABLE SOIL BEARING = 3000 PSF
 - WIND LOADS: BASIC WIND SPEED 3 SECOND GUST 100 MPH EXPOSURE CATEGORY: C
 - THE FOUNDATION HAS BEEN DESIGNED TO COMPLY WITH THE FLOOD ZONE REGULATIONS WITH AN AE-11 DESIGNATION, BASE FLOOD ELEVATION 11.0' (NAVD 88). BOTTOM OF THE LOWEST HORIZONTAL MEMBER SHALL BE ELEVATION 14.75'
 - LIVE LOAD: NEW FIRST FLOOR AND NEW DECKS HAVE BEEN DESIGNED FOR A 40 PSF

- GENERAL NOTES**
- THE CONTRACTOR MUST VERIFY ALL EXISTING CONSTRUCTION DIMENSIONS AND ELEVATIONS PRIOR TO CONSTRUCTING THE FOUNDATION.
 - IF GROUNDWATER IS ENCOUNTERED IN THE EXCAVATION, PUMP AND DISCHARGE LEGALLY.
 - CONCRETE SHALL HAVE THE FOLLOWING 28 DAY COMPRESSIVE STRENGTH:
FOOTINGS: 3000 PSI
WALLS 4000 PSI
SLABS: 3500 PSI
CONCRETE REINFORCING SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
STEEL REINFORCING BARS: ASTM A615 GRADE 60
 - BOTTOMS OF ALL FOOTINGS SHALL BE A MINIMUM OF 3'-6" BELOW FINISHED GRADE. REFER TO FOUNDATION PLAN.
 - REMOVE ALL OF THE EXISTING FOUNDATION WALLS, FOOTINGS AND SLABS.
 - FOUNDATION SHALL BEAR ON NATURAL SOIL OR BEDROCK.
 - IN THE EVENT OF OVER EXCAVATION, FILL WITH LEAN CONCRETE OR 1/2" CRUSHED STONE PRIOR TO FORMING AND PLACING FOOTINGS.
 - ANY NEW WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESERVATIVE TREATED. ANY EXISTING WOOD IN DIRECT CONTACT WITH CONCRETE SHALL BE ISOLATED FROM THE CONCRETE BY PRESERVATIVE TREATED WOOD.
 - ALL FASTENERS (SIZE AND NUMBER) FOR METAL CONNECTORS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S LITERATURE.
 - ALL METAL CONNECTORS SHALL BE HOT DIPPED GALVANIZED TO THE MANUFACTURER'S MAXIMUM TREATMENT
 - STRUCTURAL FILL SHALL BE PLACED IN 12" LIFTS AND COMPACTED TO 95% OF THE MODIFIED PROCTOR (ASTM D1557). FILL SHALL MEET THE FOLLOWING GRADATION:

SIEVE SIZE	PERCENT PASSING
3.5	100%
3/4"	50 TO 100%
#4	25 TO 80%
#200	LESS THAN 15% OF #4
 - INSTEAD OF THE NOTE 11 ABOVE, STRUCTURAL FILL MAY BE 3/4" CRUSHED STONE.
 - ENGINEERED LUMBER IS BASED ON MICROLAM LVLs AND I-JOISTS BY ILEVEL.
 - STEEL PLATES, ANGLES, ETC TO BE ASTM A36
 - ANCHOR RODS TO BE ASTM A1015.



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Sheet Title:
1ST FLOOR FRAMING

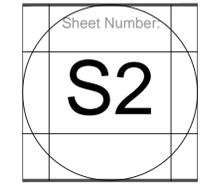
APPLICATION # 2115

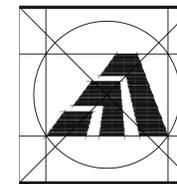
KOCTURK RESIDENCE
37 JARVIS COURT
Fairfield, CT 06824

STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
OWNER OCCUPIED REHABILITATION
AND REBUILDING PROGRAM (OORR)

Date:
ISSUED FOR BID 08/21/2015

Job Number: 140107.24
Drawn By: CMM





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Comm No. 01MH4.24

Sheet Title:

PLUMBING PLANS

APPLICATION # 2243

KOCTURK RESIDENCE
37 JARVIS COURT
Fairfield, CT 06824

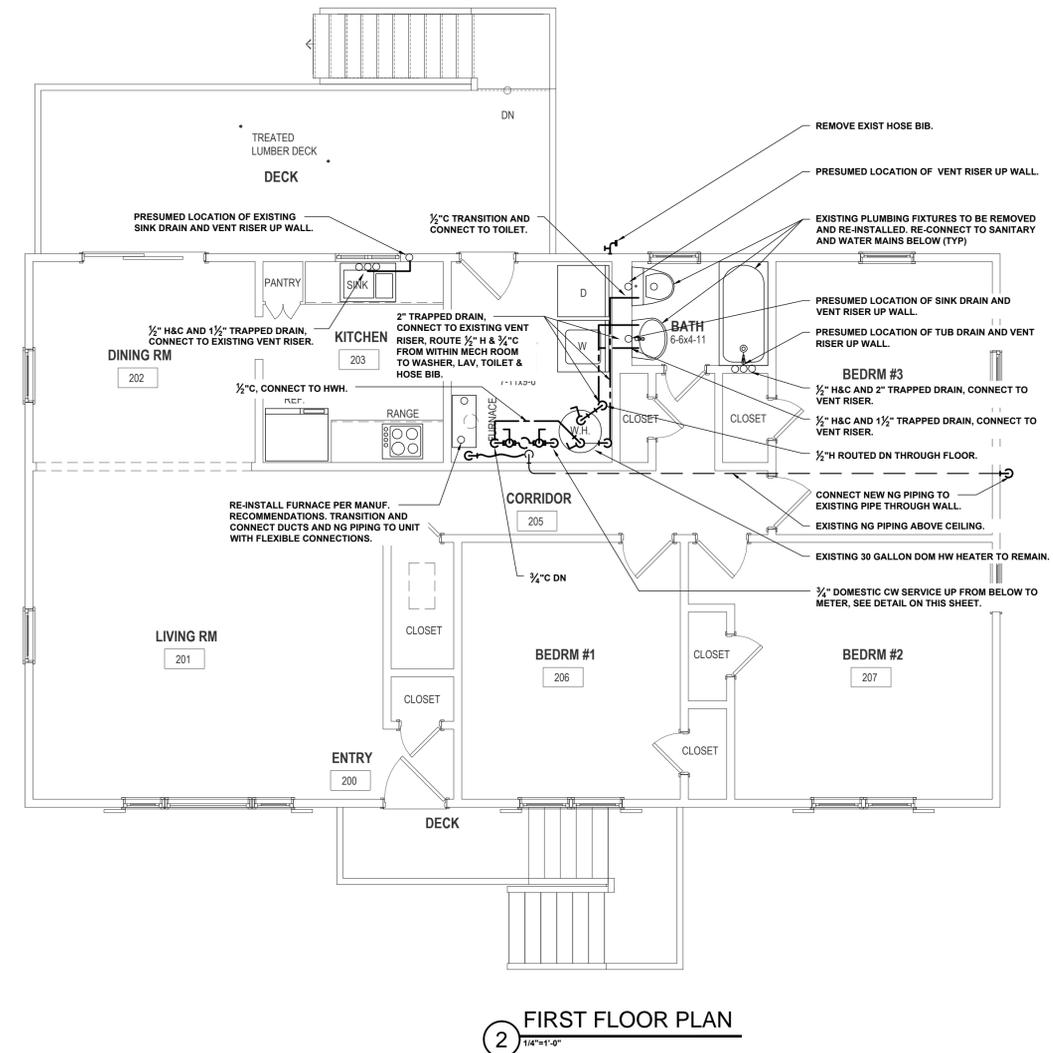
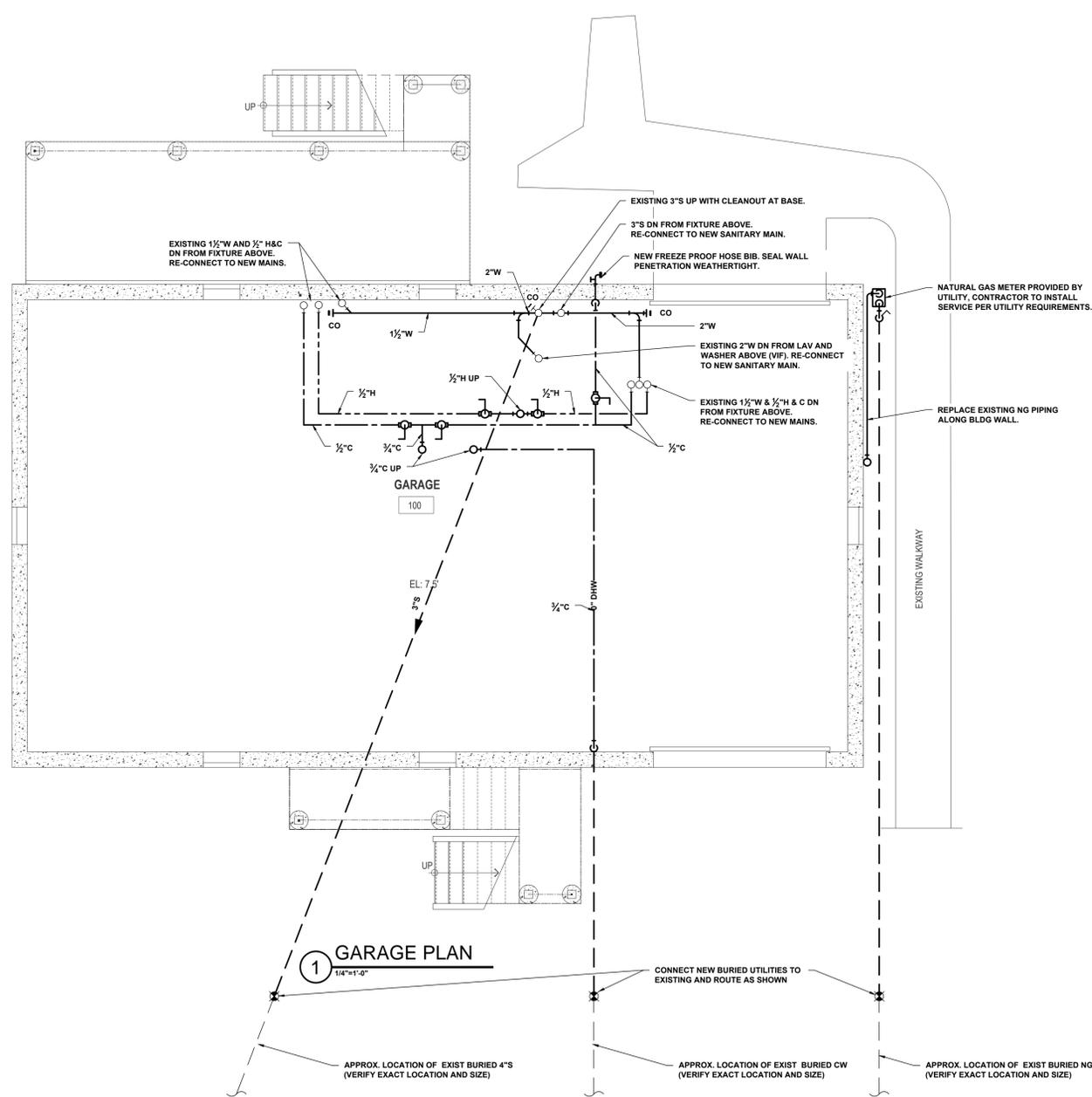
STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
(CDBG-DR)

Date:
BID DOCS 8/21/15

Job Number:
Drawn By: JTF
Approved By: -

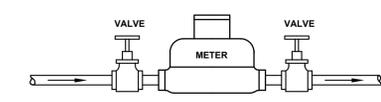
Sheet Number:

P-1



PLUMBING SYMBOL LEGEND					
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	WASTE, SOIL AND STORM		BUTTERFLY VALVE		UNION
	BURIED PIPE		CHECK VALVE		CIRCULATING PUMP
	COLD		PRESSURE REDUCING VALVE		FLOOR DRAIN
	HOT		BACKFLOW PREVENTER		ROOF DRAIN
	RECIRCULATION		PLUG VALVE		CLEAN OUT
	VENT		CONTROL VALVE		THERMOMETER
	BALL VALVE		HOSE BIBB		PIPE ELBOW UP
	GATE VALVE		PRESSURE RELIEF VALVE		PIPE ELBOW DN
	OS&Y GATE VALVE		STRAINER		CAP

NOTE: ABOVE LEGEND IS GENERAL IN NATURE. NOT ALL SYMBOLS ARE ASSOCIATED WITH THIS PROJECT.

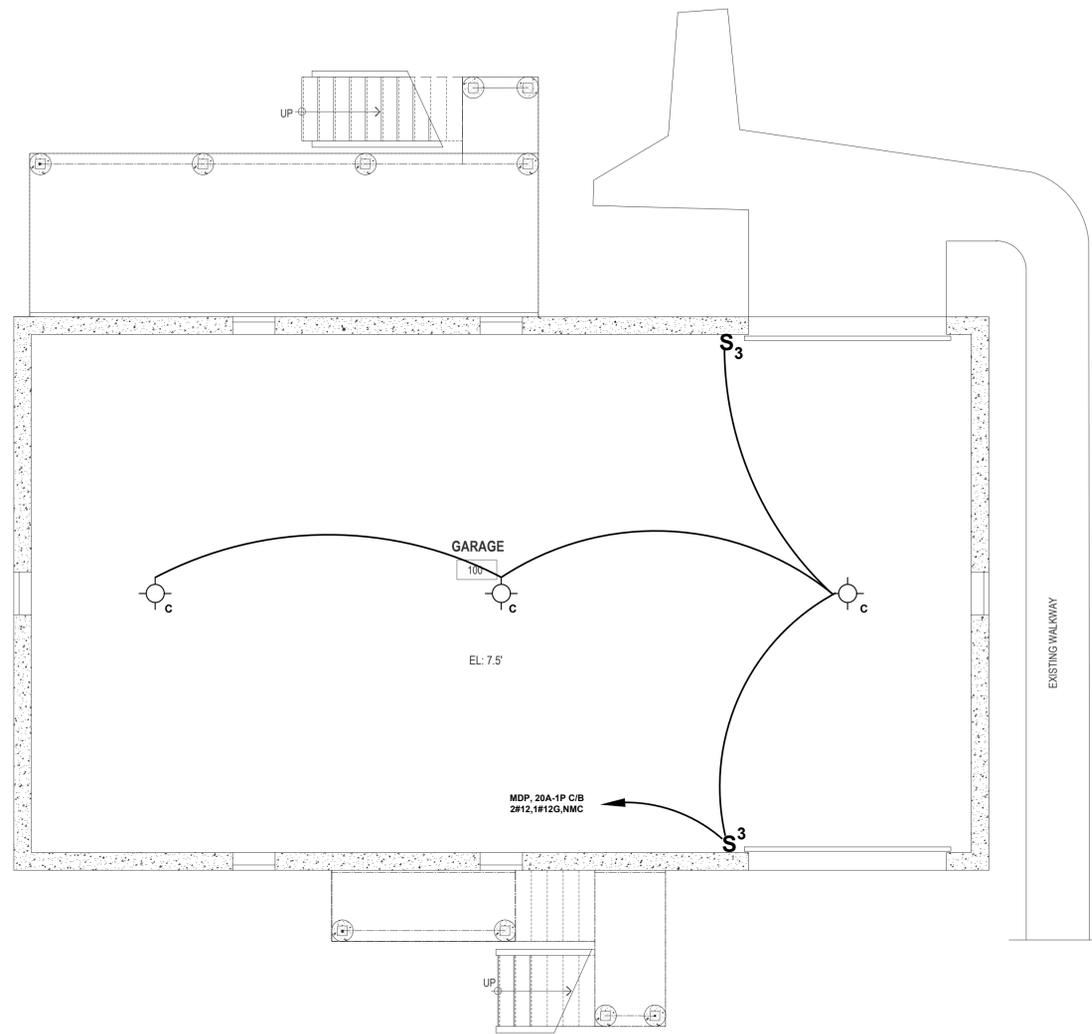


3 TYPICAL WATER METER PIPING DETAIL
NTS

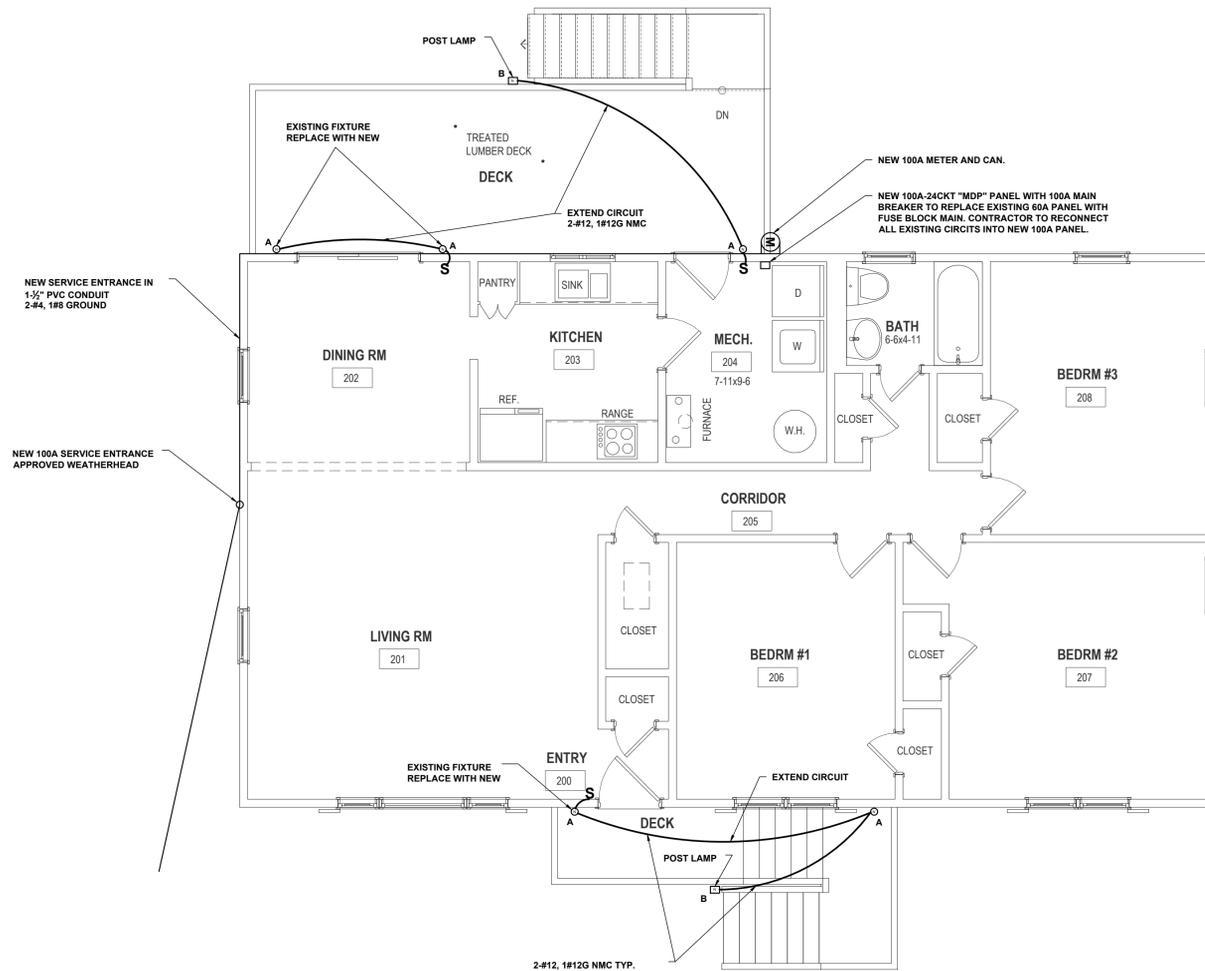
ALL PIPING AND FITTINGS BY CONTRACTOR.
METER SUPPLIED BY UTILITY.

- NOTE:
- INFORMATION SHOWN IS BASED UPON CASUAL FIELD OBSERVATIONS. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE START OF WORK.
 - PIPE ROUTING SHOWN IS SCHEMATIC IN NATURE, ACTUAL ROUTING SHALL BE COORDINATED WITH EXISTING UTILITIES AND OTHER TRADES PRIOR TO THE START OF WORK.
 - REMOVE ALL H, C & DRAIN PIPING SERVING BLDG AND RE-PIPE AS SHOWN.
 - DOMESTIC COLD WATER, SANITARY AND NATURAL GAS SERVICES TO BE ELEVATED ABOVE FLOOD LEVEL AND INSTALLED PER UTILITY REQUIREMENTS. A BACKFLOW VALVE SHALL BE INSTALLED IN THE SANITARY MAIN.
 - INSTALL ALL EQUIPMENT PER MANUFACTURERS RECOMMENDATIONS.
 - ROUTE ALL PIPING UP OUT OF THE FLOOD PLAIN.
 - ALL WATER PIPING TO BE HEAT TRACED, REFER TO ELEC DWGS.

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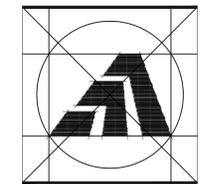


1 GARAGE PLAN
1/4"=1'-0"



2 FIRST FLOOR PLAN
1/4"=1'-0"

LUMINAIRE SCHEDULE					
SYMBOL	LABEL	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LAMP
○	A	QUORUM INTERNATIONAL	7360-45	(1) LED 17W 2700K MEDIUM BASE LAMP	1 (m) 17w
□	B	QUORUM INTERNATIONAL	7364-45	(1) LED 17W 2700K MEDIUM BASE LAMP	1 (m) 17w
⊙	C	QUORUM INTERNATIONAL	3009-3-65	SATIN NICKEL MODERN SINGLE FLUSH MOUNT CEILING FIXTURE, GLASS COVER, DAMP LOCATION RATED	1 60w



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Sheet Title:

ELECTRICAL PLANS

APPLICATION # 2243

KOCTURK RESIDENCE
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Fairfield, CT 06824

STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
(CDBG-DR)

Date:
BID DOCS 8/21/15

Job Number:
Drawn By: **EMG/JTF**
Approved By: **JKH**

Sheet Number:

E-1



DIVISION 15000 - MECHANICAL

PART 1 - GENERAL

- 1.1 PIPE HANGERS AND SUPPORTS SHALL MEET THE REQUIREMENTS OF MSS SP-89 AND SP-89 DEVELOPED BY THE MANUFACTURERS STANDARDIZATION SOCIETY OF THE VALVES AND FITTINGS INDUSTRY INC.
- 1.2 SEISMIC SUPPORTS AND RESTRAINTS FOR EQUIPMENT, DUCTWORK AND PIPING SHALL MEET THE BUILDING CODE REQUIREMENTS AND SMACNA SEISMIC RESTRAINT MANUAL GUIDELINES.
- 1.3 GENERAL PIPING REQUIREMENTS:
 - A. ALL PIPING SHALL BE RUN PARALLEL TO THE LINE OF THE BUILDING.
 - B. PITCH OF LINES SHALL BE UNIFORM AND TRUE WITH NO SAGS, POCKETS OR TRAPS. ECCENTRIC FITTINGS SHALL BE USED WHERE NECESSARY TO PROVIDE COMPLETE DRAINAGE.
 - C. PROVIDE ISOLATION VALVES AT ALL CONNECTIONS TO FIXTURES AND ALL BRANCH TAKE-OFFS.
 - D. PROVIDE MANUAL VENT VALVES AT ALL HIGH POINTS AND DRAIN VALVES AT ALL LOW POINTS.
 - E. SCREWED PIPE JOINTS SHALL BE MADE WITH TEFLON PIPE THREAD TAPE OR APPROVED PIPE JOINT COMPOUND.
- 1.4 GENERAL DUCTWORK REQUIREMENTS:
 - A. ALL DUCTWORK SHALL BE INSTALLED STRAIGHT AND PARALLEL TO LINE OF BUILDING AND SHALL BE SUBSTANTIALLY SUPPORTED AS REQUIRED BY SMACNA MANUALS.
 - B. INSTALL FLEXIBLE DUCT CONNECTIONS AT INLET AND DISCHARGE DUCT CONNECTIONS TO FANS.

1.5 TESTING:

- A. ALL PIPING SYSTEMS INSTALLED UNDER THIS CONTRACT SHALL BE PRESSURE TESTED WITH CLEAN WATER, UNLESS NOTED OTHERWISE, TO INSURE TIGHTNESS.
 - 1. HOT AND COLD WATER SUPPLY PIPING SHALL BE TESTED TO 150 PSIG.
 - 2. DRAINAGE AND VENT PIPING SHALL BE TESTED TO 10 FOOT HEAD OF WATER.
 - 3. GAS PIPING SHALL BE TESTED IN ACCORDANCE WITH NFPA 54. TEST PRESSURE SHALL BE 3 PSIG. TEST MEDIUM SHALL BE AIR, NITROGEN OR CARBON DIOXIDE.
- B. CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL PLUGS, PIPING, VALVES, HOSES, AND PUMPS NECESSARY FOR THE REQUIRED TESTS AND FOR PROPER DISPOSAL OF THE TEST MEDIUM UPON COMPLETION OF THE TESTS.
- 1.6 CLEANING OF THE PIPING SYSTEMS:
 - A. UPON COMPLETION OF ALL WORK AND SATISFACTORY TESTING, ALL PIPING SYSTEMS (EXCEPT GAS PIPING) SHALL BE FLUSHED WITH WATER TO REMOVE DIRT, GRIT, CHIPS AND FOREIGN MATTER. GAS PIPING SHALL BE PURGED OF AIR IN ACCORDANCE WITH NFPA 54.
 - B. WATER FOR FLUSHING SHALL BE USED IN SUFFICIENT QUANTITY TO PRODUCE A VELOCITY OF AT LEAST 2.5 FEET PER SECOND. FLUSHING SHALL CONTINUE UNTIL DISCHARGE WATER SHOWS NO DISCOLORATION OR EVIDENCE OF FOREIGN MATERIALS.
 - C. DURING FLUSHING OPERATION, ALL VALVES SHALL BE OPERATED SEVERAL TIMES, BYPASSES OPENED AND EQUIPMENT FLUSHED.
 - D. UPON COMPLETION OF FLUSHING OPERATIONS, ALL STRAINERS, FILTERS AND BLOWDOVNS SHALL BE REMOVED AND CLEANED OF ACCUMULATED WASTE.
 - E. CARE SHOULD BE TAKEN TO INSURE THE COMPLETE REMOVAL OF ALL WATER FROM THE LINE OR SYSTEM AFTER TESTING. IF THERE IS ANY DANGER OF CONTAMINATION OR FREEZING, BLOW OUT THE FLUID WITH DRY, OIL-FREE AIR.
- 1.7 CLEANING AND STERILIZATION OF POTABLE WATER SYSTEM: PURGE OF DELETERIOUS MATTER AND DISINFECT PRIOR TO USE. THE METHOD TO BE FOLLOWED SHALL BE THAT PRESCRIBED BY THE HEALTH AUTHORITY HAVING JURISDICTION, OR, IN THE ABSENCE OF A PRESCRIBED METHOD, THE PROCEDURE DESCRIBED IN EITHER AWWA C652 OR AWWA C6196.
- 1.8 PIPE INSULATION SHALL BE RIGID, HEAVY DENSITY, PREFORMED GLASS FIBER, WITH ALL SERVICE JACKET. JACKET SHALL HAVE PRESSURE SENSITIVE TAPE CLOSURE. BUTT JOINTS SHALL HAVE 3" WIDE TAPE OF SAME MATERIAL. VALVES AND FITTINGS SHALL BE INSULATED WITH ZESTON, OR APPROVED EQUAL, INSULATED PVC, ONE PIECE, SNAP-TYPE COVERS AND ZESTON 1 1/2" Z-TAPE, 10 MIL EXTERIOR INSULATED PIPES SHALL HAVE ALUMINUM JACKET. INSULATION THICKNESS AS FOLLOWS:

SYSTEM	INSULATION THICKNESS
A. DOMESTIC COLD WATER EXTERIOR TO BLDG ENVELOPE	2"
B. DOMESTIC COLD WATER	1-1/2"
C. DOMESTIC HOT WATER AND TEMPERED HW	1-1/2"
- 1.10 PIPE IDENTIFICATION:
 - A. ALL PIPING SHALL BE IDENTIFIED WITH NAME AND FLOW DIRECTION ARROWS. MARKERS SHALL BE PLACED EVERY 40 LINEAL FEET ON STRAIGHT RUNS, AT CHANGES IN DIRECTION, AND AT WALL PENETRATIONS (BOTH SIDES).
 - B. PIPE MARKERS SHALL BE EQUAL TO SETMARK, AS MANUFACTURED BY SETON NAMEPLATE CO.
 - 1. TEXT AND BACKGROUND COLORS SHALL FOLLOW ANSI A13.1.

PART 2 - PLUMBING

- 2.1 WATER PIPING: SHALL BE TYPE L HARD DRAWN COPPER TUBING CONFORMING TO ASTM B88, WITH ASME B16.22 WROUGHT COPPER FITTINGS, ASTM B32 SOLDER GRADE 957A JOINTS, PEX PIPING WITH ASSOCIATED FITTINGS ALLOWED FOR INDIVIDUAL RUNOUTS FROM HEADER.
- 2.2 BURIED DRAINAGE PIPING: SANITARY AND VENT PIPING SHALL BE CENTRIFUGALLY SPUN, BELL AND SPIGOT, SERVICE WEIGHT, CAST IRON PIPE, TAR COATED CONFORMING TO ASTM A74. FITTINGS SHALL BE MADE OF SAME MATERIAL AS PIPE AND SHALL BE COMPATIBLE WITH IT. JOINTS SHALL BE MADE USING NEOPRENE RUBBER GASKET FOR PUSH-ON JOINTING.
- 2.3 ABOVE GROUND DRAINAGE PIPING: SANITARY AND VENT PIPING SHALL BE CENTRIFUGALLY SPUN, BELL AND SPIGOT, SERVICE WEIGHT "NO HUB" CAST IRON PIPE, TAR COATED, CONFORMING TO ASTM A74. FITTINGS SHALL BE MADE OF SAME MATERIAL AS PIPE AND SHALL BE COMPATIBLE WITH IT. JOINTS SHALL BE MADE USING NEOPRENE SEALING SLEEVE AND A 4-BAND STAINLESS STEEL SHIELD WITH TIGHTENING DEVICE.
- 2.4 NATURAL GAS PIPING: NATURAL GAS PIPING SHALL BE SCHEDULE 40 BLACK STEEL CONFORMING TO ASTM A53. FITTINGS SHALL BE 150 LB MALLEABLE IRON SCREWED CONFORMING TO ASTM B16.3. JOINTS SHALL BE THREADED OR WELDED IN ACCORDANCE WITH ANSI B31.2 AND NFPA 54.
- 2.5 VALVES SHALL BE AS FOLLOWS:
 - A. BALL VALVES: 2" AND SMALLER - JAMESBURY CLINCHER SERIES 2000.
 - B. PLUG VALVES: 2" AND SMALLER - DEZURIK SERIES 100.

PART 4 - EXECUTION

- 4.1 CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE START OF WORK INCLUDING SIZES OF PIPING TO BE RE-USED. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DIFFERENCES FROM THE DESIGN DOCUMENTS ARE NOTED.
- 4.2 CONTRACTOR SHALL COORDINATE WITH ALL TRADES PRIOR TO THE START OF WORK.
- 4.3 ALL EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- 4.4 CONTRACTOR SHALL INSTRUCT HOMEOWNER ON THE PROPER OPERATION AND MAINTENANCE OF ALL EQUIPMENT AT THE COMPLETION OF CONSTRUCTION AT A TIME CONVENIENT TO THE OWNER.
- 4.5 CONTRACTOR SHALL PROVIDE TWO COPIES OF PROJECT O&M MANUALS TO THE OWNER AT COMPLETION OF PROJECT.

DIVISION 1600 - ELECTRICAL

WORK INCLUDED - THE WORK TO BE PROVIDED UNDER THIS DIVISION INCLUDES:

- A. FEEDERS AND PANELS.
- B. POWER WIRING FOR MECHANICAL AND PLUMBING EQUIPMENT.

SCOPE - THIS WORK SHALL CONSIST OF THE FURNISHING OF ALL LABOR, MATERIALS AND SERVICES REQUIRED COMPLETE, READY FOR CORRECTION OPERATION, ALL ELECTRICAL WORK CALLED FOR BY THE ACCOMPANYING DRAWINGS AND SPECIFICATIONS. ALL ELECTRICAL SHALL BE DONE IN ACCORDANCE WITH THE 2011 NATIONAL ELECTRICAL CODE, STATE AND LOCAL CODES.

PERMITS, FEES AND INSPECTIONS - THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES, OBTAIN ALL PERMITS, PAY ALL GOVERNMENTAL AND STATE SALES TAXES AND FEES APPLICABLE. THE CONTRACTOR SHALL FILE ALL DRAWINGS, AND OBTAIN ALL NECESSARY APPROVAL FROM PROPER AUTHORITY OR AGENCY HAVING JURISDICTION, OBTAIN ALL REQUIRED CERTIFICATES OF INSPECTION COVERING HIS WORK. THE CONTRACTOR SHALL SEE THAT ALL REQUIRED INSPECTIONS AND TESTS ARE MADE AND SHALL COOPERATE TO MAKE THESE TESTS AS THOROUGH AND AS READILY MADE AS POSSIBLE.

COORDINATION - ALL WORK SHALL BE CARRIED OUT IN CONJUNCTION WITH OTHER TRADES AND FULL COOPERATION SHALL BE GIVEN IN ORDER THAT ALL WORK MAY PROCEED WITH A MINIMUM OF DELAY AND INTERFERENCE.

GUARANTEES - ALL WORKMANSHIP AND MATERIALS SHALL BE FULLY GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL COMPLETION OF THE ENTIRE INSTALLATION COVERED BY THIS CONTRACT. SHOULD ANY DEFECTS OCCUR DURING THIS GUARANTEE PERIOD, THE CONTRACTOR SHALL REPAIR AND/OR REPLACE ALL DEFECTIVE EQUIPMENT, MATERIALS AND/OR WORK WITHOUT COST TO THE OWNER.

TEMPORARY LIGHT AND POWER - FURNISH AND INSTALL TEMPORARY ELECTRICAL POWER AND LIGHTING FOR USE BY ALL CONTRACTORS DURING THE COURSE OF CONSTRUCTION. ALL TEMPORARY WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE ARTICLES IN THE NATIONAL ELECTRICAL CODE, O.S.H.A. AND WITH ALL REQUIREMENTS OF ANY AUTHORITIES HAVING JURISDICTION OVER WORK.

MATERIALS AND WORKMANSHIP - ALL MATERIALS AND APPARATUS REQUIRED FOR THE WORK EXCEPT AS OTHERWISE SPECIFIED, SHALL BE NEW AND OF FIRST-CLASS QUALITY AND SHALL BE FURNISHED, DELIVERED, ERECTED, CONNECTED AND FINISHED IN EVERY DETAIL AND SO SELECTED AND ARRANGED AS TO FIT PROPERLY INTO THE BUILDING SPACES. WHERE NO SPECIFIC KIND OR QUALITY OF MATERIAL IS GIVEN, A FIRST-CLASS STANDARD ARTICLE AS ACCEPTED BY THE ARCHITECT SHALL BE FURNISHED. ALL EQUIPMENT AND MATERIALS SHALL BE SPECIFICATION GRADE AND BEAR THE UNDERWRITER'S LABEL. ALL WORK SHALL BE OF A QUALITY CONSISTENT WITH GOOD TRADE PRACTICE AND SHALL BE INSTALLED IN A NEAT, WORKMANLIKE MANNER. THE ARCHITECT RESERVES THE RIGHT TO REJECT ANY WORK WHICH, IN HER OPINION, HAS BEEN INSTALLED IN A SUB-STANDARD, DANGEROUS OR UNSERVICEABLE MANNER. THE CONTRACTOR SHALL REPLACE SAID WORK IN A SATISFACTORY MANNER AT NO EXTRA CHARGE TO THE OWNER.

PENETRATION SEALANT - ALL PENETRATIONS SHALL BE SEALED WITH 3M INTUMESCENT FIRE BARRIER PENETRATION SEALANT, APPLIED PER MANUFACTURER'S AND U.L. GUIDELINES.

MATERIALS:

GENERAL - ALL MATERIALS AND EQUIPMENT PROVIDED UNDER THIS SECTION SHALL BE NEW, FIRST GRADE, BEST OF THEIR SECTION AND SHALL MEET THE REQUIREMENTS OF ALL STANDARDS SET UP TO GOVERN THE MANUFACTURE OF ELECTRICAL MATERIALS AND COMPLY WITH ALL APPLICABLE CODES AND STANDARDS. ALL EQUIPMENT AND MATERIALS SHALL BE SPECIFICATION GRADE AND BEAR UNDERWRITER'S (U.L.) LABEL.

POWER - FROM UTILITY AT 240/120V, 1 PHASE, 3 WIRE IS AVAILABLE FROM EXISTING UTILITY METER AND METER CAN AS SHOWN ON THE DRAWINGS

WIRE - CONDUCTORS SHALL BE U.L. LISTED, 600 VOLTS, 90 DEG. C, SINGLE CONDUCTOR TYPE THWN/THHN, 98% CONDUCTIVITY ANNEALED UNCOATED COPPER WITH PVC INSULATION COVERED WITH NYLON SHEATH JACKET. TESTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE UNDERWRITER'S LABORATORIES STANDARD 83. WIRE SHALL BE IDENTIFIED BY SURFACE MARKING, INDICATING MANUFACTURER'S IDENTIFICATION, CONDUCTOR SIZE AND METAL, VOLTAGE RATING, U.L. SYMBOL AND TYPE DESIGNATION. CONDUCTORS SHALL BE STRANDED. MINIMUM SIZE SHALL BE #12AWG UNLESS OTHERWISE INDICATED. MANUFACTURED BY ESSEX, ROME CABLE, TRIANGLE CABLE OR GENERAL CABLE.

NON METALLIC SHEATHED CABLE - TYPE - NM-B CABLE SHALL BE OF MAXIMUM OPERATING VOLTAGE: 600 VOLTS; MAXIMUM CONDUCTOR OPERATION, TEMPERATURE: 90° C DRY (CONDUCTOR AMPACITY IS LIMITED TO 80° C, IN ACCORDANCE WITH NEC).

ARMORED CABLE (AC) - ARMORED CABLE SHALL BE OF GALVANIZED STEEL INTERLOCKING ARMOR CONSTRUCTION, COLOR CODED THERMOPLASTIC INSULATED COPPER CONDUCTORS, 90 DEG. C, 600 VOLTS. CONDUCTOR SIZES SHALL BE AS INDICATED ON THE DRAWINGS. IF NOT INDICATED, THE SIZES OF POWER AND LIGHTING CONDUCTORS SHALL NOT BE LESS THAN SIZE #12AWG. MANUFACTURED BY AMERICAN FLEXIBLE CONDUIT, TRIANGLE OR SOUTHWIRE. CONNECTORS SHALL BE SQUEEZE TYPE, DIE CAST ZINC, OR MALLEABLE IRON - CADMIUM PLATED, MANUFACTURED BY O-Z GEDNEY, APPLETON OR THOMAS-BETTS.

FITTINGS - CONDUIT STRAPS SHALL BE SNAP-TYPE, DOUBLE RIBBED STEEL - ZINC PLATED. METAL CLAD CABLE AND FLEXIBLE METALLIC CONDUIT CONNECTORS SHALL BE MALLEABLE IRON-ZINC PLATED, MALE HUB THREADS WITH LOCKNUT.

BOXES - RECESSED OUTLET BOXES SHALL BE DRAWN STEEL, GALVANIZED WITH A MINIMUM DEPTH OF 1-1/2 INCHES. MINIMUM SIZE SHALL BE 4 INCH X 4 INCH SQUARE. PROVIDE AND INSTALL PLASTER RINGS AS REQUIRED. OUTLET BOXES FOR SURFACE MOUNTED SWITCHES AND RECEPTACLES SHALL BE TYPE FD, CAST FERROALLOY WITH THREADED HUBS. PROVIDE GASKETED COVER AS REQUIRED.

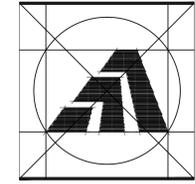
SWITCHES - SPECIFICATION GRADE, 120-277VAC 20 AMP, SINGLE POLE. COLOR SHALL BE (IVORY) (GRAY) (WHITE) (BROWN) (RED). RECEPTACLE AND SWITCH COVER PLATES SHALL BE (SMOOTH THERMOPLASTIC) (STAINLESS STEEL 302) (IVORY) (RED) (LABELED EMERGENCY) (WHERE INDICATED).

PANELBOARDS - PANELBOARDS: NEMA PB 1, CIRCUIT BREAKER TYPE, USE EXISTING PANEL AND EXISTING CIRCUIT BREAKER NOTED IN PANEL FOR BOILER CIRCUIT.

IDENTIFICATION - PROVIDE AND INSTALL MARKERS FOR ALL CONDUITS. MARKERS SHALL BE "BRADY" TYPE, ADHESIVE-BACKED, PLASTIC-FACED OF SUITABLE COLOR. MARKER SHALL IDENTIFY SYSTEM AND ELECTRICAL CHARACTERISTICS. INSTALL MARKERS AT POINT OF ORIGIN, TERMINATION, ADJACENT TO EACH INTERMEDIATE SPLICE, AND ALL BOXES IN RUN. IDENTIFY ALL CONDUCTORS AT ORIGIN, TERMINATION AND AT INTERMEDIATE BOXES BY MEANS OF "BRADY" TYPE, PRESSURE SENSITIVE, PLASTIC COATED FACE. STICK-ON LABELS EXCEPT FEEDERS SHALL HAVE PHENOLIC TAGS ENGRAVED WITH CIRCUIT DESIGNATIONS AND ATTACHED WITH PLASTIC TIE-WRAPS.

TESTING - UPON COMPLETION OF HIS WORK, CONTRACTOR SHALL CONDUCT (WITH OTHER RELATED CONTRACTORS) OPERATING TESTS OF ALL ELECTRICALLY OPERATED OR CONTROLLED EQUIPMENT FOR APPROVAL AT SUCH TIME AS THE OWNER MAY DIRECT. EQUIPMENT SHALL OPERATE IN ACCORDANCE WITH THE REQUIREMENTS OF DRAWINGS AND SPECIFICATIONS. TESTS SHALL BE PERFORMED IN THE PRESENCE OF OWNER. THE CONTRACTOR SHALL PROVIDE LABOR, MATERIALS, AND INSTRUMENTS REQUIRED FOR ELECTRICAL PORTION OF TESTS. DEFECTIVE MATERIALS AND WORKMANSHIP DISCLOSED BY TEST SHALL BE CORRECTED AT CONTRACTOR'S EXPENSE.

PROTECTIVE PAINTING - TOUCH-UP FACTORY PAINTED EQUIPMENT THAT HAS BEEN DAMAGED DURING HANDLING OR INSTALLATION. FEATHER DAMAGED AREA AND APPLY PRIMER PLUS TWO FRESH COATS TO MATCH EXISTING FINISH.



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MEP SPECIFICATIONS

APPLICATION # 2243

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