

SUPER STORM SANDY *Response and Recovery*

STATE OF CONNECTICUT DEPARTMENT OF HOUSING COMMUNITY DEVELOPMENT BLOCK GRANT DISASTER RECOVERY PROGRAM

OWNER OCCUPIED REHABILITATION AND REBUILDING PROGRAM (OORR)

GOVERNOR OF CONNECTICUT:
DANNEL P. MALLOY



COMMISSIONER OF HOUSING:
EVONNE M. KLEIN

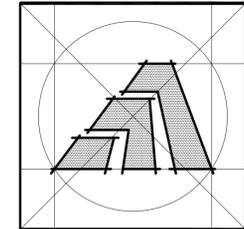
APPLICATION NO. 1748

**CARTER RESIDENCE
260 KNOLLWOOD DR.
NEW HAVEN, CONNECTICUT 06515**

JUNE 22, 2015



ARCHITECT:



Amaya Architects

American Institute of Architects

284 RACEBROOK RD. TEL (203) 795 5656
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CIVIL ENGINEER:



**FULLER ENGINEERING
& LAND SURVEYING**
525 JOHN STREET
BRIDGEPORT, CT.
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MEP ENGINEER:



Loureiro Engineering Associates, Inc.
100 Northwest Drive
Plainville, Connecticut 06062
Phone: 860-747-6181 / Fax: 860-747-8822
An Employee Owned Company
email : info@loureiro.com
Comm No. 01MH4.08

ENVIROMENTAL:



36 John Street, Hartford, CT 06106
MBE | DBE | SBE | SBA 8(a) Certified
Direct Office# 860-256-8113 | Fax 860-986-7161 | Cell 860-908-4499
www.freemancos.com

GENERAL NOTES

- SCOPE OF WORK INCLUDES: WATER DAMAGE REPAIR - REMOVE AND REINSTALL EXISTING MILLWORK AND WALL FINISHES FOLLOWING MOLD REMOVAL, SITE DRAINAGE SYSTEM.
- THE WORK DESCRIBED IN THESE DOCUMENTS IS TO MEET HIGHEST QUALITY STANDARDS IN BOTH MATERIAL AND WORKMANSHIP. ANY SUBSTANDARD WORK WILL BE REJECTED.
- ALL WORK SHALL CONFORM TO THE MUNICIPALITY'S APPLICABLE BUILDING CODE, FIRE DEPT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE BUILDING DEPT, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES AS REQUIRED BY GOVERNING MUNICIPAL AGENCIES.
- THE CONTRACTOR SHALL VERIFY ALL DRAWING DIMENSIONS AND FIELD CONDITIONS, AND SHALL REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCING WORK.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWING.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH THE REQUIREMENTS OF LOCAL AUTHORITIES.
- THE CONTRACTOR SHALL LAYOUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR ALL OTHER TRADES (PLUMBING, ELECTRICAL, ETC.) IF APPLICABLE
- PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGNING IF APPLICABLE.
- THE CONTRACTOR UPON COMPLETION OF JOB, SHALL APPLY FOR CERTIFICATE OF OCCUPANCY, AND SHALL ARRANGE FOR BUILDING DEPT INSPECTIONS AND SIGN-OFFS REQUIRED TO OBTAIN CERTIFICATE OF OCCUPANCY.
- MANUFACTURED ARTICLES ARE TO BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS IN ALL CASES, CONTRACTOR SHALL NOTIFY DESIGNER OF ANY CONDITIONS THAT IS IN CONFLICT WITH MANUFACTURER'S SPECIFICATIONS OR INSTRUCTIONS THAT MIGHT VOID A MANUFACTURER'S WARRANTY.
- THE CONTRACTOR SHALL ASSEMBLE IN A BINDER AND PASS ALONG TO THE OWNER ALL EQUIPMENT AND MATERIAL WARRANTIES THAT MAY EXTEND BEYOND THE BASE GUARANTEE PERIOD, AS WELL AS INSTALLATION AND MAINTENANCE INSTRUCTIONS IF APPLICABLE.
- NO SUBSTITUTIONS FOR MATERIALS SPECIFIED HEREIN SHALL BE PERMITTED WITHOUT PRIOR APPROVAL BY ARCHITECT.
- ARCHITECT AND ASSOCIATED CONSULTANTS DISCLAIMS ANY ACTUAL OR CONSEQUENTIAL DAMAGES ARISING FROM THIRD PARTY RELATIONSHIPS. THESE DRAWINGS DO NOT PROVIDE ALL OR ANY SPECIFIC DETAIL IN AREAS INCLUDING BUT NOT LIMITED TO NAILING, GLUING, CAULKING, FLASHING, PAINTING AND WATERPROOFING, OR CRAFTSMANSHIP. G.C. IS RESPONSIBLE TO PROVIDE PROPER SUPERVISED WORKMANSHIP.
- ARCHITECT AND ASSOCIATED CONSULTANTS DISCLAIMS ANY ACTUAL OR CONSEQUENTIAL DAMAGES ARISING FROM THIRD PARTY RELATIONSHIPS. THESE DRAWINGS DO NOT PROVIDE ALL OR ANY SPECIFIC DETAIL IN AREAS INCLUDING BUT NOT LIMITED TO NAILING, GLUING, CAULKING, FLASHING, PAINTING AND WATERPROOFING, OR CRAFTSMANSHIP. G.C. IS RESPONSIBLE TO PROVIDE PROPER SUPERVISED WORKMANSHIP.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR "REINSTATING" THE SITE TO ORIGINAL CONDITIONS. (INCLUDING, BUT NOT LIMITED TO TOPSOIL, WALKWAYS, GRAVEL DRIVEWAYS AND BITUMINOUS PAVEMENT). STRIPPED TOPSOIL SHALL BE RE-SPREAD TO FINISH GRADE ELEVATION AND SEEDDED.

ABBREVIATIONS

AC AIR CONDITIONING	L LENGTH
ACU AIR CONDITIONING UNIT	LAM LAMINATE
AFF ABOVE FINISHED FLOOR	LAV LAVATORY
AHU AIR HANDLING UNIT	LBL LABEL
ALUM ALUMINUM	LBS POUNDS
ANOD ANODIZED	LH LEFT HAND
AT ACOUSTICAL TILE	LN FT LINEAR FEET
BD BOARD	LT LIGHT
BLDG BUILDING	LTG LIGHTING
BO BY OTHERS	MAS MASONRY
CAB CABINET	MAX MAXIMUM
CD CEILING DIFFUSER	MECH MECHANICAL
CFM CUBIC FEET PER MINUTE	MFR MANUFACTURE(R)
< CENTER LINE	MIN MINIMUM
CLG CEILING	MISC MISCELLANEOUS
CLL CONTRACT LIMIT LINE	MM MILLIMETER
CMU CONCRETE MASONRY UNIT	MO MASONRY OPENING
COL COLUMN	MTD MOUNTED
CONC CONCRETE	MTL METAL
CONST CONSTRUCTION	MULL MULLION
CONT CONTINUOUS	MW MILLWORK
CPT CARPET(ED)	NA NOT APPLICABLE
CS COUNTER SINK	NIC NOT IN CONTRACT
CT CERAMIC TILE	NO NUMBER
CTR COUNTER	NOM NOMINAL
CU FT CUBIC FEET	NTS NOT TO SCALE
CU IN CUBIC INCHES	OC ON CENTER
CW COLD WATER (CITY)	OD OUTSIDE DIAMETER
D DEPTH	OPNG OPENING
DEMO DEMOLITION	OPP OPPOSITE
DET DETAIL	PART PARTITION
DF DRINKING FOUNTAIN	PL PLATE
DHW DOMESTIC HOT WATER	PL LAM PLASTIC LAMINATE
DIAG DIAGONAL	PLB'G PLUMBING
DIAM DIAMETER	PLYWD PLYWOOD
DIM DIMENSION	PNL PANEL
DN DOWN	PNT PAINT
DR DOOR	PT POINT
DS DOOR STOP	QT QUARRY TILE
DW DISH WASHER	R RISE(R)
DWG DRAWING	RA RETURN AIR
DWR DRAWER	RAD RADIUS
EA EACH	RD ROOF DRAIN
EF EXHAUST FAN	REF REFERENCE
EH ELECTRIC HEATER	REINF REINFORCE
EL/ELEV. ELEVATION	REM REMOVE
ELEC ELECTRIC	REQ'D REQUIRED
EMER EMERGENCY	REV REVISION
ENG ENGINEER	RH RIGHT HAND
EP ELECTRIC PANEL	RM ROOM
EQ EQUAL	RO ROUGH OPENING
EQUIP EQUIPMENT	RPM REVOLUTIONS PER MINUTE
EXIST'G EXISTING	SA SUPPLY AIR
EXP EXPANSION	SC SOLID CORE
EXT EXTERIOR	SHT SHEET
FACT FIN FACTORY FINISH	SIM SIMILAR
FBO FURNISHED BY OTHERS	SP SPEAKER
FE FIRE EXTINGUISHER	SPEC(S) SPECIFICATION(S)
FEC FIRE EXTINGUISHER CABINET	SQ SQUARE
FFE FINISH FLOOR ELEVATION	SQ FT SQUARE FOOT (FEET)
FIN FINISHED	SQ IN SQUARE INCH
FL FLUORESCENT	SS STAINLESS STEEL
FPF FACE OF FINISH	ST STREET
FP FIRE PROOFING	STL STEEL
FPSC FIRE PROOF SOLID CORE	STD STANDARD
FR FIRE RESISTANT	SUSP SUSPENDED
FS FULL SCALE	SYM SYMMETRY(ICAL)
FT FEET	SYS SYSTEM
FTR FINNED TUBE RADIATION	T & G TONGUE & GROOVE
GA GAUGE	TEL TELEPHONE
GC GENERAL CONTRACTOR	TEMP TEMPERATURE
GL GLASS	THERM THERMOSTAT
GWB GYPSUM WALLBOARD	THK THICKNESS
HC HOLLOW CORE	THRU THROUGH
HD HEAVY DUTY	TOS TOP OF SLAB
HDW HARDWARE	TR TREAD
HDWD HARDWOOD	TST TOP OF STEEL
HM HOLLOW METAL	TV TELEVISION
HOR HORIZONTAL	TYP TYPICAL
HR HOUR	UON UNLESS OTHERWISE NOTED
HT HEIGHT	V VOLTS
HTG HEATING	VAC VACUUM
HVAC HEATING, VENT, AIR COND.	VCT VINYL COMPOSITE TILE
HWH HOT WATER HEATER	VERT VERTICAL
ID INSIDE DIAMETER	VIF VERIFY IN FIELD
IN INCH	W WIDTH
INCL INCLUDE(ING)	W/ WITH
INFO INFORMATION	W/O WITHOUT
INSUL INSULATION	WB WOOD BASE
INTR INTERIOR	WC WATER CLOSET
INV INVERT	WD WOOD
IRC INTERNATIONAL RESIDENTIAL CODE	WP WATERPROOF
J-BOX JUNCTION BOX	WPT WORKING POINT
JT JOINT	WR WATER RESISTANT
KO KNOCK OUT	WT WEIGHT
KPL KICKPLATE	YD YARD

LIST OF DRAWINGS

ARCHITECTURAL DRAWINGS	CIVIL DRAWINGS
CS COVERSHEET	C100 PROPOSED SITE GRADING/DRAINAGE
T-1 TITLE SHEET: GENERAL NOTES, DRAWING LIST, APPLICABLE CODES, SITE MAP, SYMBOL LEGEND, ETC.	C101 PROPOSED SITE GRADING/DRAINAGE
Ex-1 EXISTING PLANS	C102 PROPOSED SITE GRADING/DRAINAGE
Ex-2 EXISTING ELEVATIONS	
A-1 PROPOSED PLAN AND INTERIOR ELEVATIONS	
	MEP DRAWINGS
	ME-1 HVAC EQUIPMENT REPLACEMENT

LOCATION MAP



LEGEND

	GRAVEL
	CONCRETE
	MORTAR, GROUT
	STEEL
	FRAMING LUMBER
	HARDWOOD
	PLYWOOD
	BATT INSULATION
	GYPSUM WALLBOARD
	KEY NOTE
	DETAIL DRAWING NO.
	BUILDING SECTION
	WALL SECTION
	SECTION DETAIL
	COLUMN GRID
	PLAN / WALL DETAIL
	INTERIOR ELEVATION DRAWING NO.
	DATUM POINT (ELEVATION)
	DOOR NUMBER
	WINDOW NUMBER
	PARTITION TYPE
	REVISION FLAG
	REFERENCE KEY
	REMOVAL NOTE
	ROOM NUMBER
	EQUIPMENT TYPE
	CABINET TYPE
	CARBON MONOXIDE DETECTOR
	SMOKE DETECTOR (HARD WIRE)
	HEAT DETECTOR (HARD WIRE)
	CEILING FAN/LIGHT

BUILDING DESIGN DATA

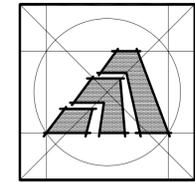
GROUP R-3 FOR SINGLE FAMILY (1-1/2) STORY DWELLING
 BUILDING CATEGORY: II
 CONSTRUCTION TYPE: IV

APPLICABLE CODES

APPLICABLE CODES: 2009 INTERNATIONAL RESIDENTIAL CODE AND CT 2013 AMENDMENTS.
 PER SECTION R102 APPLICABILITY -
 R102.7 EXISTING STRUCTURES
 R102.7.1 ADDITIONS, ALTERATIONS, OR REPAIRS - MEETS REQUIREMENTS

PROJECT DATA

OWNER: MICHAEL CARTER
 260 KNOLLWOOD DRIVE
 NEW HAVEN, CONNECTICUT 06515
 SITE LOCATION: 260 KNOLLWOOD DRIVE
 NEW HAVEN, CONNECTICUT 06515



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 American Institute of Architects

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Sheet Title:

TITLE SHEET

APPLICATION # 1748

CARTER RESIDENCE
 260 KNOLLWOOD DR.
 New Haven, CT. 06515

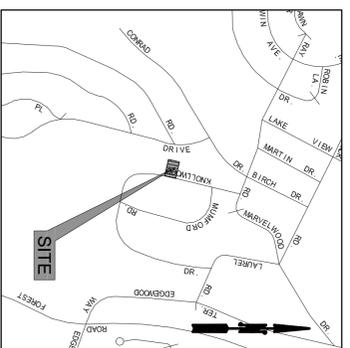
STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
 OWNER OCCUPIED REHABILITATION
 AND REBUILDING PROGRAM (OORR)

Date: 06/22/2015

Project Number: 1748
 Drawn By: J.V.L.

Sheet Number:

T1



NOTES:

1. THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 26-308b-1 THRU 26-308b-20 OF THE REGULATION CONCERNING THE PRACTICE OF SURVEYING IN THE STATE OF CONNECTICUT, AS AMENDED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. AND ADOPTED ON SEPT. 26, 1996.
2. THE TYPE OF SURVEY IS TOPOGRAPHIC SURVEY.
3. DATUM IS ASSUMED.
4. WITH RESPECT TO VERTICAL ACCURACY, THIS MAP CONFORMS TO AN ACCURACY CLASS 12.
5. WITH RESPECT TO HORIZONTAL ACCURACY, CLASS A2 APPLIES TO THE POSITION OF FEATURES DEPICTED HEREON. THIS MAP DOES NOT REPRESENT A PROPERTY/ BOUNDARY OPINION.
6. UTILITY, STRUCTURES, AND FACILITY LOCATIONS DEPICTED AND PAINTED HEREON HAVE BEEN COMPILED, IN PART, BY FIELD LOCATIONS OF OBSERVABLE STRUCTURES AND PAINTED MARKINGS. THE ACTUAL LOCATION AND SIZE OF UNDERGROUND UTILITIES SHOWN HEREON MAY NOT BE INDICATED. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST. PRIOR TO EXCAVATION OR CONSTRUCTION, CONTACT "CALL BEFORE YOU DIG", (800) 922-4455.
7. OWNER OF RECORD: MICHAEL RANDY CARTER, RECORDED IN VOLUME 8782, PAGE 198 IN THE CITY OF NEW HAVEN TOWN CLERK'S OFFICE.
8. THIS SITE IS NOT WITHIN A FEMA FLOOD HAZARD ZONE. SEE FEMA FIRM MAP 09060C0428H, EFFECTIVE DATE OF DECEMBER 17, 2010.
13. ALL DECLARATIONS ARE VALID FOR THE MAP AND COPIES THERE OF ONLY. IF THEY BEAR THE EMBOSSED SEAL OF THE SURVEYOR WHOSE SIGNATURE APPEARS HEREON, UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS SURVEY RENDER ANY DECLARATION SHOWN HEREON NULL AND VOID.

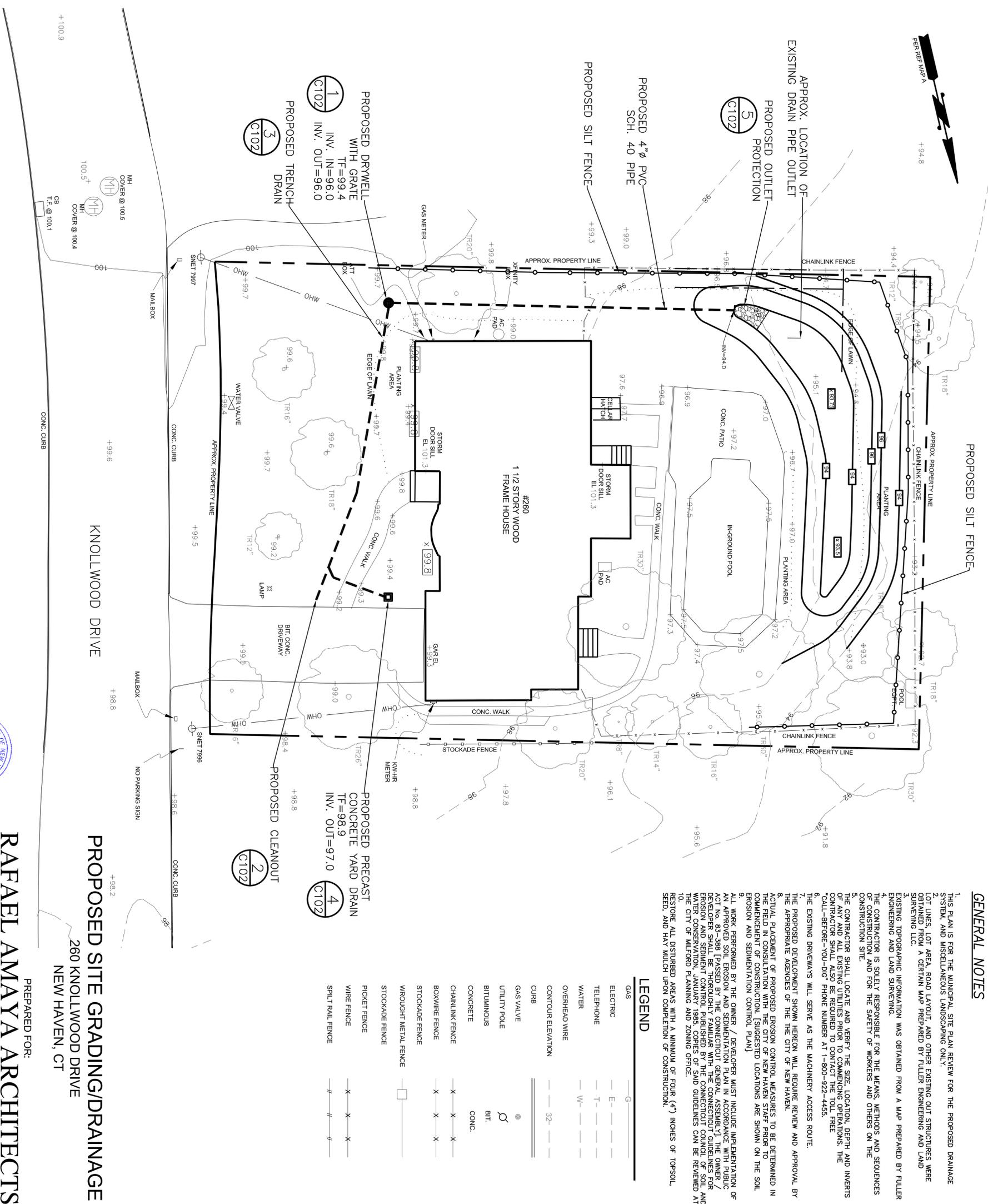
MAP REFERENCES:

- A. "PROPOSED SITE PLAN, INTENT ONLY, APPLICATION # 1748, CARTER RESIDENCE, 260 KNOLLWOOD DRIVE, NEW HAVEN, CT 06515" BY AMAYA ARCHITECTS DATED MARCH 5, 2015.



**FULLER ENGINEERING
& LAND SURVEYING**

525 JOHN STREET
BRIDGEPORT, CT.
PH. 203-333-9465
EMAIL: INFO@FULLERSURVEYORS.COM



GENERAL NOTES

1. THIS PLAN IS FOR THE MUNICIPAL SITE PLAN REVIEW FOR THE PROPOSED DRAINAGE SYSTEM, AND MISCELLANEOUS LANDSCAPING ONLY.
2. LOT LINES, LOT AREA, ROAD LAYOUT, AND OTHER EXISTING OUT STRUCTURES WERE OBTAINED FROM A CERTAIN MAP PREPARED BY FULLER ENGINEERING AND LAND SURVEYING, LLC.
3. EXISTING TOPOGRAPHIC INFORMATION WAS OBTAINED FROM A MAP PREPARED BY FULLER ENGINEERING AND LAND SURVEYING.
4. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS, METHODS AND SEQUENCES OF CONSTRUCTION AND FOR THE SAFETY OF WORKERS AND OTHERS ON THE CONSTRUCTION SITE.
5. THE CONTRACTOR SHALL LOCATE AND VERIFY THE SIZE, LOCATION, DEPTH AND INVERTS OF ANY AND ALL EXISTING UTILITIES PRIOR TO COMMENCING OPERATIONS. THE CONTRACTOR SHALL ALSO BE REQUIRED TO CONTACT THE TOLL FREE "CALL-BEFORE-YOU-DIG" PHONE NUMBER AT 1-800-922-4455.
6. THE EXISTING DRIVEWAYS WILL SERVE AS THE MACHINERY ACCESS ROUTE.
7. THE PROPOSED DEVELOPMENT SHOWN HEREON WILL REQUIRE REVIEW AND APPROVAL BY THE APPROPRIATE AGENCIES OF THE CITY OF NEW HAVEN.
8. ACTUAL PLACEMENT OF PROPOSED EROSION CONTROL MEASURES TO BE DETERMINED IN THE FIELD AND SHALL BE SHOWN ON THE CONSTRUCTION PLAN.
9. ALL WORK PERFORMED BY THE OWNER / DEVELOPER MUST INCLUDE IMPLEMENTATION OF AN APPROVED SOIL EROSION AND SEDIMENTATION PLAN IN ACCORDANCE WITH PUBLIC ACT NO. 83-388 [PASSED BY THE CONNECTICUT GENERAL ASSEMBLY]. THE OWNER / DEVELOPER SHALL BE THOROUGHLY FAMILIAR WITH THE CONNECTICUT GUIDELINES FOR WATER CONSERVATION, JANUARY 1985. COPIES OF SAID GUIDELINES CAN BE REVIEWED AT THE CITY OF MILFORD PLANNING AND ZONING OFFICE.
10. RESTORE ALL DISTURBED AREAS WITH A MINIMUM OF FOUR (4") INCHES OF TOPSOIL, SEED, AND HAVE MULCH UPON COMPLETION OF CONSTRUCTION.

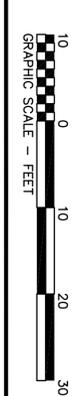
LEGEND

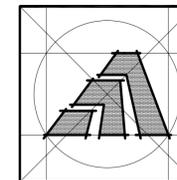
GAS	— G —
ELECTRIC	— E —
TELEPHONE	— T —
WATER	— W —
OVERHEAD WIRE	— W —
CONTOUR ELEVATION	— 32 —
CURB	— — —
GAS VALVE	⊗
UTILITY POLE	⊕
BITUMINOUS	⊘
CONCRETE	⊙
CHAINLINK FENCE	— X — X —
BOXWIRE FENCE	— X — X —
STOCKADE FENCE	— X — X —
WROUGHT METAL FENCE	— X — X —
STOCKADE FENCE	— X — X —
POCKET FENCE	— X — X —
WIRE FENCE	— X — X —
SPLIT RAIL FENCE	— # — # —

NO.	REVISIONS	DATE
1	ADDED EX. DRAIN OUTLET	6/1/2015



PREPARED FOR:
RAFAEL AMAYA ARCHITECTS
260 KNOLLWOOD DRIVE
NEW HAVEN, CT
SCALE 1" = 10' 29 APRIL 2015
SHEET C100





Amaya Architects
American Institute of Architects

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Sheet Title:
EXISTING PLANS

APPLICATION #1748

CARTER RESIDENCE
260 KNOLLWOOD DR.
New Haven, CT 06515

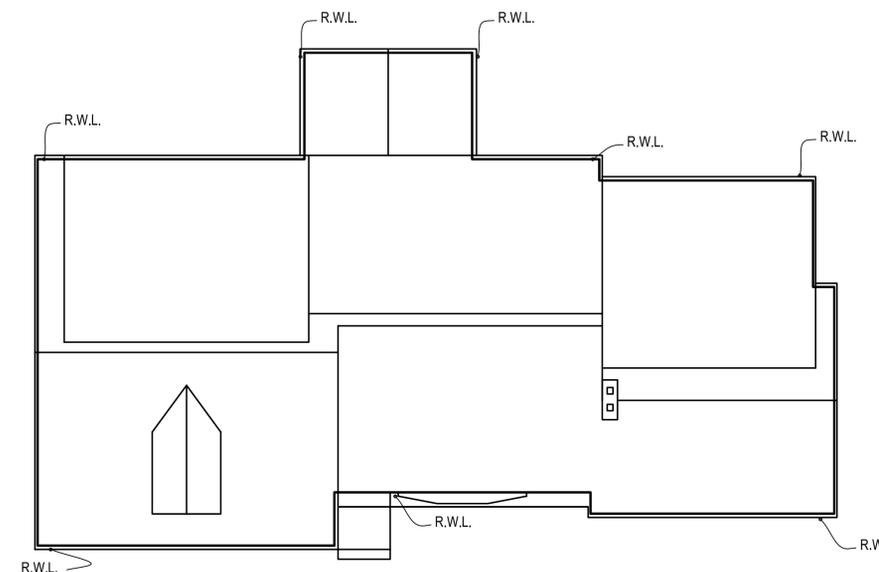
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Date: 06/22/2015

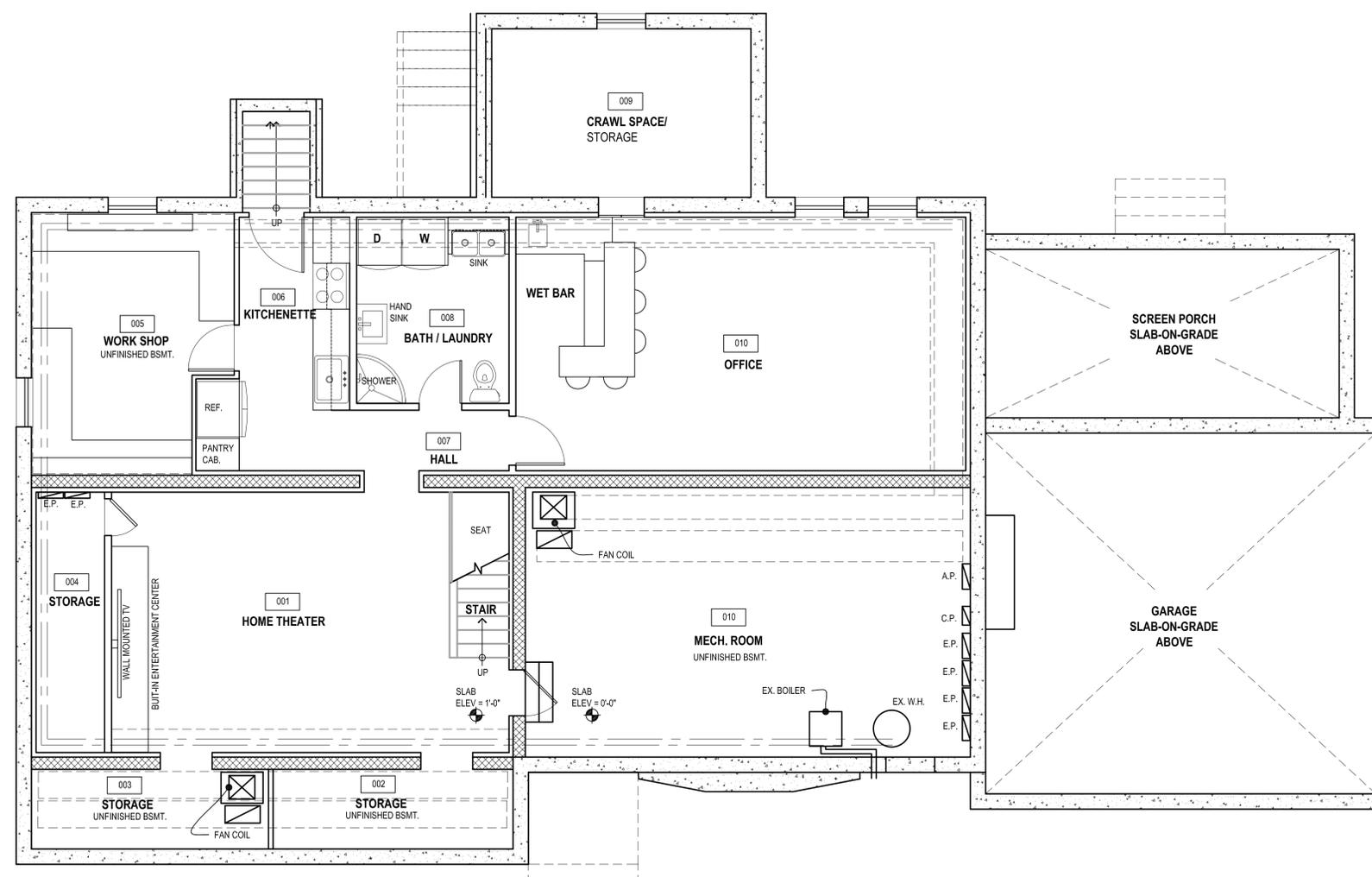
Job Number: 1748
Drawn By: J.V.L.

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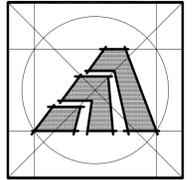
Ex1



EXISTING ROOF PLAN
SCALE: 1/8" = 1'-0"



EXISTING BASEMENT PLAN
SCALE: 1/4" = 1'-0"

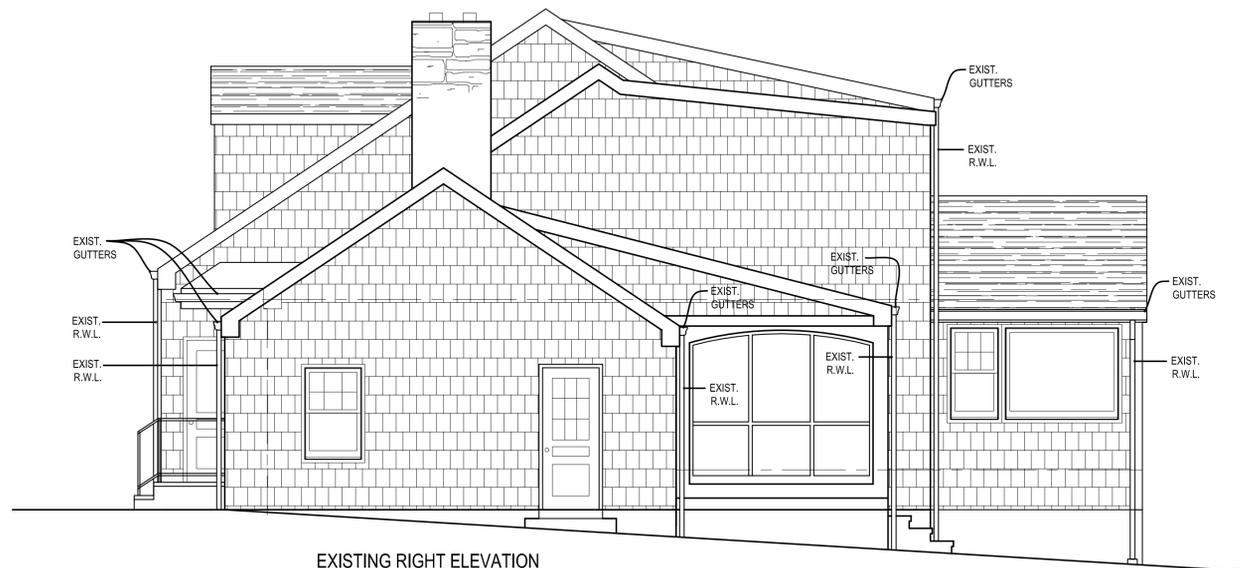


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EXISTING REAR ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING LEFT ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING FRONT ELEVATION
SCALE: 1/4" = 1'-0"

Sheet Title:
EXISTING ELEVATIONS

APPLICATION #1748

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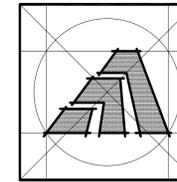
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Date: 06/22/2015

Job Number: 1748
Drawn By: J.V.L.

Sheet Number:

Ex2



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Sheet Title:
PROPOSED PLANS

APPLICATION #1748

CARTER RESIDENCE
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**STATE OF CONNECTICUT
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DISASTER RECOVERY PROGRAM**
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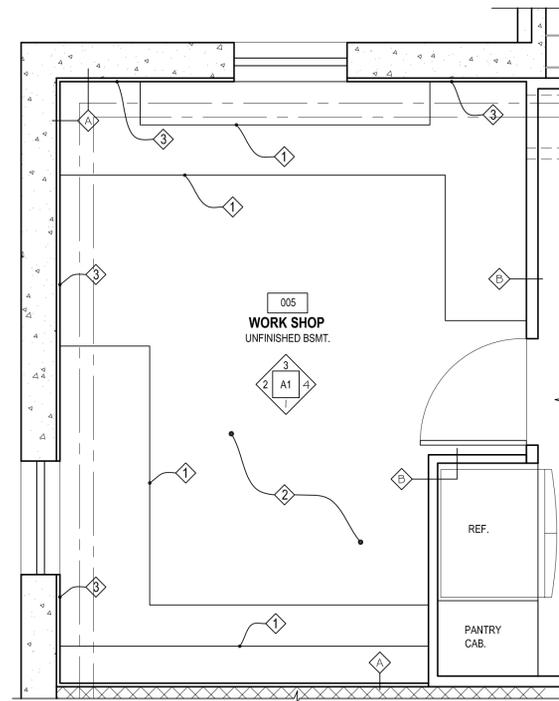
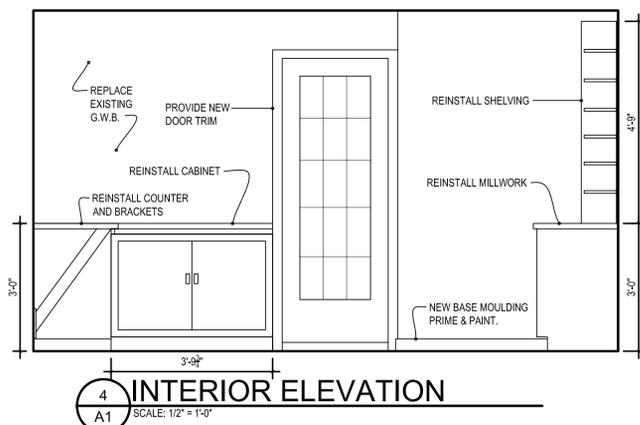
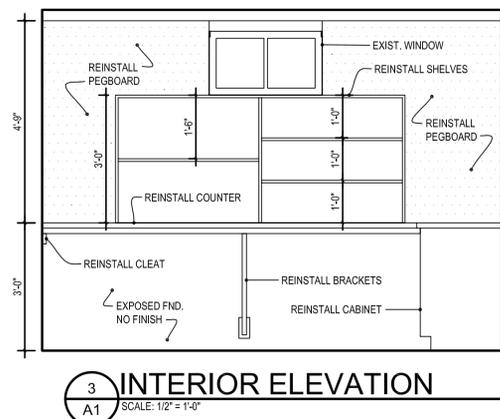
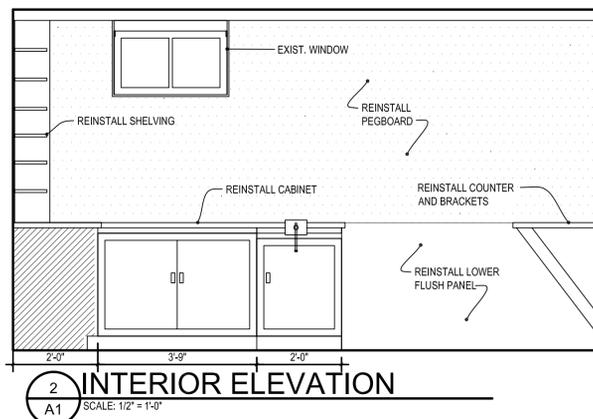
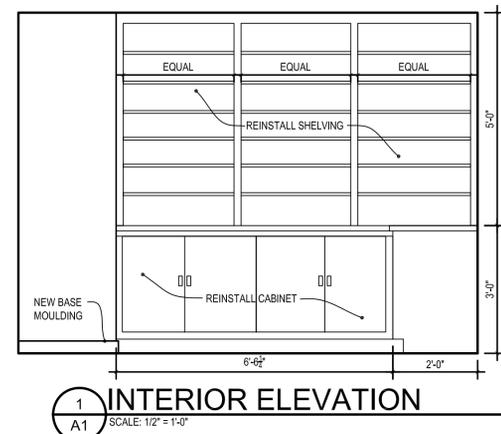
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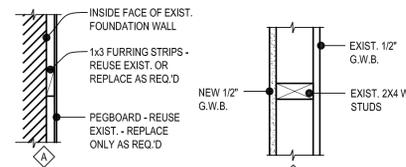
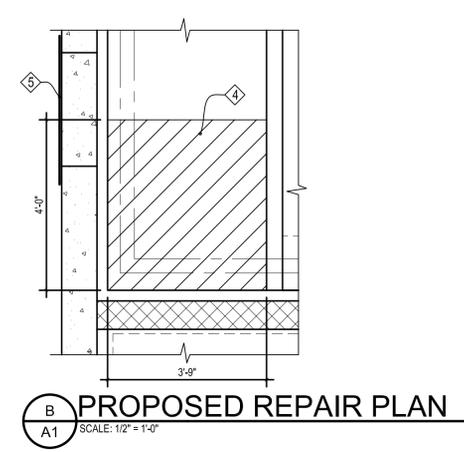
Drawn By: J.V.L.

Sheet Number:

A1



PROPOSED REPAIR PLAN
SCALE: 1/2" = 1'-0"



PARTITION TYPES
SCALE: 1-1/2" = 1'-0"

NOTES:
1. ALL GYP. BD. IN BASEMENT SHALL BE MOLD RESISTANT TYPE GYP. BD. Use: National Gypsum - Gold Bond eXP Interior Extreme, CertainTeeds M2Tech, DensArmor Plus, or Equal - REFER TO SPECS.
2. ALL GYP. BD. TO BE TAPED AND COMPOUNDED (3) COATS.
3. ALL GYP. BD. TO BE PRIMED (1) COAT AND PTD. (1) COAT.

LEGEND

- EXISTING CONC. FOUNDATION WALL
- EXISTING MASONRY FOUNDATION WALL
- EXISTING STUD PARTITION WALLS
- REMOVED (MISC. ITEMS MAY NOT BE NOTED) VERIFY WITH G.C. ITEMS TO BE SET ASIDE.

REMOVAL TAG LEGEND

ELECTRICAL AND PLUMBING MISC. NOT DENOTED
ALL UTILITIES SHALL BE LOCATED AND DISCONNECTED PRIOR TO COMMENCING WORK.

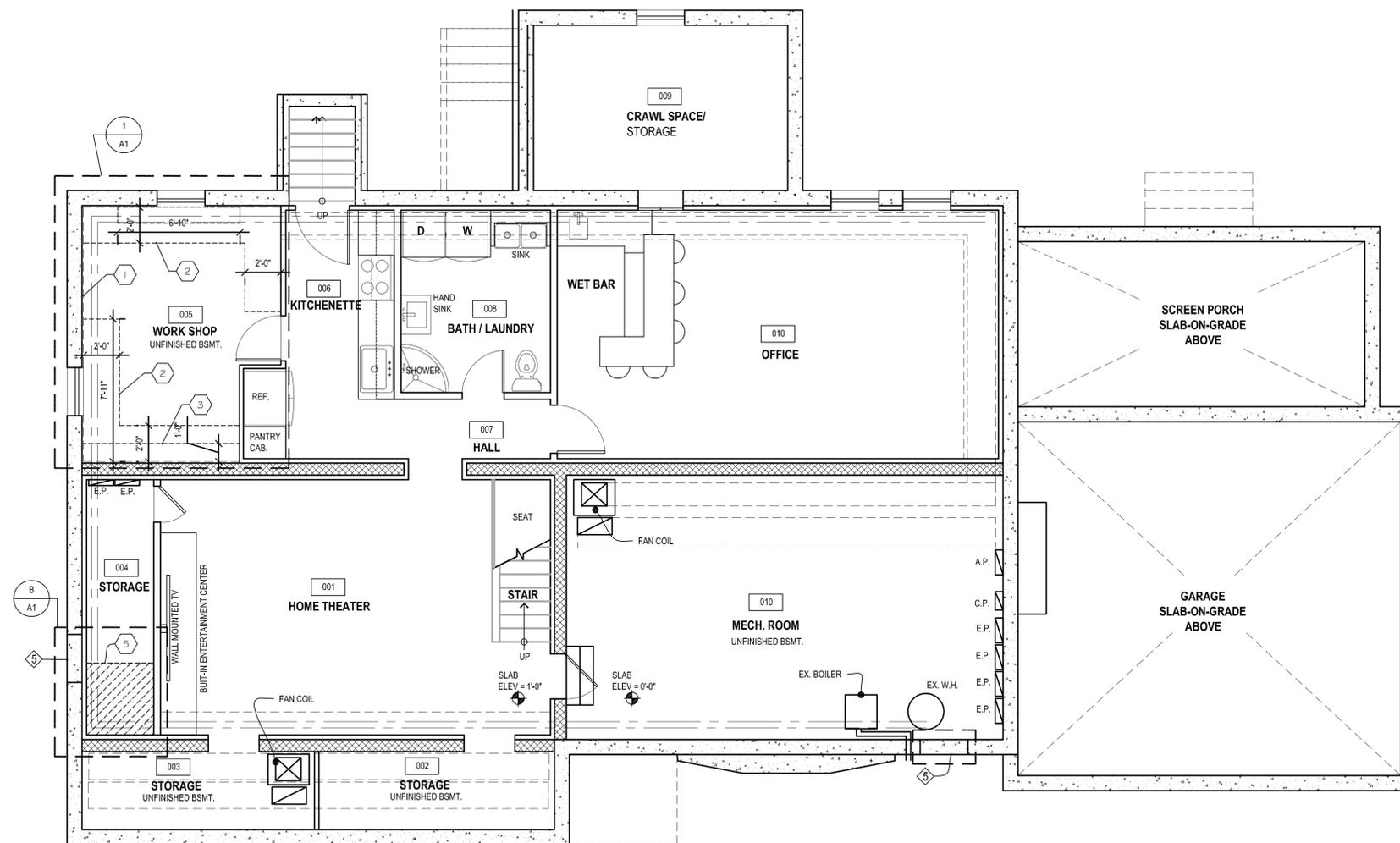
- STUD WALL SYSTEM AND PEGBOARD
- MILLWORK (SET ASIDE FOR REUSE)
- BUILT-IN SHELVES (SET ASIDE FOR REUSE)
- VCT
- BUILT-UP FLOOR SYSTEM

NOTES:
1. REMOVE MOLD FROM BUILT-INS & MILLWORK FOR REUSE.

REPAIR KEY NOTES

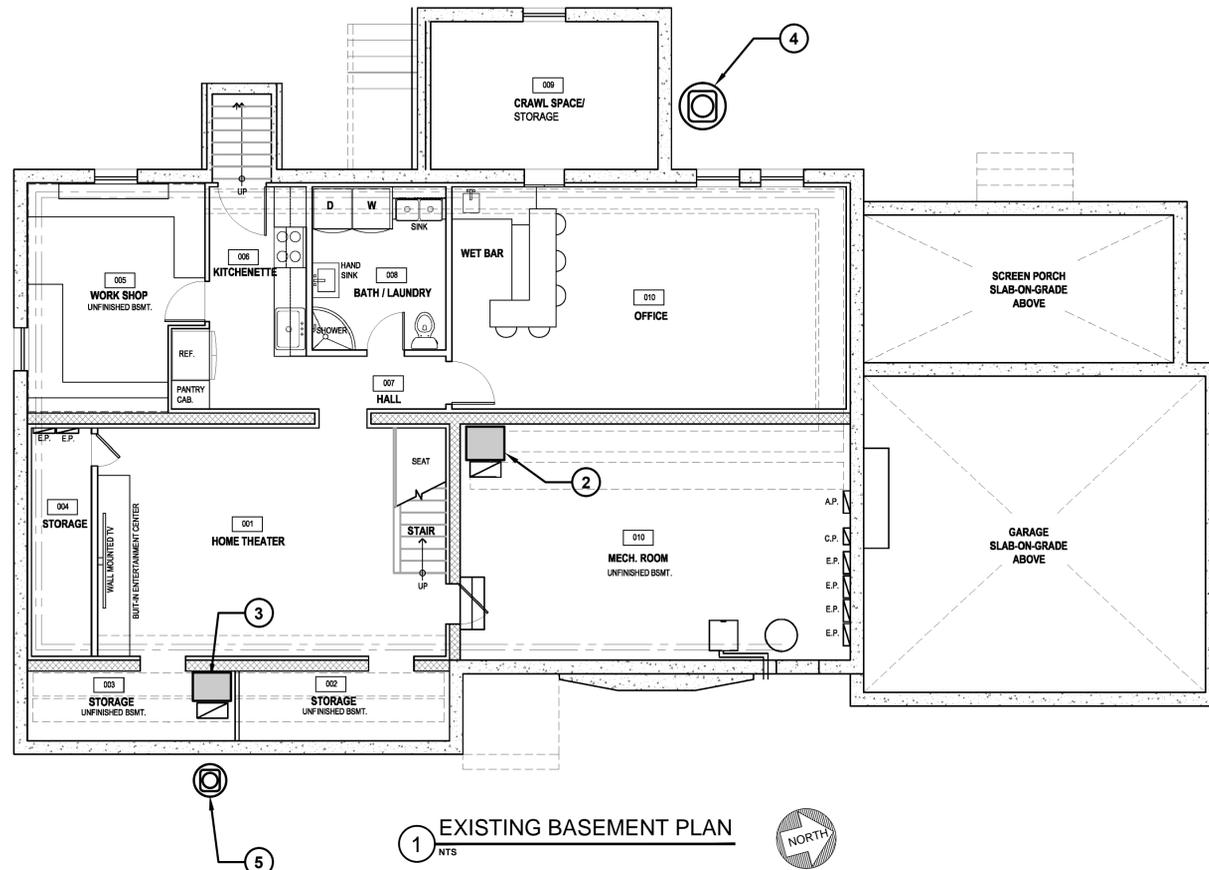
GENERAL NOTE: CLEAN / REMOVE ALL MOLD AND G.C. SHALL PROVIDE 3RD PARTY MOLD TEST / INSPECTION TO BE COMPLETED PRIOR TO COMMENCING REPAIRS AND REINSTALLATION.

- REINSTALL EXISTING CABINETS / MILLWORK AND SHELVES TO MATCH EXISTING FOLLOWING MOLD REMOVAL.
- REPLACE VINYL TILE TO MATCH EXISTING FOLLOWING MOLD REMOVAL.
- REINSTALL EXISTING PEG BOARD AND FURRING STRIPS TO MATCH EXISTING FOLLOWING MOLD REMOVAL.
- REPLACE BUILT-UP FLOOR - NEW PLYWOOD OVER TREATED SLEEPERS AND VAPOR BARRIER AS REQ'D TREATED LUMBER SHALL ACCEPTABLE FOR INDOOR USE.
- RESEAL EXISTING BASEMENT INFILLED WINDOW - PROVIDE SEALANT INTO ALL CONCRETE JOINTS OF WINDOW INFILL AND PROVIDE CONCRETE SEALER AROUND AREA OF INFILLED WINDOW. STRIP AND REMOVE THE ANY COATINGS FROM CONCRETE - USE DECO TAC PRIMER/ADHESIVE IF REMOVAL IS NOT FEASIBLE. USE LATICRETE LATASIL SEALANT OR LOCITTE PLS10 SEALANT FOR ALL CRACK AND JOINT SEALING - USE DECO FOUNDATION GUARD WATERPROOFING MEMBRANE BY DECO PRODUCTS, INC. EXTEND SEALER 12" BEYOND EDGE OF INFILLED WINDOW.



EXISTING / REMOVAL BASEMENT PLAN
SCALE: 1/4" = 1'-0"





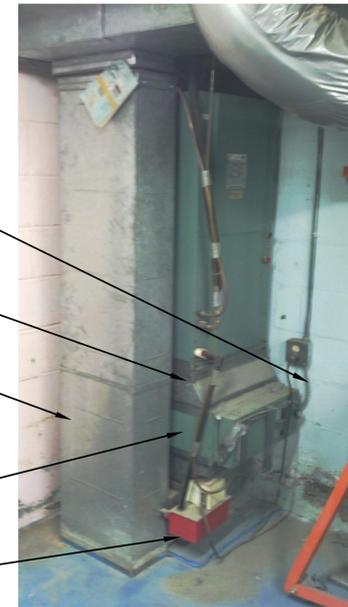
REMOVE ELECTRICAL POWER BACK TO SERVICE SWITCH AND RE-WIRE TO NEW CLEANER AND PUMP.

REMOVE DUCT FROM CLEANER TO UNIT AND REPLACE WITH NEW TRANSITION SECTIONS.

REPLACE EXISTING, APPROX. 8"x16" RETURN DUCTWORK FROM JOINT TO INLET OF ELECTRONIC CLEANER.

REPLACE EXISTING ELECTRONIC CLEANER WITH CARRIER MODEL 2020 PERFORMANCE AIR PURIFIER OR EQUAL.

REPLACE EXISTING CONDENSATE PUMP WITH APPROX. "LITTLE GIANT" BRAND OR EQUAL.

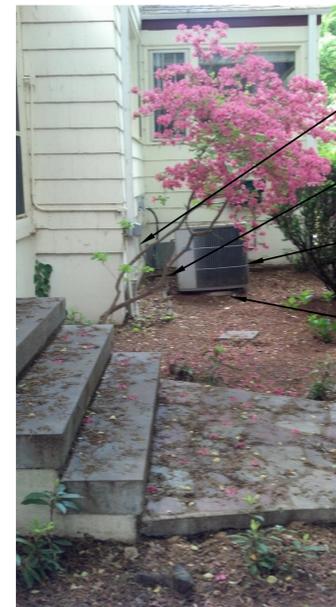


2 BASEMENT MECHANICAL ROOM FAN COIL UNIT
NTS



REPLACE EXISTING RETURN DUCTWORK FROM JOINT TO INLET OF ELECTRONIC CLEANER.

3 BASEMENT STORAGE ROOM FAN COIL UNIT
NTS



REMOVE POWER WIRING BACK TO DISCONNECT, REPLACE DISCONNECT AND RE-WIRE TO REPLACEMENT CONDENSER.

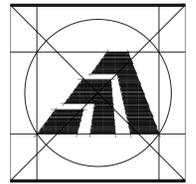
RE-CONNECT EXISTING REFRIGERANT TUBING AND CONTROL WIRING TO REPLACEMENT CONDENSER.

REPLACE EXISTING 2 TON REMOTE AIR COOLED CONDENSER WITH NEW ENERGY STAR RATED CARRIER MODEL OF SAME SIZE OR EQUAL.

INSTALL REPLACEMENT CONDENSER ON PRE-FAB PAD OF APPROPRIATE SIZE.



5 EXTERIOR MOUNTED AIR COOLED CONDENSER
NTS



Amaya Architects
American Institute of Architects

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Comm No. 01MH4.26

Sheet Title:
HVAC EQUIPMENT REPLACEMENT

APPLICATION # 1748

CARTER RESIDENCE
26 KNOLLWOOD DR.
Ner Haven, Connecticut

STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
(CDBG-DR)

Date: 6/12/15

Job Number:
Drawn By: JTF
Approved By: RJS

Sheet Number:

ME-1

