



QUISENBERRY ARCARI

ARCHITECTS, LLC

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REHABILITATION / RECONSTRUCTION WORK FOR:

Brian Brescia & Elena Martinez

APPLICANT # 1346-12

ISSUE DATE: 10.31.2014

14 Cooper Avenue

Milford, CT

LIST OF DRAWINGS

- COVER
- SURVEY
- G1.1 GENERAL NOTES
- D1.3 DEMOLITION ROOF PLAN
- A1.3 ROOF PLAN
- A3.0 SECTIONS & DETAILS

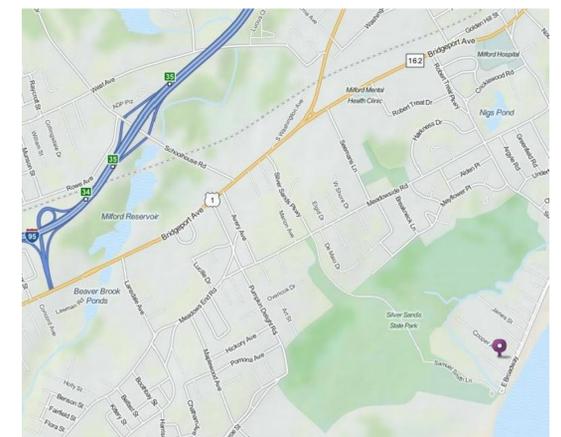
COMMUNITY DEVELOPMENT BLOCK GRANT DISASTER RECOVERY PROGRAM (CDBG-DR)

OWNER OCCUPIED REHABILITATION & REBUILDING PROGRAM (OORR)

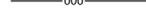
SPONSORED IN CONJUNCTION WITH FUNDING FROM
THE CONNECTICUT DEPARTMENT OF HOUSING

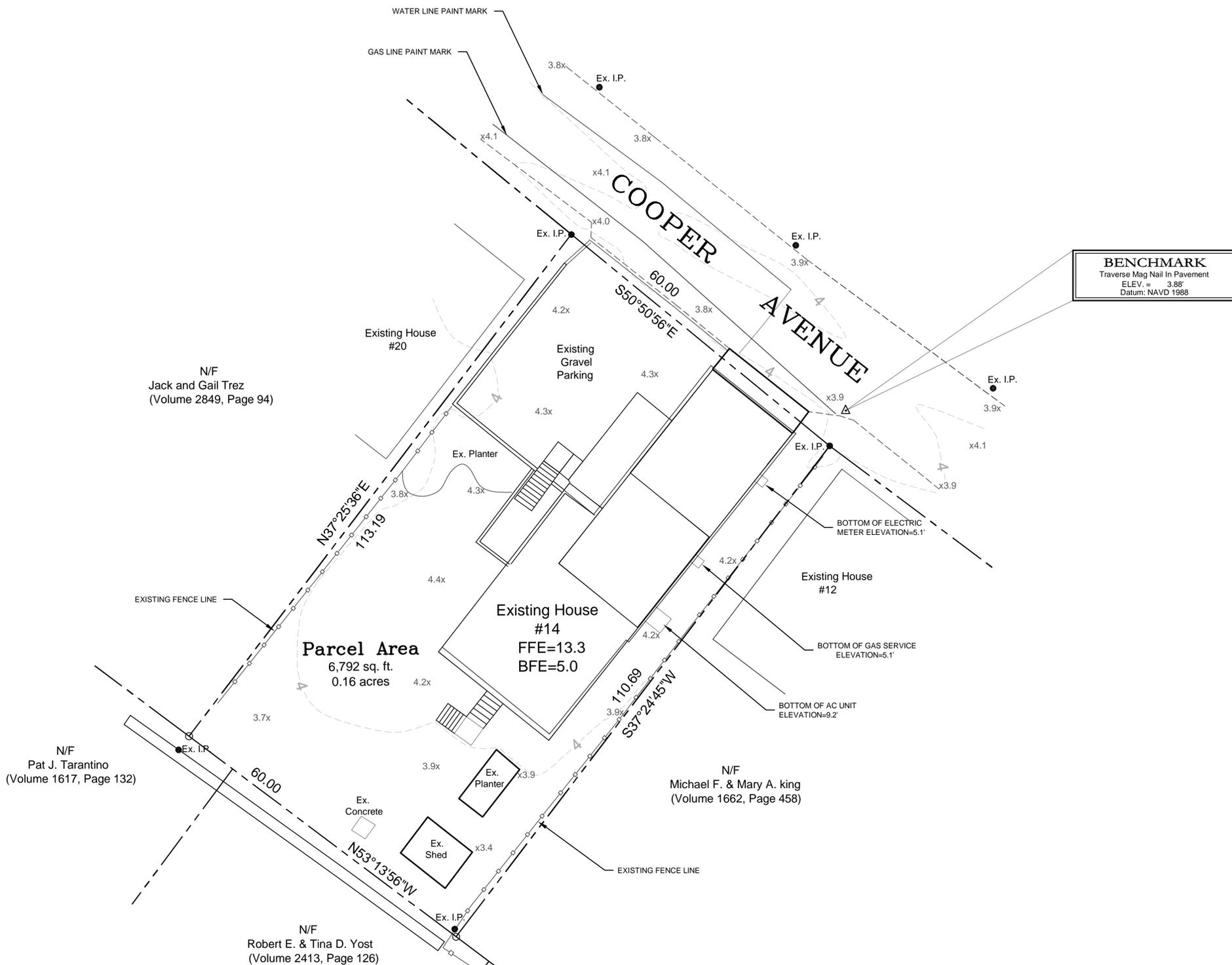


LOCATION MAP



LEGEND

-  = Existing utility pole
-  = Existing light pole
-  = Existing fire hydrant
-  = Existing water valve
-  = Existing gas valve
-  = Existing underground pipe
-  = Existing edge of pavement
-  = Existing bituminous concrete lip curb
-  = Existing well
-  = Existing catch basin
-  = Existing drainage manhole
-  = Existing sanitary manhole
-  = Existing contour
-  = Existing spot elevation
-  = Existing iron pin
-  = Existing drill hole
-  = Existing monument



BENCHMARK
 Traverse Mag Nail In Pavement
 ELEV. = 3.88'
 Datum: NAVD 1988

SURVEY NOTES:

1. This map has been prepared pursuant to the Regulation of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
2. Type of survey performed: Existing Conditions Survey
3. Boundary determination category: Dependent Resurvey
4. Class of accuracy:
 Horizontal: A-2
 Vertical: T-2
5. The intent of this map is to depict or note the position of boundaries with respect to: (A) locations of all boundary monumentation found or set; (B) Apparent improvements and features, including as a minimum: dwellings, barns, garages, sheds, driveways, roadways, surface utilities, visible bodies of water and swimming pools; (C) record easements and visible means of ingress and egress; (D) record and apparent means of ingress and egress; (E) lines of occupation, including as a minimum: fences, walls, hedges and yards; (F) deed restrictions pertaining to the location of buildings or other apparent improvements; (G) unresolved conflicts with record deed descriptions and maps; (H) all apparent boundary encroachments; and (I) monumentation required to be set at all corners created by a deflection angle of not less than 70 degrees between two consecutive courses at an intervals not to exceed 600 feet (180 meters) along the boundaries between said corners, except where natural or man-made monumentation defines or occupies the line.
6. Map References:
 a) "Silver Sands, The Property of Theodore Curtis and John W. Thompson, Milford, Conn., Dated December, 1913, Made by Peter & Goodell, Surveyors," and on File as Map C-122 in the Milford Towns Clerk's Office.
7. Per agreement with property owner no boundary corners were set by this survey unless noted hereon. All monumentation found is depicted or noted hereon.
8. Zone: R5
9. Total area: 6,792 S.F. / 0.16 Ac.
10. Owner: Elena Martinez
11. Town of Milford Assessors Map #022 Block #0459 Parcel #000007
12. Filed in Volume 3311, Page 595 of the Town Clerk's office.
13. Contours are established from field topography and depicted at 2 foot intervals.
14. Vertical Datum is NAVD 1988 and based on the CGS Mon LX 7616.
15. There are no Wetlands located on the property. There are Tidal Marsh Wetlands Approximately 230 feet to the South and 260 feet to the North of the property.
16. The subject property is situated in Zone "AE", (Elevation 11.0') which is a "Special Flood Hazard Area" subject to inundation by 1% annual-chance flood event determined by FEMA. The 500 Year Flood Event elevation is 13.75'. (Firm Map 09009C Panel 534 Suffix J/ Effective date of July 8, 2013) The Subject Property is in Coastal Area Management (CAM).
17. This survey does not include the location of any underground improvements or encroachments, subsurface utility lines or buried debris. Nor does it necessarily reflect the existence of any waste dumps or hazardous materials. The underground items depicted or noted are approximate and are not guaranteed. Notify "CALL BEFORE YOU DIG" 1-800-922-4455 prior to any excavation operations.

DATE	REVISION
To the best of my knowledge and belief, this map is substantially correct as noted hereon.	
	
Stephen M. Giudice, L.S. #70145	
Reg. No.	
NOT VALID UNLESS EMBOSSED SEAL OR SEAL IS AFFIXED HERETO	

EXISTING CONDITIONS SURVEY
 PREPARED FOR
QUISENBERRY ARCARI ARCHITECTS, LLC
 14 COOPER STREET
 MILFORD, CONNECTICUT
 OCTOBER 1, 2014
 SCALE: 1"=10'

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 HARRY E. COLE & SON
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ABBREVIATIONS

A.F.F.	Above Finish Floor	HGT.	Height
A.C.	Acoustic, Acoustical	H.M.	Hollow Metal
A.C.T.	Acoustical Tile	HORIZ.	Horizontal
A/C	Air Conditioning	H.B.	Hose Bibb
A.H.U.	Air Handling Unit	IN.	Inch
ALT.	Alternate	INCL.	Included
ALUM.	Aluminum	INFO.	Information
ALF.	Aluminum Frame	I.D.	Inside Diameter
ANCH.	Anchor, Anchorage	INSUL.	Insulation
AB.	Anchor Bolt	INT.	Interior
L	Angle	JT.	Joint
ANOD.	Anodized	K.P.	Kick Plate
APPR.	Approved	LAB	Laboratory
ARCH.	Architect, Architectural	LAV.	Lavatory
ASB.	Asbestos	LTG.	Lighting
A.P.B.O.	As Provided By Owner	MACH.	Machine
A.S.B.O.	As Selected By Owner	MAINT.	Maintenance
ASPH.	Asphalt	MFRG.	Manufacturer
ASSY.	Assembly	M.BD.	Marker Board
ASST.	Assistant	MAS.	Masonry
AUTO.	Automatic	M.O.	Masonry Opening
BM	Beam	MAT.	Material
BRG.	Beaming	MAX.	Maximum
BEV.	Bevel, Beveled	MECH.	Mechanical
BIT.	Bituminous	MEZZ.	Mezzanine
BLK.	Block	MIN.	Minimum
BLKG.	Blocking	MISC.	Miscellaneous
BD.	Board	N	North
BOT.	Bottom	N.I.C.	Not In Contract
B.O.	Bottom Of	N.T.S.	Not To Scale
B.E.J.	Brick Expansion Joint	OFF.	Office
BLD.G.	Building	O.C.	On Center
B.U.R.	Built Up Roofing	O.H.	Overhead
CAB.	Cabinet	O.D.	Outside Diameter
C.U.H.	Cabinet Unit Heater	PTD.	Painted
CAP.	Capacity	PR.	Pair
CASE	Casement	P.T.D.	Paper Towel Dispenser
CLG.	Ceiling	PASS.	Passage
CLGHT.	Ceiling Height	PERP.	Perpendicular
CEM.	Cement	PLAS.	Plaster
CTR.	Center	PLAM.	Plastic Laminate
CL.	Centerline	PL.	Plate
C.T.	Ceramic Tile	PLUMB.	Plumbing
C.BD.	Chalk Board	PLYWD.	Plywood
CLO.	Closet	P.V.C.	Polyvinylchloride
COL.	Column	P.E.J.	Precast Expansion Joint
CONC.	Concrete	PREFAB.	Prefabricated
CONF.	Conference	QTY.	Quantity
CJ	Control Joint	Q.T.	Quarry Tile
CONT.	Continuous	RAD.	Radius
CONTR.	Contractor	RWC	Rain Water Conductor
CORR.	Corridor	RECV.	Receiving
CRS.	Course, Courses	REFR.	Refrigerator
DEG.	Degree	REINF.	Reinforce
DEMO.	Demolition	REM	Remove
DEPT.	Department	REQD	Required
DET.	Detail	REV.	Revised, Revision
DIA.	Diameter	R.	Riser
DIM.	Dimension	R.D.	Roof Drain
DIST.	Distance	RM.	Room
DR.	Door	S.N.D.	Sanitary Napkin Dispenser
DBL.	Double	S.N.R.	Sanitary Napkin Receptacle
D.H.	Double Hung	SCHED.	Schedule
DN	Down	SC.	Scupper
D.S.	Downspout	SECT.	Section
DWG.	Drawing	S.J.	Seismic Joint
D.F.	Drinking Fountain	SHT.	Sheet
EA.	Each	SIM.	Similar
ELEC.	Electric, Electrical	S.D.	Soap Dispenser
EWC.	Electric Water Cooler	S.T.D.	Sound Transmission Class
EL.	Elevation	S.T.C.	Sound Transmission Coefficient
ELEV.	Elevator	SPEC.	Specifications
EMERG.	Emergency	SQ.	Square
EQ.	Equal	S.F.	Square Feet
EQUIP.	Equipment	S.S.	Stainless Steel
EXIST.	Existing	STD.	Standard
E.T.R.	Existing To Remain	STL.	Steel
EXP.	Expansion	STOR.	Storage
E.J.	Expansion Joint	STRUCT.	Structure, Structural
EXT.	Exterior	S.STL.	Structural Steel
E.I.F.S.	Exterior Insulation Finish System	SUSP.	Suspend, Suspension
FT.	Feet, Foot	S.A.T.C.	Susp. Acoustic Tile Ceiling
F.R.G.P.	Fiber Reinforced Gypsum Panel	T.BD.	Tack Board
FIN.	Finish, Finished	THRU	Through
F.E.	Fire Extinguisher	T.P.D.	Toilet Paper Dispenser
F.R.	Fire Retardant	T.M.E.	To Match Existing
FPRFG.	Fireproofing	T&G	Tongue and Groove
FIXT.	Fixture	T.O.	Top Of
FLASH	Flashing	T.	Tread
FLR.	Floor	TYP.	Typical
F.D.	Floor Drain	U.L.	Underwriter's Laboratory
FLR.FIN.	Floor Finish	U.H.	Unit Heater
FTG.	Footing	U.V.	Unit Ventilator
FDN	Foundation	U.O.N.	Unless Otherwise Noted
FURN.	Furnish, Furnishings, Furniture	VEST.	Vestibule
FURR.	Furred, Furring	VCT.	Vinyl Composition Tile
GA.	Gauge	W.P.	Waterproofing
GALV.	Galvanized	W.W.F.	Welded Wire Fabric
GYP. BD.	Gypsum Board	W.BD.	White Board
G.C.	General Contractor	W	With
H.C.	Handicapped	WD.	Wood

FINISHES

- GYPSUM BOARD**
- PROVIDE AND INSTALL GYPSUM WALL BOARD IN ACCORDANCE WITH AMERICAN STANDARD SPECIFICATIONS FOR THE APPLICATION AND FINISHING OF GYPSUM WALLBOARD, AS APPROVED BY THE AMERICAN STANDARDS ASSOCIATION, LATEST EDITION; APPLICABLE PARTS THEREOF ARE HEREBY MADE A PART OF THIS SPECIFICATION EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE CALLED FOR IN THE SPECIFICATION, IN LOCAL CODES, OR BY THE MANUFACTURER OF THE GYPSUM WALLBOARD, WHOSE REQUIREMENTS SHALL BE FOLLOWED.
 - PROVIDE AND INSTALL MOISTURE-RESISTANT GYPSUM WALLBOARD WHERE REQUIRED. PROVIDE TYPE X GYPSUM BOARD AS CALLED FOR ON THE DRAWINGS.
 - PROVIDE 1/2" TYPE X GYPSUM BOARD AT ALL WALLS BETWEEN GARAGE AND HOUSE. 3/8" TYPE X GYPSUM BOARD SHALL BE PROVIDED AT GARAGE CEILING WHICH HAS LIVING SPACE ABOVE.

PAINT

- APPLICATION OF PAINT OR OTHER COATING SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. READY-MIXED PAINT SHALL NOT BE THINNED, EXCEPT AS PERMITTED IN THE APPLICATION INSTRUCTIONS.

THERMAL & MOISTURE PROTECTION

- PROVIDE AND INSTALL BUILDING THERMAL INSULATION IN ACCORDANCE WITH THE FOLLOWING:
 - A. EXTERIOR WALLS: R-19 MINIMUM
 - B. SLOPED CEILINGS: R-30 MINIMUM
 - C. FLAT CEILINGS: R-38 MINIMUM
 - D. CEILINGS OVER UNCONDITIONED SPACE: R-21 MINIMUM
 - E. CEILINGS OVER BASEMENT: R-21 MINIMUM
- INSTALL VENTING IN SLOPED CEILING AREAS TO PERMIT AIRFLOW ALONG THE COOL SIDE OF THE INSULATION FROM THE EAVE TO RIDGE.
- DO NOT LEAVE KRAFT-PAPER FACED INSULATION EXPOSED. INSTALL TYPE F5K FOIL TO PROTECT EXPOSED INSULATION.
- INSTALL EITHER INTERIOR AND/OR EXTERIOR FOUNDATION INSULATION AS REQUIRED BY LOCAL BUILDING CODES.

WOOD

- ALL STRUCTURAL WOOD SHALL BE IN ACCORDANCE WITH THE "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION" AND THE "MANUAL OF HOUSE FRAMING" AS PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION (NFPA), INCLUDING PROVISIONS FOR NAILING, FIRE STOPPING, ANCHORAGE, FRAMING AND BRACING.
- UNLESS NOTED OTHERWISE ON THE DRAWINGS, STRUCTURAL LUMBER SHALL BE AS FOLLOWS:
 - A. INTERIOR EXPOSURE: STRUCTURAL WOOD PROTECTED FROM MOISTURE SHALL BE HEM-FIR #2 OR BETTER
 - B. EXTERIOR EXPOSURE: STRUCTURAL WOOD EXPOSED TO MOISTURE, THE WEATHER, IN CONTACT WITH CONCRETE, LOCATED WITHIN 8 INCHES OF SOIL, OR LESS THAN 1 1/8 INCHES FROM THE FLOOR OF A CRAWL SPACE SHALL BE PRESERVATIVE TREATED SOUTHERN YELLOW PINE #2 OR BETTER, WITH RETENTION MEETING OR EXCEEDING THE REQUIREMENTS OF THE BUILDING CODE.
 - C. PLYWOOD: PLYWOOD SHALL BE IN ACCORDANCE WITH THE AMERICAN PLYWOOD ASSOCIATION (APA) SPECIFICATIONS (1 5/10). PLYWOOD FLOOR DECKING SHALL BE CONTINUOUS OVER TWO OR MORE SPANS WITH THE FACE-GRAIN RUNNING PERPENDICULAR TO SUPPORT JOISTS.
 - I. ROOF SHEATHING: C-D/EXT-APA, 1/2" THICK
 - II. WALL SHEATHING: C-D/EXT-APA, 1/2" THICK
 - III. SUBFLOORING: C-D/EXT-APA, 3/4" THICK
- NAILING SCHEDULE SHALL BE IN ACCORDANCE WITH THE LOCAL BUILDING CODES "RECOMMENDED FASTENING SCHEDULE". NAIL PLYWOOD SHEATHING AND SUBFLOORING 6" O.C. AT EDGES AND 12" O.C. ALONG INTERMEDIATE SUPPORTS, LEAVING SPACES BETWEEN PANELS AS RECOMMENDED BY THE APA. UTILIZE RING-SHANK OR SCREW TYPE NAILS FOR PLYWOOD SUBFLOORING AND APPLY APPROPRIATE CONSTRUCTION ADHESIVE TO ADEQUATELY SECURE PLYWOOD TO FLOOR JOISTS.
- INSTALL JOIST HANGERS, COLUMN CAPS AND BASES WHERE REQUIRED. METAL FABRICATIONS SHALL BE OF APPROPRIATE SIZE AND TYPE FOR THE MEMBERS AND SUPPORT CONDITIONS. WHERE FLANGE SUPPORT JOIST HANGERS ARE USED IN CONJUNCTION WITH STEEL BEAMS, CARE SHALL BE TAKEN TO INSTALL THE HANGERS CLEAR OF CONTACT WITH THE STEEL BEAM BY INSTALLING 2X WOOD TOP PLATES.
- NOTCHING SHALL NOT EXCEED 1/8TH OF THE DEPTH OF A JOIST OR RAFTER AND SHALL OCCUR ONLY IN THE OUTER QUARTER OF THE SPAN. NOTCHES SHALL NOT BE PERMITTED IN THE MIDDLE HALF OF THE SPAN. NOTCH LENGTH SHALL NOT EXCEED 1/3RD OF THE JOIST DEPTH. NOTCHES ARE NOT PERMITTED IN ENGINEERED LUMBER PRODUCTS.
- HOLES IN JOISTS OR RAFTERS SHALL OCCUR IN THE MIDDLE 1/3RD OF THE SPAN. THE HOLE DIAMETER SHALL NOT EXCEED 1/3RD OF THE JOIST DEPTH. HOLES IN ENGINEERED LUMBER PRODUCTS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES.
- ENGINEERED LUMBER INDICATED ON THE DRAWINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. JOISTS LABELED TJ1 ARE COMPOSITE I-JOISTS AS MANUFACTURED BY TRUS-JOIST. MEMBERS LABELED LVL ARE LAMINATED VENEER LUMBER (1.9E MICROLAM BY TRUS-JOIST). THE SUBSTITUTION OF OTHER PRODUCTS ARE ONLY PERMITTED WITH BACKUP ENGINEERING PLANS AND CALCULATIONS.

GENERAL NOTES

- ALL CONSTRUCTION ON THIS HOME, AND ANY CHANGES MADE TO THE DESIGN OF THIS HOME, EITHER BEFORE OR DURING CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE BUILDING CODE. NOTHING REPRESENTED WITHIN THESE PLANS SHALL ALLEVIATE THE APPLICABLE CODE REQUIREMENTS FOR THE CONSTRUCTION RELATED TO THIS PROJECT.
- NOTIFY QUISENBERRY ARCARI ARCHITECTS, LLC AT (860) 677-4594 IMMEDIATELY IF PROBLEMS SHOULD ARISE DURING THE CONSTRUCTION ON THIS HOME WITH RESPECT TO STRUCTURAL INTEGRITY, FRAMING CONFLICTS, OR GENERAL CONCERNS.
- THESE DRAWINGS DO NOT REPRESENT ALL COMPONENTS OR DETAILS REQUIRED TO PROPERLY CONSTRUCT THIS HOME. IT IS ASSUMED THAT THE WORK WILL BE PERFORMED BY COMPETENT, SKILLED AND LICENSED TRADE CONTRACTORS IN ACCORDANCE WITH INDUSTRY STANDARDS AND CARE.
- UNLESS OTHERWISE NOTED ON THE DRAWINGS, ALL NEW FINISHES (ROOFING, SIDING, TRIM, ETC.) SHALL MATCH EXISTING.
- PATCH EXISTING AREAS AFFECTED BY THE NEW WORK. MATCH EXISTING FINISHES UNLESS DIRECTED OTHERWISE BY THE OWNER.
- EXTEND EXISTING SERVICES (MECHANICAL, PLUMBING, ELECTRICAL, ETC.) TO ACCOMMODATE THE NEW CONSTRUCTION. PROVIDE UPGRADES TO EXISTING COMPONENTS AS NECESSARY TO PROVIDE SATISFACTORY PERFORMANCE WITHIN THE COMPLETED STRUCTURE.

ARCHITECTURAL SYMBOLS

	EXISTING WALL
	WALL TO BE DEMOLISHED
	NEW STUD WALL
	NEW CMU WALL
	NEW FOUNDATION WALL
	ROOM NAME FLOOR FINISH ROOM SIZE (if applicable)
	SECTION MARKER
	ELEVATION MARKER
	WINDOW IDENTIFICATION
	ELEVATION MARKER
	EXISTING DOOR
	NEW DOOR



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REHABILITATION/RECONSTRUCTION WORK FOR:
Brian Brescia & Elena Martinez
 APPLICANT # 1346-12
 14 Cooper Avenue
 Milford, CT

Sheet Description:

GENERAL NOTES

Issue Dates:

10.31.2014

No Scale

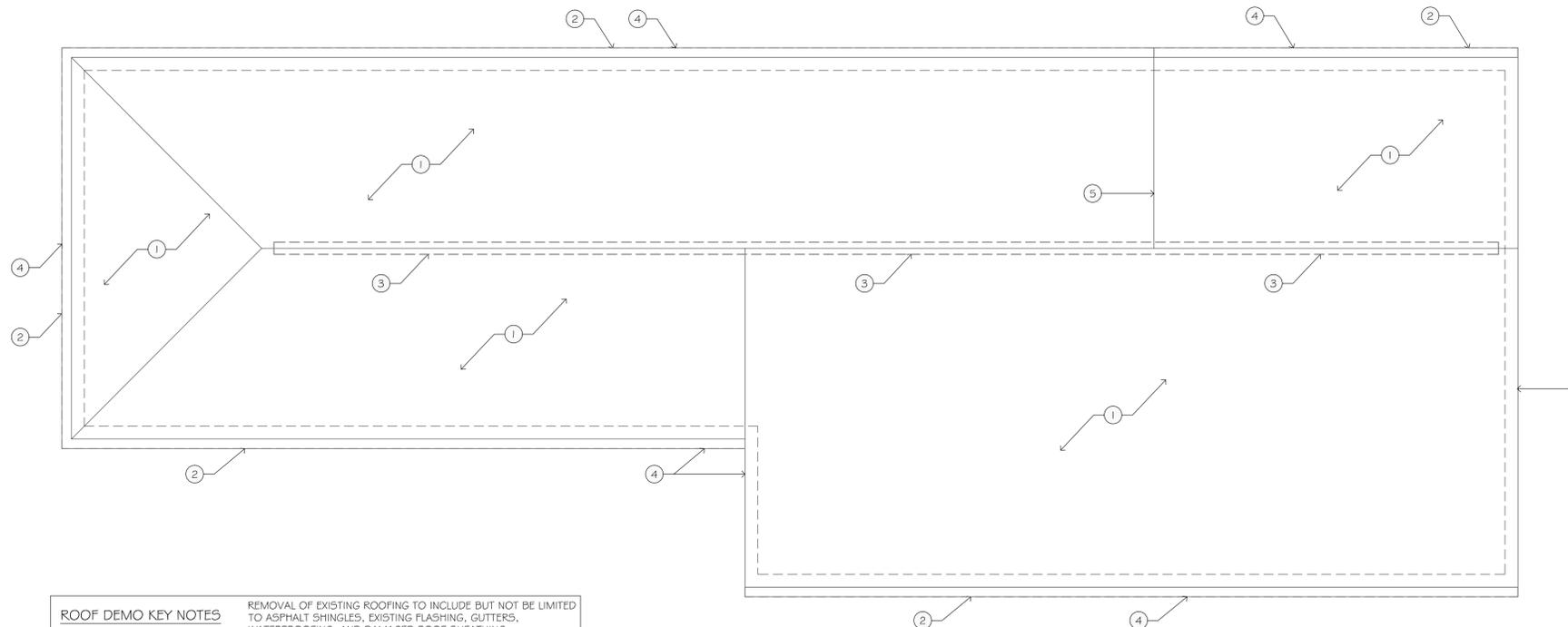
Project #: QA 1346-12

Drawn By: RAP

Sheet #:

G1.1

GENERAL DEMOLITION NOTES
 REFER TO HAZARDOUS MATERIALS REPORT FOR LOCATIONS AND RECOMMENDATIONS OF REMEDIATION AND ABATEMENT



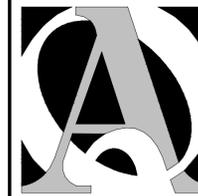
ROOF DEMO KEY NOTES REMOVAL OF EXISTING ROOFING TO INCLUDE BUT NOT BE LIMITED TO ASPHALT SHINGLES, EXISTING FLASHING, GUTTERS, WATERPROOFING, AND DAMAGED ROOF SHEATHING.

- ① REMOVE ASPHALT SHINGLES, WATERPROOFING, DAMAGED ROOF SHEATHING, AND ANY DAMAGED STRUCTURE.
- ② REMOVE EXISTING FLASHING AND GUTTERS .
- ③ REMOVE SHEATHING AS REQUIRED FOR NEW ROOF VENT.
- ④ REMOVE FASCIA, TRIM AND SOFFIT AS REQUIRED.

ROOF DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

1



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Martinez

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Sheet Description:

DEMOLITION ROOF PLAN

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Scale: 1/4" = 1'-0"

Project #: QA 1346-12

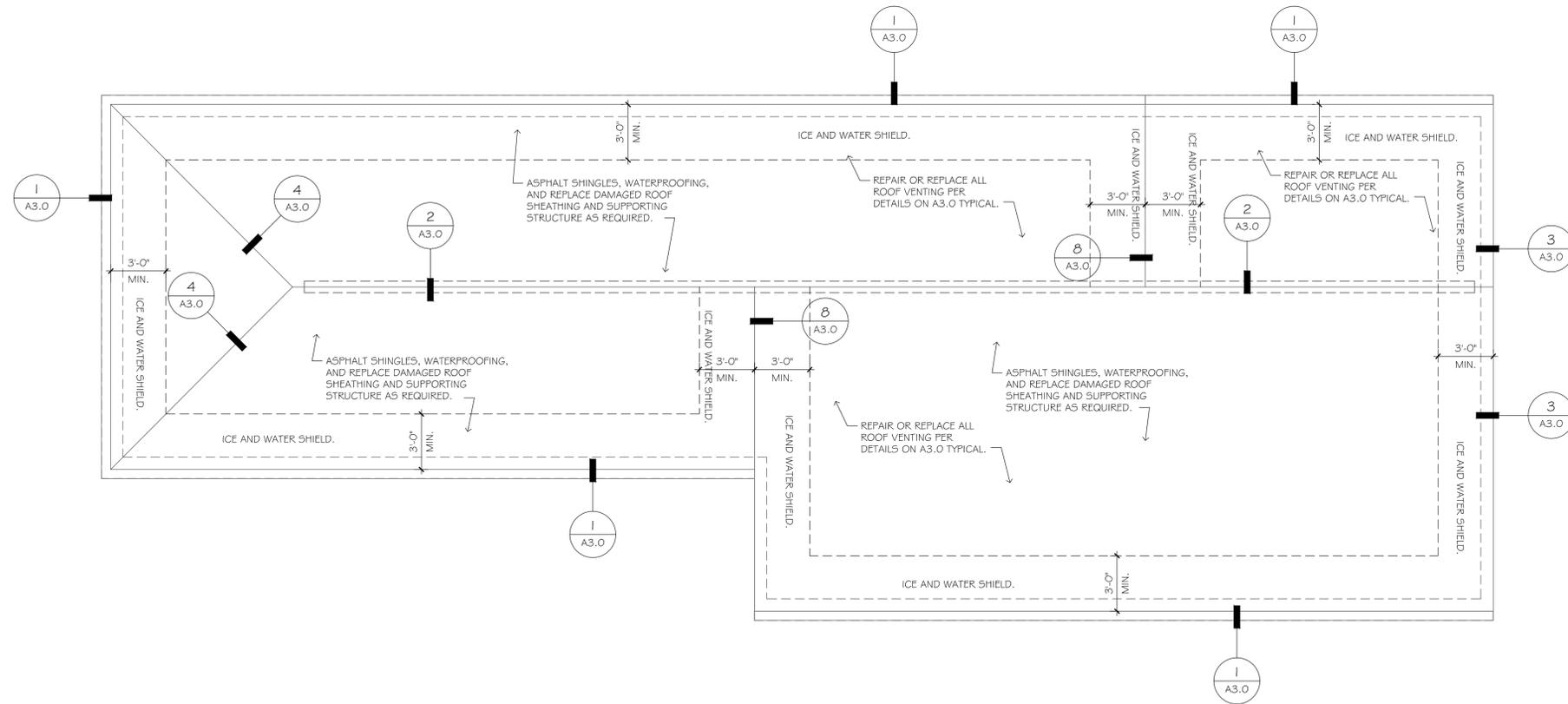
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Sheet #:

D1.3



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Farmington, CT 06032



ROOF PLAN

SCALE: 1/4" = 1'-0"

1

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ROOF PLAN

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Scale: 1/4" = 1'-0"

Project #:

QA 1346-12

Drawn By:

RAP

Sheet #:

A1.3

DEMOLITION NOTES

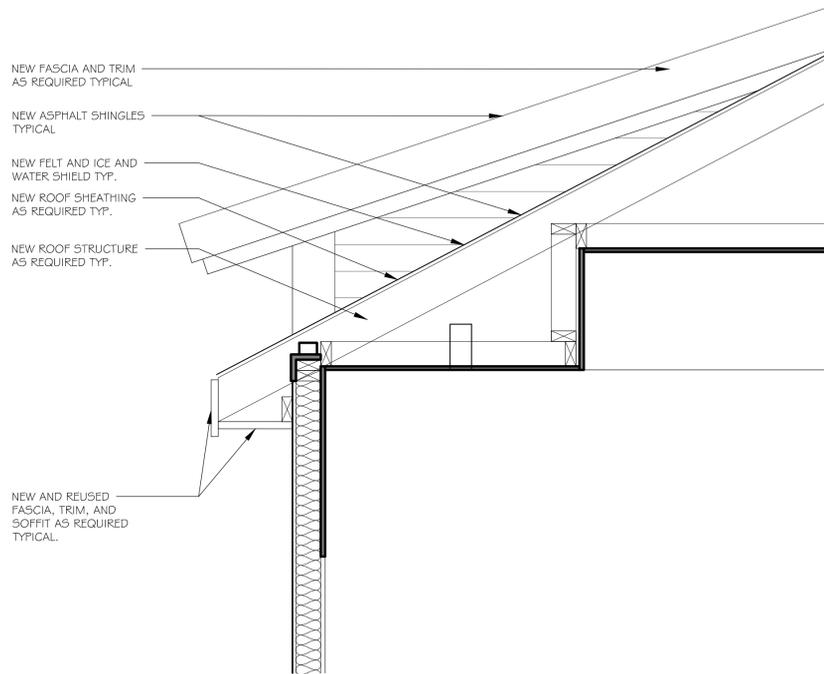
REFER TO HAZARDOUS MATERIALS REPORT FOR LOCATIONS AND RECOMMENDATIONS OF REMEDIATION AND ABATEMENT



BUILDING SECTION

SCALE: 1/4" = 1'-0"

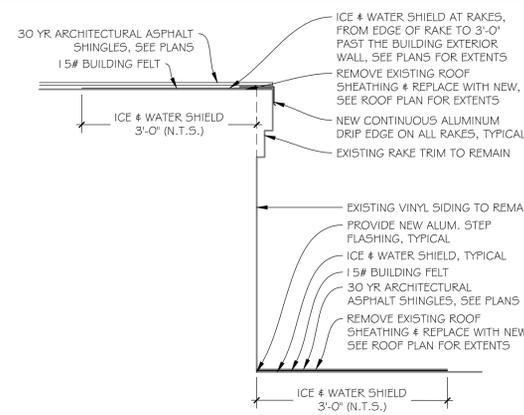
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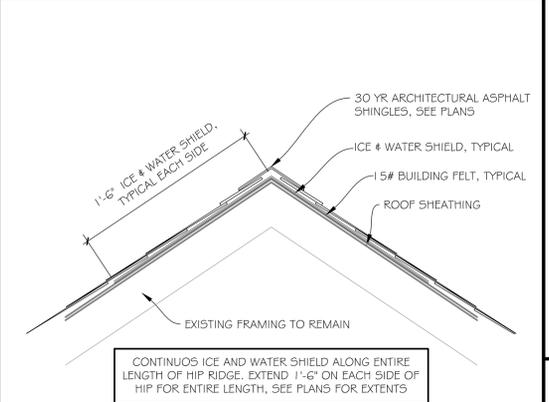
DETAIL SECTION

SCALE: 1" = 1'-0"

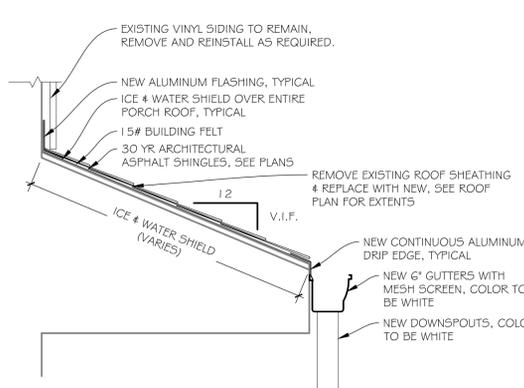
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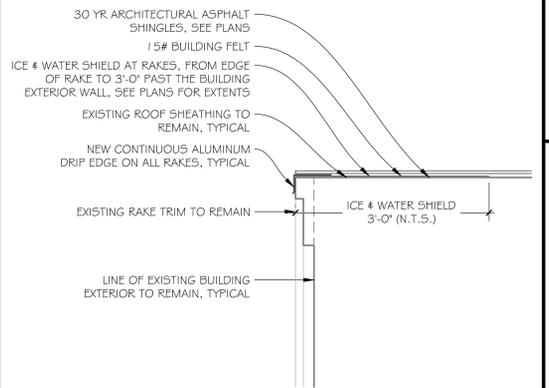
8 TYPICAL GABLE END TO ROOF SLOPE DETAIL



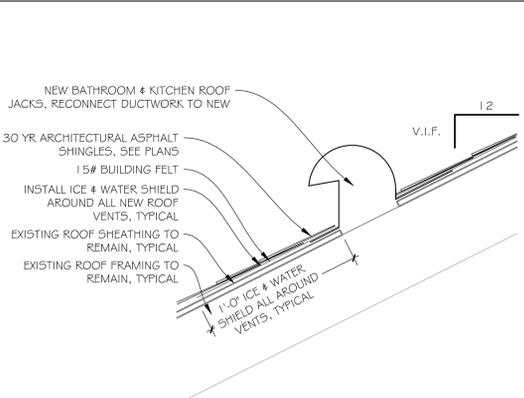
4 TYPICAL VALLEY DETAIL



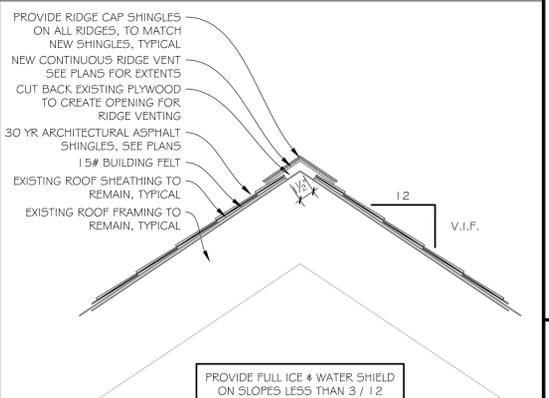
7 TYPICAL SHED PORCH ROOF



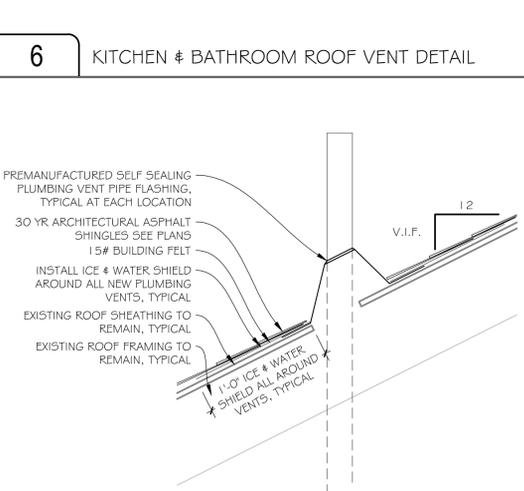
3 TYPICAL RAKE DETAIL



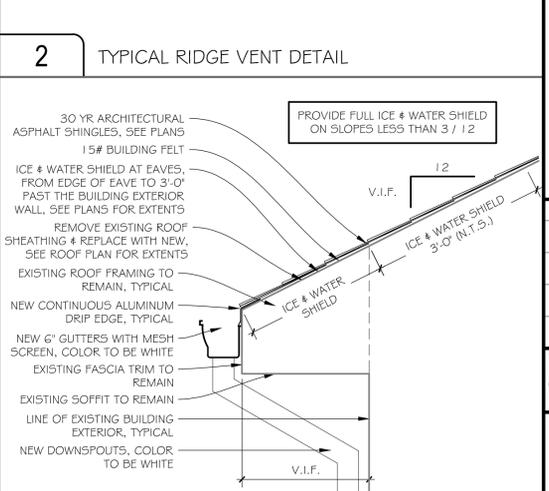
6 KITCHEN & BATHROOM ROOF VENT DETAIL



2 TYPICAL RIDGE VENT DETAIL



5 TYPICAL PLUMBING VENT DETAIL



1 TYPICAL EAVE DETAIL



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A3.0