

The State of Connecticut
Department of Housing (DOH)
Community Development Block Grant Disaster Recovery Program
(CDBG-DR)

Owner Occupied Rehabilitation and Rebuilding Program (OORR)

BID DRAWINGS

For

Rehabilitation/Reconstruction work to:

Brackeem Residence

153 Twin Brook Road

Hamden, CT 06514

Diversified Technology Consultants, Inc.

2321 Whitney Avenue, Suite 301

Hamden, CT 06518

203.239.4200

List of Drawings and Figures

D-1 Demolition Plan

A-1 Work Plan

A-2 Ceiling/Wall Sections

A-3 Photo Mark-Up 1

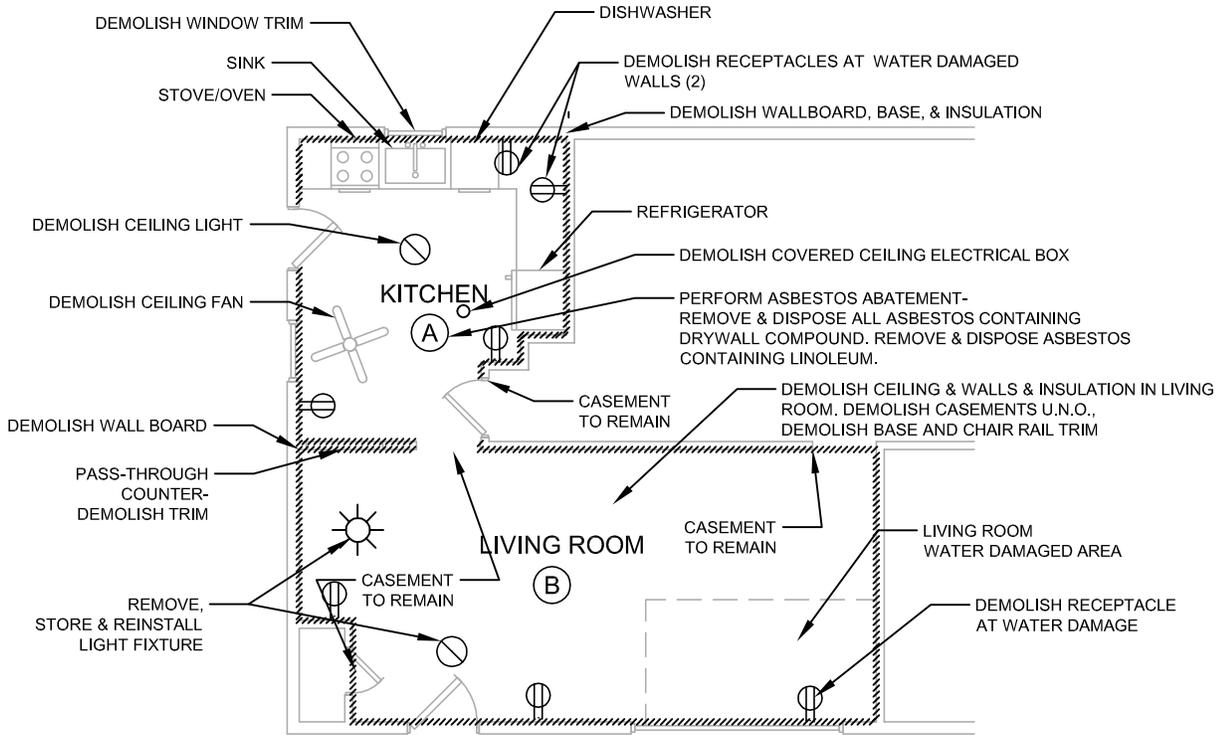
A-4 Photo Mark-Up 2

A-5 Photo Mark-Up 3

E-1 Electrical Work Plan

Project #: 2072





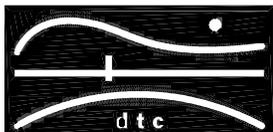
NOTES:

1. ASBESTOS ABATEMENT REFER TO ASBESTOS REPORT. ASBESTOS ABATEMENT SHALL BE PERFORMED BY A LICENSED ABATEMENT CONTRACTOR.
2. REFRIGERATOR, DISHWASHER, STOVE/OVEN, SINK, COUNTER, ETC. SHALL BE REMOVED AND STORED FOR REINSTALLATION. CONTRACTOR SHALL PROVIDE ON SITE STORAGE BOX FOR SECURE STORAGE.
3. REMOVE SURFACE MOUNTED ITEMS. STORE & PROTECT FOR RE-INSTALLATION. (PLATES, THERMOSTATS, HEATING REGISTERS, ETC.)

LEGEND:

////// DEMOLISH WALLBOARD, BASE, & INSULATION

1 DEMOLITION PLAN
SCALE: N.T.S.



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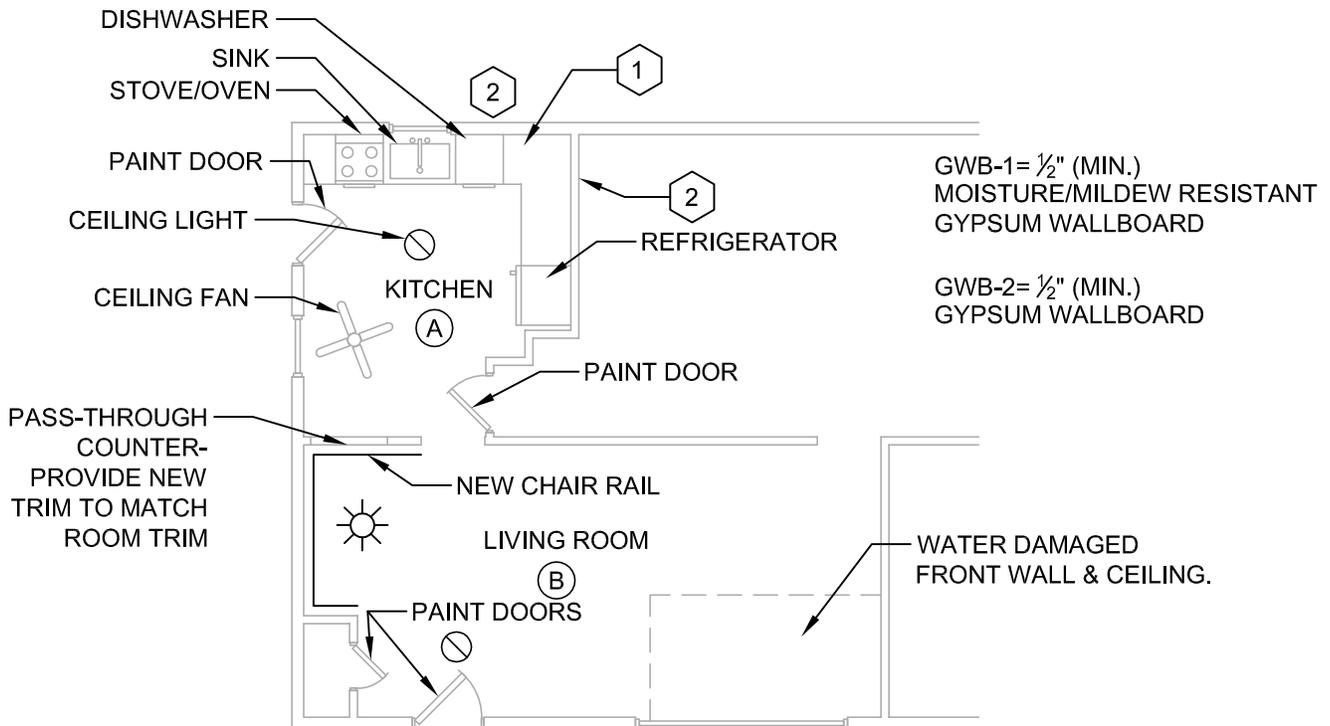
NOTES:

CDBG-DR SANDY #2072

BRACKEEM
153 TWIN BROOK ROAD

D-1

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CHECKED BY: MC
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DATE: 5/9/2014
DTC NUMBER: 13-449



FINISH SCHEDULE

ROOMS		FLOOR	BASE	WALLS				CEILING	REMARKS
#	NAME			N.	S.	E.	W.		
A	KITCHEN	VINYL	RB-1	PT-1	PT-1	PT-1	PT-1	GWB-1 PT-3 R&D	1,2,3
B	LIVING ROOM	EX.	WD	PT-2	PT-2	PT-2	PT-2	GWB-2 PT-4	1,2

FINISH NOTES:

1. PAINT ALL TRIM IN KITCHEN, LIVING ROOM, NEW & EXISTING.
2. PROVIDE NEW DOOR & WINDOW TRIM WHERE DEMOLISHED.
3. PROVIDE THRESHOLD EDGING (ALUM) AT LIVING ROOM DOOR.

1 EXISTING COUNTER TOP BACKSPASH WATER DAMAGE: REMOVE WATER DAMAGED SUBSTRATE. GLUE IN PATCH FOR FLUSH REPAIR OF LAMINATE. GLUE LAMINATE BACK IN PLACE FOR LIKE NEW CONDITION.

2 PROVIDE BLOCKING FOR CABINET INSTALLATION

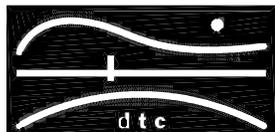
PT 1- KITCHEN WALL
PT 2- LIVING ROOM WALL
PT 3- KITCHEN CEILING
PT 4- LIVING ROOM CEILING
PT 5- TRIM-PAINTED

GENERAL NOTES:

REINSTALL CABINETRY, EQUIPMENT, COUNTER & SINK, ETC. PAINT HVAC REGISTERS TO MATCH WALLS.

1 WORK PLAN

SCALE: N.T.S.



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BRACKEEM
153 TWIN BROOK ROAD

A-1

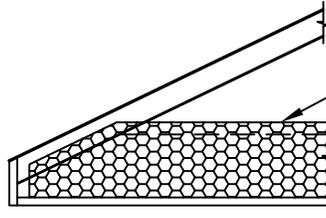
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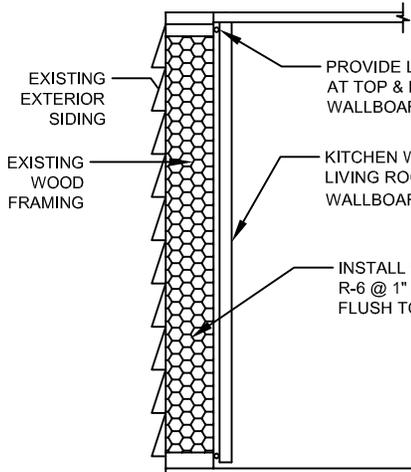
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PROVIDE R-38 SPRAY POLYURETHANE FOAM CEILING INSULATION ABOVE NEW KITCHEN & LIVING ROOM CEILING

CEILING INSULATION

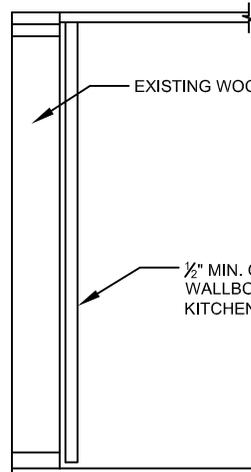


PROVIDE LOW VOC SEALANT AT TOP & BOTTOM OF WALLBOARD

KITCHEN WALL: PROVIDE MR GYPSUM WALLBOARD. LIVING ROOM WALL: GYPSUM WALLBOARD. WALLBOARD TO BE MIN. 1/2"

INSTALL SPRAY POLYURETHANE FOAM INSULATION. R-6 @ 1" MIN. FILL EXTERIOR FRAME WALL & SHAKE FLUSH TO STUD TO COMPLETELY FILL VOID GAP.

EXTERIOR WALL
NTS

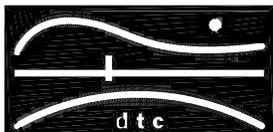


EXISTING WOOD FRAMING

1/2" MIN. GYPSUM WALLBOARD, KITCHEN

INTERIOR WALL
NTS

1 CEILING/WALL SECTIONS
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BRACKEEM
153 TWIN BROOK ROAD

A-2

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DEMOLISH RECEPTACLES



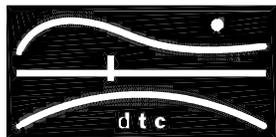
DEMOLISH WALLBOARD, BASE



WATER DAMAGED WALL & RECEPTACLE

SECTION OF DELAMINATED BACKSPLASH TO BE REPAIRED

1 KITCHEN PHOTO MARK-UP 1
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NOTES:

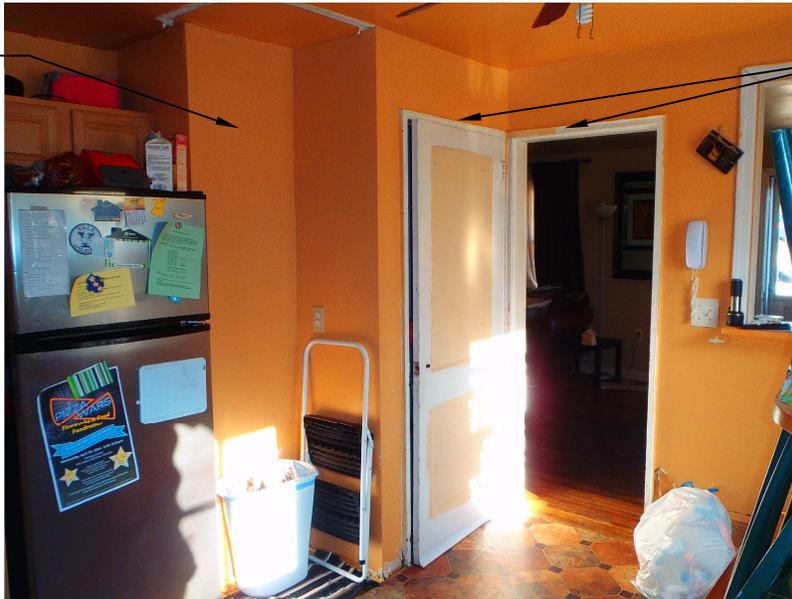
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BRACKEEM
153 TWIN BROOK ROAD

A-3

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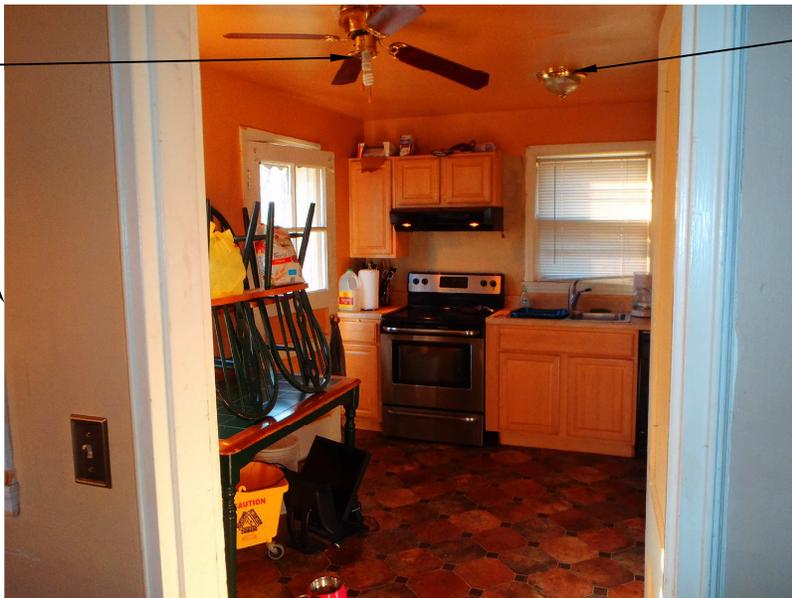
DEMOLISH
WALLBOARD
BASE



CASEMENT
TO REMAIN

DEMOLISH
CEILING FAN

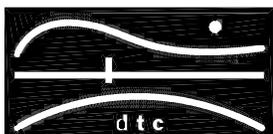
DEMOLISH
WALL BOARD



DEMOLISH
CEILING LIGHT

1 KITCHEN PHOTO MARK-UP 2

SCALE: N.T.S.



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BRACKEEM
153 TWIN BROOK ROAD

A-4

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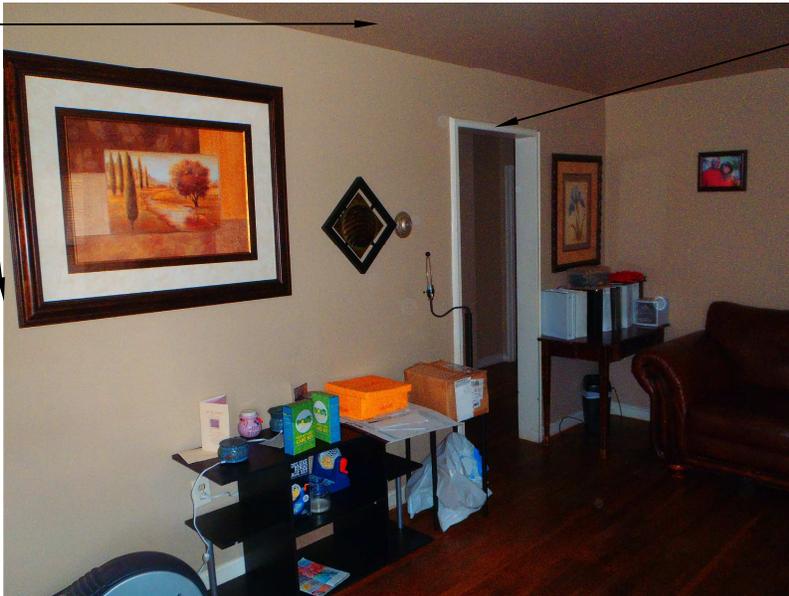
REMOVE, STORE
& REINSTALL
LIGHT FIXTURES



CASEMENT
TO REMAIN

CHAIR RAIL TO
BE DEMOLISHED
& NEW RAIL TO
BE PROVIDED

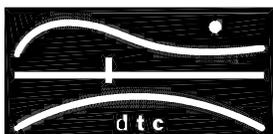
DEMOLISH
CEILING & WALLS



CASEMENT
TO REMAIN

1 LIVING ROOM PHOTO MARK-UP 3

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NOTES:

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BRACKEEM
153 TWIN BROOK ROAD

A-5

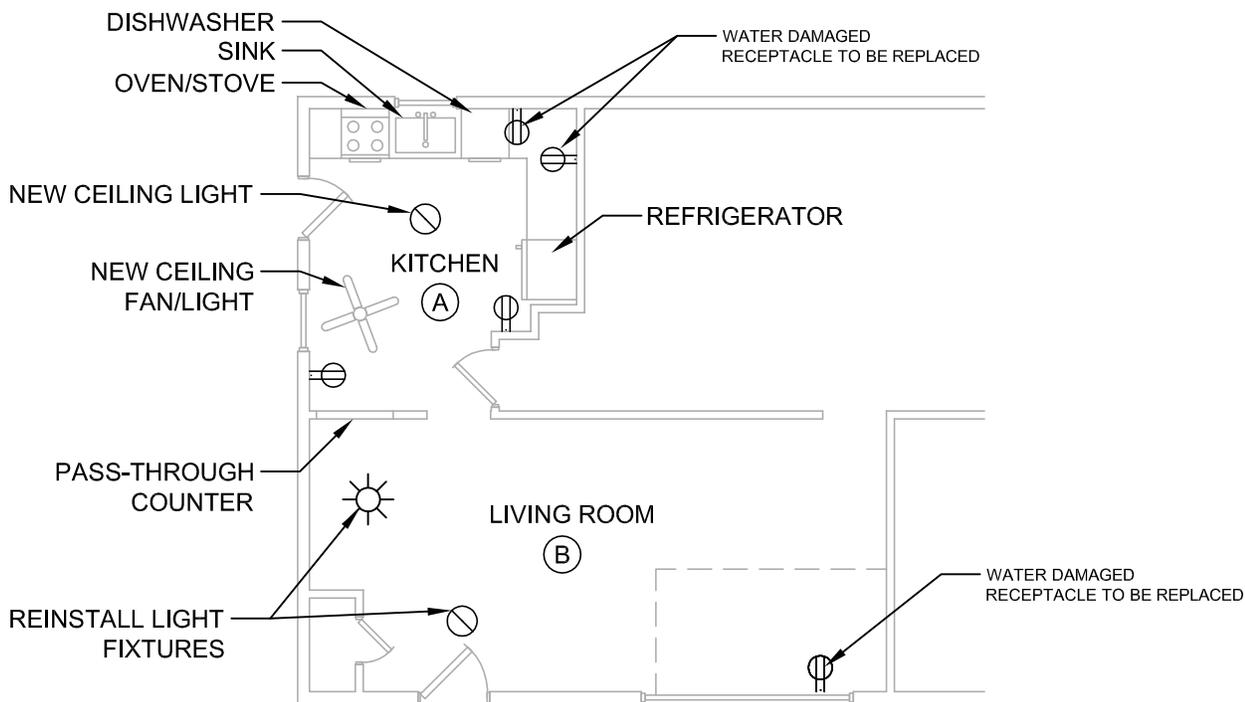
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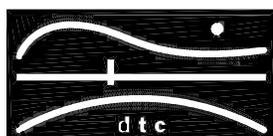
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NOTES:

1. PROVIDE HARDWIRED SMOKE AND CARBON MONOXIDE (CO) DETECTORS THROUGHOUT HOME PER CURRENT CODE, INCLUDING A MINIMUM OF ONE SMOKE DETECTOR WITHIN EACH SLEEPING AREA, ONE COMBINATION SMOKE / CARBON MONOXIDE DETECTOR OUTSIDE EACH SLEEPING AREA, AND A MINIMUM OF ONE COMBINATION SMOKE / CO DETECTOR ON EACH LEVEL. DETECTORS SHALL BE WIRED TOGETHER FOR SIMULTANEOUS ACTIVATION/NOTIFICATION. DETECTORS SHALL BE WIRED TO A NEW DEDICATED AFCI PROTECTED CIRCUIT BREAKER.
2. REPLACE KITCHEN AREA CEILING FAN WITH A NEW CEILING FAN / LIGHT AND JUNCTION BOX - SEE ATTACHED CUT SHEET FOR MAKE AND MODEL INFO.
3. REPLACE KITCHEN AREA CEILING LIGHT WITH A NEW CEILING LIGHT AND JUNCTION BOX - SEE ATTACHED CUT SHEET FOR MAKE AND MODEL INFO.
4. PROVIDE NEW GFI OUTLETS, JUNCTION BOXES AND WIRING AT KITCHEN COUNTER WHERE WATER DAMAGE OCCURRED. INCLUDE FOR THE NEW COUNTERTOP OUTLETS TO BE WIRED TO TWO NEW DEDICATED SMALL APPLIANCE BRANCH CIRCUITS PER 2011 NEC, HOWEVER IF EXISTING WIRING IS ARRANGED SUCH THAT TWO NEW DEDICATED CIRCUITS ARE NOT REQUIRED TO MEET 2011 NEC, CONTRACTOR MAY WIRE DIFFERENTLY (SUBJECT TO ELECTRICAL INSPECTOR APPROVAL).
5. REPLACE OUTLETS, BOXES AND WIRING IN LIVING ROOM AREA WHERE WATER DAMAGE OCCURRED. WIRING SHALL BE REPLACED BACK TO NEAREST DEVICE OUTSIDE THE AREA WHERE WATER DAMAGE OCCURRED, IN BOTH DIRECTIONS. IF PROPER GROUNDING IS NOT PRESENT, THESE OUTLETS SHALL BE GFI TYPE, OR PROPER GROUNDING SHALL BE PROVIDED VIA ANOTHER METHOD ACCEPTABLE TO AHJ.
6. INSTALL KITCHEN & LIVING ROOM WALL OUTLETS FOR A CODE COMPLIANT ELECTRICAL POWER LAYOUT.

1 ELECTRICAL WORK PLAN
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E-1

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