

THE STATE OF CONNECTICUT
DEPARTMENT OF HOUSING (DOH)
COMMUNITY DEVELOPMENT BLOCK GRANT DISASTER RECOVERY PROGRAM (CDBG-DR)

OWNER OCCUPIED REHABILITATION AND REBUILDING PROGRAM (OORR)

**NEW FOUNDATIONS
RAISING EXISTING RESIDENCE
BRIAN R. HEALY RESIDENCE
15 SIBLEY LANE
EAST HAVEN, CONNECTICUT 06512**

ADDENDUM NO. 2088-2

Date: July 20, 2015

Application No. 2088
LAA Project No. 1524-44

This Addendum forms part of the Contract Documents and amends the original Bidding Documents dated June 29, 2015, only in the following particulars. Original provisions of the Contract Documents shall remain in effect except as specifically amended by this Addendum.

Bidders shall consider amendments and the resulting cost differences shall be included in all bids.

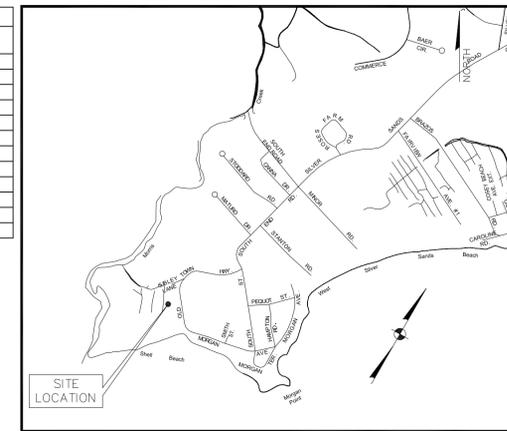
Acknowledge receipt of this Addendum in the space provided on the Bid Proposal Form. Failure to do so may subject the bidder to disqualification.

A. DRAWINGS

1. Dwg. G-002 revised to show existing trees, included in this Addendum.
2. Dwg. G-002- Add note near existing 36" Catalpa tree: **Contractor shall have tree pruned by a professional arborist. Coordinate with required clearances for house raising.**
3. Dwg. G-002- Add note near east side of house: **Existing hot tub to be removed by Owner.**

END OF ADDENDUM 2088-2

Attachments: Drawing G-002 dated 7.20.15



LOCATION MAP

NOT TO SCALE

NOTES

THIS SITE PLAN IS BASED ON A SURVEY PREPARED BY FREEMAN COMPANIES, LLC, IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THRU 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

THE TYPE OF SURVEY IS A BOUNDARY AND TOPOGRAPHIC SURVEY. IT IS DEPENDENT IN NATURE AND BASED UPON MAP REFERENCE NUMBER ONE.

THE SURVEY ACCURACY CONFORMS TO HORIZONTAL CLASS "D", TOPOGRAPHIC ACCURACY CLASS T-2.

HORIZONTAL CONTROL AND MAP BEARINGS ARE BASED ON ASSUMED HORIZONTAL DATUM. VERTICAL CONTROL AND ELEVATIONS ARE BASED ON NAVD88 DATUM.

THE SUBJECT PROPERTY IS CURRENTLY OWNED BY BRIAN R. HEALY, SEE EAST HAVEN LAND RECORDS VOLUME 2059 AT PAGE 149, AND IS LOCATED IN AN R3 ZONE.

THE PROPERTY DEPICTED HEREON IS LOCATED IN FLOOD ZONE AE [BASE FLOOD ELEVATIONS DETERMINED] (ELEVATION 12') BASED ON A VISUAL INSPECTION OF "FIRM FLOOD INSURANCE RATE MAP NEW HAVEN COUNTY, CONNECTICUT PANEL 557 OF 635 MAP NUMBER 09000057J1 MAP REVISED JULY 8, 2013 BY: FEDERAL EMERGENCY MANAGEMENT AGENCY."

A 5' SIDE YARD VARIANCE WAS GRANTED ON 6/24/69 IN ORDER TO CONSTRUCT AN ADDITION TO THE SOUTH SIDE OF THE DWELLING.

THE EXISTING LOT IS NON CONFORMING TO THE CURRENT ZONING REGULATIONS FOR LOT AREA, WIDTH AND FRONTAGE. THE BUILDING IS NON CONFORMING TO REQUIRED SETBACKS AND COVERAGE. ITS USE IS DECLARED TO BE NONCONFORMING BUT NOT IN VIOLATION SINCE THE LOT EXISTED OF RECORD PRIOR TO MARCH 15, 1997. SEE SECTION 8-136 OF THE CONNECTICUT GENERAL STATUTES LISTED HERE FOR REFERENCE.

"SEC. 8-13A. NONCONFORMING BUILDINGS AND LAND USES. (A) WHEN A BUILDING IS SO SITUATED ON A LOT THAT IT VIOLATES A ZONING REGULATION OF A MUNICIPALITY WHICH PRESCRIBES THE LOCATION OF SUCH A BUILDING IN RELATION TO THE BOUNDARIES OF THE LOT OR WHEN A BUILDING IS SITUATED ON A LOT THAT VIOLATES A ZONING REGULATION OF A MUNICIPALITY WHICH PRESCRIBES THE MINIMUM AREA OF THE LOT, AND WHEN SUCH BUILDING HAS BEEN SO SITUATED FOR THREE YEARS WITHOUT THE INSTITUTION OF AN ACTION TO ENFORCE SUCH REGULATION, SUCH BUILDING SHALL BE DEEMED A NONCONFORMING BUILDING IN RELATION TO SUCH BOUNDARIES OR TO THE AREA OF SUCH LOT, AS THE CASE MAY BE."

THE UNDERGROUND FEATURES DEPICTED HEREON ARE THE RESULT OF COMPILATION OF EXISTING MAPPING AND LOCATION OF UTILITY PAINT. ACTUAL LOCATION OF UNDERGROUND UTILITIES IS TO BE CONSIDERED TO BE APPROXIMATE AT BEST. OTHER UTILITIES MAY EXIST WHICH FREEMAN COMPANIES ARE UNAWARE OF. VERIFY INFORMATION IN THE FIELD, BEFORE ANY DIGGING OR SITE EXCAVATION CALL "CALL BEFORE YOU DIG" 1-800-922-4455.

DUE TO THE SMALL SIZE OF THE SITE, EXCAVATED MATERIAL SHALL BE REMOVED AND STORED OFF SITE. EXCAVATED MATERIAL AND/OR SUITABLE FILL/TOP SOIL MATERIAL WILL BE BROUGHT TO THE SITE AS REQUIRED.

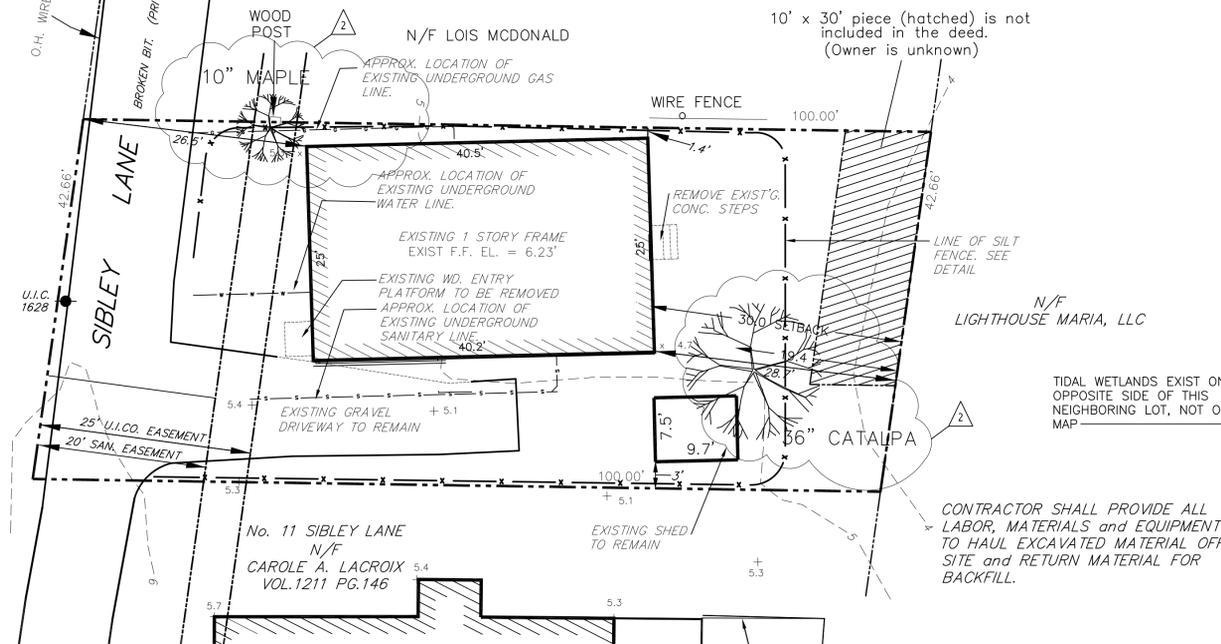
MAP REFERENCES

- "MAP OF MEADOWCREST GROVE, OLD TOWN HIGHWAY, EAST HAVEN, CONNECTICUT, JAN. 4, 1972 SCALE 1"=20", REVISED JULY 21, 1972 ARTHUR W. SEOGEN, REGISTERED LAND SURVEYOR."
- "BOUNDARY & TOPOGRAPHIC SURVEY PREPARED FOR LOTHROP ASSOCIATES, LLP #11 SIBLEY LANE E. HAVEN, CONNECTICUT 9/19/14 SCALE: 1"=10" BY FREEMAN COMPANIES, LLC.

SITE PLAN LEGEND

---	PROPERTY LINE
---	SANITARY EASEMENT
---	ELECTRIC UTILITY EASEMENT
---	WIRE FENCE
□	FENCE POST
---	OVERHEAD WIRES
+	UTILITY POLE
---	EDGE OF BITUMINOUS ROAD/STONE DRIVE
---	STOOP
X 4.7	SPOT ELEVATION
---	EXISTING CONTOUR
VOL.	VOLUME
PG.	PAGE
---	UNDERGROUND SANITARY SEWER PIPE
---	UNDERGROUND WATER PIPE
---	UNDERGROUND GAS PIPE
---	SILT BARRIER

R-3 ZONE	ZONING DATA		
	REQUIRED	EXISTING	PROPOSED
MIN LOT AREA	20,000 SF	4,233 SF, EXISTING NONCONFORMANCE	4,233 SF EXISTING NONCONFORMANCE
MIN LOT AREA PER DWELLING UNIT	20,000 SF	4,233 SF, EXISTING NONCONFORMANCE	4,233 SF EXISTING NONCONFORMANCE
MIN DIM OF SQUARE ON SITE	100 Ft	42.68, EXISTING NONCONFORMANCE	42.68 Ft EXISTING NONCONFORMANCE
MIN LOT FRONTAGE	100 Ft	42.68, EXISTING NONCONFORMANCE	42.68 Ft EXISTING NONCONFORMANCE
MAX NO. OF STORIES PER BUILDING	3	1	2
MAX HEIGHT OF A BUILDING	30 Ft	13.72 Ft	23.80 Ft
MIN SETBACK FROM STREET	25 Ft	26.50 Ft	25.70 Ft
MIN SETBACK FROM REAR PROP LINE	30 Ft	28.7 Ft, EXISTING NONCONFORMANCE	19.4 Ft VARIANCE REQUIRED
MIN SETBACK FROM SIDE PROP LINE	20 Ft	14.5 Ft South, 1.4 Ft North	10.3 Ft South, 1.4 Ft North VARIANCE REQUIRED
MAX LOT COVERAGE AS % OF LOT AREA	20%	23% EXISTING NONCONFORMANCE	23% EXISTING NONCONFORMANCE
MAX FLOOR AREA AS % OF LOT AREA	40%	23%	23%
MIN FLOOR AREA PER DWELLING UNIT	900 SF	1011.7 SF	1011.7 SF



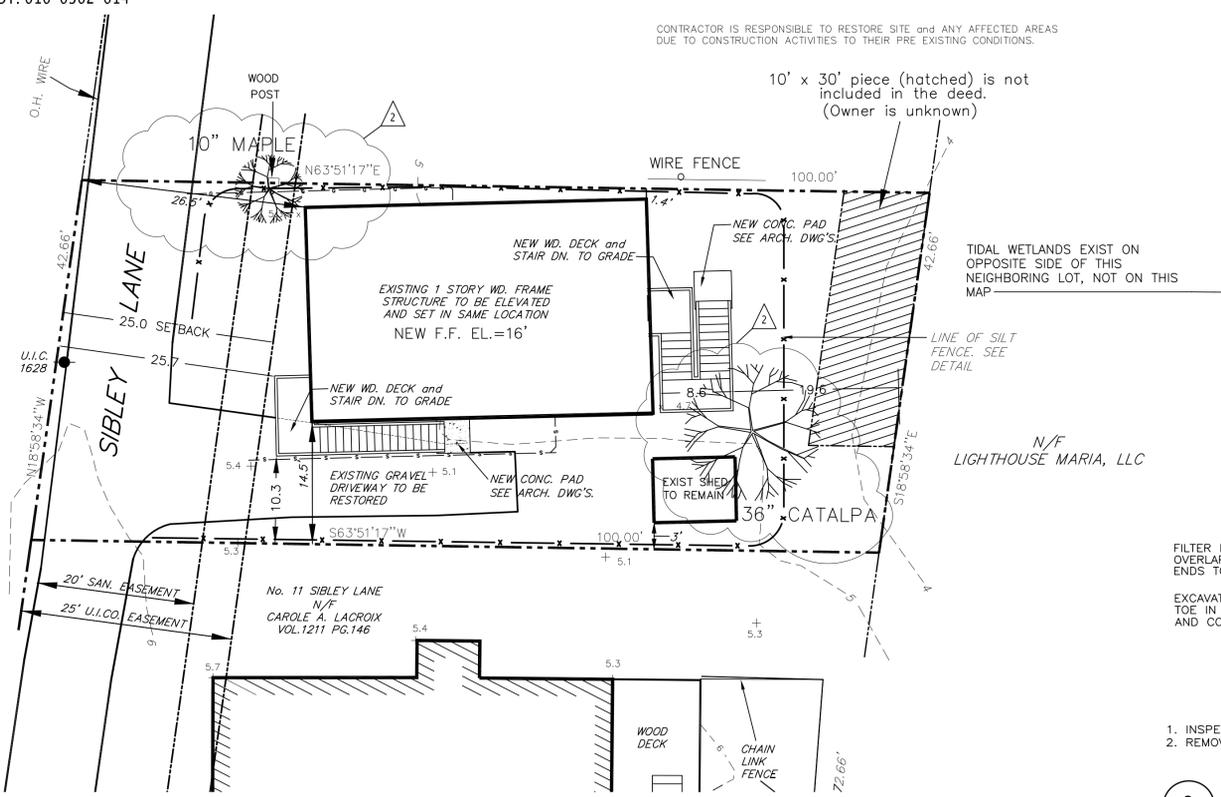
1 SITE /DEMOLITION PLAN

SCALE: 1" = 10'

SITE PLAN INFORMATION TAKEN FROM A SURVEY PREPARED BY FREEMAN COMPANIES, LLC
MAP, BLOCK AND LOT: 010-0302-014

CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL LABOR, MATERIALS and EQUIPMENT TO REMOVE EXCAVATED MATERIAL OFF SITE and RETURN EXCAVATED MATERIAL FOR BACKFILL.

CONTRACTOR IS RESPONSIBLE TO RESTORE SITE and ANY AFFECTED AREAS DUE TO CONSTRUCTION ACTIVITIES TO THEIR PRE EXISTING CONDITIONS.



2 PROPOSED SITE PLAN

SCALE: 1" = 10'

3 SILT BARRIER DETAIL

N.T.S.

- INSPECT BARRIER AFTER EACH STORM EVENT AND DAILY DURING PROLONGED RAINFALL.
- REMOVE SEDIMENT WHEN IT REACHES APPROXIMATELY ONE-HALF THE BARRIER HEIGHT.

State Of Connecticut
Department Of Housing
505 Hudson Street
Hartford, Connecticut 06106

Application No. 2088
CONSTRUCTION OF NEW FOUNDATIONS AND
RAISING EXISTING RESIDENCE
FOR
BRIAN R. HEALY
15 SIBLEY LANE
East Haven, Connecticut 06512

SITE/DEMOLITION and
PROPOSED SITE PLAN &
ZONING DATA

PROJECT NO.: 1524-44 SCALE AS NOTED

DRAWING NO.:

G-002