

ADDENDUM

February 23, 2016

Addendum No. 1

The State of Connecticut
Department of Housing (DOH)
Community Development Block Grant
Disaster Recovery Program (CDBG-DR)
Owner Occupied Rehabilitation and Rebuilding Program (OORR)

Application No. 1739
Hill Residence
888 Ocean Avenue
West Haven, CT 06516

To All Prospective Bidders:

This Addendum shall become part of the Contract and all bidders shall be bound thereby.

The date and time for the Bid Opening HAS NOT CHANGED. Sealed bids will be accepted until 4:00 p.m. on Tuesday, March 01, 2016.

The Pre-bid Meeting contractor attendance list is attached to this addendum for reference.

The following changes and/or clarifications are hereby made to the Contract Documents dated January 08, 2016 for the above captioned project.

A. QUESTIONS & CLARIFICATIONS

1. No further questions or requests for clarification will be entertained from this point forward.
2. For project with Contractor Bids less than \$100,000.00, **no bid security is required.** Contractors are instructed to disregard any references to required bid security in the Advertisement for Bid, Bid Form, or elsewhere in the Bid Documents.
3. The property owner is responsible for securing all items of value, or items which may be breakable to prevent them from damage during the course of the work, including the house lifting process. All items that are against walls that require work, shall be moved to the center of the room by the property owner and moved back once the work is complete.
4. Mold remediation scope of work is listed in Specification Section 02092 and includes work for the 1st floor ceiling. All bidders are responsible for including the full scope of work regarding Asbestos, Lead Paint and Water & Mold damage.
5. There is no asbestos caulking, or mastic at the chimney above the roof. All bidders are responsible for including the full scope of work regarding Asbestos, Lead Paint and Water & Mold damage.

Capital Studio Architects

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ADDENDUM

6. The windows referenced in Specification Section 08550 can be used for both new construction and for replacement. All bidders are responsible for providing submittals and shop drawings for the windows that are to be installed for this Project. Acceptable alternate manufacturers are designated in the Specifications.

B. CHANGES TO THE PROJECT MANUAL & SPECIFICATIONS

None

C. CHANGES TO THE DRAWINGS

1. **Drawing C-1 “Plot Plan”:**
Replace previously issued Drawing C-1 Plot Plan with the drawing attached to Addendum No. 1.
2. **Drawings S-1.0 “Foundation Plan” and S-2.0 “Framing Plan”:**
Replace previously issued Drawings S-1.0 “Foundation Plan” and S-2.0 “Framing Plan” with the drawings attached to Addendum No. 1.
3. **Drawing D-1.0 “Demolition Plans & Elevations”:** Detail 1/D-1.0 Existing Cellar
Revise General Note No. 1 as follows: “Demo existing North, South and West foundation walls and footings, and the existing slab after house structure is raised.” The existing East foundation wall shall remain. Coordinate the salvage and protection of the East foundation wall with Drawings S-1.0 and S-2.0 attached to Addendum No. 1.

END OF ADDENDUM #1

c: file

L:\134743 1739 888 Ocean Ave., West Haven - Hill\134743 1739 Documents\Admin\134743 1739_Addenda\134743 1739 Addendum No. 1.doc

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Addendum No. 1 / 2 of 2

MANDATORY WALK-THROUGH SIGN-IN SHEET

Project: 1347-43 1739
Hill Residence

Meeting Date: Tuesday, February 16, 2015 @10:00AM

Facilitator: David Holmes, Capital Studio Architects

Place/Room: 888 Ocean Avenue, West Haven, CT

Name

Company

Phone

E-Mail / Fax

PLEASE PRINT CLEARLY

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Dave Mattei

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Dan Secondino

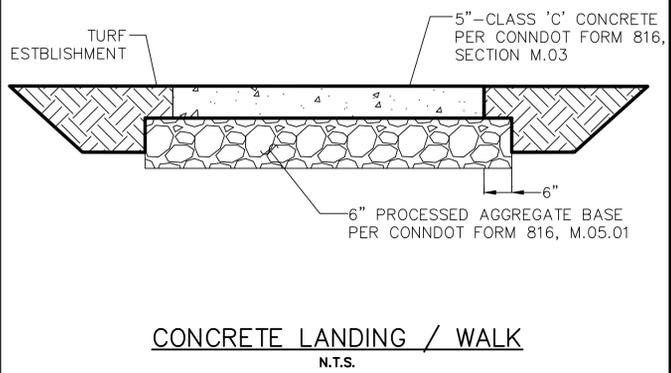
Dan@Secondinoandson.com



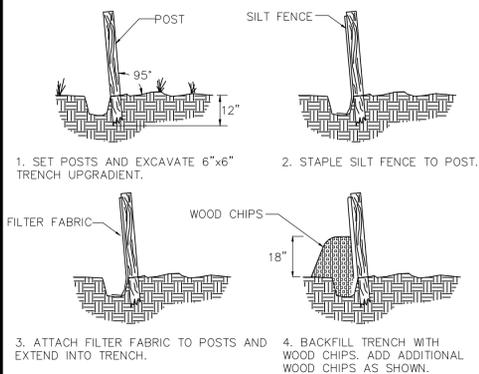
Zoning Information

ZONE: NB ZONE			
ITEM	REQUIRED	EXISTING CONDITIONS	PROPOSED CONDITIONS
Minimum Lot Area	6,000 s.f.	3,326 s.f.*	3,326 s.f.*
Minimum Lot Size per Unit	2,000 s.f.	3,326 s.f.	3,326 s.f.
Minimum Front Yard	25 feet	12.2 feet*	12.2 feet*
Minimum Side Yard	15 feet	1.9 feet*	1.9 feet*
Minimum Rear Yard	20 feet	55.5 feet	32.2 feet
Minimum Street Frontage	50 feet	36.81 feet*	36.81 feet*
Maximum Bldg Coverage	50%	18.5%	21.0%
Maximum Lot Coverage	75%	41.3%	53.7%
Maximum Building Height	2.5 stories	2 stories	2 stories
Minimum Open Space	35 feet	15.4 feet	22.0 feet
	25%	58.7%	46.3%

*Existing Non-conforming



CONCRETE LANDING / WALK
N.T.S.



SILT FENCE
N.T.S.

LEGEND	
EXISTING	DESCRIPTION
COMMUNICATION	
C _x	OVERHEAD COMM. LINES (CABLE, TEL, ETC.)
DOMESTIC WATER	
W _k	WATER MAIN
W _s	WATER SERVICE
W _v	WATER VALVE
W _h	FIRE HYDRANT
LIGHTING	
☆	POLE MOUNTED LIGHT
NATURAL GAS	
G _x	GAS MAIN
POWER	
EO _x	ELECTRICAL LINES, OVERHEAD
EU _x	ELECTRICAL LINES, UNDERGROUND
U _p	UTILITY POLE
PROPERTY	
○	PROPERTY LINE
□	IRON PIN
□	MONUMENT
ROADS	
—	GUARD RAIL
SITE FEATURES	
X	BARBED WIRE FENCE
⊙	CHAIN LINK FENCE
—	RAIL FENCE
—	STOCKADE FENCE
+	WIRE FENCE
⊙	TREE
—	TREE LINE
SANITARY SEWER	
S _x	SANITARY SEWER MAIN
⊙	SANITARY SEWER MANHOLE
STORM SEWER	
D _x	STORM DRAIN PIPE
⊙	STORM DRAIN MANHOLE
⊙	CURB INLET
⊙	CATCH BASIN
TOPOGRAPHY	
—	CONTOUR
X	SPOT ELEVATION
WETLANDS	
▲	WETLANDS LINE



LOCATION PLAN
1"=500'

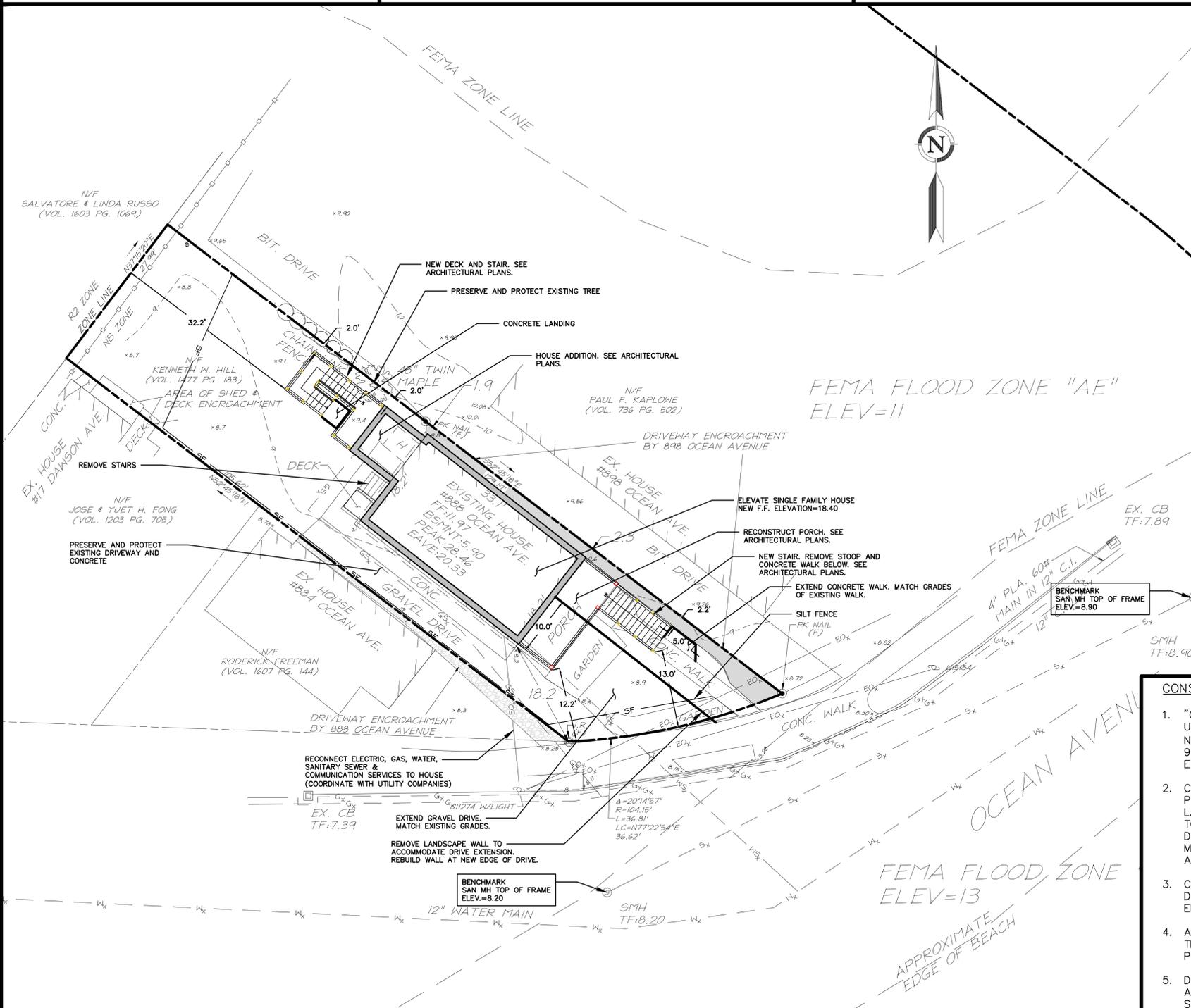
- NOTES:**
- PROPERTY IS IN ZONE NB.
 - PARCEL CONTAINS 3,326 SQUARE FEET OR 0.076 ACRES.
 - THE EXISTING HOUSE IS NON-CONFORMING TO CURRENT ZONING REGULATIONS WITH RESPECT TO FRONT AND SIDE YARD REQUIREMENTS. CURRENT ZONING REQUIREMENTS FOR THE NB ZONE REQUIRE A 25 FOOT FRONT YARD, 15 FOOT SIDE YARD AND 30 FOOT REAR YARD.
 - PROPERTY FALLS WITHIN THE LIMITS OF FLOOD HAZARD ZONE "AE" (ELEVATION 11 NAVD 88) AS DEPICTED ON "FIRM FLOOD INSURANCE RATE MAP TOWN OF WEST HAVEN CONNECTICUT NEW HAVEN COUNTY PANEL 552 OF 635 COMMUNITY PANEL NUMBER 09090552J EFFECTIVE DATE JULY 6, 2013 FEDERAL EMERGENCY MANAGEMENT AGENCY FEDERAL INSURANCE ADMINISTRATION.
 - PROPERTY DOES NOT FALL WITHIN THE LIMITS OF THE COASTAL JURISDICTION LINE (ELEVATION 4.6 NAVD 88) AS DEFINED IN "THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS RESOURCES FOR TIDAL AND NAVIGABLE WATERS IN CONNECTICUT BY JOHN J. DODDY, P.S. & PE CHAIR, CALS TIDE COMMITTEE FIRST PRINTING OCTOBER 15, 2012."
 - HORIZONTAL DATUM IS BASED ON THE NORTH AMERICAN DATUM OF 1983/2012 (NAD 83/2012) AND THE VERTICAL DATUM IS BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
 - A PORTION OF THE DRIVEWAY FOR PROPERTY AT 888 OCEAN AVENUE ENCLOSES ONTO THE PROPERTY AT 888 OCEAN AVENUE.
 - A PORTION OF THE DRIVEWAY FOR 888 OCEAN AVENUE ENCLOSES ONTO THE PROPERTY AT 884 OCEAN AVENUE.
 - A PORTION OF THE PORCH AND DECK FOR 17 DAWSON AVENUE ENCLOSES ONTO THE PROPERTY AT 888 OCEAN AVENUE.
 - PROPERTY IS TOGETHER WITH ALL THE RIGHT, TITLE AND INTEREST OF WALTER PL. KUZIEL AND LOTTIE KUZIEL IN AND TO CERTAIN PREMISES SITUATED ON THE SHORE IN FRONT OF THE PROPERTY, WHICH HAVE BEEN HERETOFORE DEDICATED AND SET APART BY EVELINE ROBERT JONES, THE OWNER THEREOF, THE MUTUAL BENEFIT OF THE OWNERS OF LOTS ON SAID MAPS OF PROSPECT TERRACE.
 - UNDERGROUND UTILITY STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO DESIGN PROFESSIONALS, INC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" FOR UNDERGROUND UTILITY MARKING AT LEAST TWO FULL WORKING DAYS PRIOR TO START OF CONSTRUCTION. 1-800-482-4455 OR WWW.CBYD.COM.

SEDIMENTATION AND EROSION CONTROL:

- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE CONNECTICUT COUNCIL FOR SOIL AND WATER CONSERVATION.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION, AND SHALL BE MAINTAINED OR REPLACED AS NECESSARY.
- CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTATION AND MAINTENANCE OF ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHOWN ON THESE PLANS. ANY PROPOSED CHANGES TO THIS PLAN MUST BE APPROVED BY THE ENGINEER AND/OR THE TOWN OF NORWALK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SWEEPING EXISTING ROADS & DRIVEWAYS AS DEEMED NECESSARY.
- AREAS TO BE LEFT BARE FOR MORE THAN 15 DAYS SHALL BE TREATED WITH AIR DRIED WOOD CHIP MULCH OR SEEDED WITH PERENNIAL RYE-GRASS, UNTIL FINAL GRADING AND STABILIZATION EFFORTS TAKE PLACE.

CONSTRUCTION NOTES:

- "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. CONTRACTOR SHALL CALL (800) 922-4455 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION AND PROTECTION OF ALL UTILITIES, LANDSCAPING, SIDEWALK, PAVEMENT, ETC. DESIGNATED TO REMAIN. SHOULD ANY FEATURES BE DAMAGED DURING THE CONSTRUCTION EFFORT, CONTRACTOR SHALL MAKE ARRANGEMENTS FOR REPLACEMENT AT NO ADDITIONAL COST.
- CONTRACTOR SHALL VERIFY LAYOUT DIMENSIONS. DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER AND ARCHITECT PRIOR TO CONSTRUCTION.
- ALL WORK SHALL BE COMPLETED IN CONFORMANCE WITH THE REQUIREMENTS OF ALL FEDERAL, STATE, AND LOCAL PERMITS ISSUED FOR THIS PROJECT.
- DEWATERING, IF REQUIRED, SHALL BE CONDUCTED IN ACCORDANCE WITH THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, AS REVISED.



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design Professionals
CIVIL & TRAFFIC ENGINEERS / PLANNERS / SURVEYORS
GIS ANALYSTS / LANDSCAPE ARCHITECTS

PREPARED FOR:
KENNETH W. HILL
888 OCEAN AVENUE
WEST HAVEN, CT 06516

PROJECT NO.: 34001739
DATE: 12/3/15
DRAWN BY: BW
CHECKED BY: BW
SCALE: AS SHOWN

KENNETH W. HILL
888 OCEAN AVENUE
WEST HAVEN, CONNECTICUT

NO.	DATE	REVISIONS
1	2/23/16	EXTEND DRIVEWAY AND EXISTING UTILITIES

PLOT PLAN

SCALE: 0' 5' 10' 20'
1" = 10'

SHEET
1

LAWRENCE R. GEISSLER, JR., L.S.
LIC. NO. 12327

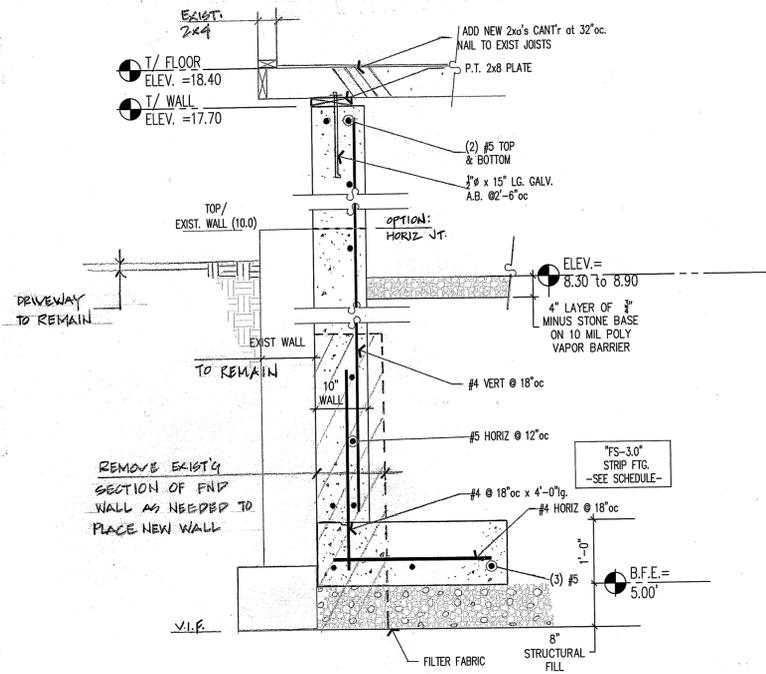
CLARENCE WELTI ASSOC., INC. P.O. BOX 397 GLASTONBURY, CONN 06033				CLIENT CAPITOL STUDIO ARCHITECTS				PROJECT NAME HILL RESIDENCE			
TYPE HSA				LOCATION 888 OCEAN AVENUE, WEST HAVEN, CT				SURFACE ELEV. HOLE NO. B-1			
SIZE I.D. 3.75"				GROUND WATER OBSERVATIONS AT 7.0 FT. AFTER 0 HOURS				START DATE 1/4/16			
HAMMER WT. 140lbs				N. COORDINATE				FINISH DATE 1/4/16			
HAMMER FALL 30"				E. COORDINATE							
DEPTH	NO.	SAMPLE	DEPTH	A	STRATUM DESCRIPTION	REMARKS	ELEV.				
0	1	2-3-3-7	0.0'-2.0'		TOPSOIL		0.28				
					BR. FINE-MED. SAND, LITTLE SILT, TRACE ASPHALT - FILL		1.0				
					GREY BR. FINE-MED. SAND, SOME SILT, LITTLE GRAVEL, FEW COBBLES & BOULDERS						
5	3	15-60	5.0'-6.0'								
10	4	10-15-38	10.0'-11.5'								
15	5	30-60	15.0'-15.8'								
20	6	24-30-60	20.0'-21.3'		GREY SILT, TRACE FINE SAND & FINE GRAVEL		20.0				
25	7	46-50-60	25.0'-26.5'								
30	8	60	30.0'-30.4'		BOTTOM OF BORINGS AT 30.5'		30.5				
35											

LEGEND: COL. A: SAMPLE TYPE: D-DRY A-AUGER C-CORE U-UNDISTURBED PISTON S-SPLIT SPOON PROPORTIONS USED: TRACE-0-10% LITTLE-10-20% SOME-20-35% AND-35-50%

DRILLER: T. CZMYR
INSPECTOR:

SHEET 1 OF 1 HOLE NO. B-1

SOIL BORING LOGS



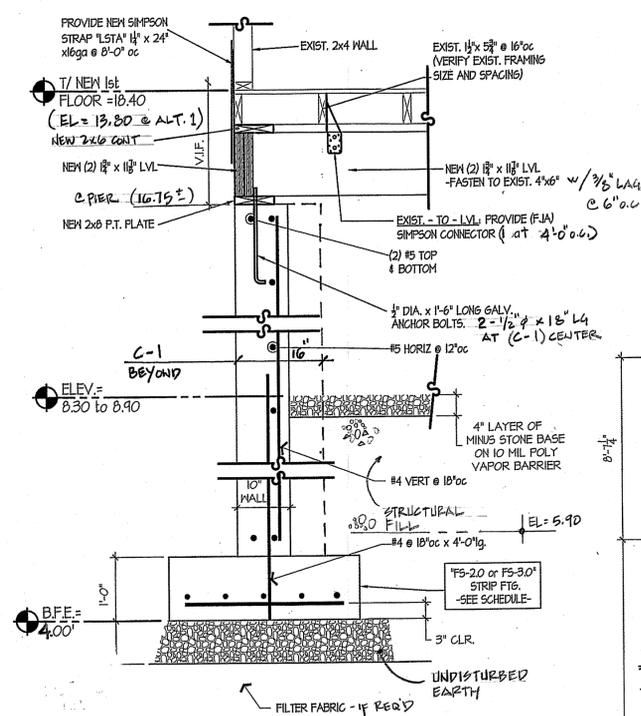
4 SECTION @ EXT. WALL - EAST
SCALE: 3/4"=1'-0"

FOOTING SCHEDULE		
TYPE:	SIZE:	REINF.
F-20	2'-0" x 1'-0" dp	(3) #5 E.M.
F5-30	3'-0" wide x 1'-0" deep	(2) #5 cont (boott) #4 @ 18" ties
F5-35	3'-6" wide x 1'-4" deep	(4) #5 cont (boott) #4 @ 18" ties

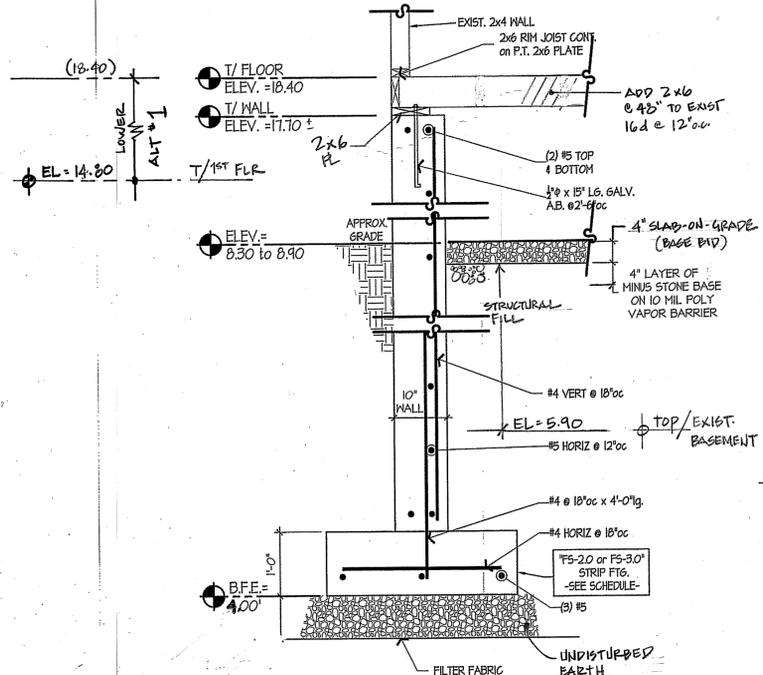
PIER SCHEDULE		
TYPE:	SIZE:	REINF.
P-1	16" Ø	2-#5 VERT
C-1	16" x 16"	(4) #6 VERT + #3 TIES @ 18" oc
C-2	12" x 12"	(4) #5 VERT.

NOTES:

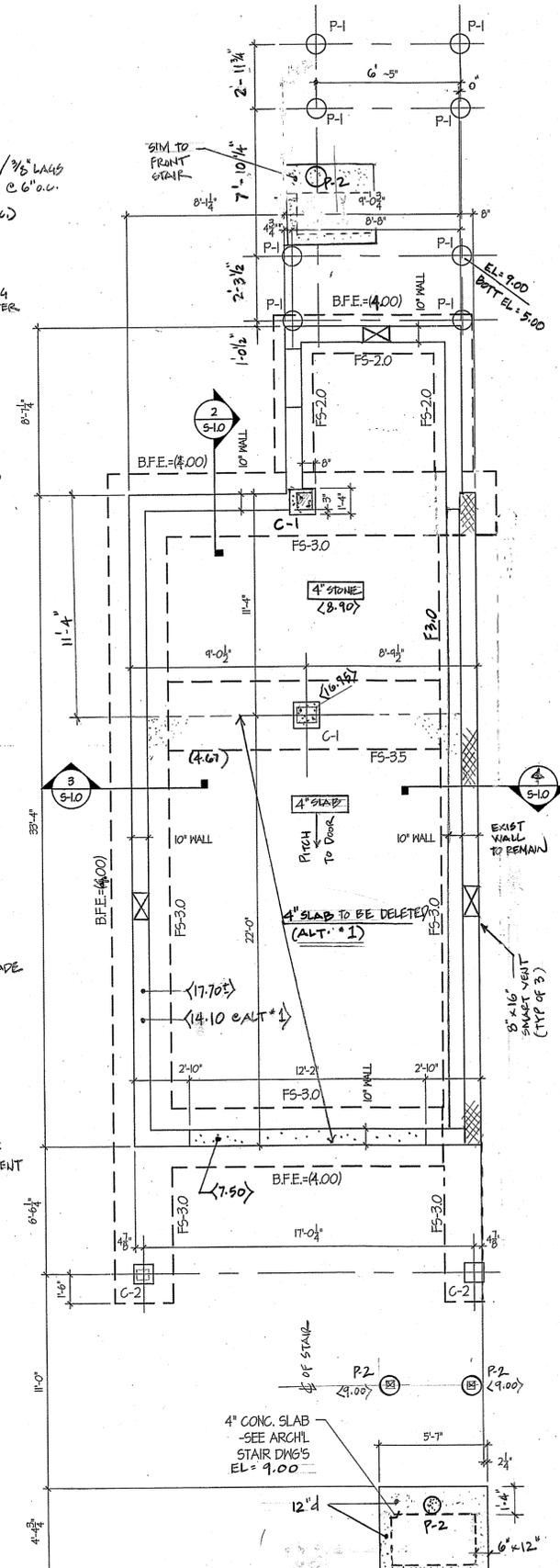
- TOP/ BASEMENT SPACE ELEV. = 0'-0" (LOCAL ELEV. 8.30) UNLESS NOTED THIS (±). ALL ELEVATIONS (+ OR -)
- BASEMENT SPACE MATERIAL: 4" OF STONE BASE OVER 10 MIL POLY VAPOR BARRIER
- BFE INDICATES "BOTTOM OF FOOTING ELEVATION", ALL FOOTINGS TO BEAR ON 8" LIFTS OF STRUCTURAL FILL FROM (5.90) TO BASEMENT LEVEL.
- CRANK SPACE:
4" SCHED. 40 PIPE C.R.S., Fy = 36 k.s.i. (ALT. TO 6x6 PT POST)
GAP PLATE: 3/8 x 8
BASE PLATE: 1/2" x 14 x 14 w/ (4) #8 AB. (GALV)
ALL STEEL PRIME & RUST PROOF PAINTED
- VERIFY ALL EXISTING 1st FLOOR FRAMING (SIZE & LOCATION) BEFORE START OF "HOUSE RELOCATION" OPERATIONS
- P-2: 12" dia BFE (5.00) w/ 4x4 P.T. POST
- C-1: PROVIDE 2x12 P.T. Plate w/ 2-1/2" x 15" L4 GALV ANCHOR RODS
- C-2: PROVIDE 2x10 P.T. Plate w/ 2-1/2" x 15" L4 GALV ANCHOR RODS.



2 TYPICAL SECTION @ EXT. WALL
SCALE: 3/4"=1'-0"



3 SECTION @ EXT. WALL
SCALE: 3/4"=1'-0"



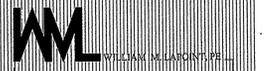
1 FOUNDATION PLAN
SCALE: 1/4"=1'-0"

VERIFY IN FIELD
1. EXISTING FOUNDATION DIMENSIONS
2. DEPTH OF EXISTING FRAMING TO DETERMINE TOP/FND WALLS



THE STATE OF CONNECTICUT DEPARTMENT OF HOUSING (DOH) COMMUNITY DEVELOPMENT BLOCK GRANT - DISASTER RECOVERY (CDBG-DR) OWNER OCCUPIED REHABILITATION and REBUILDING PROGRAM (OORR)

REHABILITATION, REBUILDING and MITIGATION for the HILL RESIDENCE APPLICATION No. 1739 888 Ocean Avenue West Haven, CT 06516



date	description	NO.
12-11-15	REVIEW	
12-13-15	REVIEW	
12-23-15	BID	
02-23-16	REVISE FOR BID	

FOUNDATION PLAN

S-1.0

date 23 DECEMBER 2015
drawn JB
scale AS SHOWN
checked WML
project no.
application no. 1739

