



QUISENBERRY ARCARI ARCHITECTS, LLC

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REHABILITATION / RECONSTRUCTION WORK FOR:

SUISELIA & HARRYPAUL BALDEO

APPLICANT #1965

ISSUE DATE: AUGUST 14, 2014

141 WARSAW STREET

FAIRFIELD, CT

LIST OF DRAWINGS

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- A1.2 ROOF PLAN & DETAILS
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- A3.1 WINDOW & DOOR SCHEDULE & DETAILS

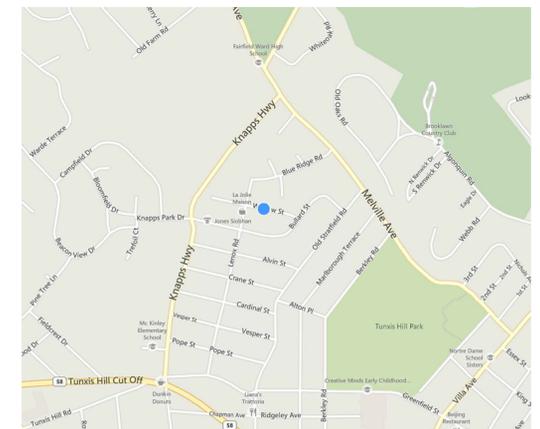
COMMUNITY DEVELOPMENT BLOCK GRANT DISASTER RECOVERY PROGRAM (CDBG-DR)

OWNER OCCUPIED REHABILITATION & REBUILDING PROGRAM (OORR)

SPONSORED IN CONJUNCTION WITH FUNDING FROM
THE CONNECTICUT DEPARTMENT OF HOUSING



LOCATION MAP



ABBREVIATIONS

A.F.F.	Above Finish Floor	HGT.	Height
A.C.	Acoustic, Acoustical	H.M.	Hollow Metal
A.C.T.	Acoustical Tile	HORIZ.	Horizontal
A/C	Air Conditioning	H.B.	Hose Bibb
A.H.U.	Air Handling Unit	IN.	Inch
ALT.	Alternate	INCL.	Included
ALUM.	Aluminum	INFO.	Information
ALF.	Aluminum Frame	I.D.	Inside Diameter
ANCH.	Anchor, Anchorage	INSUL.	Insulation
AB.	Anchor Bolt	INT.	Interior
L	Angle	JT.	Joint
ANOD.	Anodized	K.P.	Kick Plate
APFR.	Approved	LAB	Laboratory
ARCH.	Architect, Architectural	LAV.	Lavatory
ASB.	Asbestos	LTG.	Lighting
A.P.B.O.	As Provided By Owner	MACH.	Machine
A.S.B.O.	As Selected By Owner	MAINT.	Maintenance
ASPH.	Asphalt	MFRG.	Manufacturer
ASSY.	Assembly	M.BD.	Marker Board
ASST.	Assistant	MAS.	Masonry
AUTO.	Automatic	M.O.	Masonry Opening
BM	Beam	MAT.	Material
BRG.	Beaming	MAX.	Maximum
BEV.	Bevel, Beveled	MECH.	Mechanical
BIT.	Bituminous	MEZZ.	Mezzanine
BLK.	Block	MIN.	Minimum
BLKG.	Blocking	MISC.	Miscellaneous
BD.	Board	N	North
BOT.	Bottom	N.I.C.	Not In Contract
B.O.	Bottom Of	N.T.S.	Not To Scale
B.E.J.	Brick Expansion Joint	OFF.	Office
BLDG.	Building	O.C.	On Center
B.U.R.	Built Up Roofing	O.H.	Overhead
CAB.	Cabinet	O.D.	Outside Diameter
C.U.H.	Cabinet Unit Heater	PTD.	Painted
CAP.	Capacity	PR.	Pair
CASE	Casement	P.T.D.	Paper Towel Dispenser
CLG.	Ceiling	PASS.	Passage
CLGHT.	Ceiling Height	PERP.	Perpendicular
CEM.	Cement	PLAS.	Plaster
CTR.	Center	PLAM.	Plastic Laminate
CL	Centerline	PL	Plate
C.T.	Ceramic Tile	PLUMB.	Plumbing
C.BD.	Chalk Board	PLYWD.	Plywood
CLO.	Closet	PVC.	Polvinylchloride
COL.	Column	P.E.J.	Precast Expansion Joint
CONC.	Concrete	PREFAB.	Prefabricated
CONF.	Conference	QTY.	Quantity
CJ	Control Joint	Q.T.	Quarry Tile
CONT.	Continuous	RAD.	Radius
CONTR.	Contractor	RWC	Rain Water Conductor
CORR.	Corridor	RECV.	Receiving
CRS.	Course, Courses	REFR.	Refrigerator
DEG.	Degree	REINF.	Reinforce
DEMO.	Demolition	REM	Remove
DEPT.	Department	REQD	Required
DET.	Detail	REV.	Revised, Revision
DIA.	Diameter	R.	Riser
DIM.	Dimension	R.D.	Roof Drain
DIST.	Distance	RM.	Room
DR.	Door	S.N.D.	Sanitary Napkin Dispenser
DBL.	Double	S.N.R.	Sanitary Napkin Receptacle
D.H.	Double Hung	SCHED.	Schedule
DN	Down	SC.	Scupper
D.S.	Downspout	SECT.	Section
DWG.	Drawing	S.J.	Seismic Joint
D.F.	Drinking Fountain	SHT.	Sheet
EA.	Each	SIM.	Similar
ELEC.	Electric, Electrical	S.D.	Soap Dispenser
EWC.	Electric Water Cooler	S.T.D.	Sound Transmission Class
EL.	Elevation	S.T.C.	Sound Transmission Coefficient
ELEV.	Elevator	SPEC.	Specifications
EMERG.	Emergency	SQ.	Square
EQ.	Equal	S.F.	Square Feet
EQUIP.	Equipment	S.S.	Stainless Steel
EXIST.	Existing	STD.	Standard
E.T.R.	Existing To Remain	STL.	Steel
EXP.	Expansion	STOR.	Storage
E.J.	Expansion Joint	STRUCT.	Structure, Structural
EXT.	Exterior	S.STL.	Structural Steel
E.I.I.F.S.	Exterior Insulation Finish System	SUSP.	Suspend, Suspension
FT.	Feet, Foot	S.A.T.C.	Susp. Acoustic Tile Ceiling
F.R.G.P.	Fiber Reinforced Gypsum Panel	T.BD.	Tack Board
FIN.	Finish, Finished	THRU	Through
F.E.	Fire Extinguisher	T.P.D.	Toilet Paper Dispenser
F.R.	Fire Retardant	T.M.E.	To Match Existing
FPRFG.	Fireproofing	T&G	Tongue and Groove
FIXT.	Fixture	T.O.	Top Of
FLASH	Flashing	T.	Tread
FLR.	Floor	TYP.	Typical
F.D.	Floor Drain	U.L.	Underwriter's Laboratory
FLR.FIN.	Floor Finish	U.H.	Unit Heater
FTG.	Footing	U.V.	Unit Ventilator
FDN	Foundation	U.O.N.	Unless Otherwise Noted
FURN.	Furnish, Furnishings, Furniture	VEST.	Vestibule
FURR.	Furred, Furring	VCT.	Vinyl Composition Tile
GA.	Gauge	W.P.	Waterproofing
GALV.	Galvanized	W.W.F.	Welded Wire Fabric
GYP. BD.	Gypsum Board	W.BD.	White Board
G.C.	General Contractor	W	With
H.C.	Handicapped	WD.	Wood

WOOD

- ALL STRUCTURAL WOOD SHALL BE IN ACCORDANCE WITH THE NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION AND THE MANUAL OF HOUSE FRAMING AS PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION (NFPA), INCLUDING PROVISIONS FOR NAILING, FIRE STOPPING, ANCHORAGE, FRAMING AND BRACING.
- UNLESS NOTED OTHERWISE ON THE DRAWINGS, STRUCTURAL LUMBER SHALL BE AS FOLLOWS:
 - A. INTERIOR EXPOSURE: STRUCTURAL WOOD PROTECTED FROM MOISTURE SHALL BE HEM-FIR #2 OR BETTER
 - B. EXTERIOR EXPOSURE: STRUCTURAL WOOD EXPOSED TO MOISTURE, THE WEATHER, IN CONTACT WITH CONCRETE, LOCATED WITHIN 8 INCHES OF SOIL, OR LESS THAN 18 INCHES FROM THE FLOOR OF A CRAWL SPACE SHALL BE PRESERVATIVE TREATED SOUTHERN YELLOW PINE #2 OR BETTER, WITH RETENTION MEETING OR EXCEEDING THE REQUIREMENTS OF THE BUILDING CODE.
 - C. PLYWOOD: PLYWOOD SHALL BE IN ACCORDANCE WITH THE AMERICAN PLYWOOD ASSOCIATION (APA) SPECIFICATIONS (5 1/2). PLYWOOD FLOOR DECKING SHALL BE CONTINUOUS OVER TWO OR MORE SPANS WITH THE FACE-GRAIN RUNNING PERPENDICULAR TO SUPPORT JOISTS.
 - I. ROOF SHEATHING: C-D/EXT-APA, 1/2" THICK
 - II. WALL SHEATHING: C-D/EXT-APA, 1/2" THICK
 - III. SUBFLOORING: C-D/EXT-APA, 3/4" THICK
- NAILING SCHEDULE SHALL BE IN ACCORDANCE WITH THE LOCAL BUILDING CODES RECOMMENDED FASTENING SCHEDULE. NAIL PLYWOOD SHEATHING AND SUBFLOORING 6" O.C. AT EDGES AND 12" O.C. ALONG INTERMEDIATE SUPPORTS, LEAVING SPACES BETWEEN PANELS AS RECOMMENDED BY THE APA. UTILIZE RING-SHANK OR SCREW TYPE NAILS FOR PLYWOOD SUBFLOORING AND APPLY APPROPRIATE CONSTRUCTION ADHESIVE TO ADEQUATELY SECURE PLYWOOD TO FLOOR JOISTS.
- INSTALL JOIST HANGERS, COLUMN CAPS AND BASES WHERE REQUIRED. METAL FABRICATIONS SHALL BE OF APPROPRIATE SIZE AND TYPE FOR THE MEMBERS AND SUPPORT CONDITIONS. WHERE FLANGE SUPPORT JOIST HANGERS ARE USED IN CONJUNCTION WITH STEEL BEAMS, CARE SHALL BE TAKEN TO INSTALL THE HANGERS CLEAR OF CONTACT WITH THE STEEL BEAM BY INSTALLING 2X WOOD TOP PLATES.
- NOTCHING SHALL NOT EXCEED 1/8TH OF THE DEPTH OF A JOIST OR RAFTER AND SHALL OCCUR ONLY IN THE OUTER QUARTER OF THE SPAN. NOTCHES SHALL NOT BE PERMITTED IN THE MIDDLE HALF OF THE SPAN. NOTCH LENGTH SHALL NOT EXCEED 1/3RD OF THE JOIST DEPTH. NOTCHES ARE NOT PERMITTED IN ENGINEERED LUMBER PRODUCTS.
- HOLES IN JOISTS OR RAFTERS SHALL OCCUR IN THE MIDDLE 1/3RD OF THE SPAN. THE HOLE DIAMETER SHALL NOT EXCEED 1/3RD OF THE JOIST DEPTH. HOLES IN ENGINEERED LUMBER PRODUCTS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES.
- ENGINEERED LUMBER INDICATED ON THE DRAWINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. JOISTS LABELED TJI ARE COMPOSITE I-JOISTS AS MANUFACTURED BY TRUS-JOIST. MEMBERS LABELED LVL ARE LAMINATED VENEER LUMBER (1.9E MICROLAM BY TRUS-JOIST). THE SUBSTITUTION OF OTHER PRODUCTS ARE ONLY PERMITTED WITH BACKUP ENGINEERING PLANS AND CALCULATIONS.

FINISHES

- GYPSUM BOARD
- PROVIDE AND INSTALL GYPSUM WALL BOARD IN ACCORDANCE WITH AMERICAN STANDARD SPECIFICATIONS FOR THE APPLICATION AND FINISHING OF GYPSUM WALLBOARD, AS APPROVED BY THE AMERICAN STANDARDS ASSOCIATION, LATEST EDITION; APPLICABLE PARTS THEREOF ARE HEREBY MADE A PART OF THIS SPECIFICATION EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE CALLED FOR IN THE SPECIFICATION, IN LOCAL CODES, OR BY THE MANUFACTURER OF THE GYPSUM WALLBOARD, WHOSE REQUIREMENTS SHALL BE FOLLOWED.
 - PROVIDE AND INSTALL MOISTURE-RESISTANT GYPSUM WALLBOARD WHERE REQUIRED. PROVIDE TYPE X GYPSUM BOARD AS CALLED FOR ON THE DRAWINGS.
- PAINT
- APPLICATION OF PAINT OR OTHER COATING SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. READY-MIXED PAINT SHALL NOT BE THINNED, EXCEPT AS PERMITTED IN THE APPLICATION INSTRUCTIONS.

THERMAL & MOISTURE PROTECTION

- PROVIDE AND INSTALL BUILDING THERMAL INSULATION IN ACCORDANCE WITH THE FOLLOWING:
 - A. EXTERIOR WALLS: R-19 MINIMUM
 - B. SLOPED CEILINGS: R-30 MINIMUM
 - C. FLAT CEILINGS: R-38 MINIMUM
 - D. CEILINGS OVER UNCONDITIONED SPACE: R-21 MINIMUM
 - E. CEILINGS OVER BASEMENT: R-21 MINIMUM
- INSTALL VENTING IN SLOPED CEILING AREAS TO PERMIT AIRFLOW ALONG THE COOL SIDE OF THE INSULATION FROM THE EAVE TO RIDGE.
- DO NOT LEAVE KRAFT-PAPER FACED INSULATION EXPOSED. INSTALL TYPE F5K FOIL TO PROTECT EXPOSED INSULATION.
- INSTALL EITHER INTERIOR AND/OR EXTERIOR FOUNDATION INSULATION AS REQUIRED BY LOCAL BUILDING CODES.

ELECTRICAL NOTES

- ELECTRICAL DRAWINGS ARE INTENDED TO BE USED FOR SCHEMATIC DESIGN ONLY. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF FINAL ELECTRICAL DESIGN.
- FINAL LOCATIONS OF ALL ELECTRICAL DEVICES AND THEIR INTENDED OPERATION IS TO BE COORDINATED WITH THE OWNER.
- ELECTRICAL CONTRACTOR SHALL PURCHASE AND INSTALL ALL NEW COMPONENTS AS REQUIRED TO PROPERLY SERVICE THE SPACE(S) AFFECTED BY THIS CONSTRUCTION PROJECT. IF THE MODIFICATION OF EXISTING ELECTRICAL SYSTEMS IS NECESSARY, SUCH MODIFICATIONS SHALL NOT ADVERSELY AFFECT THE OPERATION OF THESE SYSTEMS.
- ELECTRICAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
- COORDINATE ELECTRICAL WORK WITH THE WORK OF OTHER TRADES. DO NOT ALTER THE WORK OF PREVIOUS TRADES WITHOUT PRIOR APPROVAL.
- ELECTRICAL CONTRACTOR MUST PROVIDE AND INSTALL ALL DUCT WORK ASSOCIATED WITH EXHAUST FANS.
- PERFORM ALL NEW ELECTRICAL WORK IN ACCORDANCE WITH LOCAL CODES AND ACCEPTED STANDARDS OF PRACTICE.

ELECTRICAL MOUNTING HEIGHTS

- ALL DIMENSIONS ARE TO THE CENTER OF THE DEVICE UNLESS OTHERWISE NOTED. SEE ELECTRICAL DRAWINGS FOR TYPES AND LOCATIONS.
- RECEPTACLES: 18" A.F.F. (AT LOCATIONS ABOVE CASEWORK, MOUNT BOTTOM OF RECEPTACLE AT 2" ABOVE BACKSPASH, AT LOCATIONS BELOW CASEWORK, MOUNT AT 24" A.F.F.)
- EXTERIOR RECEPTACLES: 24" A.F.G. (20" A.F.F.)
- SWITCHES: 48" A.F.F.

DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN		SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	
	SPEED (mph)	TOPOGRAPHIC effects		WIND EXPOSURE CATEGORY	Weathering	Frost heave depth		Temper.
30 psf	100	r/4	B	B	SEVERE	42"	MODERATE TO HEAVY	7° F
ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARD	AIR FREEZING INDEX	MEAN ANNUAL TEMP	CLIMATE ZONE				
YES	NONE	1,500 OR LESS	50° F	5A				

2009 INTERNATIONAL RESIDENTIAL CODE W/ 2013 CONNECTICUT AMENDMENT
 2009 INTERNATIONAL ENERGY CONSERVATION CODE W/ 2013 CONNECTICUT AMENDMENT
 2011 NATIONAL ELECTRICAL CODE (NFPA 70) W/ 2013 CONNECTICUT AMENDMENT

ARCHITECTURAL SYMBOLS

	EXISTING WALL
	WALL TO BE DEMOLISHED
	NEW STUD WALL
	NEW CMU WALL
	NEW FOUNDATION WALL
	KITCHEN HARDWOOD 15'-0" x 12'-0"
	ROOM NAME FLOOR FINISH ROOM SIZE (if applicable)
	SECTION MARKER
	ELEVATION MARKER
	WINDOW IDENTIFICATION
	ELEVATION MARKER
	EXISTING DOOR
	NEW DOOR

GENERAL NOTES

- ALL CONSTRUCTION ON THIS HOME, AND ANY CHANGES MADE TO THE DESIGN OF THIS HOME, EITHER BEFORE OR DURING CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE BUILDING CODE. NOTHING REPRESENTED WITHIN THESE PLANS SHALL ALLEVIATE THE APPLICABLE CODE REQUIREMENTS FOR THE CONSTRUCTION RELATED TO THIS PROJECT.
- NOTIFY QUISENBERRY ARCARI ARCHITECTS, LLC AT (860) 677-4594 IMMEDIATELY IF PROBLEMS SHOULD ARISE DURING THE CONSTRUCTION ON THIS HOME WITH RESPECT TO STRUCTURAL INTEGRITY, FRAMING CONFLICTS, OR GENERAL CONCERNS.
- THESE DRAWINGS DO NOT REPRESENT ALL COMPONENTS OR DETAILS REQUIRED TO PROPERLY CONSTRUCT THIS HOME. IT IS ASSUMED THAT THE WORK WILL BE PERFORMED BY COMPETENT, SKILLED AND LICENSED TRADE CONTRACTORS IN ACCORDANCE WITH INDUSTRY STANDARDS AND CARE.
- UNLESS OTHERWISE NOTED ON THE DRAWINGS, ALL NEW FINISHES (ROOFING, SIDING, TRIM, ETC.) SHALL MATCH EXISTING.
- PATCH EXISTING AREAS AFFECTED BY THE NEW WORK. MATCH EXISTING FINISHES UNLESS DIRECTED OTHERWISE BY THE OWNER.
- EXTEND EXISTING SERVICES (MECHANICAL, PLUMBING, ELECTRICAL, ETC.) TO ACCOMMODATE THE NEW CONSTRUCTION. PROVIDE UPGRADES TO EXISTING COMPONENTS AS NECESSARY TO PROVIDE SATISFACTORY PERFORMANCE WITHIN THE COMPLETED STRUCTURE.

CONCRETE MASONRY

- ALL MASONRY SHALL CONFORM TO AND BE ERRECTED IN ACCORDANCE WITH ACI 530 BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES AND ACI 530.1 SPECIFICATION FOR MASONRY STRUCTURES.
- ALL MASONRY WALLS ARE TO BE CONSTRUCTED OF CONCRETE MASONRY WITH COMPRESSIVE STRENGTH FM = 1500 P.S.I. THE CONTRACTOR IS RESPONSIBLE FOR ASSURING MASONRY STRENGTH AS SPECIFIED.
- TYPE "M" OR "S" MORTAR SHALL BE USED IN ALL MASONRY.



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REHABILITATION/RECONSTRUCTION WORK FOR:
SUISELIA & HARRY PAUL
BALDEO
 APPLICANT #1965
 141 WARSAW STREET
 FAIRFIELD, CT

Sheet Description:
GENERAL NOTES

Issue Dates:
 AUGUST 14, 2014

Scale: No Scale

Project #: QA 1346-25
Drawn By: CJO

Sheet #:
G1.1



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Sheet Description:

LOWER LEVEL & MAIN LEVEL FLOOR PLANS

Issue Dates:

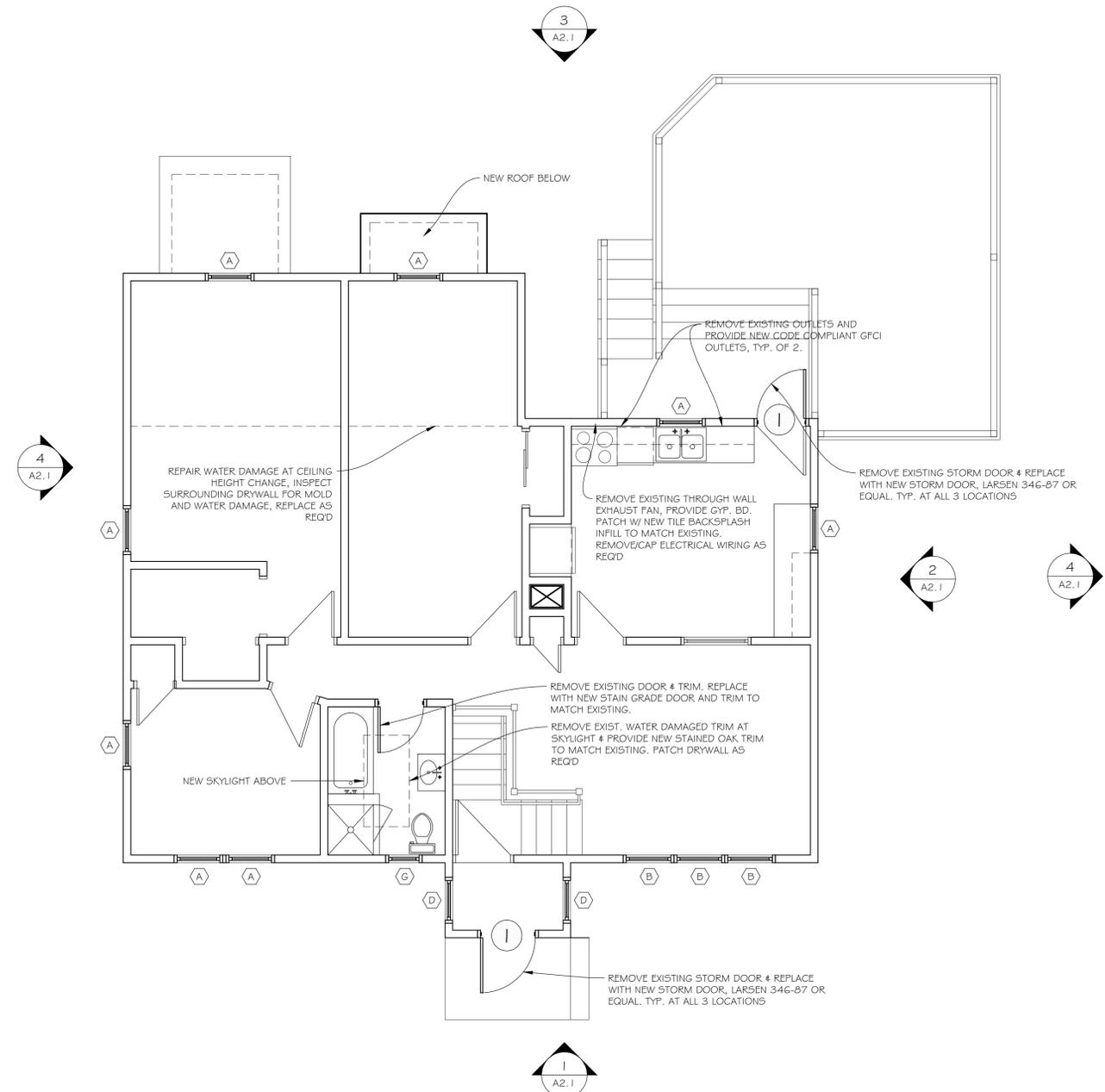
AUGUST 14, 2014

Scale: 1/4" = 1'-0"

Project #: QA 1346-25
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Sheet #:

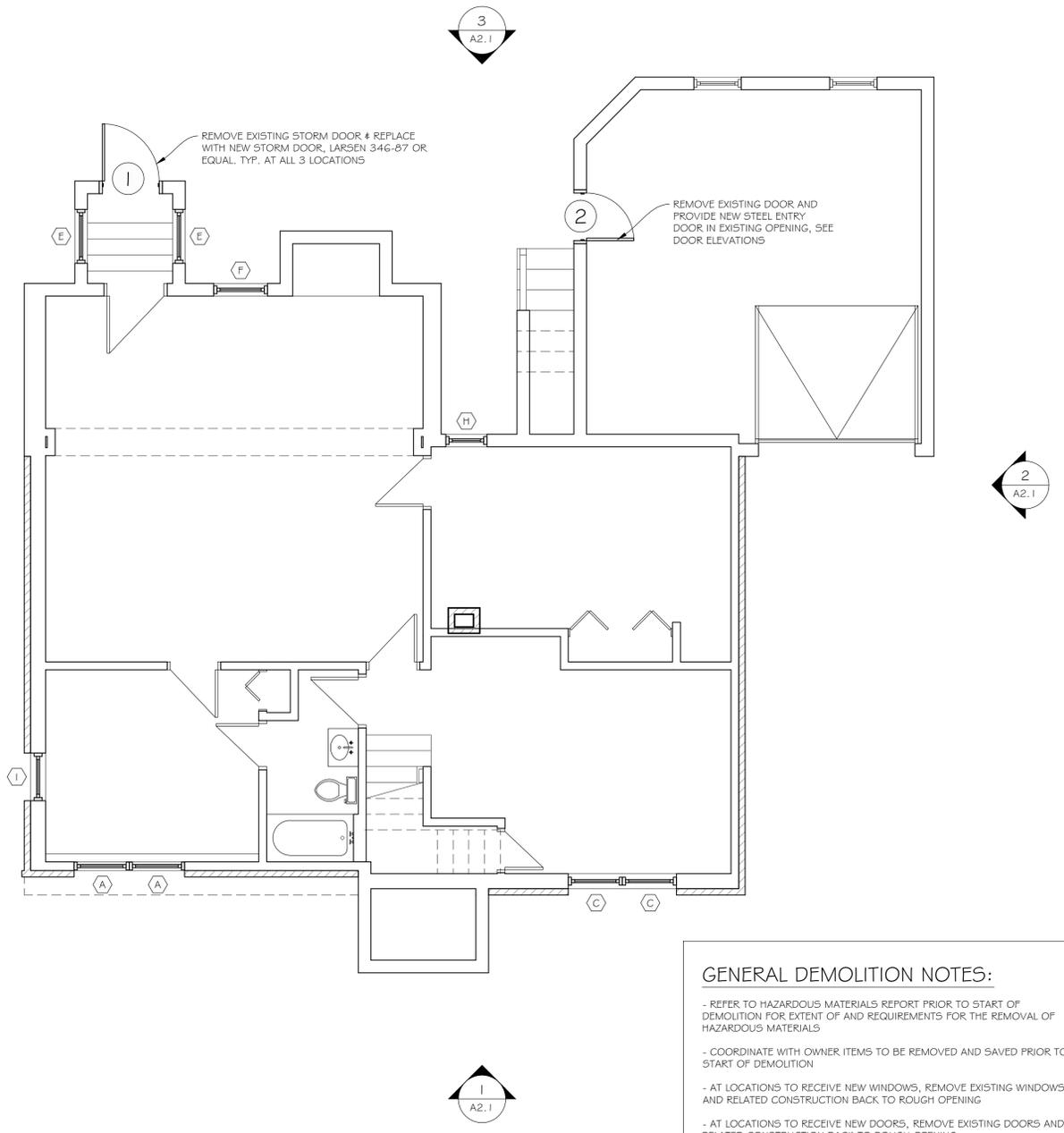
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MAIN LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

2



LOWER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

1

GENERAL DEMOLITION NOTES:

- REFER TO HAZARDOUS MATERIALS REPORT PRIOR TO START OF DEMOLITION FOR EXTENT OF AND REQUIREMENTS FOR THE REMOVAL OF HAZARDOUS MATERIALS
- COORDINATE WITH OWNER ITEMS TO BE REMOVED AND SAVED PRIOR TO START OF DEMOLITION
- AT LOCATIONS TO RECEIVE NEW WINDOWS, REMOVE EXISTING WINDOWS AND RELATED CONSTRUCTION BACK TO ROUGH OPENING
- AT LOCATIONS TO RECEIVE NEW DOORS, REMOVE EXISTING DOORS AND RELATED CONSTRUCTION BACK TO ROUGH OPENING
- REMOVE EXISTING SIDING, BUILDING PAPER, WOOD TRIM & ASSOCIATED CONSTRUCTION BACK TO EXISTING SHEATHING



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Sheet Description:

ROOF PLAN & DETAILS

Issue Dates:

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Scale: 1/4" = 1'-0"

Project #: QA 1346-25

Drawn By: CJO

Sheet #:

A1.2



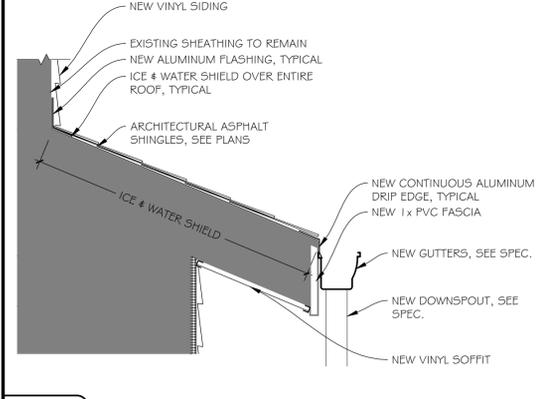
9 TYPICAL SHED ROOF



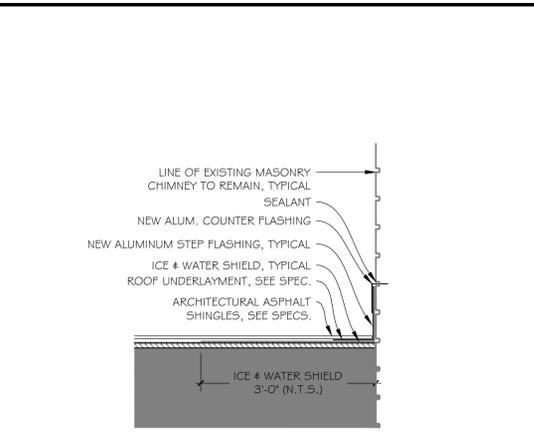
6 TYPICAL BATHROOM ROOF VENT DETAIL



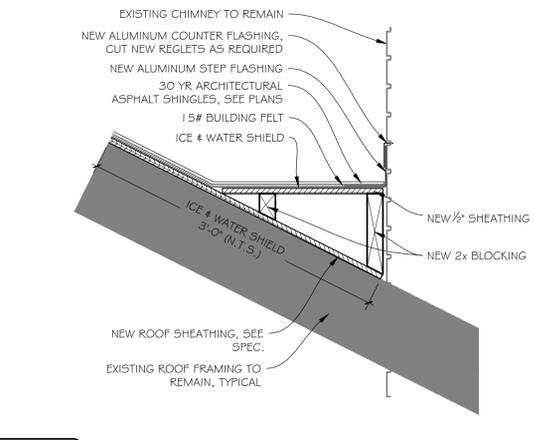
7 TYPICAL CHIMNEY CRICKET



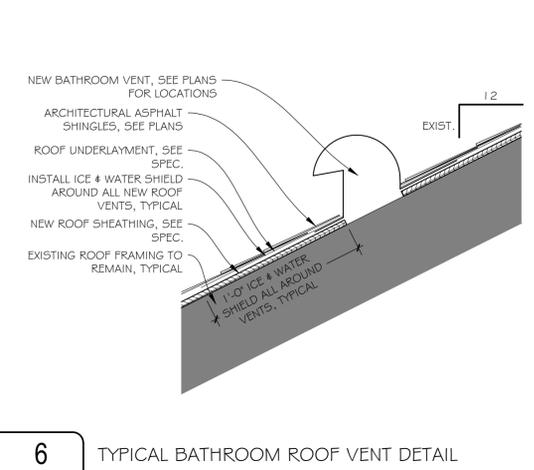
8 TYPICAL CHIMNEY FLASHING DETAIL



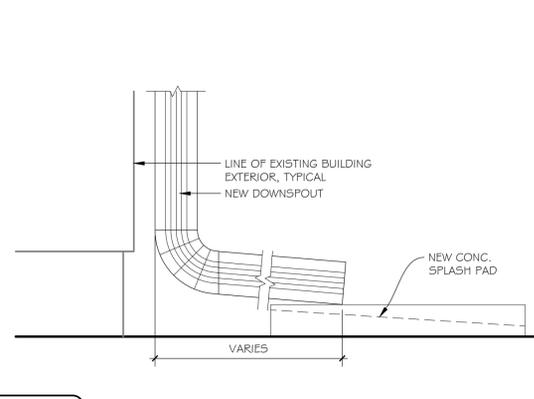
4 TYPICAL PLUMBING VENT DETAIL



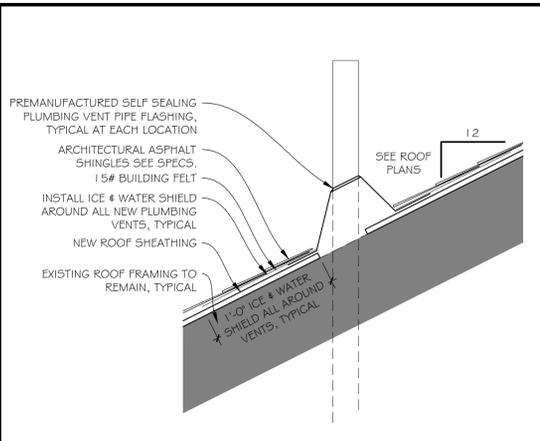
3 TYPICAL RAKE DETAIL



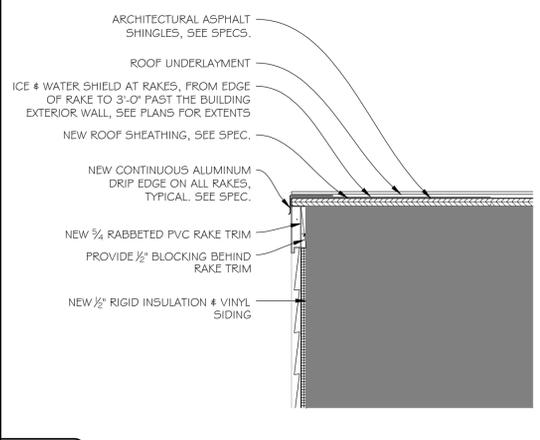
2 TYPICAL RIDGE VENT DETAIL



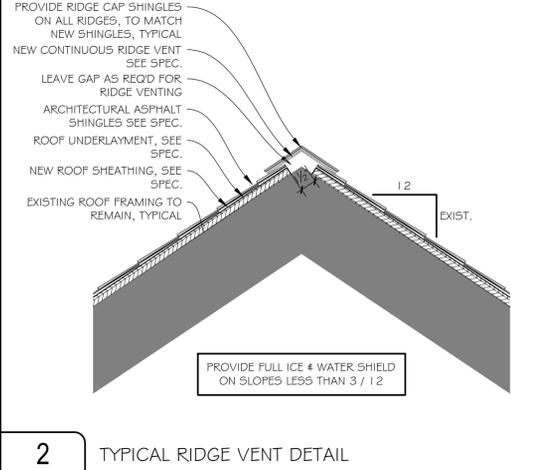
1 TYPICAL EAVE DETAIL



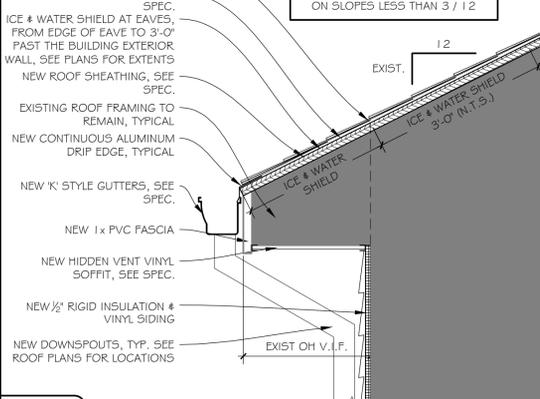
5 TYPICAL DOWNSPOUT & SPLASH PAD



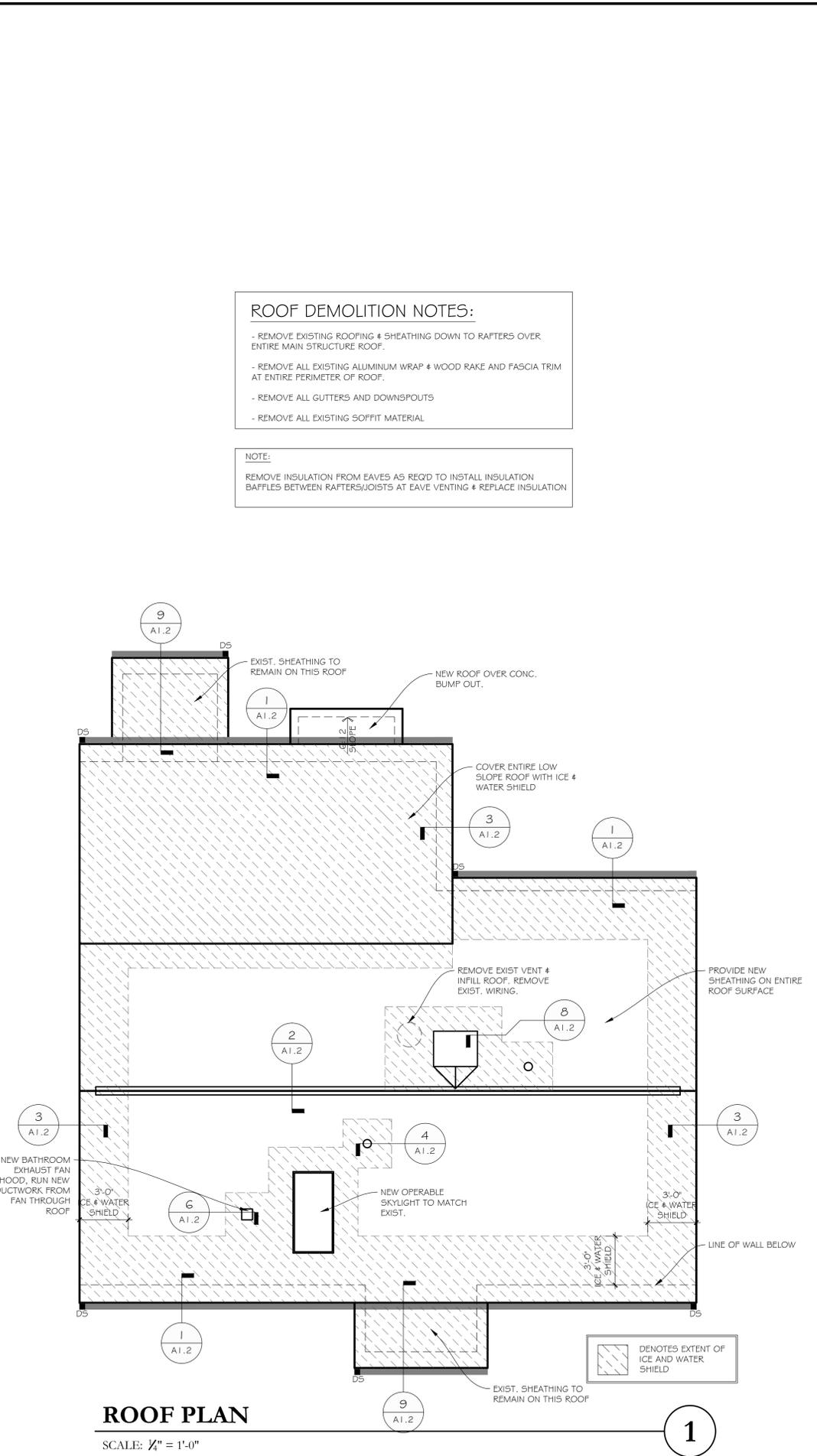
2 TYPICAL RIDGE VENT DETAIL



1 TYPICAL EAVE DETAIL



5 TYPICAL DOWNSPOUT & SPLASH PAD



ROOF DEMOLITION NOTES:

- REMOVE EXISTING ROOFING & SHEATHING DOWN TO RAFTERS OVER ENTIRE MAIN STRUCTURE ROOF.
- REMOVE ALL EXISTING ALUMINUM WRAP & WOOD RAKE AND FASCIA TRIM AT ENTIRE PERIMETER OF ROOF.
- REMOVE ALL GUTTERS AND DOWNSPOUTS
- REMOVE ALL EXISTING SOFFIT MATERIAL

NOTE:
 REMOVE INSULATION FROM EAVES AS REQD TO INSTALL INSULATION BAFFLES BETWEEN RAFTERS/JOISTS AT EAVE VENTING & REPLACE INSULATION

ROOF PLAN

SCALE: 1/4" = 1'-0"



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BALDEO

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Sheet Description:

EXTERIOR ELEVATIONS

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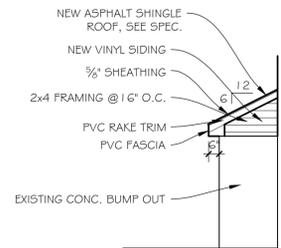
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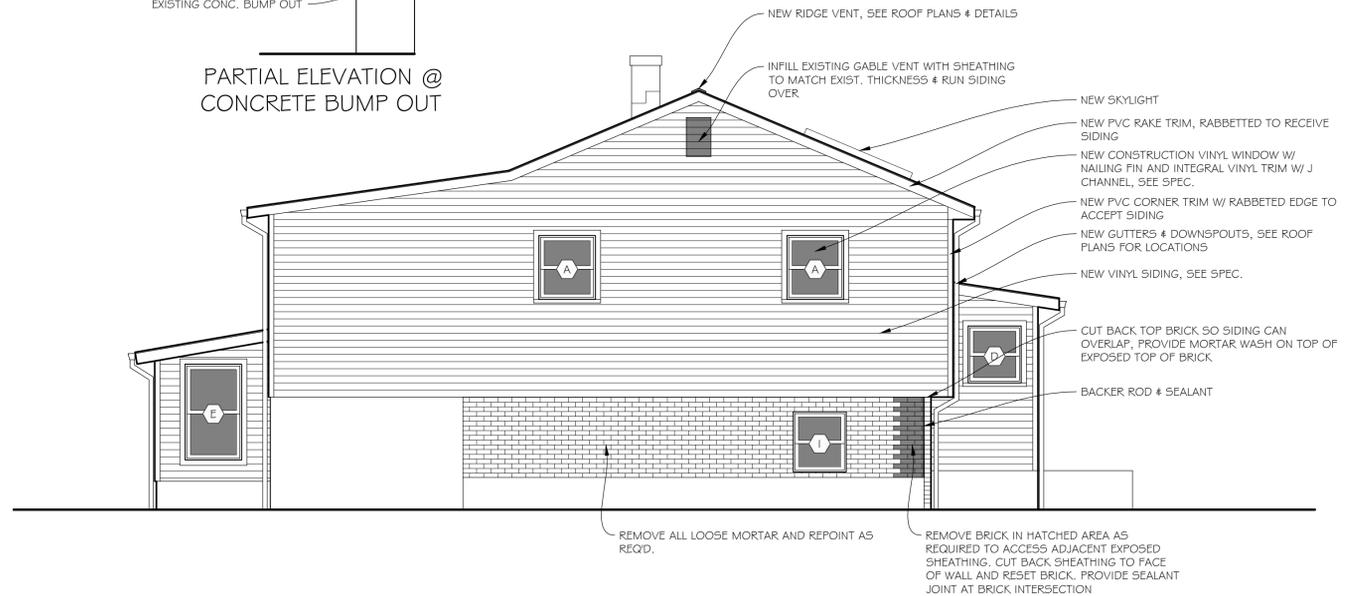
Drawn By: CJO

Sheet #:

A2.1



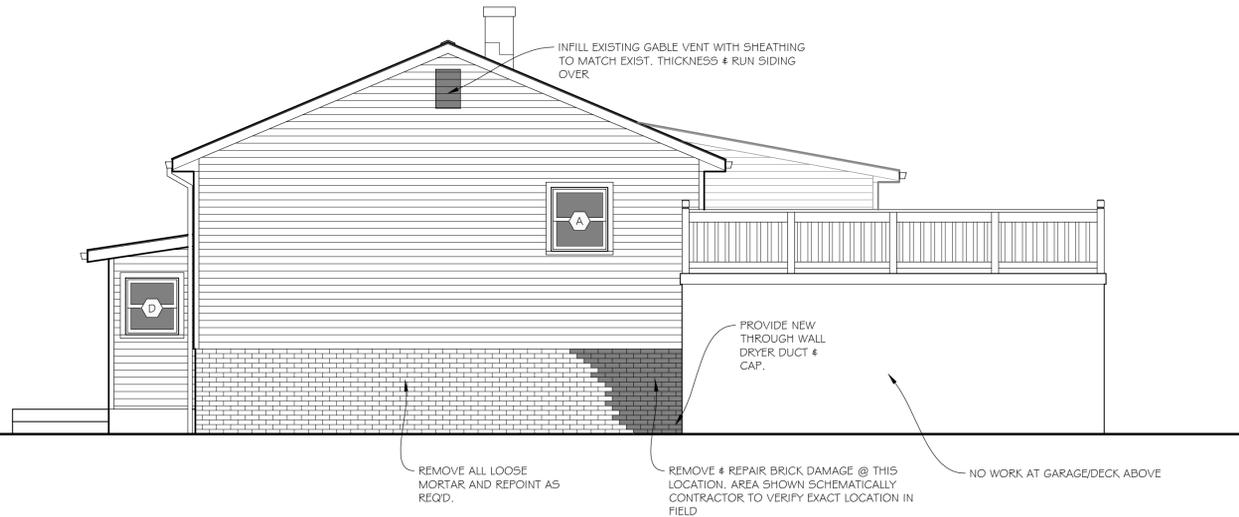
PARTIAL ELEVATION @ CONCRETE BUMP OUT



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

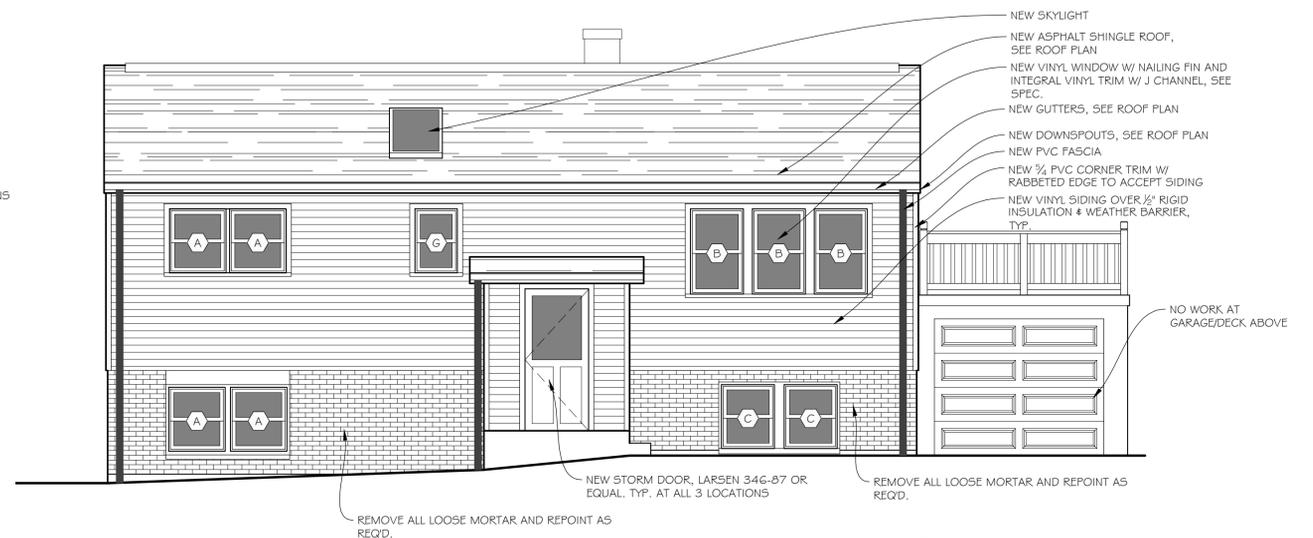
2



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

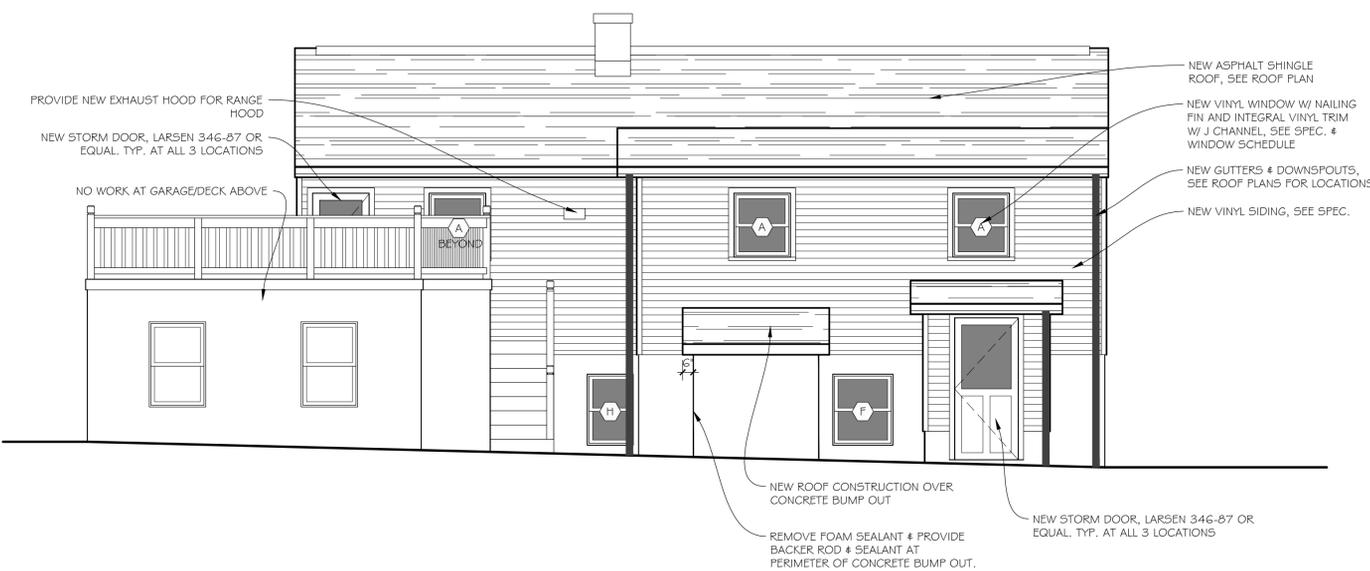
4



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

1



REAR ELEVATION

SCALE: 1/4" = 1'-0"

3

SIDING DEMOLITION NOTES:

- REMOVE ALL VINYL SIDING/UNDERLAYMENT AND ANY PREVIOUSLY INSTALLED FINISHES BACK TO EXISTING SHEATHING
- REMOVE ALL SIDING ACCESSORIES & FLASHINGS
- REMOVE ALL LIGHTING AND STORE FOR REINSTALLATION

NOTES:

- ALL COLORS TO BE SELECTED BY OWNER, CONTRACTOR TO COORDINATE WITH OWNER.
- ALL EXISTING EXTERIOR LIGHTING & ACCESSORIES TO BE REMOVE AND REINSTALLED. PROVIDE PVC MOUNTING BLOCKS AT ALL LOCATIONS.



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REHABILITATION/RECONSTRUCTION WORK FOR:

SUISELLIA & HARRYPAUL

BALDEO

APPLICANT #1965

141 WARSAW STREET FAIRFIELD, CT

Sheet Description:

WINDOW SCHEDULE & DETAILS

Issue Dates:

AUGUST 14, 2014

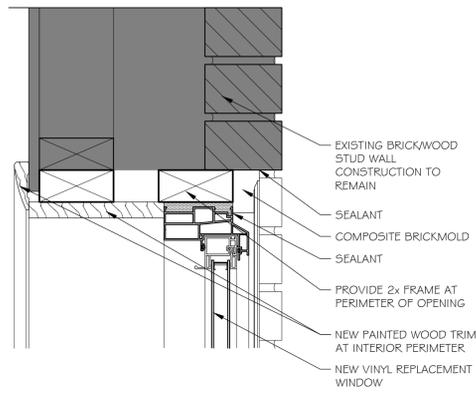
Scale: **AS NOTED**

Project #: QA 1346-25

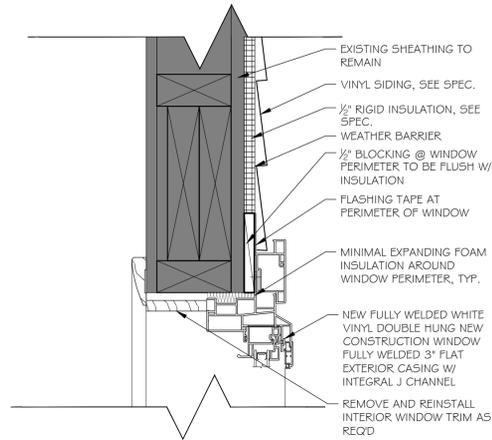
Drawn By: CJO

Sheet #:

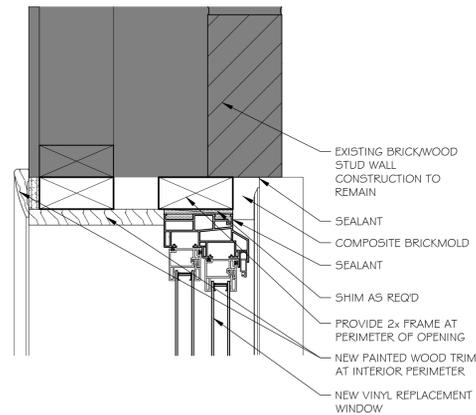
A3.1



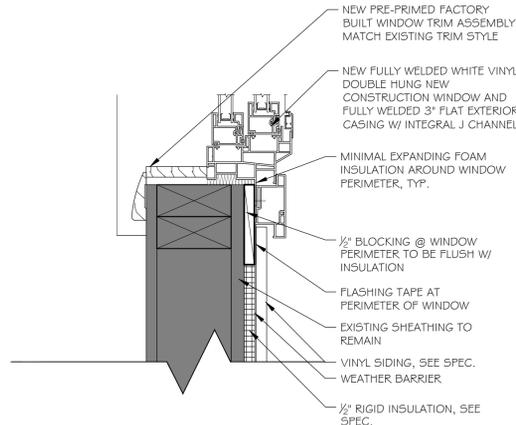
WH-2 SCALE: 3" = 1'-0"



WH-1 SCALE: 3" = 1'-0"

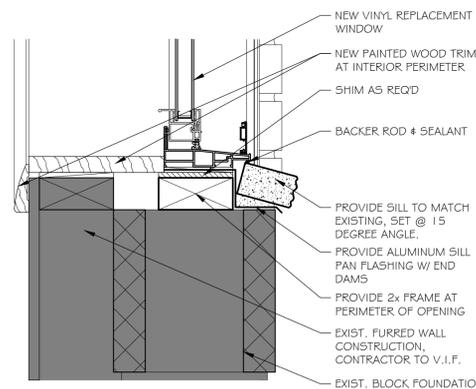


WJ-2 SCALE: 3" = 1'-0"

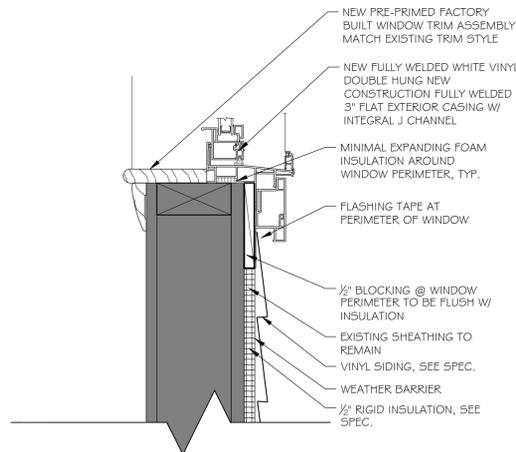


WJ-1 SCALE: 3" = 1'-0"

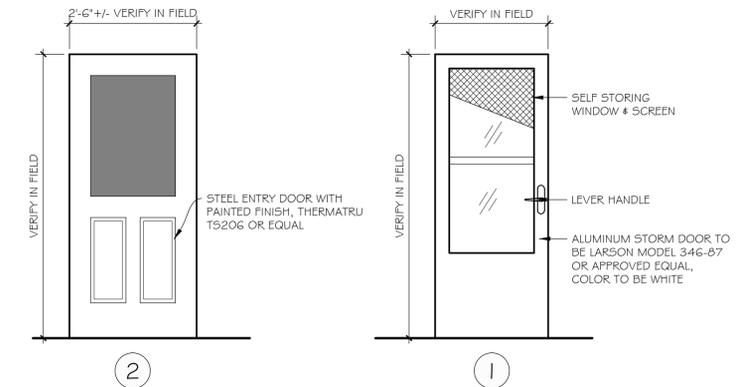
NOTE: INSULATE ALL OPENINGS BETWEEN WINDOW, JAMB, EXISTING FRAME, AND LINTELS WITH MINIMAL EXPANDING POLYURETHANE FOAM SEALANT, GREAT STUFF WINDOW # DOOR OR EQUAL. ALL VOIDS TO BE INSULATED FULLY (HEIGHT, WIDTH & DEPTH), TYP.



WS-2 SCALE: 3" = 1'-0"



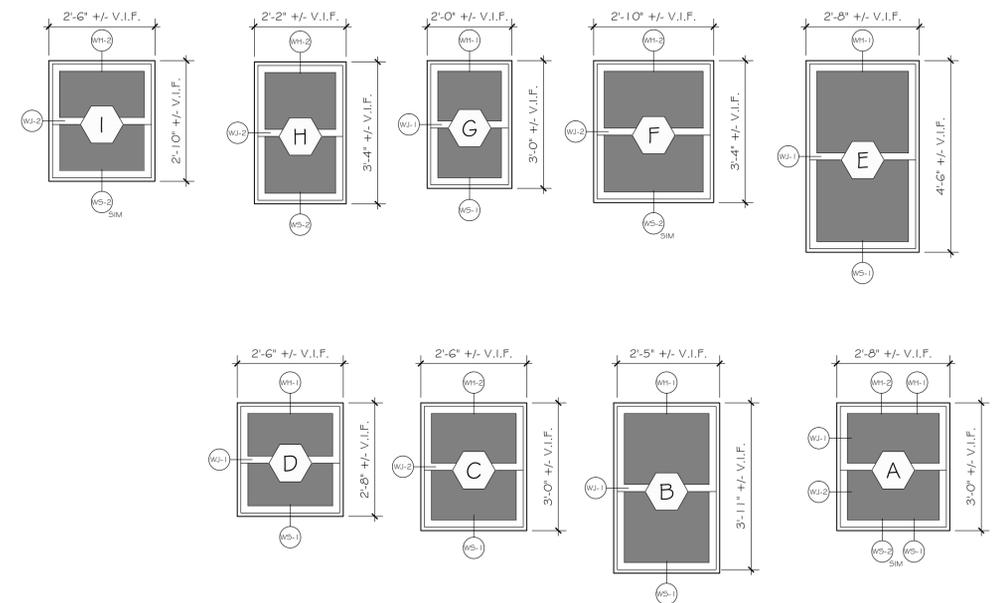
WS-1 SCALE: 3" = 1'-0"



DOOR ELEVATIONS

SCALE: 1/4" = 1'-0"

WINDOW NOTES:
 - CONTRACTOR TO VERIFY EXACT WINDOW SIZES PRIOR TO ORDERING. SIZES SHOWN FOR BIDDING PURPOSES ONLY
 - EXISTING INTERIOR TRIM IS TO REMAIN, REMOVE AND RE-INSTALL AS REQ'D
 - CONTRACTOR TO PROVIDE TEMPERED GLAZING IN WINDOWS AS REQ'D BY CODE
 - ALL WINDOWS IN WOOD FRAME/SIDING CONSTRUCTION TO HAVE INTEGRAL FLAT CASING W/ J CHANNEL



WINDOW ELEVATIONS

SCALE: 1/4" = 1'-0"