

ADDENDUM

April 06, 2015

Addendum No. 2

The State of Connecticut
Department of Housing (DOH)
Community Development Block Grant
Disaster Recovery Program (CDBG-DR)
Owner Occupied Rehabilitation and Rebuilding Program (OORR)

Application No. 1743
Flynn Residence
50 Mumford Cove Road
Groton, CT 06340

To All Prospective Bidders:

This Addendum shall become part of the Contract and all bidders shall be bound thereby.

The date and time for the Bid Opening HAS CHANGED. Sealed bids will be accepted until **4:00 p.m. on Monday, April 13, 2015**.

Bid will be opened publicly and read aloud.

The following changes and/or clarifications are hereby made to the Contract Documents dated February 27, 2015 for the above captioned project.

A. THE FOLLOWING CHANGES SHALL BE MADE TO THE SPECIFICATIONS:

1. **REVISE** - Table of Contents
 - A. See Attached
2. **ADD** - Specification Section 01230 - Alternates
 - A. See Attached

B. THE FOLLOWING CHANGES SHALL BE MADE TO THE DRAWINGS:

1. Refer to ASK-01a, ASK-01b and SKS-01 for Drawings related to Alternate No. 1 as identified in Specification Section 01230 - Alternates.

END OF ADDENDUM #2

c: file

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Capital Studio Architects

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Addendum No. 2 / 1 of 1

SECTION 01230 - ALTERNATES

PART 1 - GENERAL

1.1 SUMMARY

- A. This Section includes administrative and procedural requirements for alternates.

1.2 DEFINITIONS

- A. Alternate: An amount proposed by bidders and stated on the Bid Form for certain work defined in the Bidding Requirements that may be added to or deducted from the Base Bid amount if Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
 - 1. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternate into the Work. No other adjustments are made to the Contract Sum.
 - 2. Unless otherwise noted, alternate prices will be adds to the base contract.

1.3 PROCEDURES

- A. Coordination: Modify or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.
 - 1. Include as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not indicated as part of alternate.
- B. Notification: Immediately following award of the Contract, notify each party involved, in writing, of the status of each alternate. Indicate if alternates have been accepted, rejected, or deferred for later consideration. Include a complete description of negotiated modifications to alternates.
- C. Execute accepted alternates under the same conditions as other work of the Contract.
- D. Schedule: A Schedule of Alternates is included at the end of this Section. Specification Sections referenced in schedule contain requirements for materials necessary to achieve the work described under each alternate.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF ALTERNATES

- A. Alternate No. 1 – Conventionally framed sunroom in lieu of pre-fabricated sunroom. Refer to ASK-01a, ASK-01b and SKS-01
1. Cedar wood siding to match existing house, 1/2" exterior plywood sheathing, 2x6 wood framing, R-21 batt insulation, 1/2" painted moisture resistant GWB, primed and painted wood base and trims.
 2. 30 year asphalt shingle roofing with ice and watershield, roofing felt, 1/2" plywood sheathing, 2x10 roof framing, R-30 (8-1/4") batt insulation and 1/2" painted moisture resistant GWB.
 3. Galvanized hurricane clips, anchors and fastenings.
 4. Andersen 400 Series windows with Storm Watch protection.
 5. Velux VS skylight.

END OF SECTION 01230

Project # 1743

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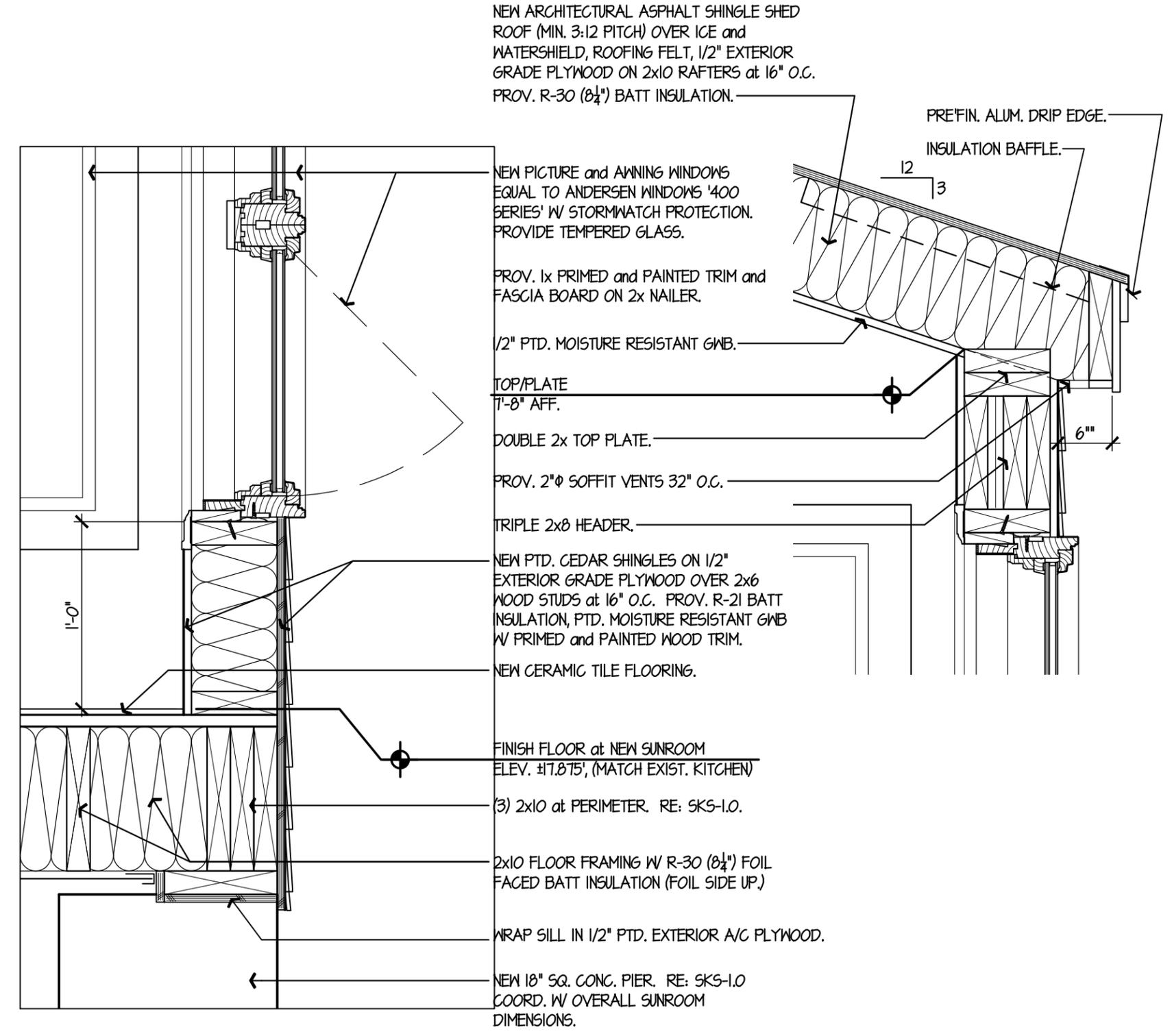
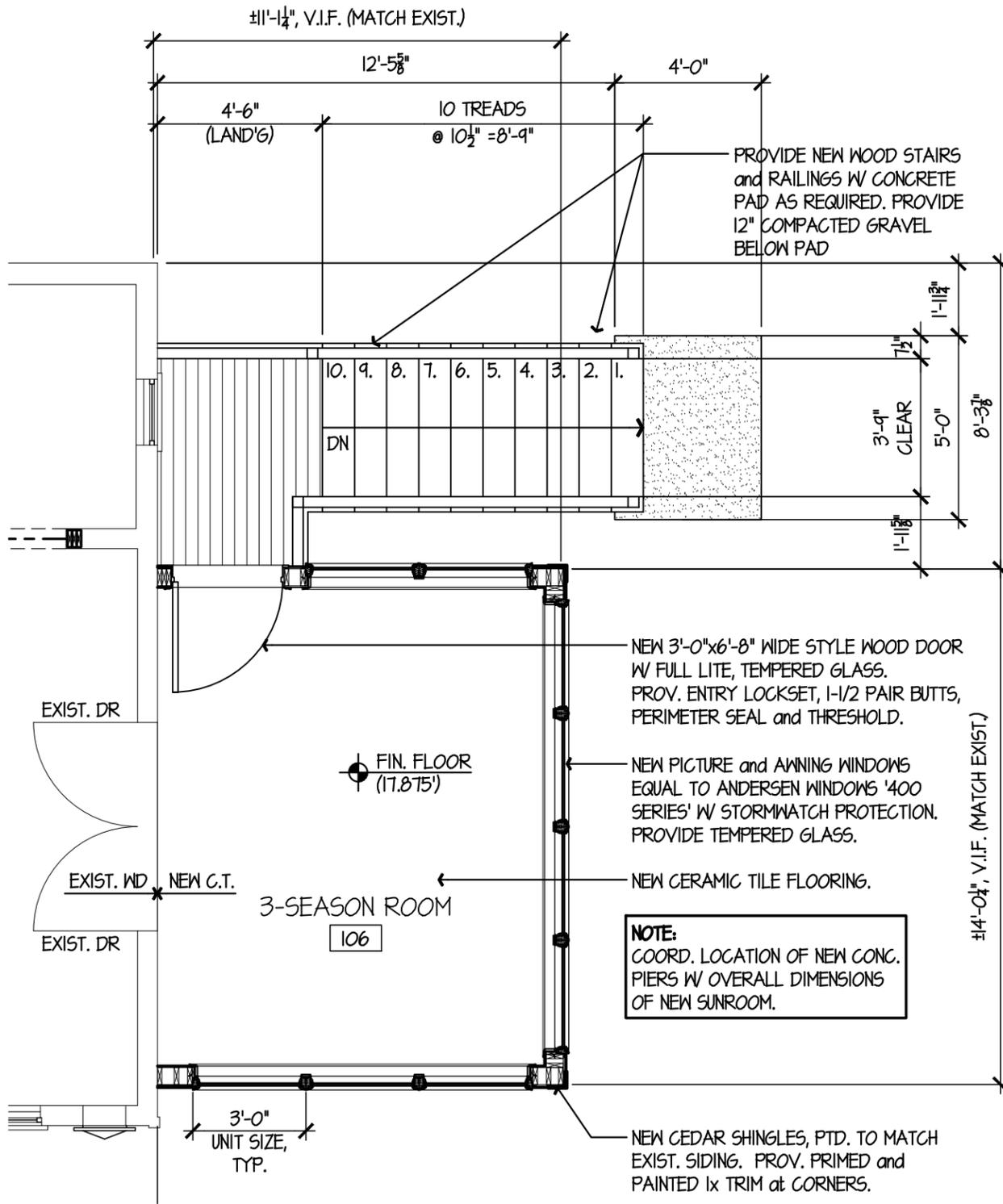
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LIST OF DRAWINGS



project

**THE STATE OF CONNECTICUT
DEPARTMENT OF HOUSING (DOH)
COMMUNITY DEVELOPMENT BLOCK GRANT -
DISASTER RECOVERY (CDBG-DR)
OWNER OCCUPIED REHABILITATION and
REBUILDING PROGRAM (OORR)**

owner

**FLYNN RESIDENCE
REHABILITATION and MITIGATION
APPLICATION No. 1743
50 Mumford Cove Road
Groton, CT 06340**

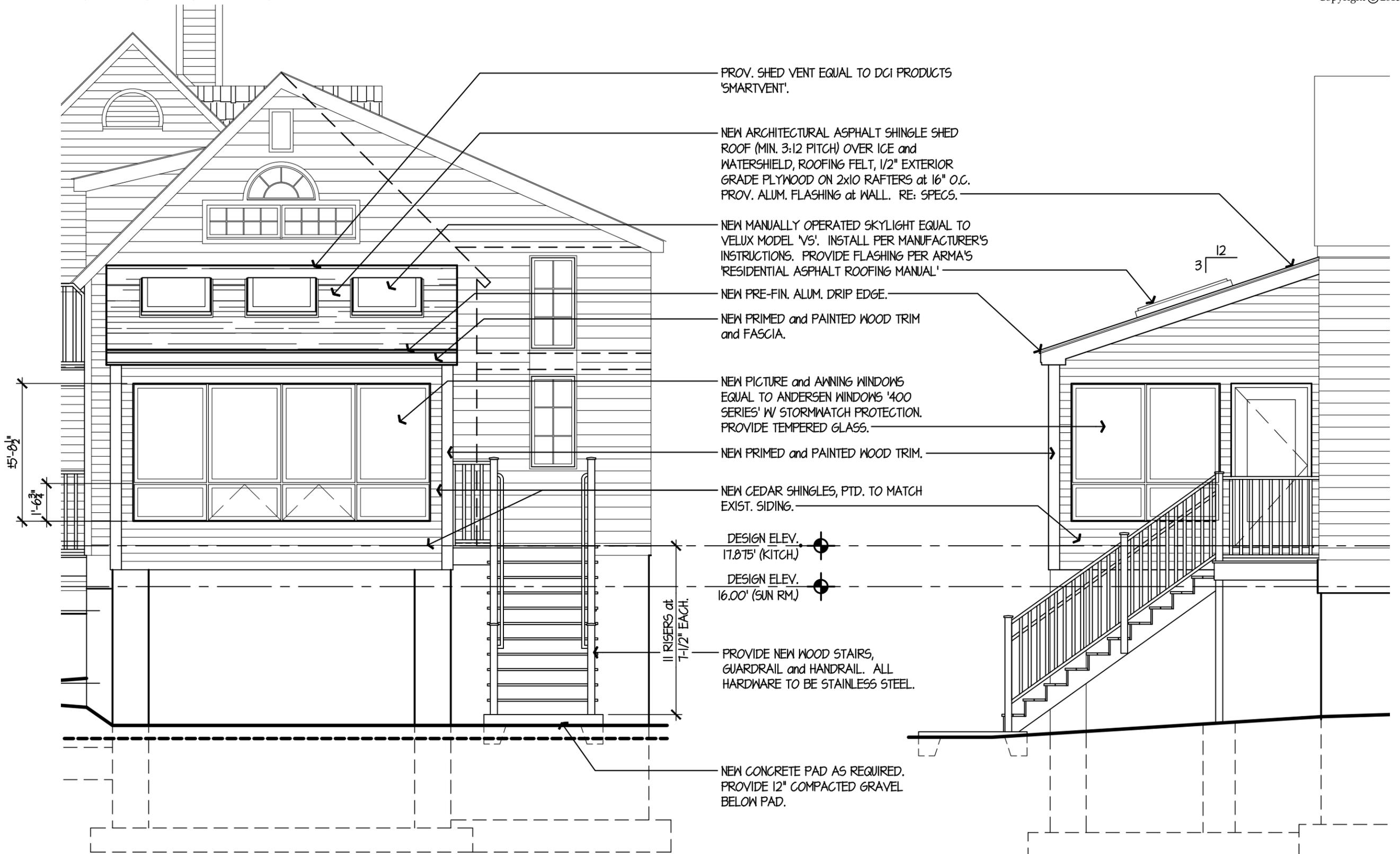
drawing

**3-SEASON ROOM
FLOOR PLAN**

sheet no.

ASK-01a

date 06 APR 2015
drawn JRP
scale 1/4" = 1'-0"
checked PM
project no. 1341-05 1143



PARTIAL EAST ELEVATION at SUNROOM

PARTIAL NORTH ELEVATION at SUNROOM



project

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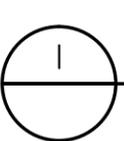
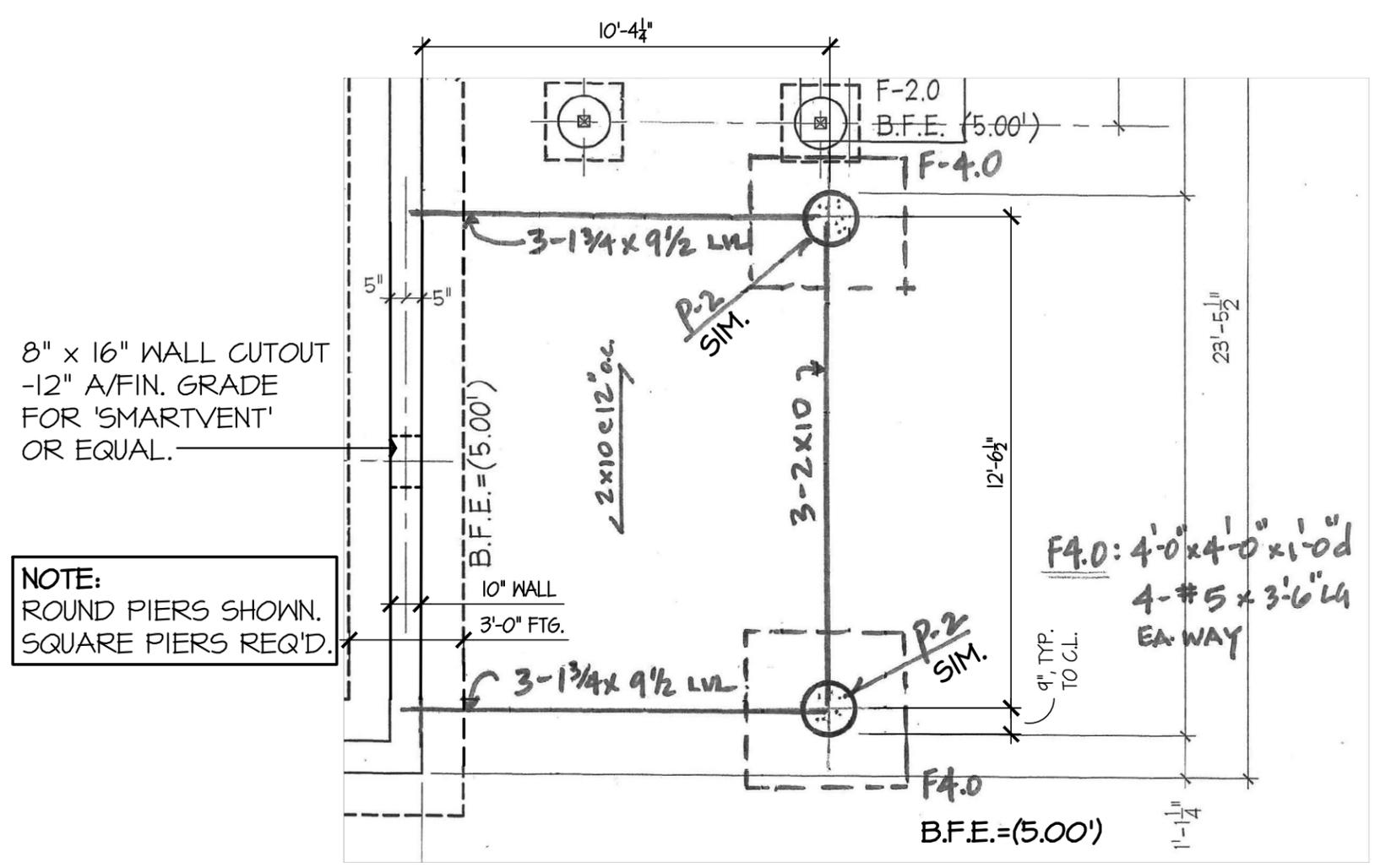
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**3-SEASON ROOM
ELEVATIONS**

sheet no.

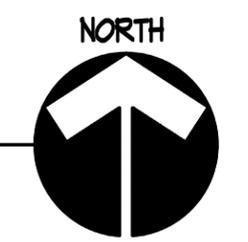
ASK-01b

date 06 APR 2015
drawn JRP
scale 1/4" = 1'-0"
checked PM
project no. 1341-05 1143



3-SEASON ROOM FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



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project
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owner
**FLYNN RESIDENCE
REHABILITATION and MITIGATION
APPLICATION No. 1743
50 Mumford Cove Road
Groton, CT 06340**

drawing
**SUNROOM
FOUNDATION PLAN**

sheet no.
SKS-01
date 02 APR 2015
drawn WML/JP
scale AS NOTED
checked WML
project no. 1341-05 1143