

ADDENDUM

July 28, 2014

Addendum No. 1

The State of Connecticut
Department of Housing (DOH)
Community Development Block Grant
Disaster Recovery Program (CDBG-DR)
Owner Occupied Rehabilitation and Rebuilding Program (OORR)

Application No. 2073
Brown Residence
85 Ridgebrook Drive
Bridgeport, CT 06606

To All Prospective Bidders:

This Addendum shall become part of the Contract and all bidders shall be bound thereby.

The date and time for the Bid Opening **HAS NOT CHANGED**. Sealed bids will be accepted until 4:00 p.m. on Thursday, July 31, 2014.

The following changes and/or clarifications are hereby made to the Contract Documents dated July 15, 2014 for the above captioned project.

A. QUESTIONS & CLARIFICATIONS

1. During the Mandatory Walk-Through on Thursday, July 24, 2014, Contractors were requested to have all questions and requests for clarifications submitted to the Architect by email by 4:00 p.m., Friday, July 25, 2014. No additional questions were received by the deadline. From this point forward, no additional questions can be entertained.
2. For project with Contractor Bids less than \$100,000.00, **no bid security is required**. Contractors are instructed to disregard any references to required bid security in the Advertisement for Bid, Bid Form, or elsewhere in the Bid Documents.
3. Contractor Bids exceeding \$25,000 for this project require that a certified Lead Abatement Contractor perform the work. In addition, all interior "paint stabilization" shall be changed to "liquid encapsulation". Where "liquid encapsulation" becomes the applicable lead paint abatement procedure, then all areas receiving liquid encapsulation shall be painted with two (2) finish coats of the paint product specified in Specification Section 09900. The Contractor shall pay particular attention to the curing time required by the encapsulate manufacturer prior to applying the finished coats.
4. Paint Stabilization scope of work for the "Metal railing system" shall include all metal handrails, guards, the associated metal column and any other associated metal appurtenances.

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860.289.3262 fax 860.289.3163
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ADDENDUM

5. The extent of new ceiling paint in the kitchen shall extend southward to the ceiling beam running parallel with the kitchen countertop peninsula. The ceiling of the room labeled "Breakfast" beyond the beam **shall not** receive new paint.
6. The extent of new ceiling paint in the Living Room shall extend northward to the peak of the ceiling. The Contractor shall match the existing ceiling texture. The other half of Living Room ceiling **shall not** receive new paint.
7. The property owner/tenant is responsible for moving all items to the center of the room (or out of the room) within areas where work is to be performed. They are also responsible for putting them back at the completion of work.

B. CHANGES TO THE PROJECT MANUAL & SPECIFICATIONS

1. **ADD** to Specification Section 020900 the following reference attachments: "Table A, Scope of Work [Lead-Based Paint Hazard Control], 85 Ridgebrook Drive, Bridgeport, Connecticut, Application 2073", and drawings FP-1, FP-2, FP-3, & SP-1. The scope of work **has not** changed. These references were inadvertently left out of the specifications.

C. CHANGES TO THE DRAWINGS

1. Sheet A-1.0, Floor Plans:

In the second floor bedroom walk-in closet, in addition to removing the closet ceiling, the Contractor shall also **include in their Base Bid** the cost to remove (and provide new GWB) the "D" side closet wall GWB that has visible water damage. When the GWB has been removed and prior to any cleaning of the studs and framing, the Contractor shall contact Eagle Environmental, Inc. to further assess the area for microbial contamination. The assessment will determine the extent to which water infiltration has damaged other walls within this closet as well as walls within the adjacent hall closet.

The Contractor shall also **include the following unit prices** on the Bid form:

1. GWB removal and replacement with new, in place. Unit of measure: per SF.
2. Batt insulation removal and replacement with new kraft-faced batts, min. R-11, in place. Unit of measure: per LF of 15" stud cavity.
3. Microbial cleaning of studs and framing. Unit of measure: per SF.

At the conclusion of the work described above, the Contractor shall **include in their Base Bid**, the removal of any remaining wallpaper in the bedroom walk-in closet, refinishing the all the walls as required, and painting all closet walls in accordance with Section 09900.

END OF ADDENDUM #1

c: file

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Addendum No. 1 / 2 of 2

SCOPE OF WORK
 85 RIDGEBROOK DRIVE
 BRIDGEPORT, CONNECTICUT
 APPLICATION 2073

Item #	Room	Component	Side	Quantity	Abatement Method
INTERIOR					
1	Basement (001)	Closet Pole	C	1 Each	Replace with new metal pole
2	Sun Room (007)	Door casing, stop, jamb and door	B	1 Opening	Paint stabilization
EXTERIORS					
3	Facades	Overhead garage door	A	1 Each	Paint stabilization
4		Metal railing system	A	1 Each	Paint stabilize with Rust-Oleum paint
5		Fixed garage window sash	B	1 Opening	Paint stabilize with Rust-Oleum paint

CAPITAL STUDIOS ARCHITECTS

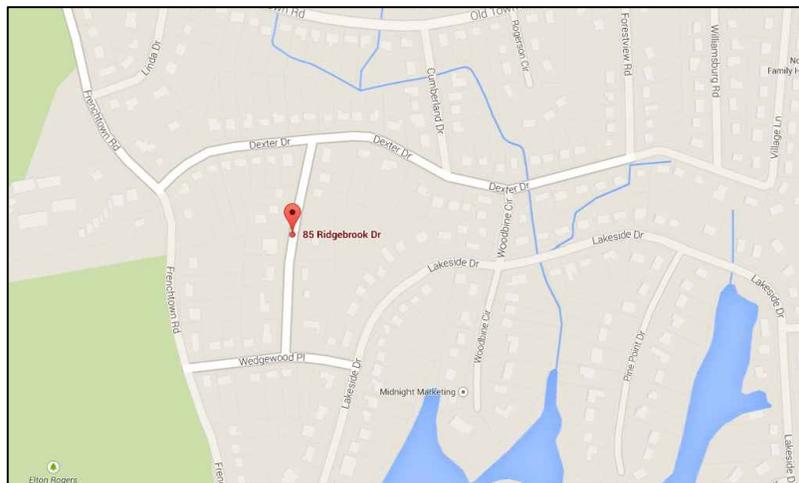
85 RIDGEBROOK DRIVE
BRIDGEPORT, CONNECTICUT

EAGLE PROJECT NUMBER: 14-028.12T16

INDEX OF DRAWINGS

SP-1 SITE PLAN
FP-1 BASEMENT
FP-2 FIRST FLOOR PLAN
FP-3 SECOND FLOOR PLAN

LOCATION MAP



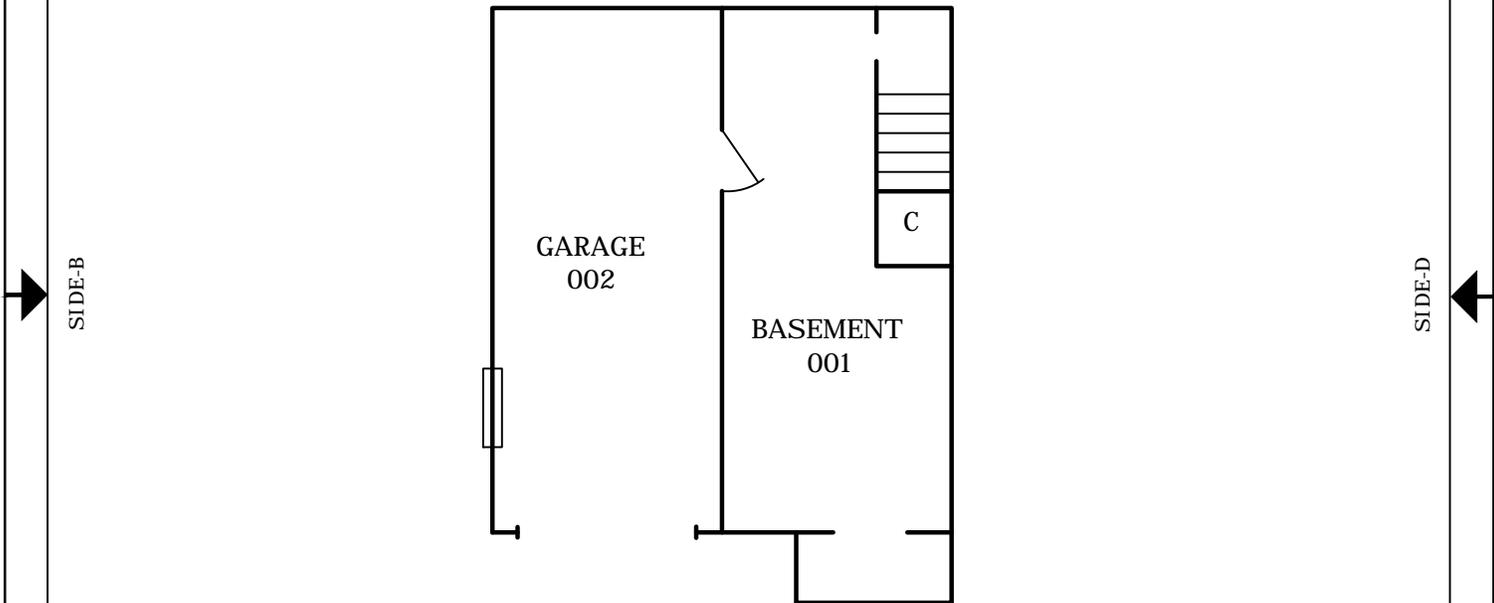
JULY 1, 2014



8 SOUTH MAIN STREET, SUITE 3
TERRYVILLE, CONNECTICUT 06786
860-589-8257

BASEMENT

SIDE-C



NOT TO SCALE

C = CLOSET EVALUATED WITH ADJACENT ROOM

SIDE-A (STREET SIDE)



EAGLE
Environmental, Inc.

8 SOUTH MAIN STREET, SUITE 3
TERRYVILLE, CONNECTICUT 06786
860-589-8257

DATE: 07/01/2014
PROJECT NO.: 14-028.12T16
DRAWN BY: VB
REVIEWED BY: AH

ENVIRONMENTAL REVIEW
85 RIDGEBROOK DRIVE
BRIDGEPORT, CONNECTICUT
BASEMENT

SHEET NO.

FP-1

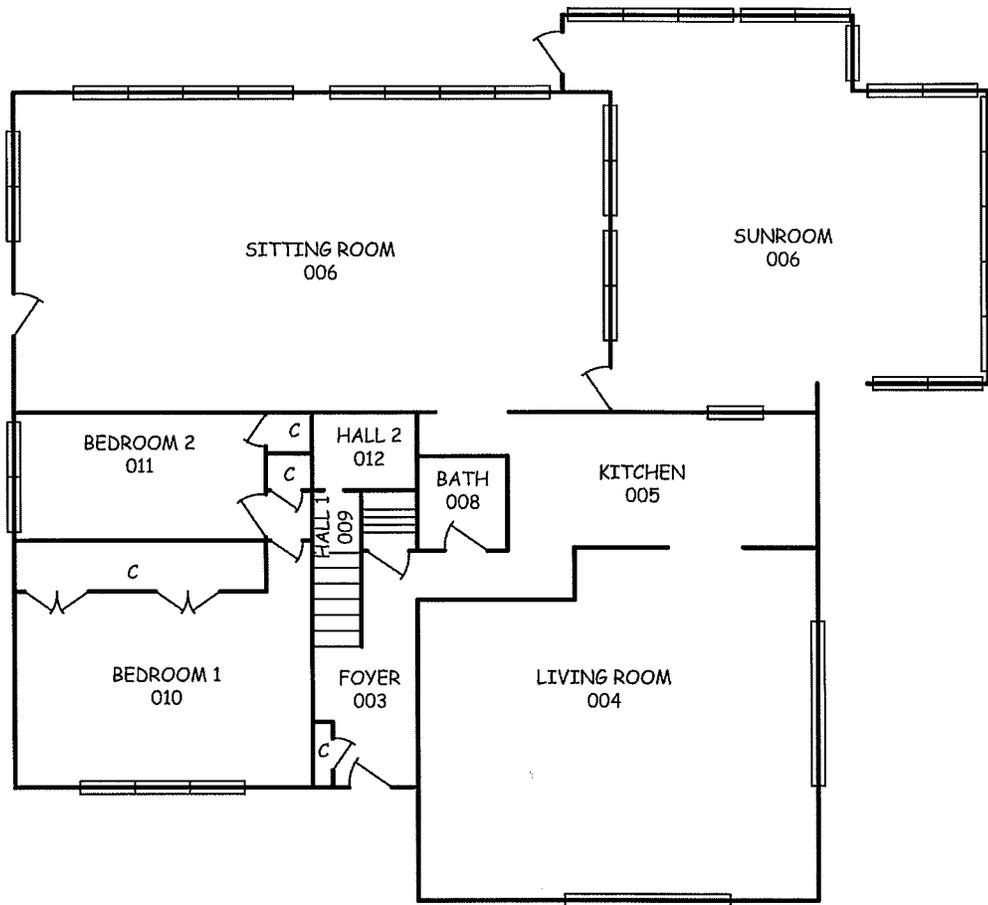
SHEET 2 OF 4

FIRST FLOOR

SIDE-C

SIDE-B

SIDE-D



NOT TO SCALE

C = CLOSET EVALUATED WITH ADJACENT ROOM

SIDE-A (STREET SIDE)



EAGLE
Environmental, Inc.

8 SOUTH MAIN STREET, SUITE 3
TERRYVILLE, CONNECTICUT 06786
860-589-8257

SHEET NO.

FP-2

SHEET 3 OF 4

DATE: 07/01/2014
PROJECT NO.: 14-028.12T16
DRAWN BY: VB
REVIEWED BY: AH

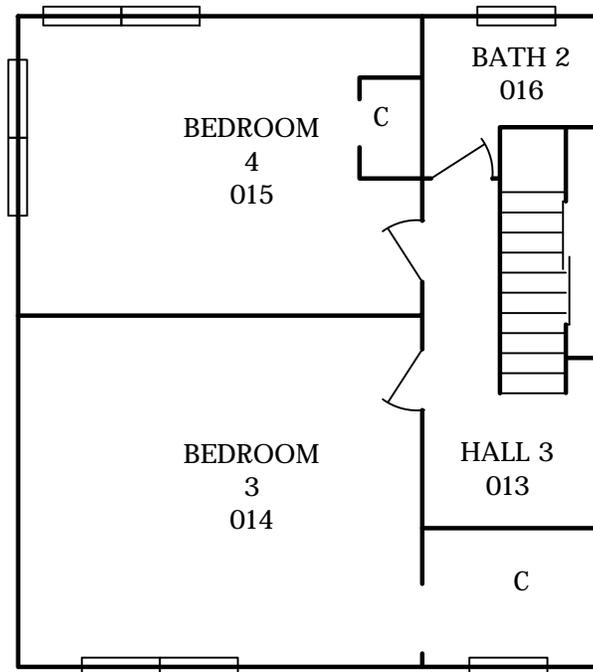
ENVIRONMENTAL REVIEW
85 RIDGEBROOK DRIVE
BRIDGEPORT, CONNECTICUT
FIRST FLOOR PLAN

SECOND FLOOR

SIDE-C

SIDE-B

SIDE-D



NOT TO SCALE

C = CLOSET EVALUATED WITH ADJACENT ROOM

SIDE-A (STREET SIDE)



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8 SOUTH MAIN STREET, SUITE 3
TERRYVILLE, CONNECTICUT 06786
860-589-8257

DATE: 07/01/2014
PROJECT NO.: 14-028.12T16
DRAWN BY: VB
REVIEWED BY: AH

ENVIRONMENTAL REVIEW
85 RIDGEBROOK DRIVE
BRIDGEPORT, CONNECTICUT
SECOND FLOOR PLAN

SHEET NO.

FP-3

SHEET 3 OF 4

SITE PLAN

SIDE-C

SHED

POOL
SHED

FENCE

POOL

MAIN HOUSE

SIDE-B

SIDE-D

DRIVEWAY

FRONT YARD

NOT TO SCALE

SIDE-A (STREET SIDE)



EAGLE
Environmental, Inc.

8 SOUTH MAIN STREET, SUITE 3
TERRYVILLE, CONNECTICUT 06786
860-589-8257

SHEET NO.

SP-1

SHEET 1 OF 4

DATE: 07/01/2014
PROJECT NO.: 14-028.12T16
DRAWN BY: VB
REVIEWED BY: AH

ENVIRONMENTAL REVIEW
85 RIDGEBROOK DRIVE
BRIDGEPORT, CONNECTICUT
SITE PLAN