

**THE STATE OF CONNECTICUT
DEPARTMENT OF HOUSING (DOH)**

**COMMUNITY DEVELOPMENT BLOCK GRANT-DISASTER RECOVERY PROGRAM
(CDBG-DR)**

OWNER-OCCUPIED REHABILITATION AND REBUILDING PROGRAM (OORR)



PROJECT LOCATION MAP
NTS

**STORM SANDY RELIEF
GOVERNOR DANIEL P. MALLOY**

**APPLICATION NO. 1690
116 SEASIDE AVENUE
GUILFORD, CT 06437**

8/15/2014



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E-100	ELECTRICAL GROUND & FIRST FLOOR PLANS
E-200	ELECTRICAL SECOND FLOOR PLAN

CONNECTICUT DEPARTMENT OF HOUSING

NOTES:

REVISIONS

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STRUCTURES FOUNDATIONS INVESTIGATIONS
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Tel 203-483-8789 Fax 203-483-8285

OORR
APPLICATION NO. 1690

WEADY RESIDENCE
116 SEASIDE AVENUE
GUILFORD, CT

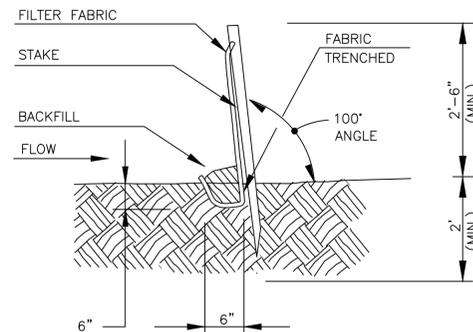
COVER SHEET

DTC PROJECT NUMBER: 13-449-001
DTC DRAWING FILE:
SCALE: NA DRAWN BY:
DATE: 8/15/2014 CHECKED BY:

SHEET:
G-100

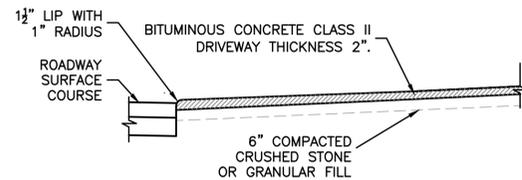
CLARENCE WELTI ASSOC., INC. P.O. BOX 397 GLASTONBURY, CONN 06033				CLIENT DTC				PROJECT NAME WEADY RESIDENCE				
LOCATION 116 SEASIDE AVENUE, GUILFORD, CT				HOLE NO. B-1								
TYPE	AUGER	CASING	SAMPLER	CORE BAR	OFFSET	LINE & STA.	SURFACE ELEV.		GROUND WATER OBSERVATIONS		START DATE	
SIZE I.D.	3.75"		SS				AT 3.0 FT AFTER 0 HOURS		5/29/14			
HAMMER WT	140 lbs					N. COORDINATE	AT FT. AFTER		HOURS		FINISH DATE	
HAMMER FALL	30"					E. COORDINATE	AT FT. AFTER		HOURS		5/29/14	
SAMPLE												
DEPTH	NO.	BLOWS/6"	DEPTH	A	STRATUM DESCRIPTION + REMARKS							ELEV.
0	1	3-22	0.50'-2.00'		BITUMINOUS CONCRETE							0.8
					BR. FINE-MED. SAND, SOME SILT							0.5
					DARK BR. FINE-MED. SAND, SOME SILT							
2		3-4-7.7	2.00'-4.00'									
3		8-6-4.3	4.00'-6.00'		BR. FINE-MED. SAND, LITTLE SILT							5.0
4		3-5-5	10.00'-11.50'									
5		3-7-10	15.00'-16.50'		BR. STRATIFIED SILT AND FINE-MED. SAND							15.0
6		13-14-14	20.00'-21.50'		GREY/BR. FINE-CRS. SAND, SOME GRAVEL, LITTLE SILT							20.0
7		4-14-9	25.00'-26.50'									
8		4-5-9	30.00'-31.50'									
LEGEND: COL. A: DRILLER: T. CZMYR INSPECTOR: SAMPLE TYPE: D=DRY A=AUGER C=CORE U=UNDISTURBED PISTON S=SPLIT SPOON PROPORTIONS USED: TRACE=0-10% LITTLE=10-20% SOME=20-35% AND=35-50%												
				SHEET 1 OF 2				HOLE NO. B-1				

CLARENCE WELTI ASSOC., INC. P.O. BOX 397 GLASTONBURY, CONN 06033				CLIENT DTC				PROJECT NAME WEADY RESIDENCE				
LOCATION 116 SEASIDE AVENUE, GUILFORD, CT				HOLE NO. B-1								
DEPTH	NO.	BLOWS/6"	DEPTH	A	STRATUM DESCRIPTION + REMARKS							ELEV.
9		30-60	35.00'-36.00'		GREY/BR. FINE-MED. SAND, SOME SILT, LITTLE GRAVEL							35.0
					AUGER REFUSAL @ 38.0'							38.0
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				SHEET 2 OF 2				HOLE NO. B-1				

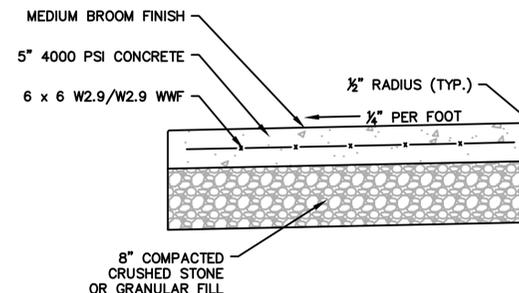


- MINIMUM LENGTH OF SILT FENCE IS 15 FT.
- MAXIMUM POST SPACING IS 8 FT.
- JOINTS ONLY AT SUPPORT POST WITH MINIMUM 2 FT. OVERLAP, SECURELY SEALED.
- SEDIMENTATION DEPOSITS SHALL BE REMOVED WHEN THEY REACH 1/2 THE HEIGHT OF THE SILT FENCE.
- SILT FENCE SHALL NOT BE USED IN A WATER COURSE.
- UPON ESTABLISHMENT OF GROUND COVER ON DISTURBED AREAS, AND WHEN DIRECTED BY THE ENGINEER, FENCE WILL BE REMOVED AND ANY SEDIMENTATION WILL BE THINLY SPREAD UPON EXISTING GROUND COVER.

1 SILT FENCE DETAIL



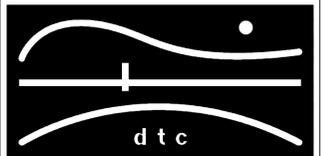
2 BITUMINOUS CONCRETE DRIVEWAY



3 CONCRETE LANDING

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OORR
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116 SEASIDE AVENUE
GUILFORD, CT

**BORING LOGS
AND DETAILS**

DTC PROJECT NUMBER: 13-449-001

DTC DRAWING FILE:

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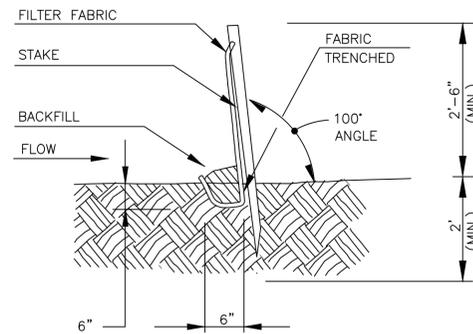
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C.101

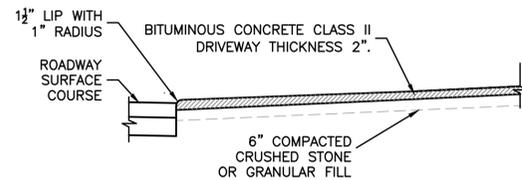
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35											
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70											
75											
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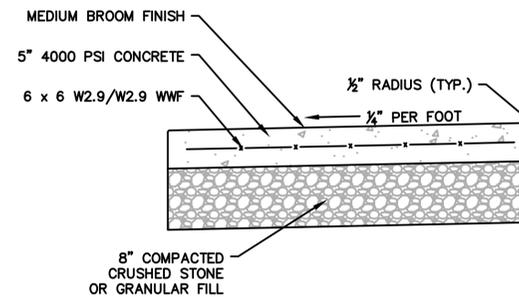


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1 SILT FENCE DETAIL



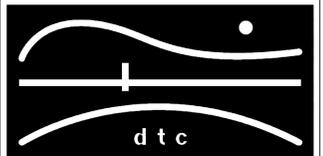
2 BITUMINOUS CONCRETE DRIVEWAY



3 CONCRETE LANDING

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BORING LOGS
AND DETAILS

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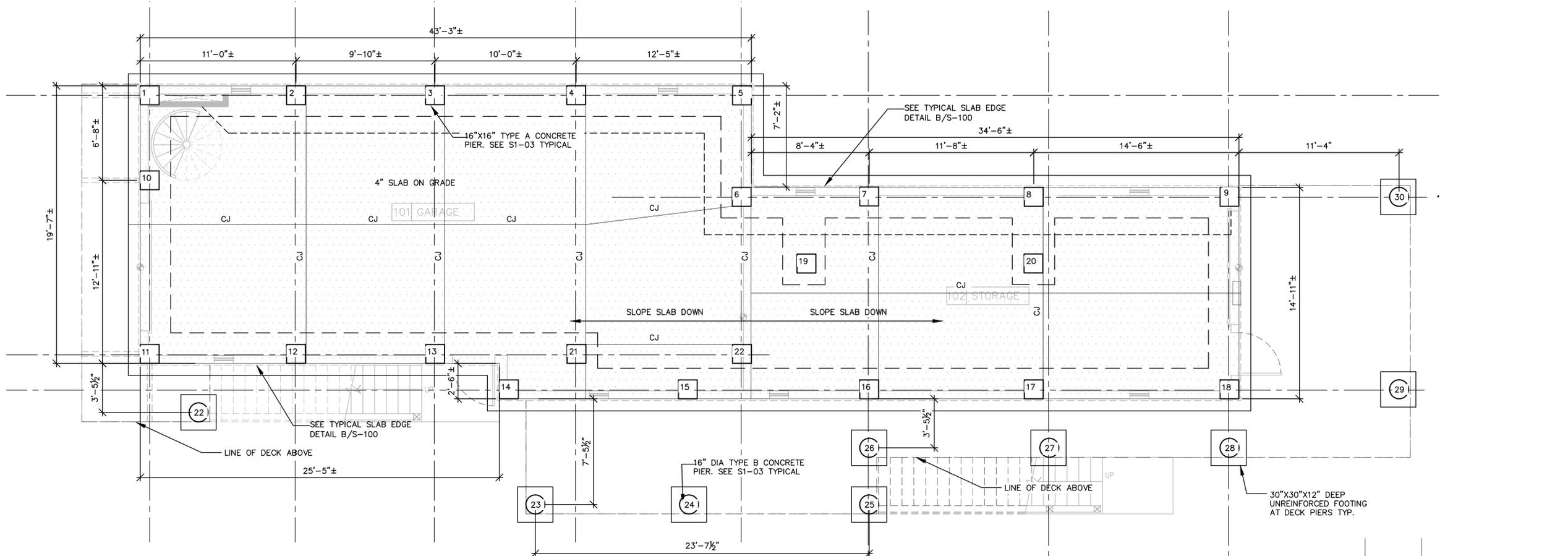
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SCALE: NA DRAWN BY: LEC

DATE: 8/15/2014 CHECKED BY: JAB

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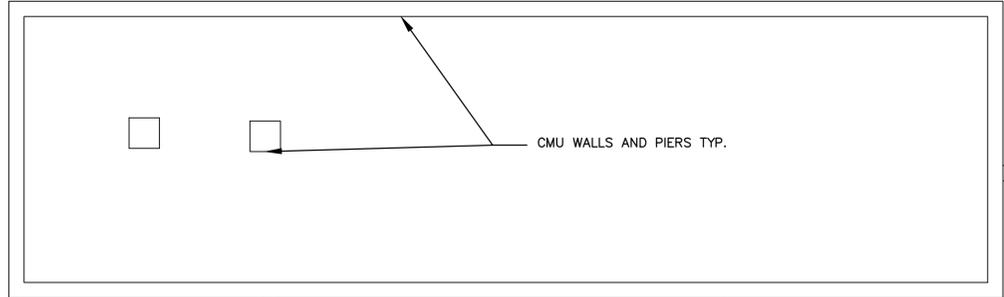
C.101



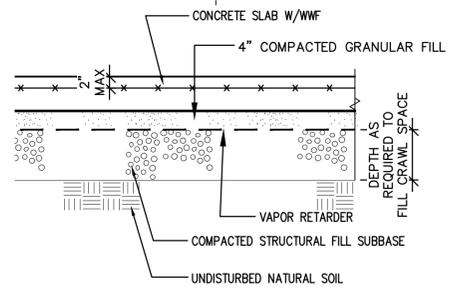
FOUNDATION PLAN

Scale: 1/4"=1'-0" (22X34 sheet)

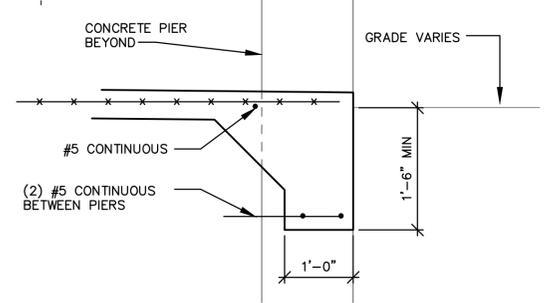
- NOTES:
1. THE FOUNDATION DIMENSIONS MUST BE COORDINATED WITH THE EXISTING HOUSE STRUCTURE. VERIFY THE OVERALL DIMENSIONS, ELEVATIONS AND THE ALIGNMENT OF THE HOUSE PRIOR TO FORMING THE FOOTINGS AND PIERS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
 2. REFER TO ARCHITECTURAL DRAWINGS FOR PORCH AND STAIR PLANS AND DETAILS, TYP.
 3. IF GROUNDWATER IS ENCOUNTERED IN THE EXCAVATION PUMP OUT AND DISCHARGE LEGALLY. PLACE A CRUSHED STONE LAYER BELOW THE BOTTOM OF THE FOOTINGS TO PROVIDE STABLE DRY SUBSTRATE TO PLACE THE FOOTINGS.
 4. PRIOR TO ESTABLISHING THE FINAL TOP OF PIER ELEVATIONS, COORDINATE WITH THE EXISTING AND NEW FIRST FLOOR FRAMING CONDITIONS.
 5. CJ DENOTES SLAB CONSTRUCTION OR CONTROL JOINT. SEE TYPICAL DETAILS.
 6. 11 DENOTES PIER NUMBER FOR REFERENCE.



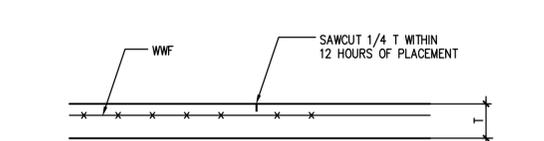
CMU WALLS AND PIERS TYP.



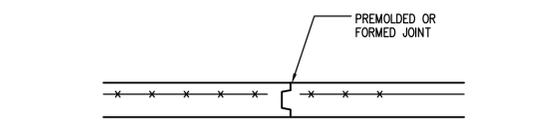
A TYPICAL SLAB ON GRADE
Scale: 3/4"=1'-0" (22X34 sheet)



B TYPICAL SLAB EDGE
Scale: 3/4"=1'-0" (22X34 sheet)



C TYPICAL SLAB ON GRADE CONTROL JOINT
Scale: 3/4"=1'-0" (22X34 sheet)



D TYPICAL SLAB ON GRADE CONSTRUCTION JOINT
Scale: 3/4"=1'-0" (22X34 sheet)



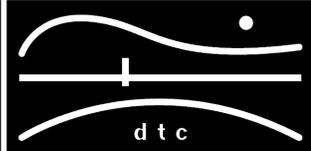
EXISTING FOUNDATION PLAN

Scale: 1/4"=1'-0" (22X34 sheet)

1. THE EXISTING FOUNDATION IS SHOWN FOR REFERENCE ONLY. THE CONTRACTOR MUST VERIFY THE EXISTING DIMENSIONS, CONDITIONS AND ELEVATIONS IN THE FIELD.
2. THE INTENT IS TO REMOVE THE ENTIRE FOUNDATION AND TO REPLACE IT WITH THE NEW FOUNDATION SHOWN.

NOTES:

REVISIONS



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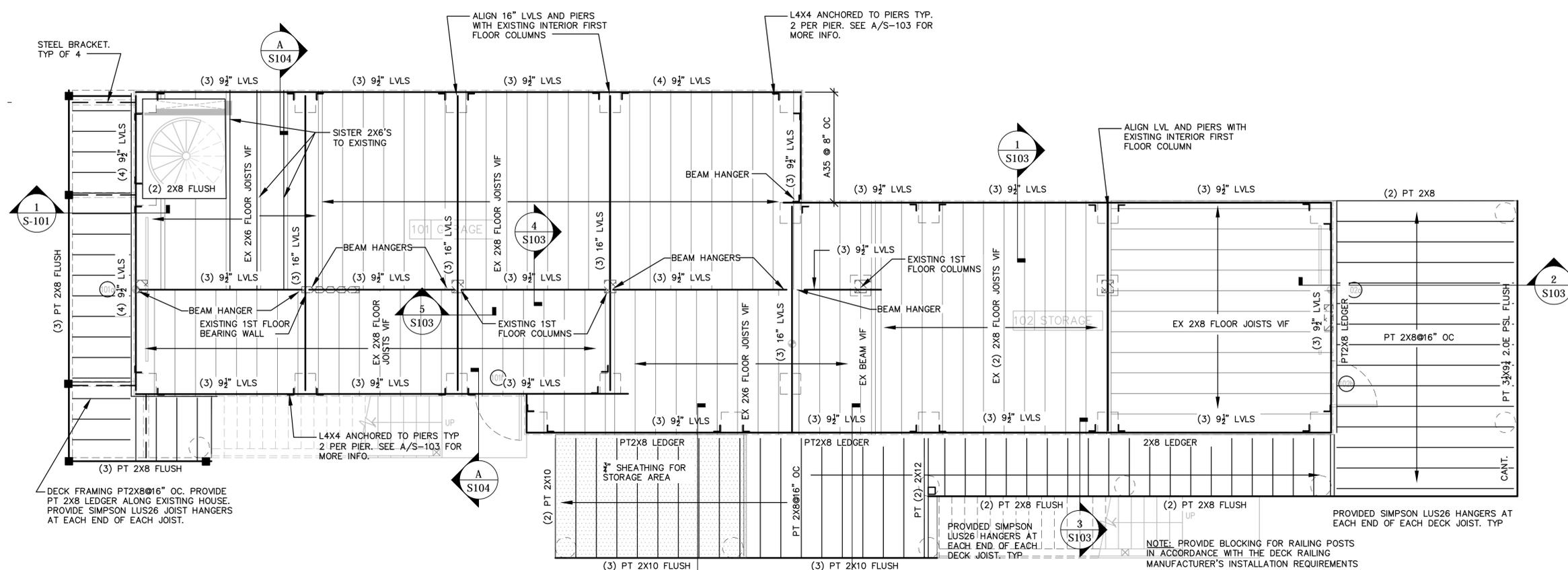
EXISTING AND NEW
FOUNDATION PLANS

DTC PROJECT NUMBER: 13-449-01
DTC DRAWING FILE:

SCALE: AS NOTED	DRAWN BY: CMM
DATE: AUGUST 15, 2014	CHECKED BY: CM

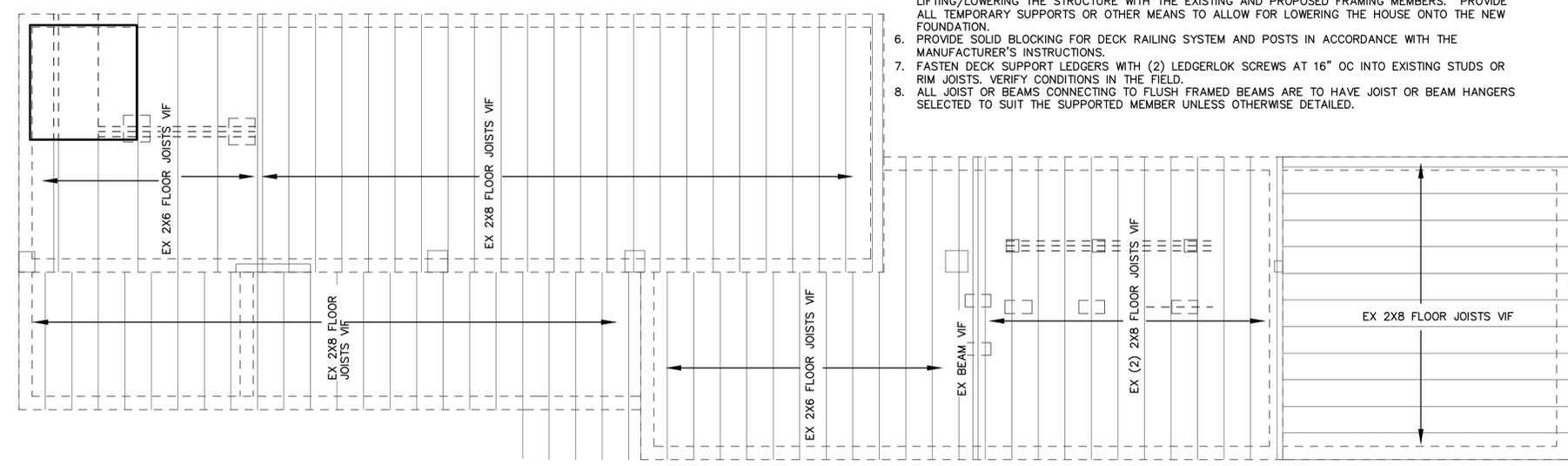
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S-100



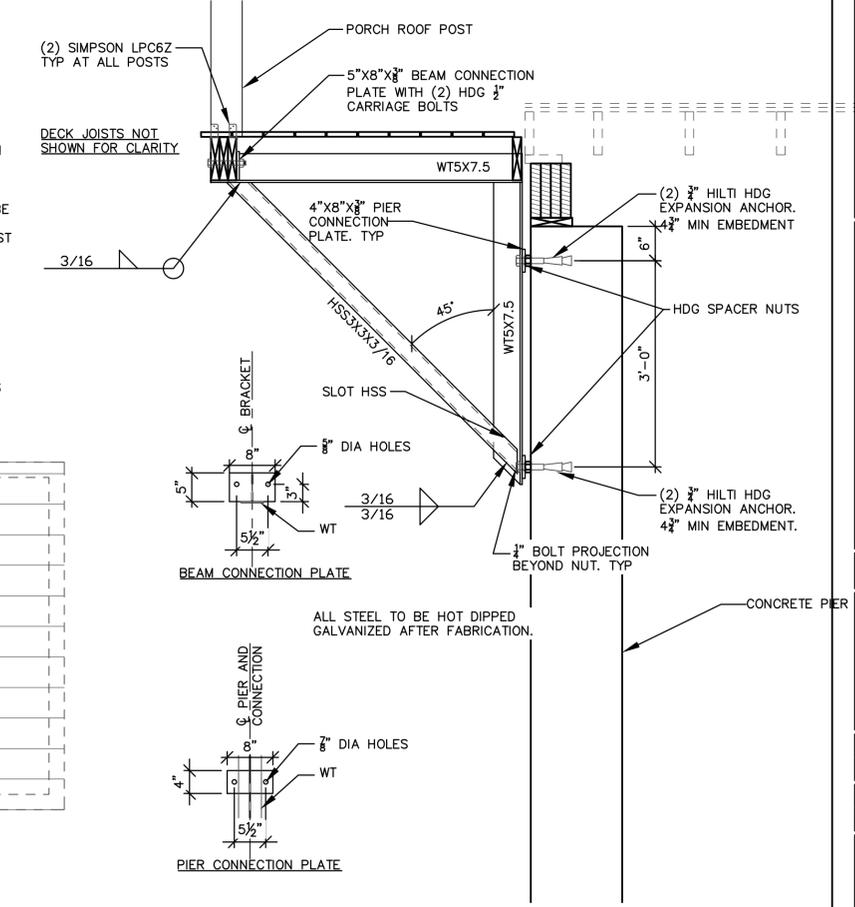
FIRST FLOOR FRAMING PLAN
Scale: 1/4"=1'-0" (22X34 sheet)

- NOTES:
1. THE EXISTING FIRST FLOOR FRAMING CONDITIONS (SIZES, SUPPORT CONDITIONS, ELEVATIONS, ETC.) MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO SETTING TOP OF PIER ELEVATIONS AND INSTALLING NEW FRAMING. NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES THAT WILL PREVENT THE EXECUTION OF THE PLAN.
 2. DUE TO THE VARYING EXISTING FLOOR ELEVATIONS AND AND FRAMING CONDITIONS SHIMMING BETWEEN THE EXISTING FRAMING AND NEW BEAMS AND/OR BETWEEN THE PIERS AND NEW BEAMS WILL BE REQUIRED. ALL SHIMS IN CONTACT WITH CONCRETE ARE TO BE PRESERVATIVE TREATED WOOD.
 3. DETAILS ARE APPLICABLE TO SIMILAR CONDITIONS WHETHER CALLED OUT OR NOT. ALL NEW AND EXISTING BEAMS MUST BE ANCHORED TO THE NEW PIERS AND ALL NEW FRAMING MEMBERS ARE TO BE FASTENED TO THE EXISTING FRAMING. REFER TO SECTIONS AND DETAILS.
 4. EACH OF THE INTERIOR BEAMS TO BE ANCHORED TO THE CONCRETE PIERS WITH A SIMPSON ABA POST BASE SUITED TO FIT THE BEAM WIDTH AND ANCHORED SIMILAR TO SECTION 2/S-103.
 5. COORDINATE THE INSTALLATION OF THE HOUSE RAISING BEAMS, RIGGING AND SEQUENCE OF LIFTING/LOWERING THE STRUCTURE WITH THE EXISTING AND PROPOSED FRAMING MEMBERS. PROVIDE ALL TEMPORARY SUPPORTS OR OTHER MEANS TO ALLOW FOR LOWERING THE HOUSE ONTO THE NEW FOUNDATION.
 6. PROVIDE SOLID BLOCKING FOR DECK RAILING SYSTEM AND POSTS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
 7. FASTEN DECK SUPPORT LEDGERS WITH (2) LEDGELOK SCREWS AT 16" OC INTO EXISTING STUDS OR RIM JOISTS. VERIFY CONDITIONS IN THE FIELD.
 8. ALL JOIST OR BEAMS CONNECTING TO FLUSH FRAMED BEAMS ARE TO HAVE JOIST OR BEAM HANGERS SELECTED TO SUIT THE SUPPORTED MEMBER UNLESS OTHERWISE DETAILED.



EXISTING FIRST FLOOR FRAMING PLAN
Scale: 1/4"=1'-0" (22X34 sheet)

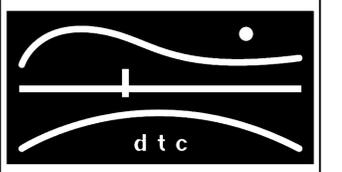
THE EXISTING FRAMING IS SHOWN FOR REFERENCE ONLY. THE CONTRACTOR MUST VERIFY THE EXISTING DIMENSIONS, CONDITIONS AND ELEVATIONS IN THE FIELD.



DECK BRACKET DETAIL
Scale: 3/4"=1'-0" (22X34 sheet)

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EXISTING AND NEW 1ST
FLOOR FRAMING PLANS

DTC PROJECT NUMBER: 13-449-01

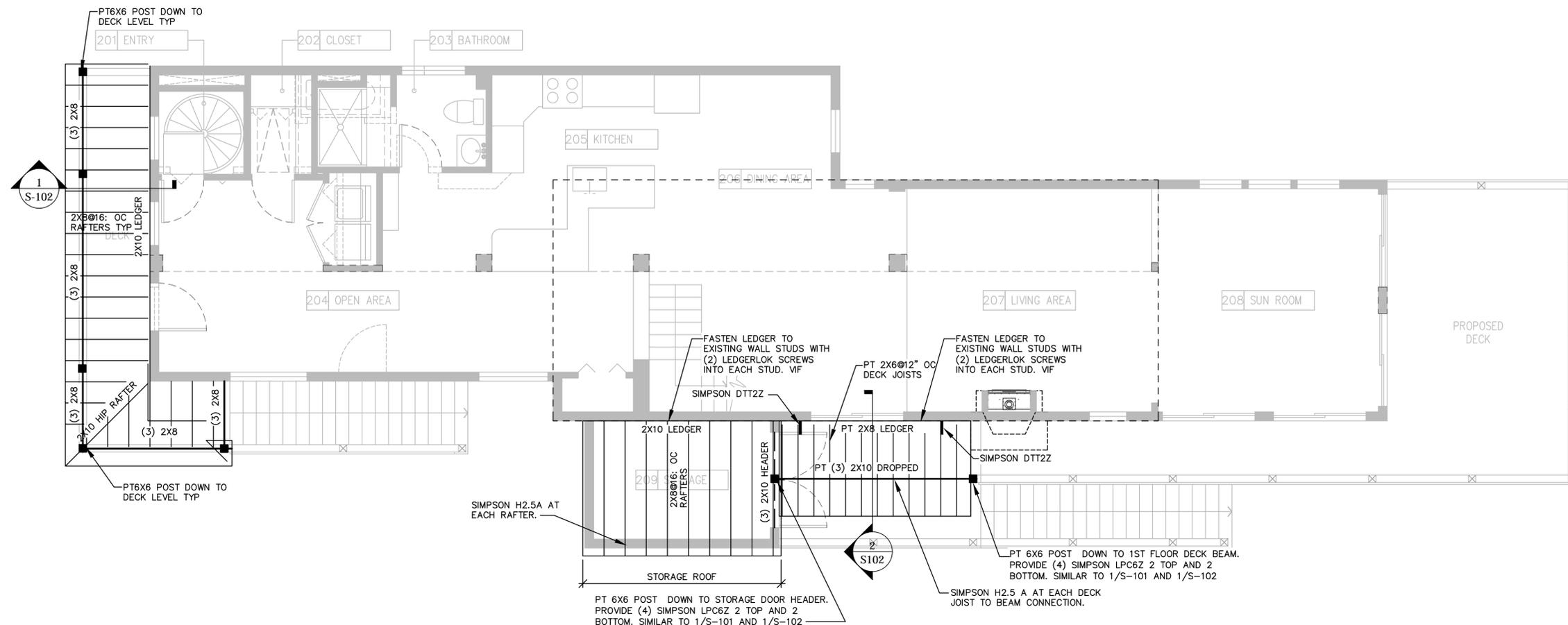
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SCALE: AS NOTED DRAWN BY: CMM

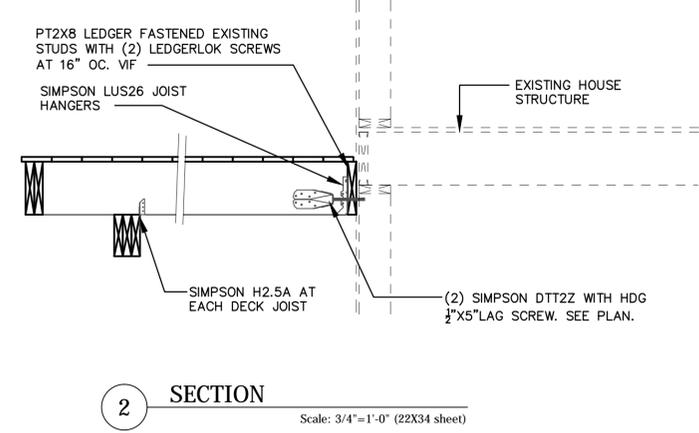
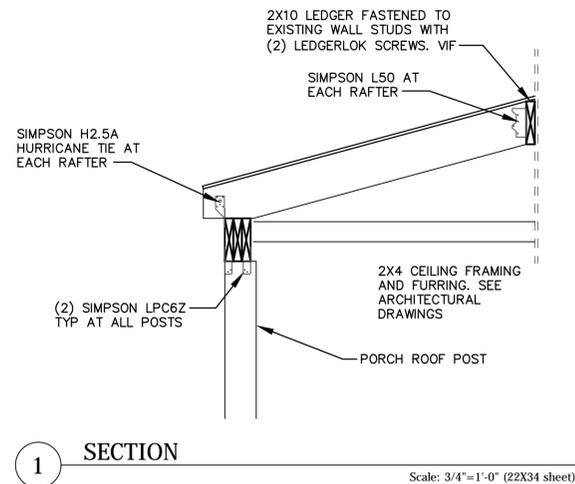
DATE: AUGUST 15, 2014 CHECKED BY: CM

SHEET:

S-101



PROJECT NORTH
PORCH AND STORAGE ROOM ROOF FRAMING PLAN
 Scale: 1/4"=1'-0" (22X34 sheet)



DESIGN BASIS

- ALL WORK SHALL CONFORM TO THE STATE BUILDING CODE, 2013 AMENDMENT TO THE 2005 CONNECTICUT SUPPLEMENT.
- THE INTENT OF THE STRUCTURAL DRAWINGS IS ONLY TO DEPICT THE REQUIREMENTS OF A NEW FOUNDATION FOR THE EXISTING STRUCTURE AND NEW DECKS, AND PORCH ROOF ROOF. NEW SUPPORT BEAMS ADDED TO SUPPORT THE EXISTING STRUCTURE.
- NO STRUCTURAL CHANGES ARE BEING MADE TO THE EXISTING HOUSE. THE EXISTING HOUSE STRUCTURE IS NOT BEING RETRO-FITTED TO COMPLY WITH THE CURRENT CODE REQUIREMENTS.
- GEOTECHNICAL REPORT DATED 6/10/14 BY DR. CLARENCE WELTI, PE, P.C. MAXIMUM SOIL BEARING = 3000 PSF
- WIND LOADS: BASIC WIND SPEED 3 SECOND GUST 105 MPH EXPOSURE CATEGORY: C
- THE FOUNDATION HAS BEEN DESIGNED TO COMPLY WITH THE FLOOD ZONE REGULATIONS WITH AN AE-12 DESIGNATION WITHIN THE LIMITS OF MODERATE WAVE ACTION (COASTAL A), BASE FLOOD ELEVATION 12.0' (NAVD 88). BOTTOM OF THE LOWEST HORIZONTAL MEMBER SHALL BE ELEVATION 16.0'
- LIVE LOAD: NEW DECKS HAVE BEEN DESIGNED FOR A 40 PSF
- SNOW LOAD: PORCH ROOF HAS BEEN DESIGNED FOR 30 PSF

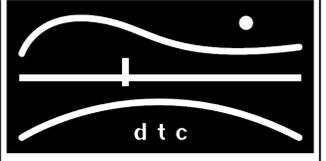
GENERAL NOTES

- THE CONTRACTOR MUST VERIFY ALL EXISTING CONSTRUCTION DIMENSIONS AND ELEVATIONS PRIOR TO CONSTRUCTING THE FOUNDATION.
- IF GROUNDWATER IS ENCOUNTERED IN THE EXCAVATION, PUMP AND DISCHARGE LEGALLY.
- CONCRETE SHALL HAVE THE FOLLOWING 28 DAY COMPRESSIVE STRENGTH:
 FOOTINGS: 3000 PSI
 PIERS: 4000 PSI
 SLABS: 3500 PSI
 CONCRETE REINFORCING SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
 STEEL REINFORCING BARS: ASTM A615 GRADE 60
- BOTTOMS OF ALL FOOTINGS SHALL BE A MINIMUM OF 4'-0" BELOW FINISH GRADE.
- REMOVE ALL OF THE EXISTING FOUNDATION WALLS AND FOOTINGS.
- FOUNDATION SHALL BEAR ON NATURAL SOIL OR BEDROCK.
- IN THE EVENT OF OVER EXCAVATION, FILL WITH LEAN CONCRETE OR 1/2" CRUSHED STONE PRIOR TO FORMING AND PLACING FOOTINGS.
- ANY NEW WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED. ANY EXISTING WOOD IN DIRECT CONTACT WITH CONCRETE SHALL BE ISOLATED FROM THE CONCRETE BY PRESERVATIVE TREATED WOOD.
- ALL FASTENERS (SIZE AND NUMBER) FOR METAL CONNECTORS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S LITERATURE.
- ALL METAL CONNECTORS SHALL BE HOT DIPPED GALVANIZED TO THE MANUFACTURER'S MAXIMUM TREATMENT
- STRUCTURAL FILL UNDER THE SLAB SHALL BE PLACED IN 8" LIFTS AND COMPACTED TO 95% OF THE MODIFIED PROCTOR (ASTM D1557). FILL SHALL MEET THE FOLLOWING GRADATION:

SIEVE SIZE	PERCENT PASSING
3.5	100%
3/4"	50 TO 100%
#4	25 TO 80%
#200	LESS THAN 15% OF #4
- INSTEAD OF THE ABOVE, STRUCTURAL FILL MAY BE 3/8" CRUSHED STONE.

NOTES:

REVISIONS



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OORR
 APPLICATION NO. 1690

WEADY RESIDENCE
 116 SEASIDE AVENUE
 GUILFORD, CT

LOW ROOFS AND 2ND
 FLOOR FRAMING PLAN

DTC PROJECT NUMBER: 13-449-01

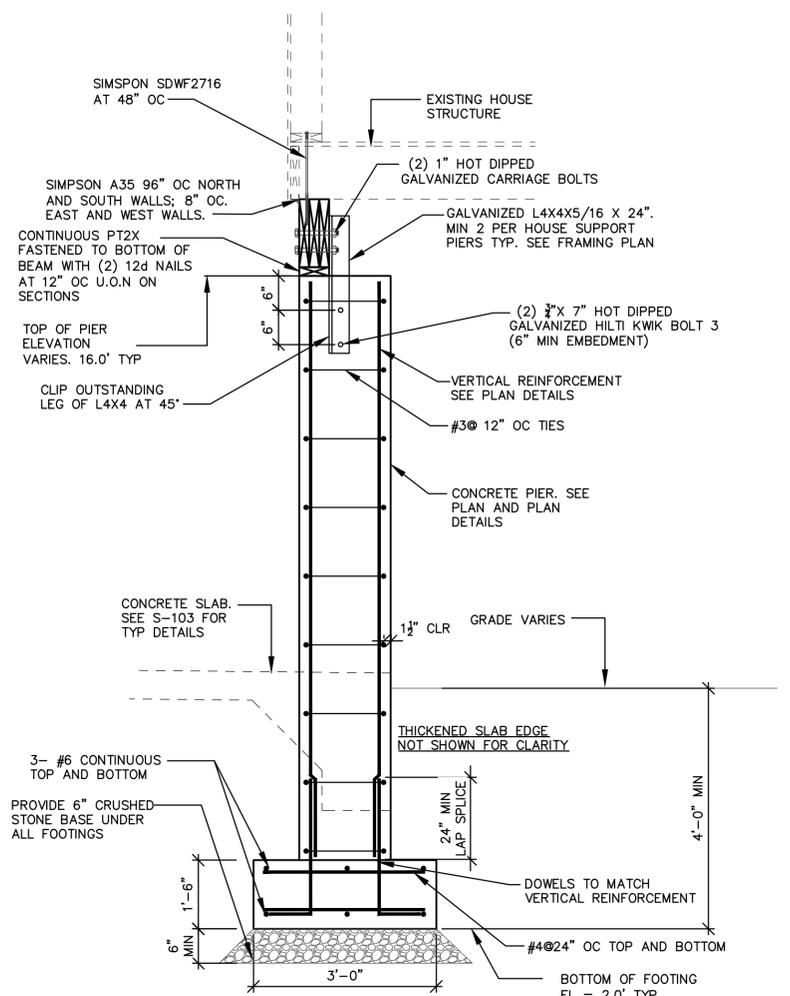
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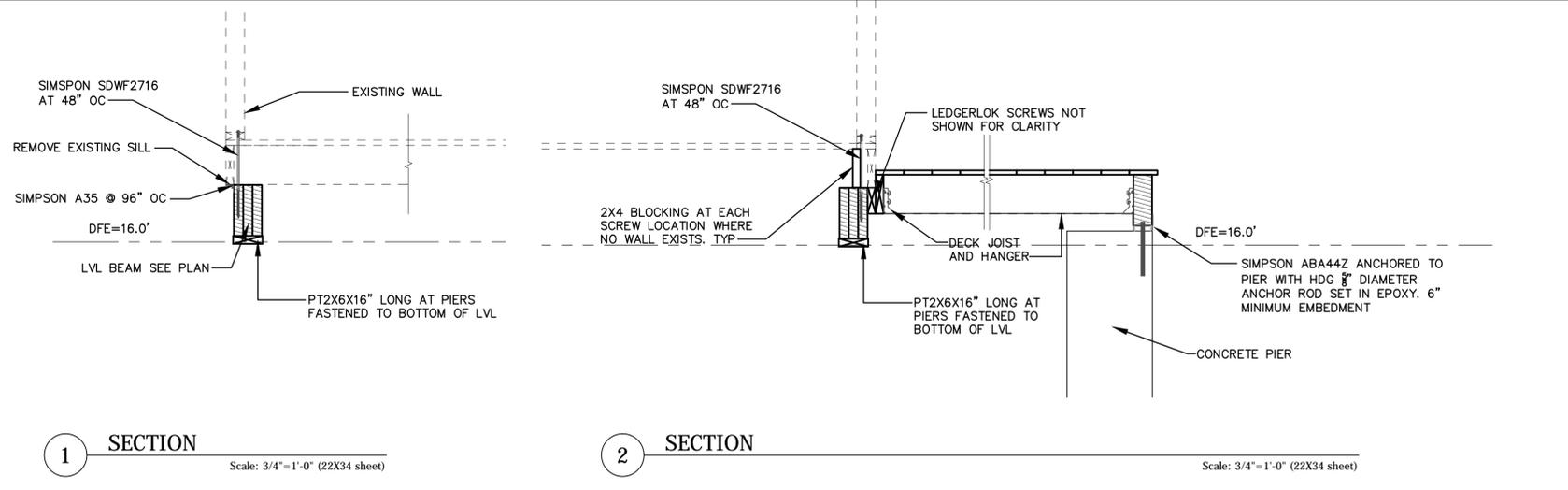
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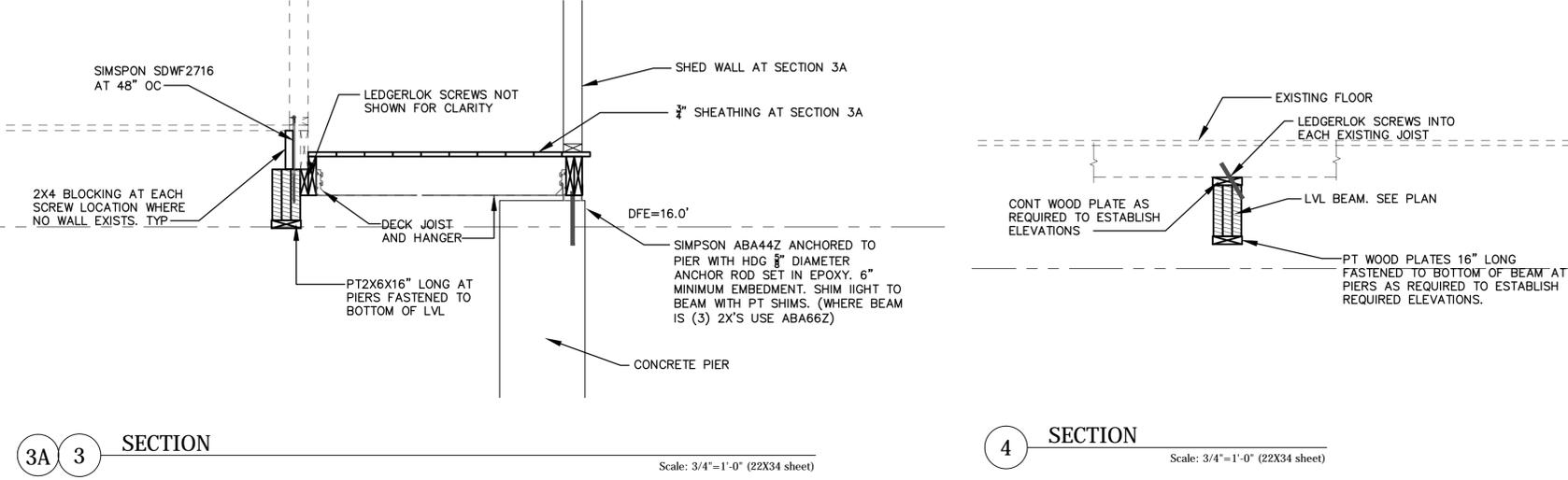
S-102



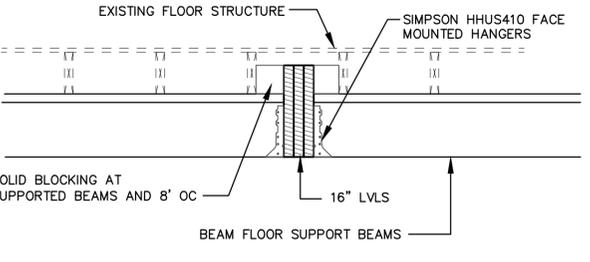
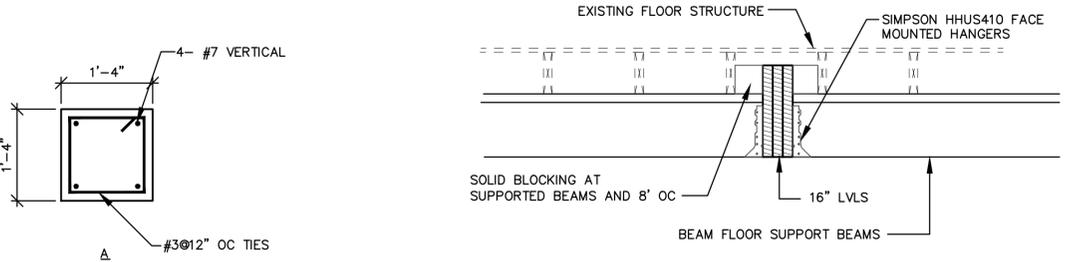
A TYPICAL PIER
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 NOTE: EXPECT GROUND WATER TO BE AT LEAST 16" ABOVE THE BOTTOM OF THE EXCAVATION.



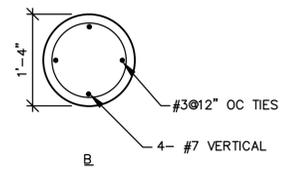
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2 SECTION Scale: 3/4"=1'-0" (22X34 sheet)



3A 3 SECTION Scale: 3/4"=1'-0" (22X34 sheet)
4 SECTION Scale: 3/4"=1'-0" (22X34 sheet)



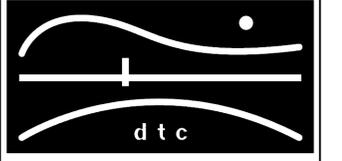
5 SECTION
 Scale: 3/4"=1'-0" (22X34 sheet)



TYPICAL PIER PLANS
 Scale: 1/4"=1'-0" (22X34 sheet)

NOTES:

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DETAILS AND SECTIONS

DTC PROJECT NUMBER: 13-449-01

DTC DRAWING FILE:

SCALE: AS NOTED DRAWN BY: CMM

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S-103

ABBREVIATIONS			
@	AT	I.D.	INSIDE DIAMETER
A.C.	AIR CONDITIONING	IN.	INCH
ACOUST.	ACOUSTIC(AL)	INCL.	INCLUDE/ INCLUDING
AD.	AREA DRAIN	INFO.	INFORMATION
ADDTL.	ADDITIONAL	INS.	INSULATION
A.F.C.	ABOVE FINISHED CEILING	INT.	INTERIOR
A.F.F.	ABOVE FINISHED FLOOR		
A.I.A.	AMERICAN INSTITUTE OF ARCHITECTS	L.	LENGTH
A.I.E.E.	AMERICAN INSTITUTE OF ELECTRICAL ENGINEERS	LAM.	LAMINATE
A.I.S.C.	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	LAV.	LAVATORY
AL.	ALUMINUM	LB.	POUND
ALT.	ALTERNATE	L.F.	LINEAL FOOT
APPR.	APPROXIMATELY	LH	LEFT HAND
APT.	APARTMENT	L.L.	LOT LINE
ARCH.	ARCHITECT	L.P.	LOW POINT
A.S.	ALUMINUM SADDLE	LT.	LIGHT
A.S.H.R.A.E.	AMERICAN SOCIETY OF HEATING, REFRIGERATION & AIR CONDITIONING ENGINEERS	MANUF.	MANUFACTURER
		MAT'L.	MATERIAL
		MAX.	MAXIMUM
		MECH.	MECHANICAL
A.S.M.E.	AMERICAN SOCIETY OF MECHANICAL ENGINEERS	MED.	MEDIUM
		MIN.	MINIMUM
A.S.T.M.	AMERICAN SOCIETY FOR TESTING MATERIALS	MISC.	MISCELLANEOUS
		M.O.	MASONRY OPENING
A.W.G.	AMERICAN WIRE GAUGE	M.S.	MARBLE SADDLE
		MTL.	METAL
BD.	BOARD	N.	NORTH
BLDG.	BUILDING	NO.	NUMBER
BLK.	BLOCK	N.T.S.	NOT TO SCALE
BM.	BENCH MARK		
B.O.	BY OTHERS		
B.T.U.	BRITISH THERMAL UNIT	O.A.	OUTSIDE AIR
		O.A.D.	OVERALL DIMENSION
Ⓢ	CHANNEL	O.C.	ON CENTER
CAB.	CABINET	O.D.	OUTSIDE DIAMETER
C.B.	CONCRETE BLOCK	OP'G.	OPENING
C.H.	CEILING HEIGHT	P.C.F.	POUNDS PER CUBIC FOOT
C.J.	CONTROL JOINT	PERF.	PERFORATED
CL.	CLOSET	PERM.	PERMANENT
CLG.	CENTERLINE	PERP.	PERPENDICULAR
CLR.	CEILING	PH.	PHASE
C.O.	CLEAR	P.L.	PROPERTY LINE
COL.	CLEAN OUT	PL. LAM.	PLASTIC LAMINATE
CONC.	COLUMN	PLMB'G.	PLUMBING
CONN.	CONCRETE CONNECTION	PLYWD.	PLYWOOD
CONST.	CONSTRUCTION	PNL.	PANEL
CONT.	CONTINUOUS	POL.	POLISHED
CONTR.	CONTRACTOR	P.S.F.	POUNDS PER SQUARE FOOT
CPT.	CARPET	P.S.I.	POUNDS PER SQUARE INCH
CSK.	COUNTERSINK	PTN.	PARTITION
C.T.	CERAMIC TILE	PT.	PAINT
C.W.	COLD WATER	PTG.	PAINTING
		PR.	PAIR
D.	DEPTH	Q.T.	QUARRY TILE
DBL.	DOUBLE	QUAL.	QUALITY
DET.	DETAIL		
DIA.	DIAMETER	R.	RADIUS
DIAG.	DIAGONAL	R.D.	ROOF DRAIN
DIM.	DIMENSION	RECP.	RECEPTACLE
DIV.	DIVISION	REC'VD.	RECEIVED
D.L.	DEAD LOAD	REF.	REFRIGERATOR
DN.	DOWN	REINF.	REINFORCED/REINFORCEMENT
DR.	DOOR	REQ'D.	REQUIRED
D.S.	DOWNSPOUT	R.H.	RIGHT HAND
D.W.	DISHWASHER	RLG.	RAILING
DWG.	DRAWING	RM.	ROOM
		R.O.	ROUGH OPENING
E.J.	EXPANSION JOINT	S.	SINK
E.L.	EMERGENCY LIGHT	SAD.	SADDLE
ELEC.	ELECTRICAL	S.C.	SOLID CORE
ELEV.	ELEVATION	SCHED.	SCHEDULE
ENG.	ENGINEER	SECT.	SECTION
EQ.	EQUAL	SEPAR.	SEPARATE
EQUIP.	EQUIPMENT	S.F.	SQUARE FEET
EWHT.	ELECTRICAL WALL HEATER	SIM.	SIMILAR
EXT.	EXTERIOR	SPEC.	SPECIFICATION
EXSTG.	EXISTING	SQ.	SQUARE
		SRV.S.	SERVICE SINK
F.D.	FLOOR DRAIN	S/S.	STAINLESS STEEL
F.E.	FIRE EXTINGUISHER	STD.	STANDARD
F.H.C.	FIRE HOSE CABINET	STL.	STEEL
F.H.R.	FIRE HOSE RACK	STRUC.	STRUCTURAL
FIN.	FINISH(ES)		
FIXT.	FIXTURE	T.	TREAD(S)
FL.	FLASHING	TEL.	TELEPHONE
FLR.	FLOOR	THK.	THICK / THICKNESS
F.P.	FIREPROOF	T.O.C.	TOP OF CONCRETE
FT.	FOOT	TYP.	TYPICAL
FTG.	FOOTING		
GA.	GAUGE	U.O.N.	UNLESS OTHERWISE NOTED
GAL.	GALLON	U.S.	UNDERSIDE
GALV.	GALVANIZED		
G.C.	GENERAL CONTRACTOR	V.C.T.	VINYL COMPOSITION TILE
GL.	GLASS TYPE	VERT.	VERTICAL
GYP. BD.	GYPSUM BOARD	VEST.	VESTIBULE
		V.I.F.	VERIFY IN FIELD
H.B.	HOSE BIB	VOL.	VOLUME
HDW.	HARDWARE		
H.M.	HOLLOW METAL	W.	WIDTH
HQR.	HORIZONTAL	W/.	WITH
H.P.	HIGH POINT	W.C.	WATER CLOSET
HR.	HOUR	WD.	WOOD
HT.	HEIGHT	W/O.	WITHOUT
HTG.	HEATING	W.P.	WATERPROOFING
H.W.	HOT WATER	W.S.	WOOD SADDLE
		WT.	WEIGHT
		W.W.M.	WELDED WIRE MESH
		YD.	YARD

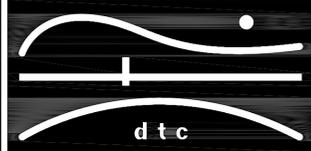
GENERAL NOTES	
1.0	<u>SCOPE OF WORK</u>
1.1	RAISE EXISTING 2 STORY HOUSE 1 ADDITIONAL STORY, ABOVE THE 500 YEAR FLOOD ELEVATION. ALSO INTERIOR REPAIRS TO STORM DAMAGED AREAS AND MINOR INTERIOR RENOVATION.
1.2	THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LABOR, EQUIPMENT, MATERIALS AND THEIR SECURITY ON THE SITE.
1.3	ALL WORK SHALL FULLY CONFORM WITH THE REQUIREMENTS OF THE BUILDING AND ELECTRICAL CODES OF THE STATE OF CONNECTICUT, O.S.H.A., ALL OTHER AUTHORITIES AND CODES HAVING JURISDICTION OVER THE WORK, AND THE BEST TRADE PRACTICES.
1.4	THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED TO PERFORM THE WORK BEFORE COMMENCEMENT OF THE WORK. THE CONTRACTOR SHALL SECURE ALL CERTIFICATES OF INSPECTION AS REQUIRED BY ALL AUTHORITIES HAVING JURISDICTION OVER THE WORK AND SHALL DELIVER SAME TO OWNER. THE CONTRACTOR SHALL FILE REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS.
1.5	ALL USE TAX, SALES TAX AND ANY OTHER CHARGES RELATIVE TO THE CONSTRUCTION OF THE PROJECT AND PAYMENT OF SAME ARE THE RESPONSIBILITY OF THE CONTRACTOR. AT THE COMPLETION OF THE WORK, DELIVER TO THE OWNER ALL REQUIRED PERMITS, CERTIFICATES OF APPROVAL, AND WARRANTIES CALLED FOR IN THIS SPECIFICATION.
1.6	THE CONTRACTOR SHALL VISIT THE SITE AND AQUAINT HIM OR HERSELF WITH ALL EXISTING CONDITIONS. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY IN PERFORMANCE OF THE CONTRACT.
1.7	ALL DIMENSIONS SHOWN ON THE DRAWINGS OR MENTIONED IN THE SPECIFICATIONS ARE DESIGN DIMENSIONS FOR PURPOSES OF PLANNING ONLY AND SHALL BE VERIFIED WITH THE CONTRACTOR'S MEASUREMENT OF ACTUAL DIMENSIONS IN THE FIELD.
1.8	ALL REQUIREMENTS SPECIFIED IN THE STATE OF CONNECTICUT BUILDING CODE AND ALL OTHER APPLICABLE CODES SHALL BE ADHERED TO AS IF THEY WERE EXACTLY REPRESENTED ON THE DRAWINGS. THIS SHALL NOT BE CONSTRUED TO MEAN THAT ANY OF THE REQUIREMENTS SET FORTH IN THE DRAWINGS MAY BE MODIFIED BECAUSE THEY ARE MORE STRINGENT THAN THE CODE REQUIREMENTS OR ARE NOT SPECIFICALLY REQUIRED BY CODE.
1.9	THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING THE WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT IN A TIMELY MANNER.
1.10	MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
1.11	THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES.
1.12	THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
1.13	THE CONTRACTOR SHALL LAYOUT THEIR OWN WORK AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (PLUMBING, ELECTRICAL, ETC.)
1.14	PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.
1.15	THE CONTRACTOR SHALL PERFORM ALL CUTTING, PATCHING AND REPAIRING AS REQUIRED TO PERFORM ALL THE WORK AS INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.
2.0	<u>EXISTING CONDITIONS</u>
2.1	AT THE APPEARANCE OF A DISCREPANCY OR CONFLICT BETWEEN THE INFORMATION INDICATED ON THE DRAWINGS AND THE CONDITIONS IN THE FIELD, OR A DISCREPANCY OR CONFLICT BETWEEN DRAWINGS, AND / OR DRAWINGS AND SPECIFICATIONS, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROMPTLY REPORT THE MATTER TO THE ARCHITECT FOR INTERPRETATION. THE ARCHITECT SHALL MAKE A TIMELY DETERMINATION TO CLARIFY ANY SUCH DISCREPANCY.
2.2	ALL EXISTING MATERIALS AND EQUIPMENT TO REMAIN SHALL BE THOROUGHLY PROTECTED BY THE CONTRACTOR. ANY SUCH MATERIALS OR EQUIPMENT DAMAGED OR DESTROYED BY THE CONTRACTOR OR SUBCONTRACTORS DURING THE COURSE OF THE WORK SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
3.0	<u>DIMENSIONS AND LAYOUT</u>
3.1	NECESSARY DIMENSIONS AND RELATIONSHIPS ARE INDICATED ON THE DRAWINGS AND SHALL BE STRICTLY COMPLIED WITH. DRAWINGS SHALL NOT BE SCALED. USE WRITTEN DIMENSIONS OR WRITTEN INDICATIONS OF RELATIONSHIP ONLY.

DEMOLITION NOTES	
1.	CONTRACTOR SHALL PERFORM ALL OPERATIONS AS DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER.
2.	THE CONTRACTOR SHALL FILE ALL NECESSARY CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, PAY ALL FEES, OBTAIN ALL PERMITS AND PROVIDE ANY AND ALL BONDS REQUIRED BY ANY CITY AGENCY IN ORDER TO DO THE WORK HEREIN DESCRIBED.
3.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION AND CARTING AWAY FROM THE BUILDING SITE OF ALL MATERIALS THAT MUST BE REMOVED TO COMPLETE THE PROJECT. IN THE PROCESS OF CONSTRUCTION, DEMOLITION, AND CARTING OF MATERIALS, DEBRIS, AND EQUIPMENT IN AND OUT OF THE CONSTRUCTION SITE, CARE SHALL BE TAKEN TO PROTECT ALL EXISTING AREAS, BEAMS, PIPES, DUCTS, AND FINISHES THAT ARE NOT TO BE AFFECTED BY CONSTRUCTION OR DEMOLITION. SHOULD ANY OF THESE AREAS, BEAMS, PIPES, ETC. OF THE BUILDING BE DAMAGED, THEY SHALL BE REPAIRED OR REPLACED BY CONTRACTOR AT NO EXPENSE TO THE OWNER.
4.	CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS DURING THE COURSE OF THE DEMOLITION AND CONSTRUCTION TO MAINTAIN AND PROTECT INTERIOR EXISTING PARTITIONS, WALLS, CEILINGS, FLOORS, FIXTURES, ETC., TO REMAIN. THESE PRECAUTIONS SHALL INCLUDE BUT MAY NOT BE LIMITED TO ERECTION AND MAINTENANCE OF PROTECTIVE COVERINGS AND SHORING AND BRACING AS REQUIRED.
5.	CONTRACTOR SHALL BE RESPONSIBLE FOR ANY INCIDENTAL DAMAGE TO EXISTING WORK.
6.	ALL ADJOINING PROPERTY AFFECTED BY ANY OPERATIONS OF DEMOLITION SHALL BE PROTECTED.
7.	CONTRACTOR SHALL REMOVE AND STORE ALL EXISTING FIXTURES, FITTINGS AND MATERIALS TO BE SALVAGED IN A DESIGNATED "CLEAN ROOM" WHICH SHALL BE LOCKED AT ALL TIMES AND KEPT CLEAN, DRY AND DUST FREE. EXISTING FIXTURES, FITTINGS, MATERIALS, ETC., TO BE SALVAGED SHALL BE DETERMINED BY CLIENT AND ARCHITECT IN THE FIELD.
8.	REMOVE DEMOLISHED MATERIALS FROM THE SITE IN A TIMELY MANNER. LEAVE SITE CLEAN AND FREE OF DANGEROUS CONDITIONS. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.
9.	CONTRACTOR SHALL PERFORM ALL DEMOLITION REQUIRED FOR THE COMPLETION OF THE PROJECT. THE DRAWINGS SHOULD NOT BE CONSTRUED TO INDICATE FULL EXTENT OR PRECISE NATURE OF REQUIRED DEMOLITION. ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND AS DRAWN CONDITIONS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO DEMOLITION.

DRAWING SYMBOLS LIST	
	ROOM NUMBER AND IDENTIFICATION
	DOOR NUMBER
	WALL TYPE - REFER TO WALL TYPE LEGENDS ON A-100, A-101 & A-102
	REVISION NUMBER
	DATUM ELEVATION REFERENCE
	ALIGN
	SECTION/ ELEVATION DETAIL REFERENCE
	DETAIL REFERENCE
	INTERIOR ELEVATION REFERENCE
	ALTERNATE SCOPE OF WORK REFERENCE - REFER TO SPECIFICATION FOR DESCRIPTION OF SCOPE INCLUDED.

NOTES:

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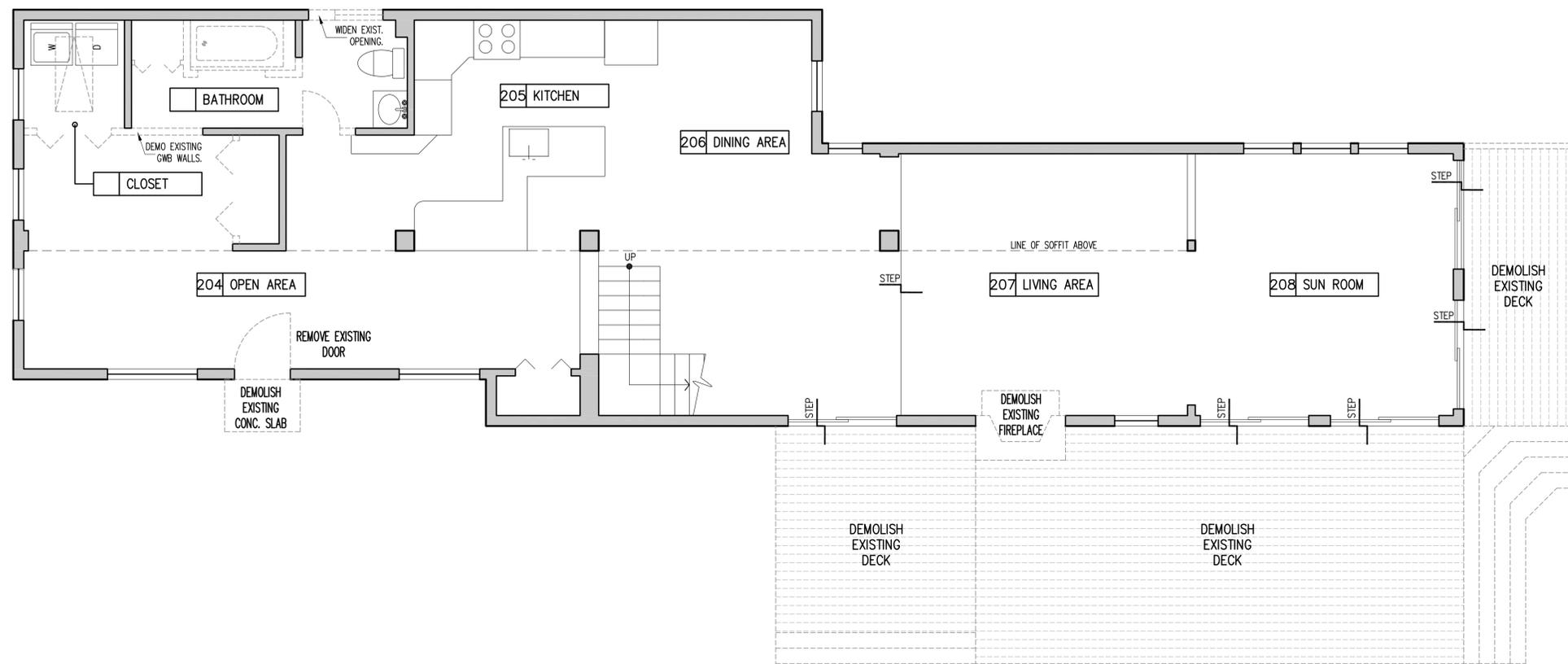
ABBREVIATIONS,
GENERAL NOTES,
DEMOLITION NOTES

DTC PROJECT NUMBER: 13-449-###
DTC DRAWING FILE:

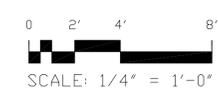
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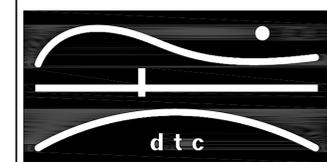


1 DEMOLITION PLAN: FIRST FLOOR
 D-101 SCALE: 1/4"=1'-0"



NOTES:

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WEADY RESIDENCE
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DEMOLITION PLAN
 FIRST LEVEL

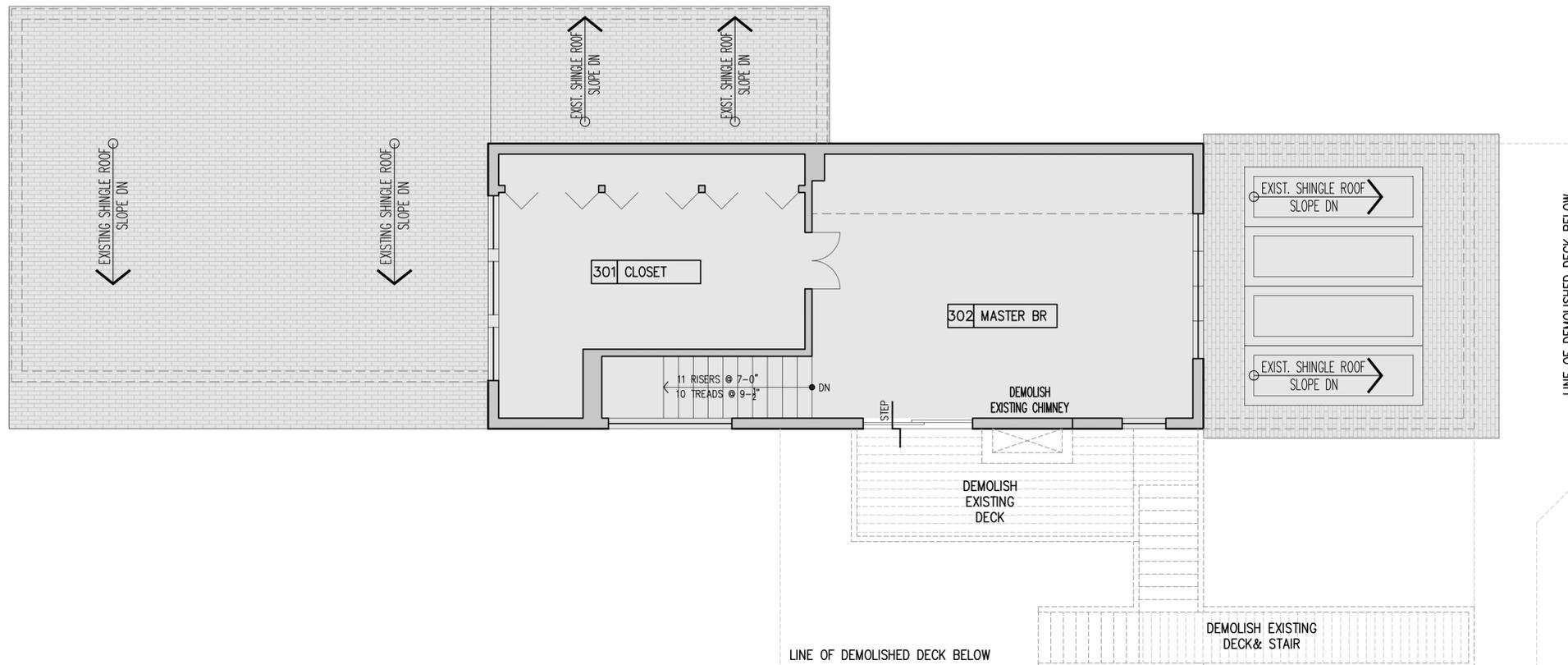
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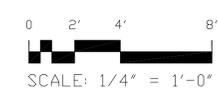
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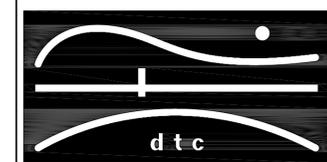


1
D-102 DEMOLITION PLAN: SECOND FLOOR
SCALE: 1/4" = 1'-0"



NOTES:

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GUILFORD, CT

DEMOLITION PLAN
SECOND LEVEL

DTC PROJECT NUMBER: 13-449-###

DTC DRAWING FILE:

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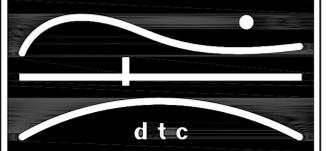
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SHEET:

D-102

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GUILFORD, CT

BUILDING ELEVATIONS:
DEMOLITION

DTC PROJECT NUMBER: 13-449-###

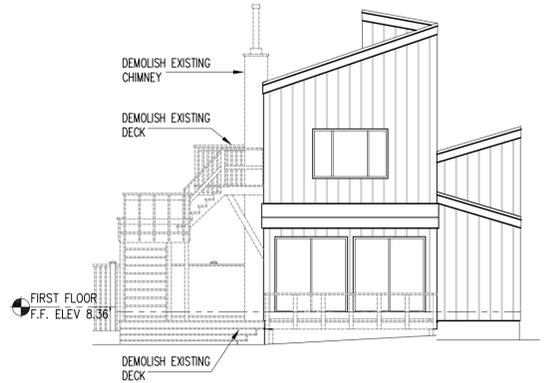
DTC DRAWING FILE:

SCALE: AS NOTED DRAWN BY: PWR

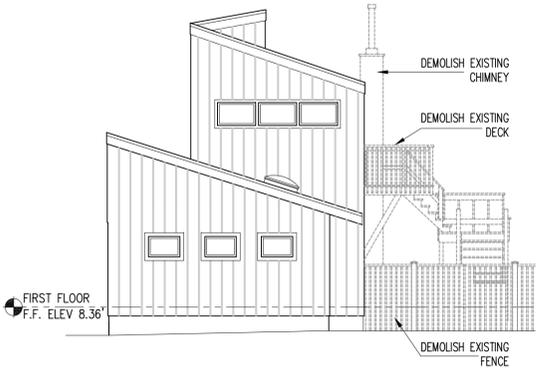
DATE: 08/15/2014 CHECKED BY: JB

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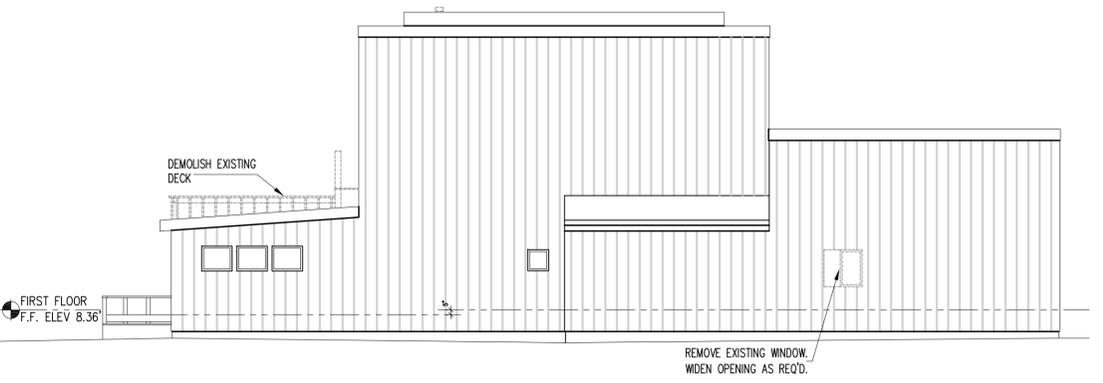
D-103



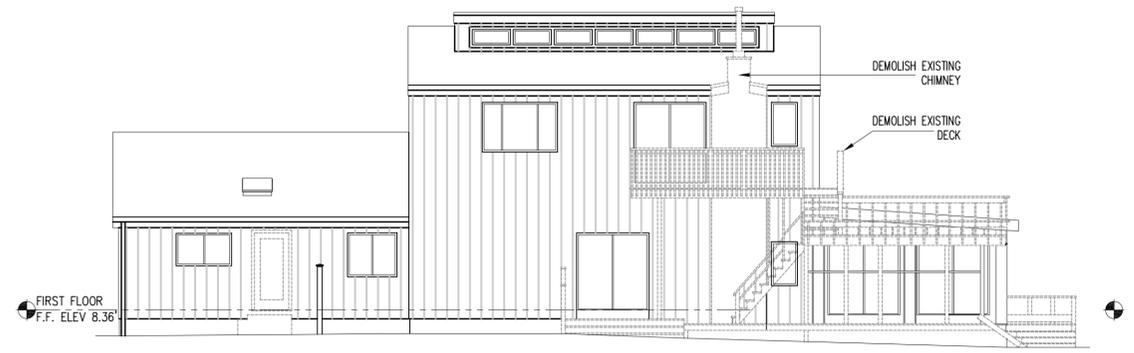
4 BLDG. ELEVATION(EAST): DEMOLITION
D-103 SCALE: 1/8"=1'-0"



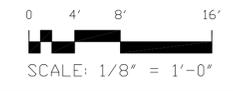
2 BLDG. ELEVATION(WEST): DEMOLITION
D-103 SCALE: 1/8"=1'-0"



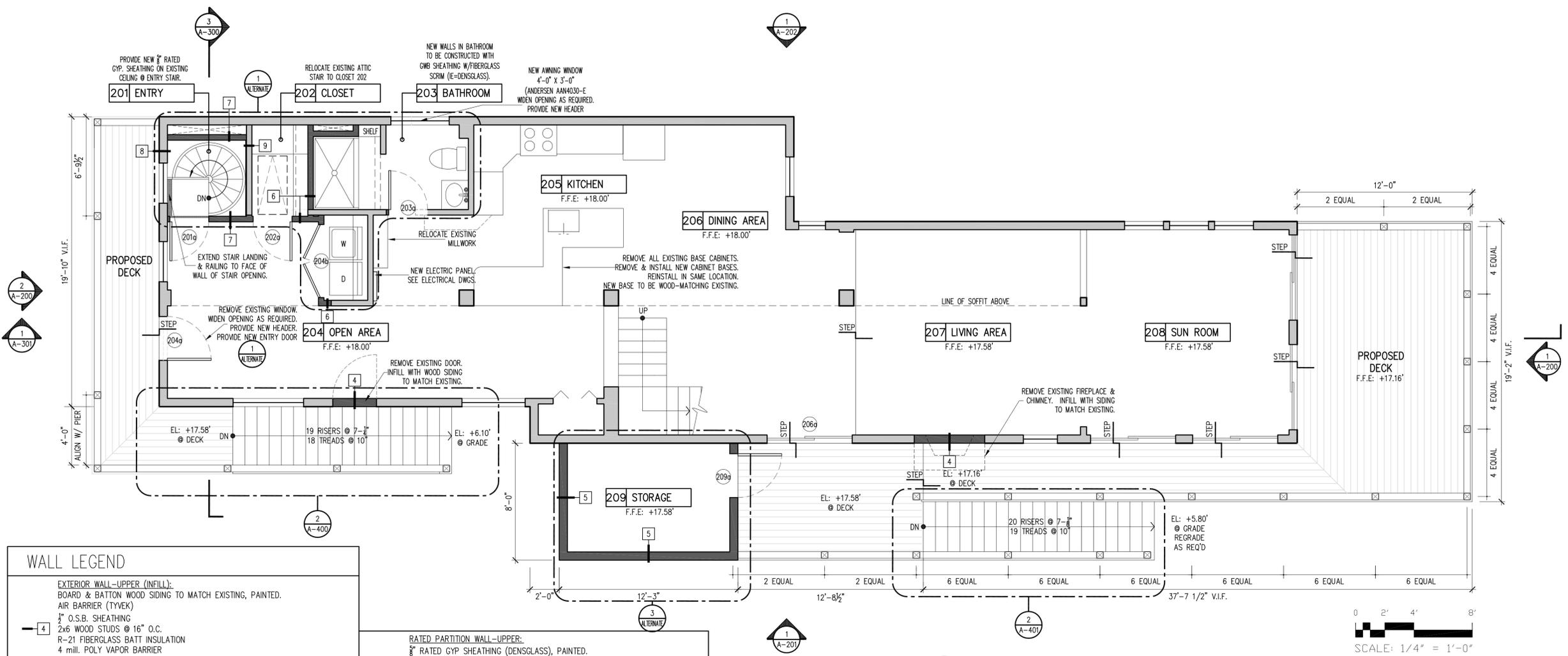
3 BLDG. ELEVATION(NORTH): DEMOLITION
D-103 SCALE: 1/8"=1'-0"



1 BLDG. ELEVATION(SOUTH): DEMOLITION
D-103 SCALE: 1/8"=1'-0"



NOTES:



WALL LEGEND

EXTERIOR WALL-UPPER (INFILL): BOARD & BATTON WOOD SIDING TO MATCH EXISTING, PAINTED. AIR BARRIER (TYVEK) 1/2" O.S.B. SHEATHING 2x6 WOOD STUDS @ 16" O.C. R-21 FIBERGLASS BATT INSULATION 4 mill. POLY VAPOR BARRIER GWB-MATCH EXISTING THICKNESS BEAD-BOARD WOOD PANELING & CHAIR RAIL TO 32" A.F.F., PAINTED.	RATED PARTITION WALL-UPPER: 5/8" RATED GYP SHEATHING (DENSGLASS), PAINTED. 2x4 WOOD STUD @ 16" O.C. R-21 FIBERGLASS BATT INSULATION 4 mill. POLY VAPOR BARRIER 5/8" TYPE 'X' GWB, PAINTED BEAD-BOARD WOOD PANELING & CHAIR RAIL TO 32" A.F.F., PAINTED.
STORAGE ROOM(209) WALL-UPPER: FIBER-CEMENT CLAPBOARD SIDING, PAINTED. AIR BARRIER (TYVEK) 1/2" O.S.B. SHEATHING 2x6 WOOD STUDS @ 16" O.C.	RATED EXISTING EXTERIOR WALL-UPPER: EXISTING GWB & WOOD STUD WALL 5/8" RATED GYP SHEATHING (DENSGLASS), PAINTED.-APPLIED OVER EXISTING GWB.
INTERIOR PARTITION WALL-UPPER: BEAD-BOARD WOOD PANELING & CHAIR RAIL TO 32" A.F.F., PAINTED. 5/8" GWB 2x4 WOOD STUDS @ 16" O.C. 5/8" GWB	RATED EXISTING INTERIOR WALL-UPPER: REMOVE EXISTING GWB FROM STAIR-SIDE OF WALL. R-21 FIBERGLASS BATT INSULATION. 4 mill. POLY VAPOR BARRIER. 5/8" RATED GYP SHEATHING (DENSGLASS), PAINTED, ON STAIR SIDE OF WALL.

DOOR SCHEDULE

LOCATION	DOOR NO.	DOOR			MFG / CODE #	HARDWARE	REMARKS					
		SIZE	MAT.	TYPE								
		W	H	T								
1ST FLOOR	201a	33-3/8"	79-1/2"	1-3/4"	FIBERGLASS	SWING	RATED	FIBERGLASS 34-3/8" 80"	THERMA-TRU (SSF220)	4	SATIN NICKEL	20 MIN. RATED DOOR, FRAME & CLOSER, \$250 HARDWARE ALLOWANCE.
	202a	32"	80"	1-3/4"	WOOD	SWING	PASSAGE	WOOD 34" 82"	MASONITE	3	SATIN NICKEL	2 PANEL, CAMBER TOP, \$125 HARDWARE ALLOWANCE.
	203a	32"	80"	1-3/4"	WOOD	SWING	PASSAGE	WOOD 34" 82"	MASONITE	4	SATIN NICKEL	2 PANEL, CAMBER TOP, \$125 HARDWARE ALLOWANCE.
	204a	35-3/8"	79-1/2"	1-3/4"	FIBERGLASS	SWING	ENTRY	FIBERGLASS 36-3/8" 82-1/2"	THERMA-TRU (S2XC)	2	STAINLESS STEEL	CHORD GLASS, \$250 HARDWARE ALLOWANCE.
	204b	60"	80"	1-3/4"	WOOD	SWING	DOUBLE	WOOD 32" 82"	MASONITE	5	SATIN NICKEL	DOUBLE 2 PANEL, CAMBER TOP, \$175 HARDWARE ALLOWANCE.
	206a	71"	79-1/2"	1-3/4"	CLAD WOOD	GLIDER	EXTERIOR	CLAD WOOD 72" 80"	MARVIN (SPD6065)	1	STAINLESS STEEL	CONFIRM SIZE W/ EXIST. OPENING. MATCH EXIST. DOORS. \$250 HARDWARE ALLOWANCE.
	209a	35-3/8"	79-1/2"	1-3/4"	FIBERGLASS	SWING	ENTRY	FIBERGLASS 36-3/8" 82-1/2"	THERMA-TRU (S7XC)	1	STAINLESS STEEL	CHORD GLASS, \$250 HARDWARE ALLOWANCE.

DOOR TYPES

HARDWARE TYPES
 1 - EXTERIOR HARDWARE
 2 - UNIT ENTRY HARDWARE
 3 - PASSAGE
 4 - PRIVACY HARDWARE
 5 - PAIRED HARDWARE
NOTE:
 GLAZING TO HAVE A MINIMUM U-VALUE=.35

1 PROPOSED FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"
 NOTE:
 1) FIRST FLOOR FINISH FLOOR ELEVATION 18'-0" U.N.O.
 2) ALL DIMENSIONS TO BE VERIFIED IN FIELD.

NO.	ROOM NAME	FLOOR		BASE		NORTH WALL		EAST WALL		SOUTH WALL		WEST WALL		CEILING		REMARKS
		MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	
101	GARAGE	CONC.	SEALED	NA	NA	WOOD STUD	-	GYPSUM SHEATHING	PAINT	PROVIDE 1 HOUR RATED CEILING ASSEMBLY. FIBERGLASS REINFORCED GYP SHEATHING (DENSGLASS)						
102	STORAGE	CONC.	SEALED	NA	NA	WOOD STUD	-	GYPSUM SHEATHING	PAINT	PROVIDE 1 HOUR RATED CEILING ASSEMBLY. FIBERGLASS REINFORCED GYP SHEATHING (DENSGLASS)						
201	ENTRY	NA	NA	NA	NA	GWB	PAINTED	GWB	PAINTED	GWB	PAINTED	GWB	PAINTED	GWB	PAINTED	PROVIDE 1 LAYER 5/8" TYPE 'X' GWB ON ALL EXIST. WALLS AND CEILING. EXTEND STAIR LANDING TO WALLS.
202	CLOSET	VINYL PLANK	PRE-FINISHED	MATCH EXISTING	MATCH EXISTING	GWB/WO.PANEL	PAINTED	GWB/WO.PANEL	PAINTED	GWB/WO.PANEL	PAINTED	GWB/WO.PANEL	PAINTED	GWB	PAINTED	REMOVE EXISTING GWB TO 32" ABOVE FLOOR. REPLACE GWB & INSTALL WOOD PANELING & CHAIR-RAIL TO 32" A.F.F.
203	BATHROOM	VINYL PLANK	PRE-FINISHED	MATCH EXISTING	MATCH EXISTING	GWB/WO.PANEL	PAINTED	GWB/WO.PANEL	PAINTED	GWB/WO.PANEL	PAINTED	GWB/WO.PANEL	PAINTED	GWB	PAINTED	REMOVE EXISTING GWB TO 32" ABOVE FLOOR. REPLACE GWB & INSTALL WOOD PANELING & CHAIR-RAIL TO 32" A.F.F.
204	OPEN AREA	VINYL PLANK	PRE-FINISHED	MATCH EXISTING	MATCH EXISTING	GWB/WO.PANEL	PAINTED	GWB/WO.PANEL	PAINTED	GWB/WO.PANEL	PAINTED	GWB/WO.PANEL	PAINTED	NA	PAINTED	REMOVE EXISTING GWB TO 32" ABOVE FLOOR. REPLACE GWB & INSTALL WOOD PANELING & CHAIR-RAIL TO 32" A.F.F.
205	KITCHEN	VINYL PLANK	PRE-FINISHED	MATCH EXISTING	MATCH EXISTING	GWB/WO.PANEL	PAINTED	GWB/WO.PANEL	PAINTED	GWB/WO.PANEL	PAINTED	GWB/WO.PANEL	PAINTED	NA	PAINTED	REMOVE EXISTING GWB TO 32" ABOVE FLOOR. REPLACE GWB & INSTALL WOOD PANELING & CHAIR-RAIL TO 32" A.F.F.
206	DINING AREA	VINYL PLANK	PRE-FINISHED	MATCH EXISTING	MATCH EXISTING	GWB/WO.PANEL	PAINTED	GWB/WO.PANEL	PAINTED	GWB/WO.PANEL	PAINTED	GWB/WO.PANEL	PAINTED	NA	PAINTED	REMOVE EXISTING GWB TO 32" ABOVE FLOOR. REPLACE GWB & INSTALL WOOD PANELING & CHAIR-RAIL TO 32" A.F.F.
207	LIVING AREA	NOT IN SCOPE	NOT IN SCOPE	NOT IN SCOPE	NOT IN SCOPE	GWB/WO.PANEL	PAINTED	NA	NA	GWB/WO.PANEL	PAINTED	NA	NA	NA	PAINTED	REMOVE EXISTING GWB TO 32" ABOVE FLOOR. REPLACE GWB & INSTALL WOOD PANELING & CHAIR-RAIL TO 32" A.F.F.
208	SUN ROOM	NOT IN SCOPE	NOT IN SCOPE	NOT IN SCOPE	NOT IN SCOPE	GWB/WO.PANEL	PAINTED	GWB/WO.PANEL	PAINTED	GWB/WO.PANEL	PAINTED	NA	NA	NA	PAINTED	REMOVE EXISTING GWB TO 32" ABOVE FLOOR. REPLACE GWB & INSTALL WOOD PANELING & CHAIR-RAIL TO 32" A.F.F.
209	STORAGE	EXTERIOR PLYWOOD	EPOXY PAINT	NA	NA	EXIST. HOUSE	NA	WOOD STUD	NA	WOOD STUD	NA	WOOD STUD	NA	WOOD RAFTERS	NA	

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 Tel 203-483-8789 Fax 203-483-8285

OORR APPLICATION NO. 1690

WEADY RESIDENCE
 116 SEASIDE AVENUE
 GUILFORD, CT

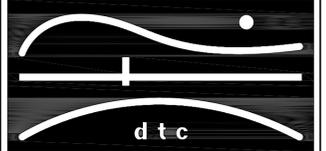
FLOOR PLAN FIRST LEVEL

DTC PROJECT NUMBER: 13-449-###
 DTC DRAWING FILE:
 SCALE: AS NOTED DRAWN BY: PWR
 DATE: 08/15/2014 CHECKED BY: JB

A-101

NOTES:

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WEADY RESIDENCE
116 SEASIDE AVENUE
GUILFORD, CT

FLOOR PLAN
SECOND LEVEL

DTC PROJECT NUMBER: 13-449-###

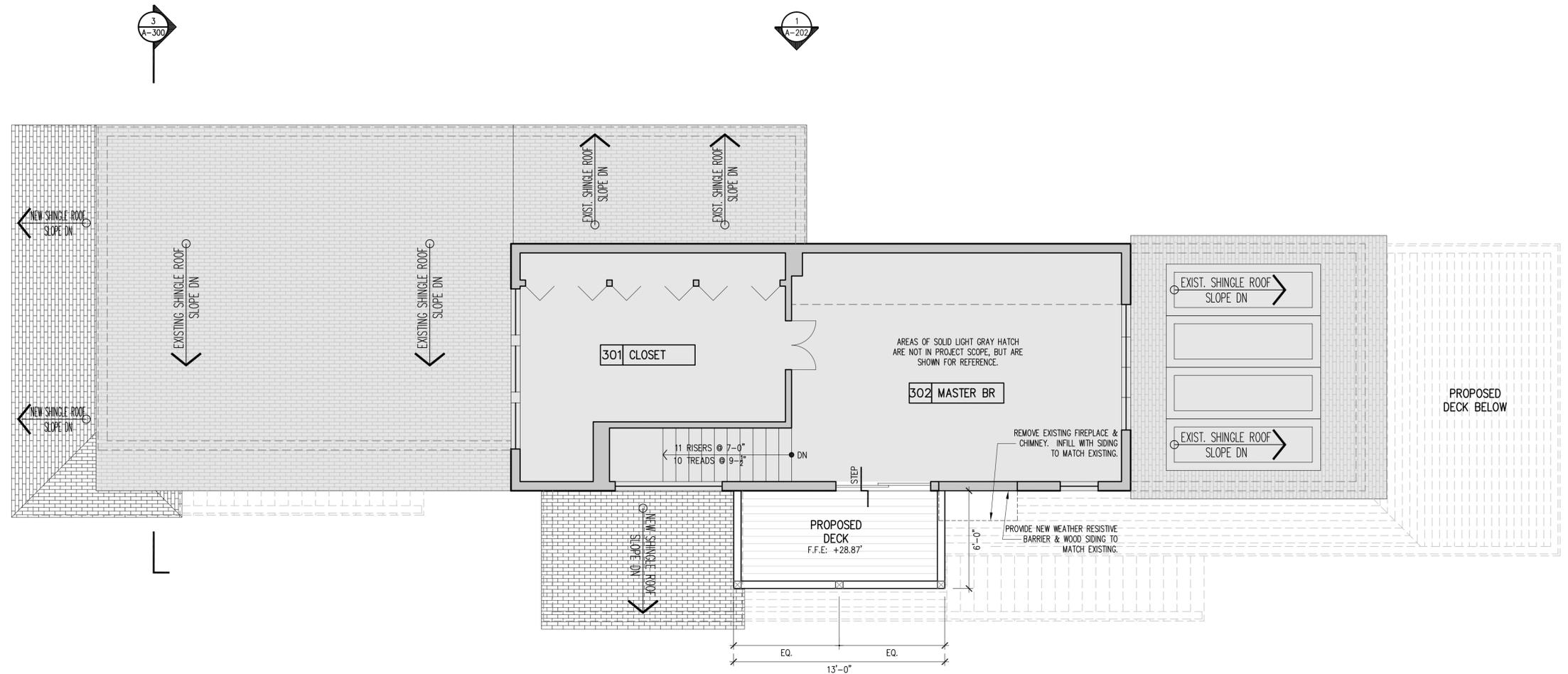
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SCALE: AS NOTED DRAWN BY: PWR

DATE: 08/15/2014 CHECKED BY: JB

SHEET:

A-102



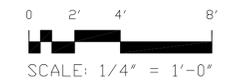
1 A-102 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

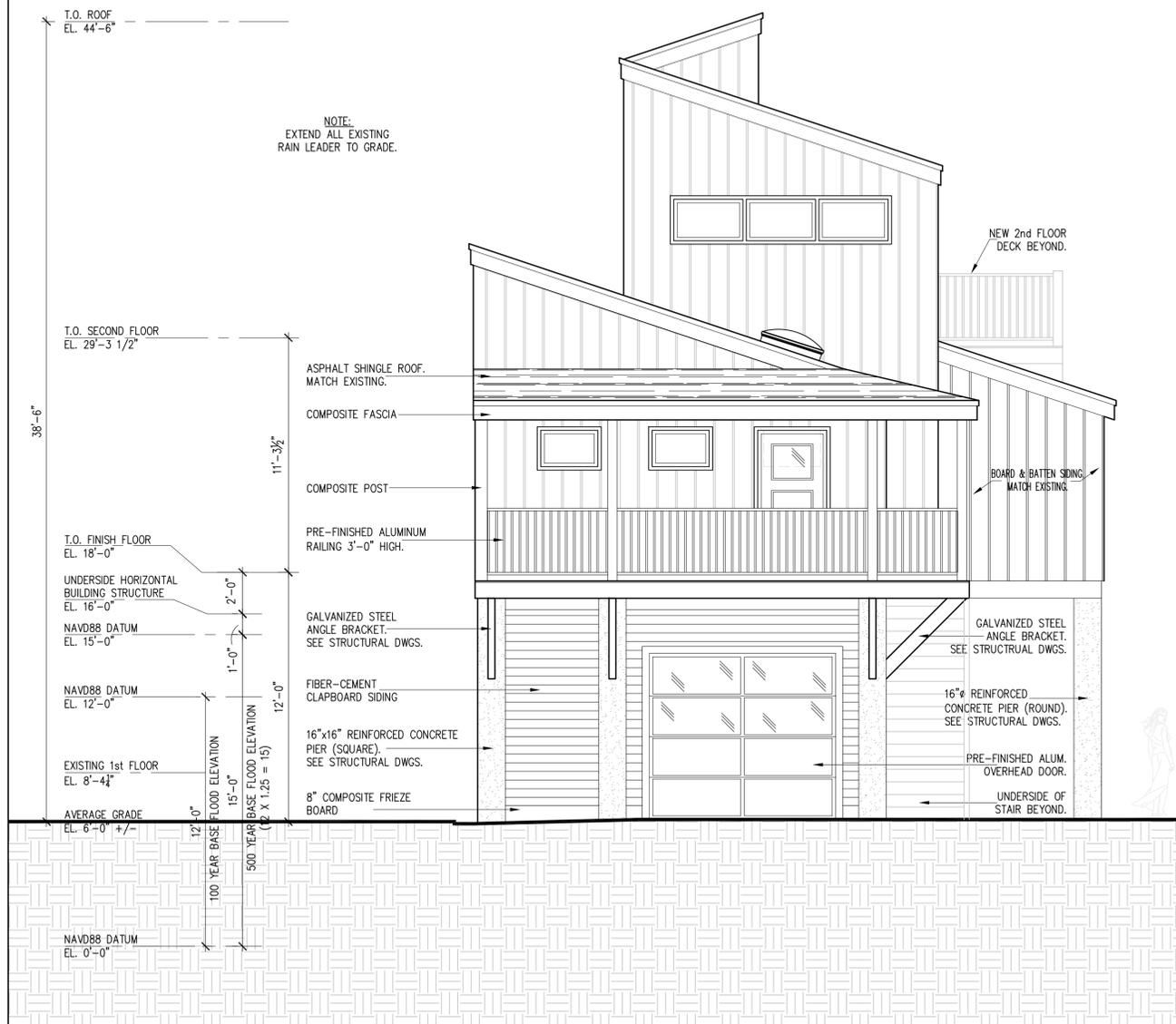
- NOTE:
- 1) SECOND FLOOR FINISH FLOOR ELEVATION 29'-3-1/2" U.N.O.
 - 2) ALL DIMENSIONS TO BE VERIFIED IN FIELD.

WALL LEGEND

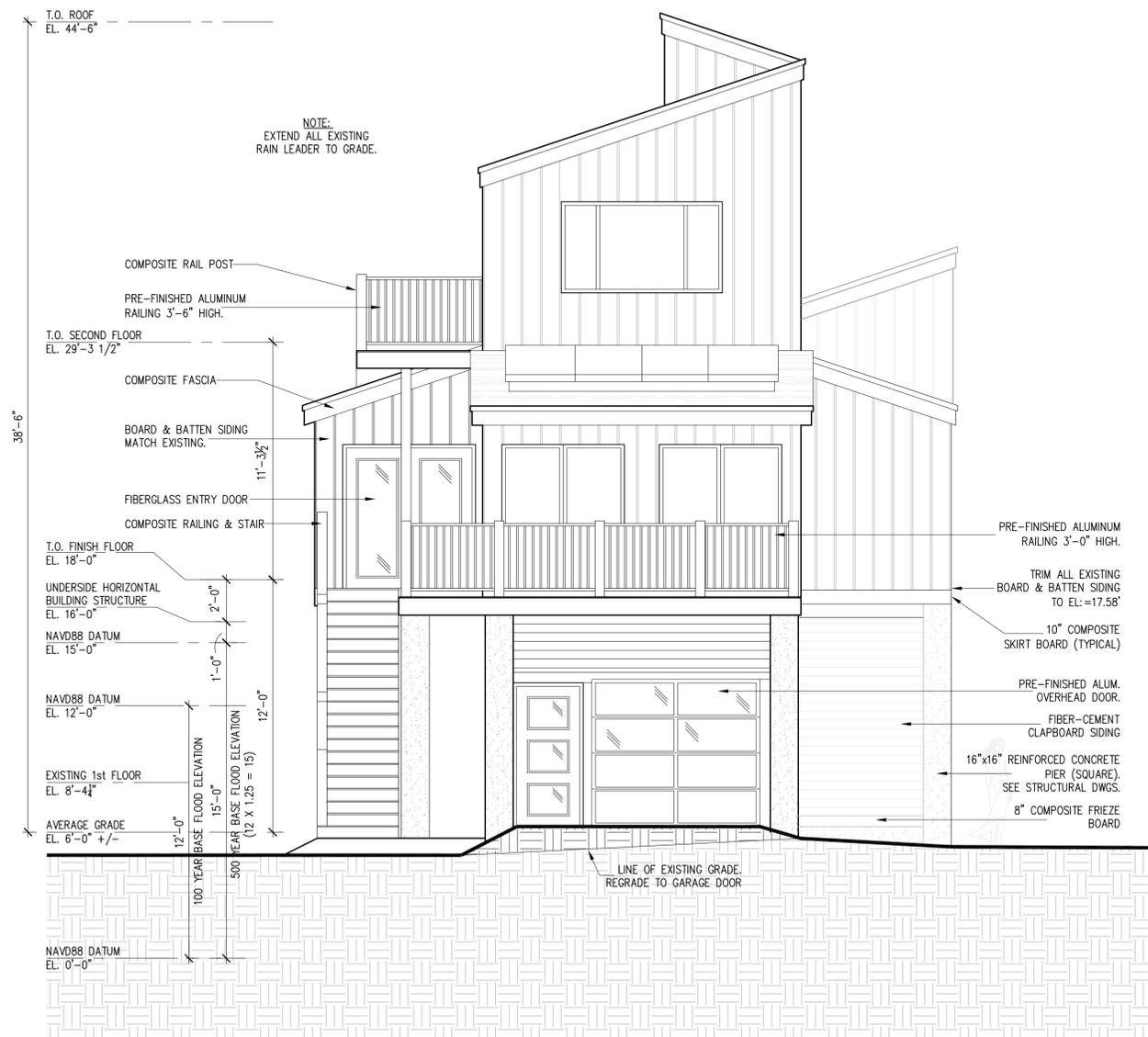
- EXTERIOR WALL-UPPER (INFILL):
BOARD & BATTON WOOD SIDING TO MATCH EXISTING, PAINTED.
AIR BARRIER (TYVEK)
- 4 1/2" O.S.B. SHEATHING
2x6 WOOD STUDS @ 16" O.C.
R-21 FIBERGLASS BATT INSULATION
4 mill. POLY VAPOR BARRIER
GWB-MATCH EXISTING THICKNESS
BEAD-BOARD WOOD PANELING & CHAIR RAIL TO 32" A.F.F., PAINTED.
- STORAGE ROOM(209) WALL-UPPER:
FIBER-CEMENT CLAPBOARD SIDING, PAINTED.
AIR BARRIER (TYVEK)
- 5 1/2" O.S.B. SHEATHING
2x6 WOOD STUDS @ 16" O.C.
- INTERIOR PARTITION WALL-UPPER:
BEAD-BOARD WOOD PANELING & CHAIR RAIL TO 32" A.F.F., PAINTED.
- 6 5/8" GWB
2x4 WOOD STUDS @ 16" O.C.
5/8" GWB

- RATED PARTITION WALL-UPPER:
7/8" RATED GYP SHEATHING (DENSGLASS), PAINTED.
2x4 WOOD STUD @ 16" O.C.
R-21 FIBERGLASS BATT INSULATION
4 mill POLY FAVOR BARRIER
5/8" TYPE 'X' GWB, PAINTED
BEAD-BOARD WOOD PANELING & CHAIR RAIL TO 32"A.F.F., PAINTED.
- RATED EXISTING EXTERIOR WALL-UPPER:
EXISTING GWB & WOOD STUD WALL
7/8" RATED GYP SHEATHING (DENSGLASS), PAINTED.-APPLIED OVER EXISTING GWB.
- RATED EXISTING INTERIOR WALL-UPPER:
REMOVE EXISTING GWB FROM STAIR-SIDE OF WALL.
R-21 FIBERGLASS BATT INSULATION.
4 mill POLY VAPOR BARRIER.
7/8" RATED GYP SHEATHING (DENSGLASS), PAINTED, ON STAIR SIDE OF WALL.

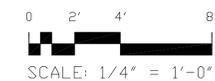




2 PROPOSED WEST ELEVATION
A-200 SCALE: 1/4"=1'-0"

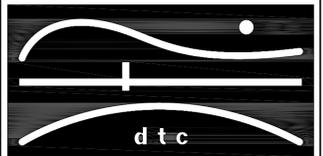


1 PROPOSED EAST ELEVATION
A-200 SCALE: 1/4"=1'-0"



NOTES:

REVISIONS



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OORR
APPLICATION NO. 1690

WEADY RESIDENCE
116 SEASIDE AVENUE
GUILFORD, CT

BUILDING ELEVATIONS
EAST & WEST

DTC PROJECT NUMBER: 13-449-###

DTC DRAWING FILE:

SCALE: AS NOTED

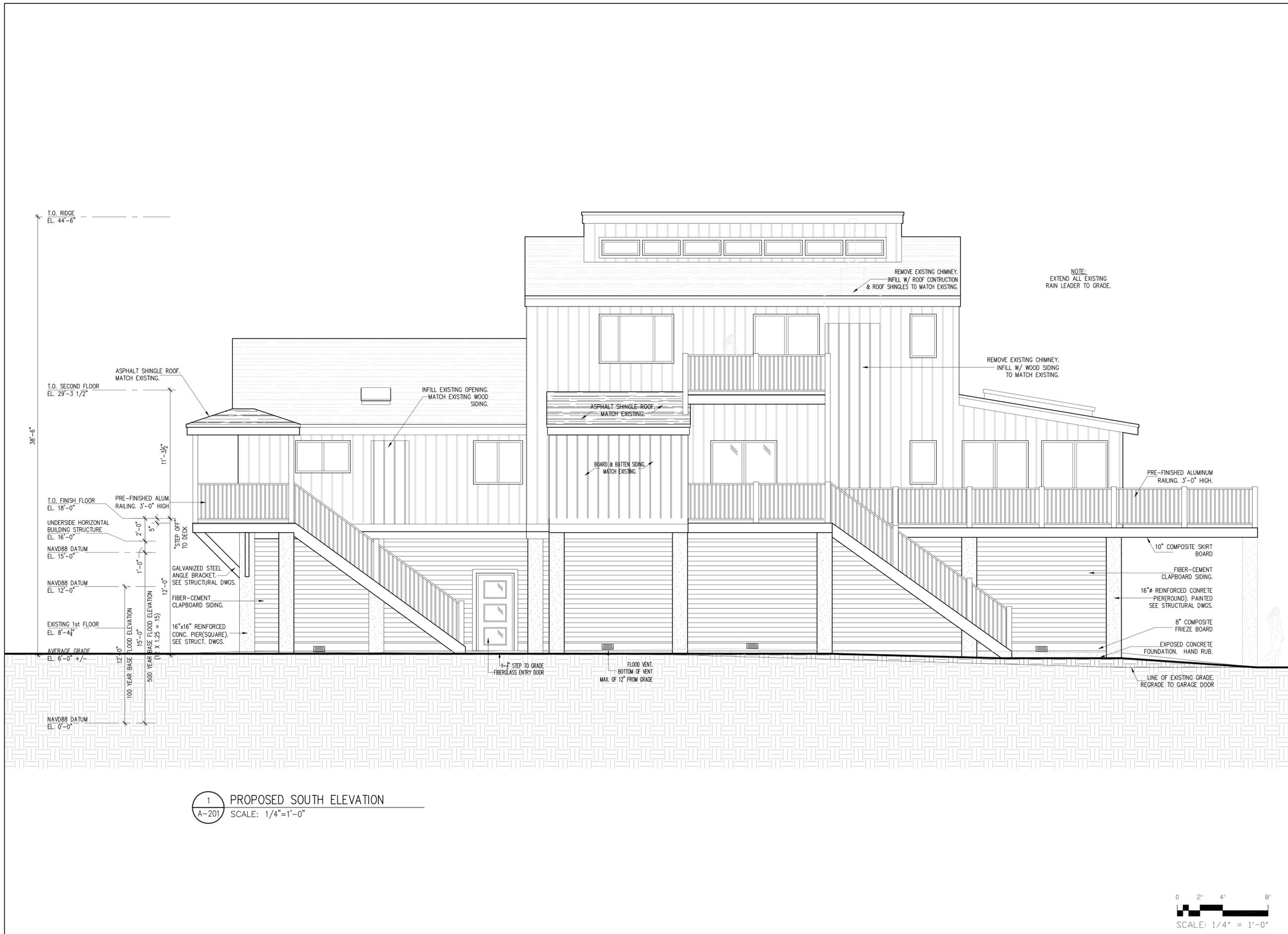
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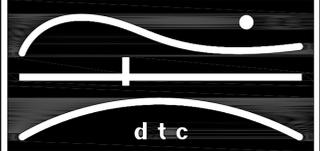
SHEET:

A-200



NOTES:

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APPLICATION NO. 1690

WEADY RESIDENCE
116 SEASIDE AVENUE
GUILFORD, CT

BUILDING ELEVATIONS
SOUTH

DTC PROJECT NUMBER: 13-449-###

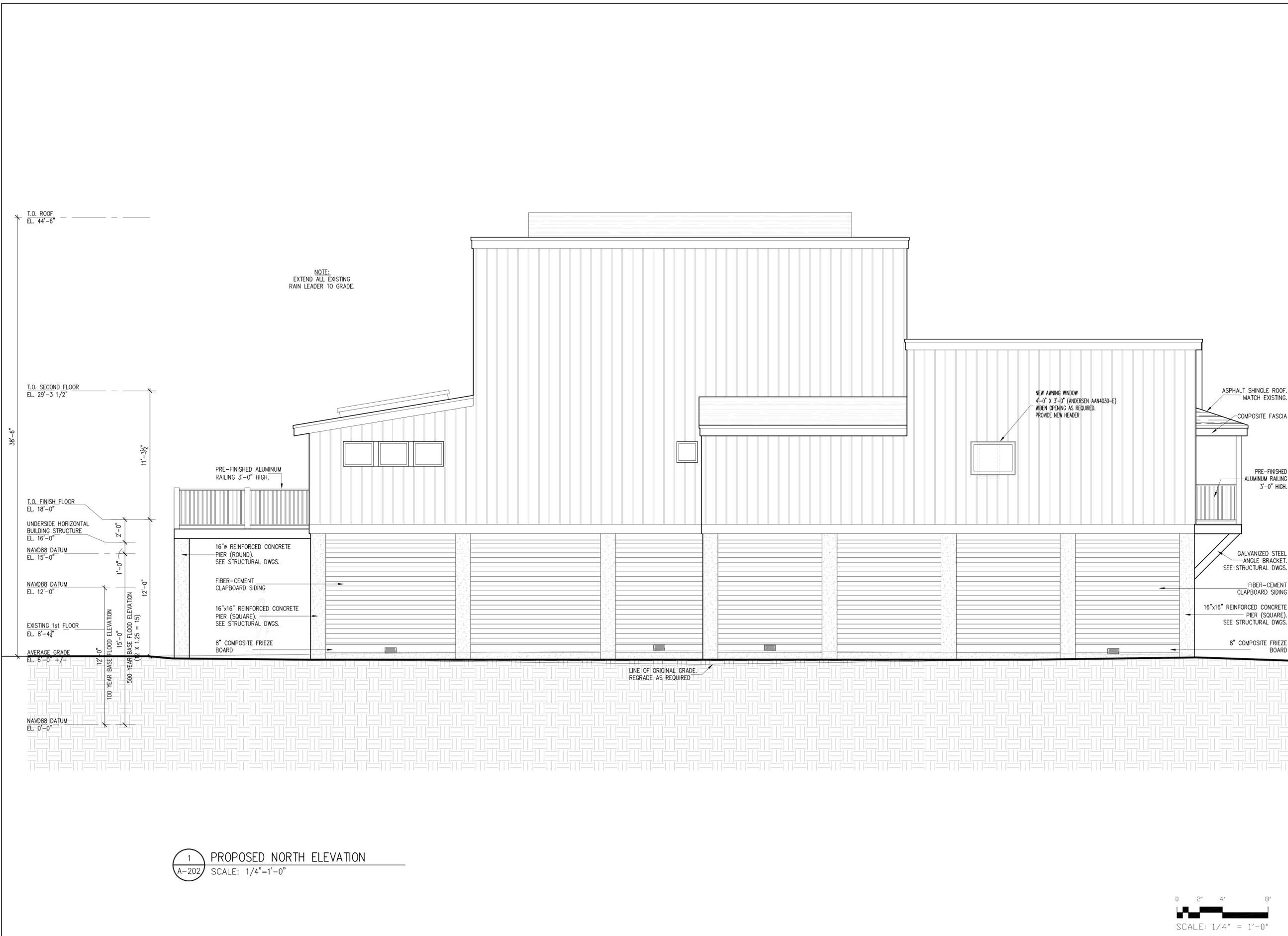
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DATE: 08/15/2014 CHECKED BY: JB

SHEET:

A-201

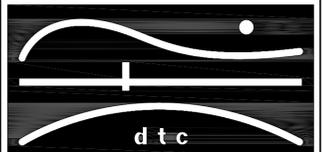


1 PROPOSED NORTH ELEVATION
A-202 SCALE: 1/4"=1'-0"



NOTES:

REVISIONS



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OORR
APPLICATION NO. 1690

WEADY RESIDENCE
116 SEASIDE AVENUE
GUILFORD, CT

BUILDING ELEVATIONS
NORTH

DTC PROJECT NUMBER: 13-449-###

DTC DRAWING FILE:

SCALE: AS NOTED

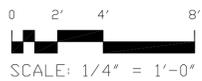
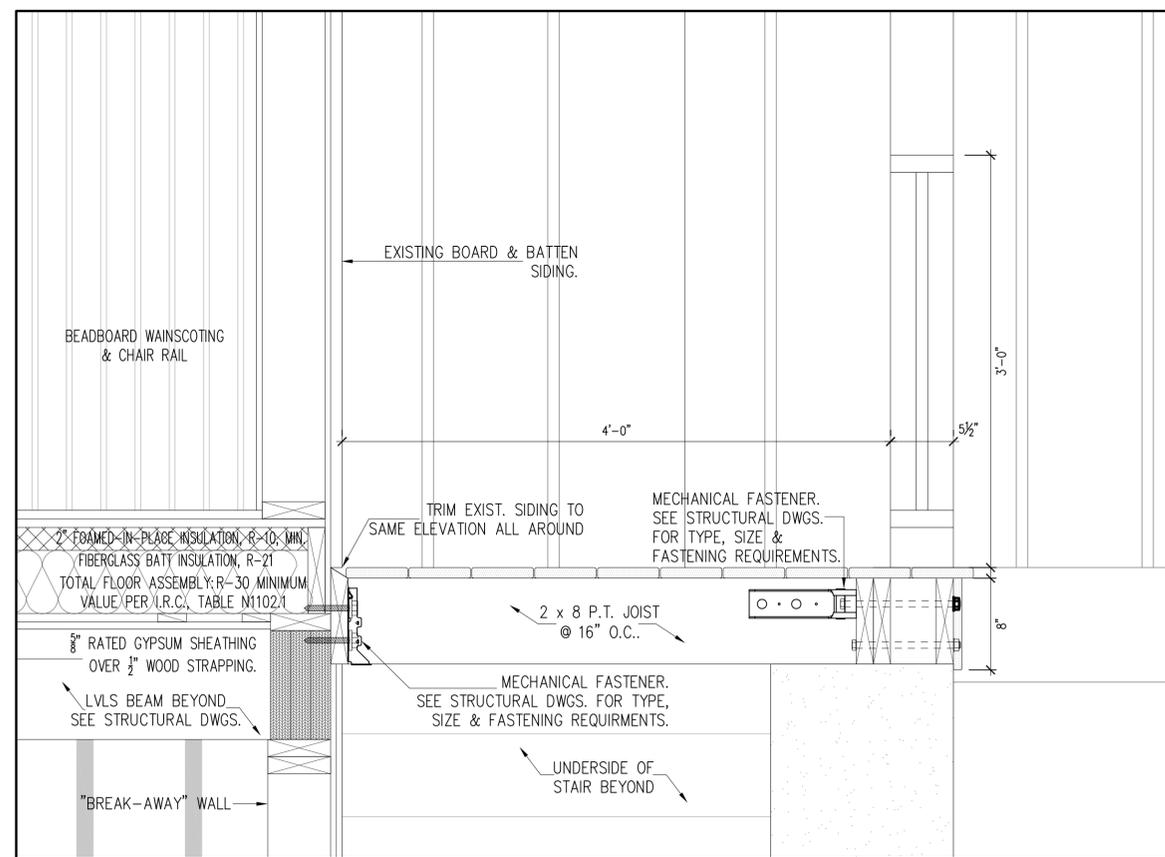
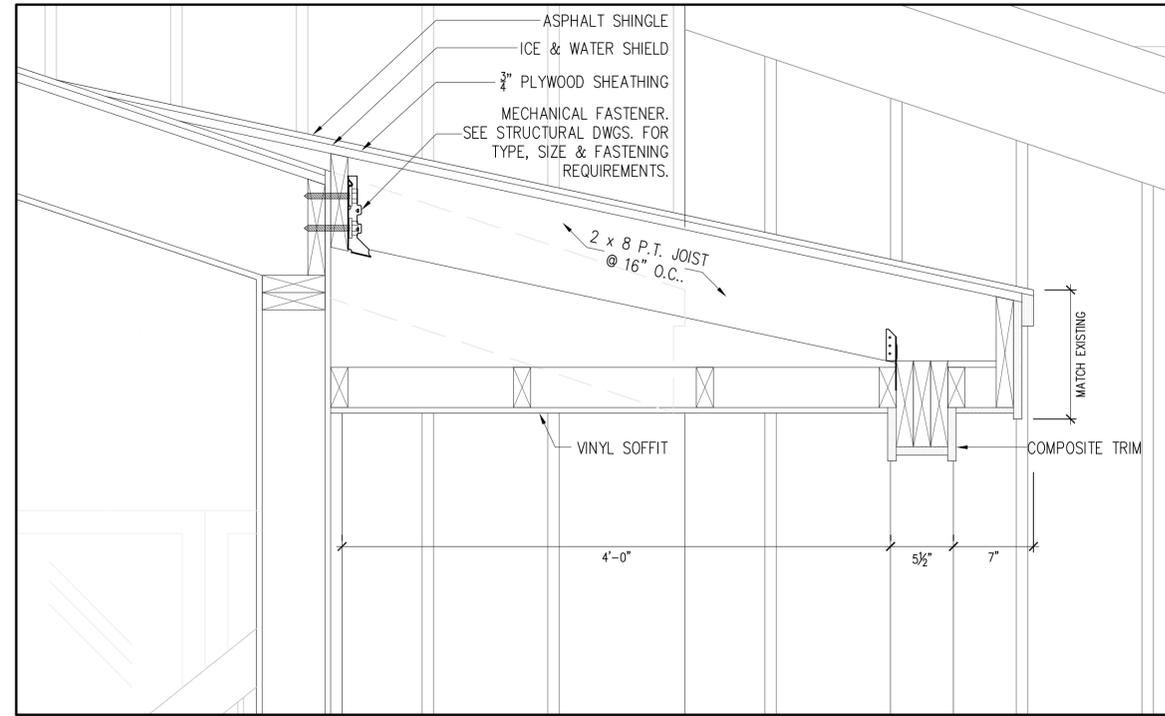
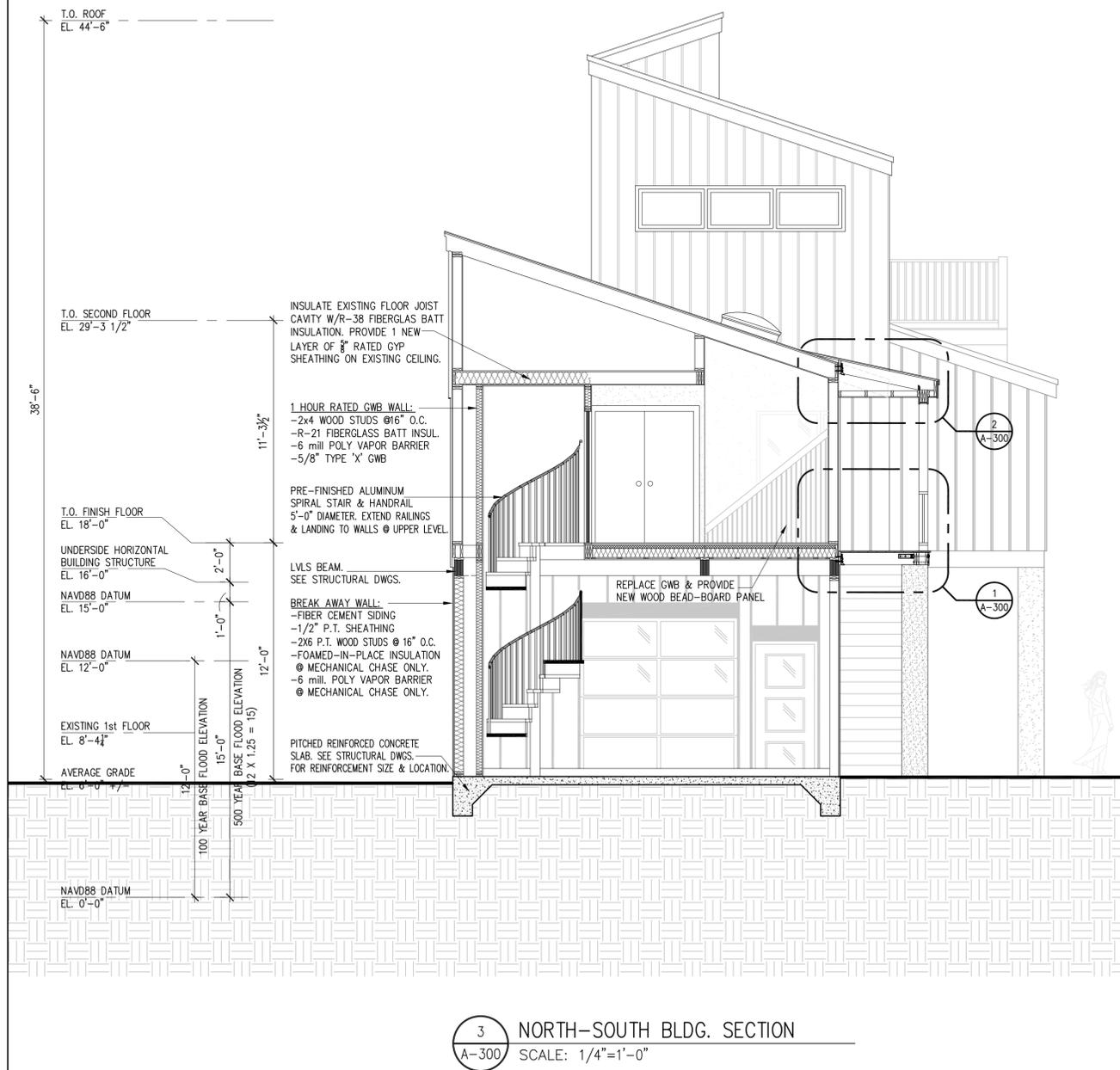
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DATE: 08/15/2014

CHECKED BY: JB

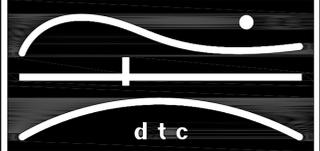
SHEET:

A-202



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OORR
APPLICATION NO. 1690

WEADY RESIDENCE
116 SEASIDE AVENUE
GUILFORD, CT

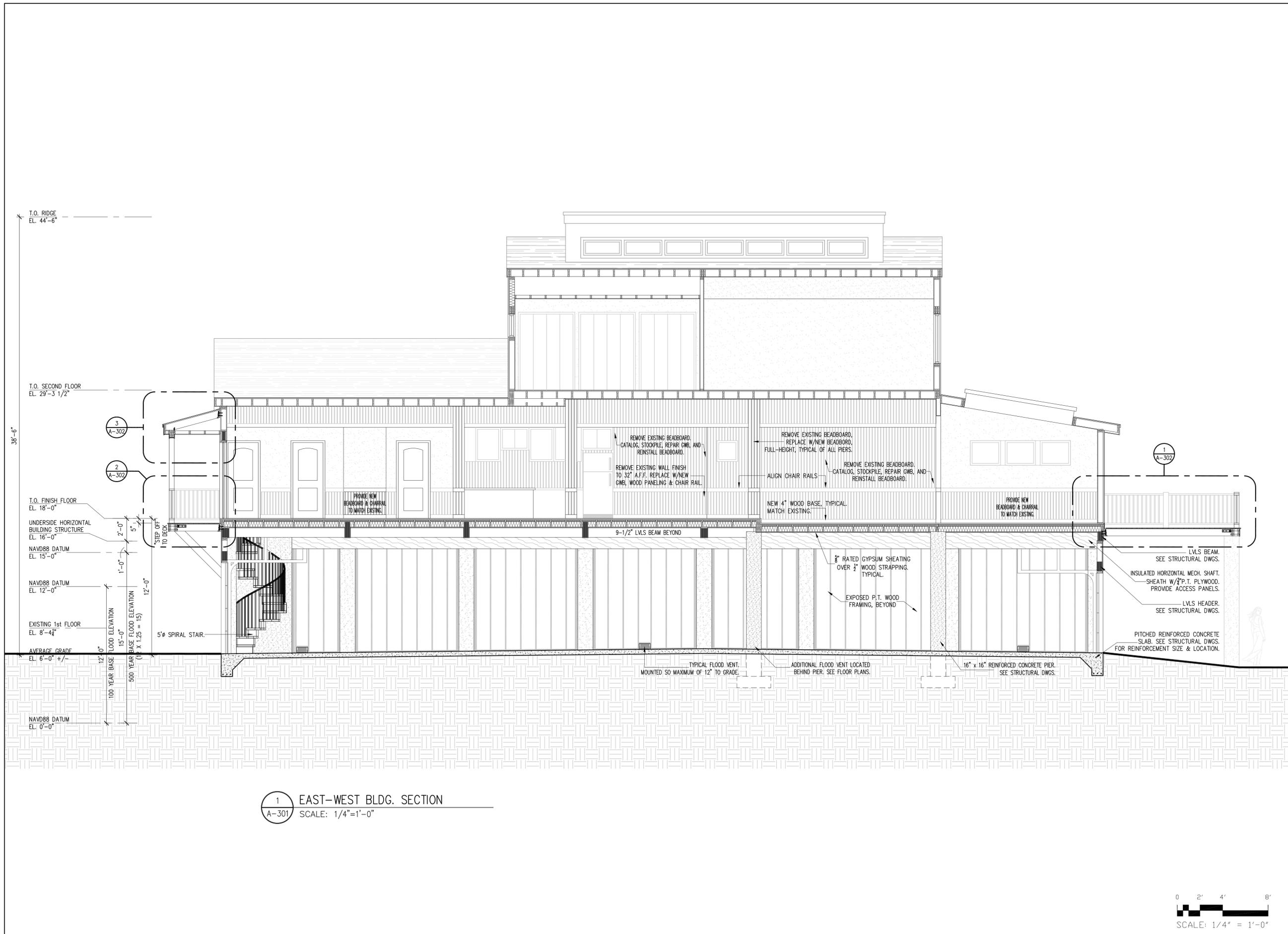
N-S BLDG. SECTION,
TYP. DECK DETAILS

DTC PROJECT NUMBER: 13-449-###
DTC DRAWING FILE:

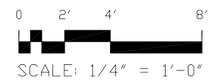
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DATE: 08/15/2014 CHECKED BY: JB

SHEET:

A-300

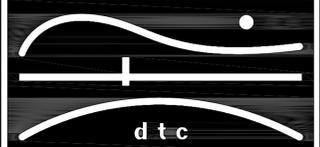


1 EAST-WEST BLDG. SECTION
 A-301 SCALE: 1/4" = 1'-0"



NOTES:

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OORR
 APPLICATION NO. 1690

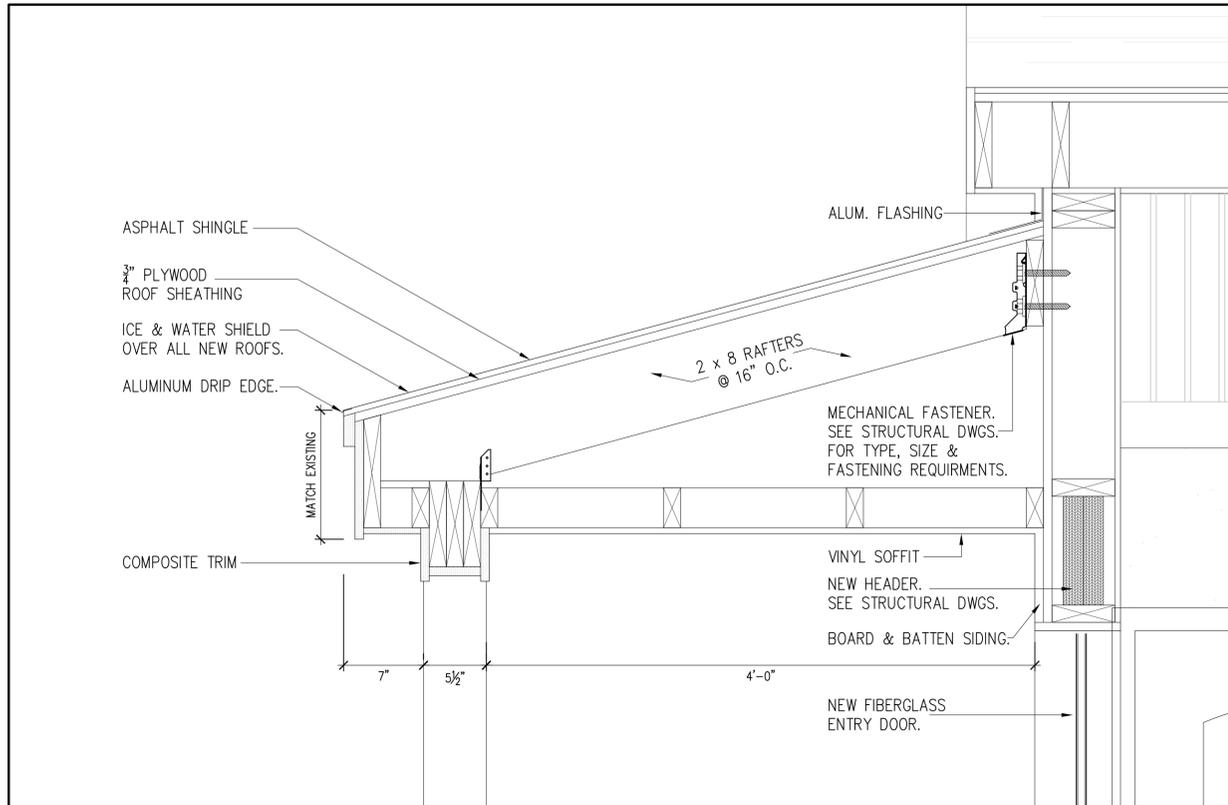
WEADY RESIDENCE
 116 SEASIDE AVENUE
 GUILFORD, CT

E-W BLDG. SECTION,

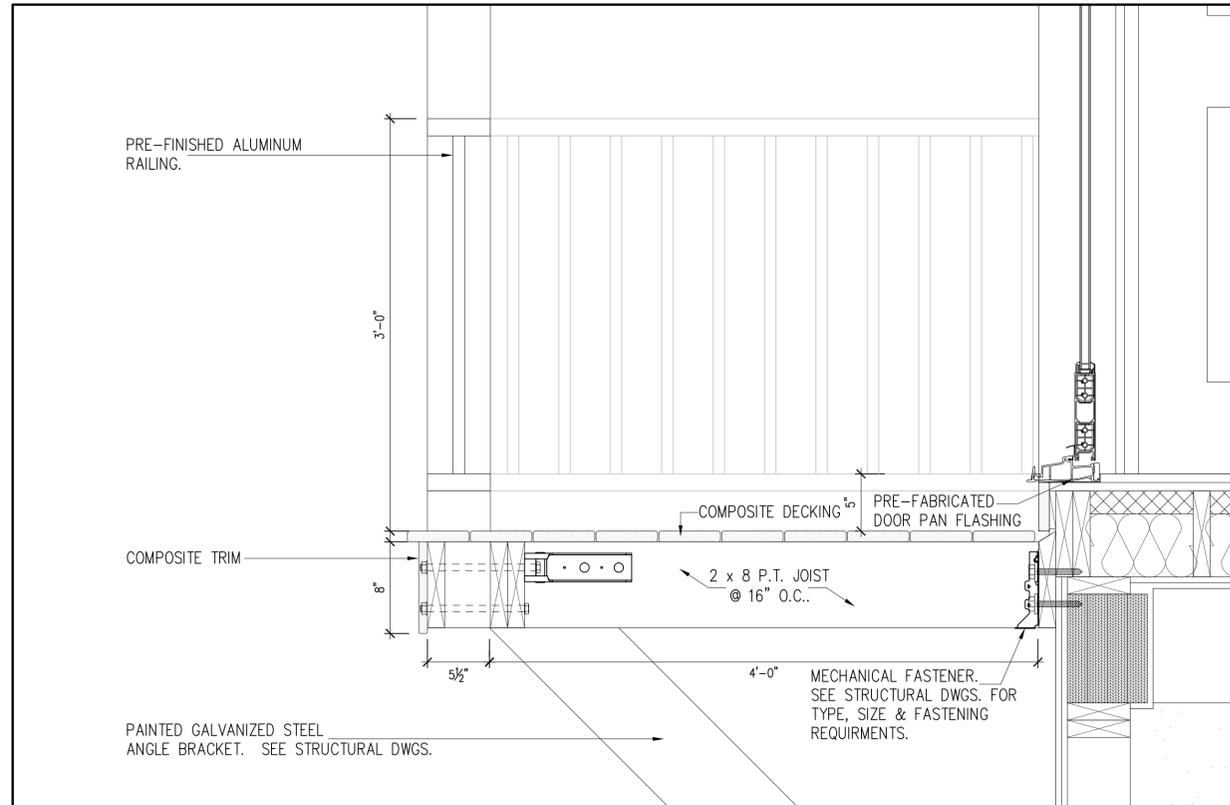
DTC PROJECT NUMBER: 13-449-###
 DTC DRAWING FILE:

SCALE: AS NOTED DRAWN BY: PWR
 DATE: 08/15/2014 CHECKED BY: JB

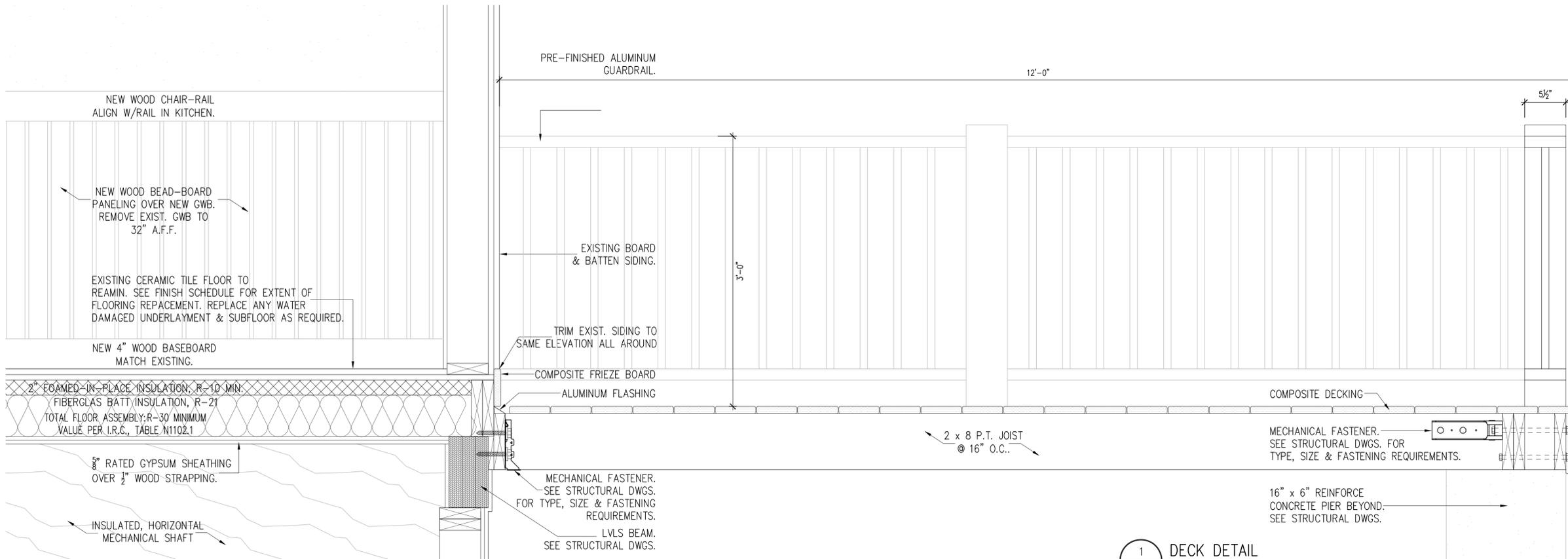
SHEET:
A-301



3 DECK DETAIL
A-302 SCALE: 1/2" = 1'-0"



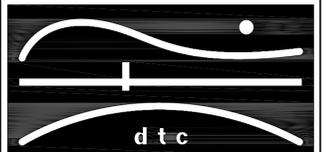
2 DECK DETAIL
A-302 SCALE: 1/2" = 1'-0"



1 DECK DETAIL
A-302 SCALE: 1/2" = 1'-0"

NOTES:

REVISIONS



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OORR
APPLICATION NO. 1690

WEADY RESIDENCE
116 SEASIDE AVENUE
GUILFORD, CT

DECK DETAILS,
TYPICAL

DTC PROJECT NUMBER: 13-449-###

DTC DRAWING FILE:

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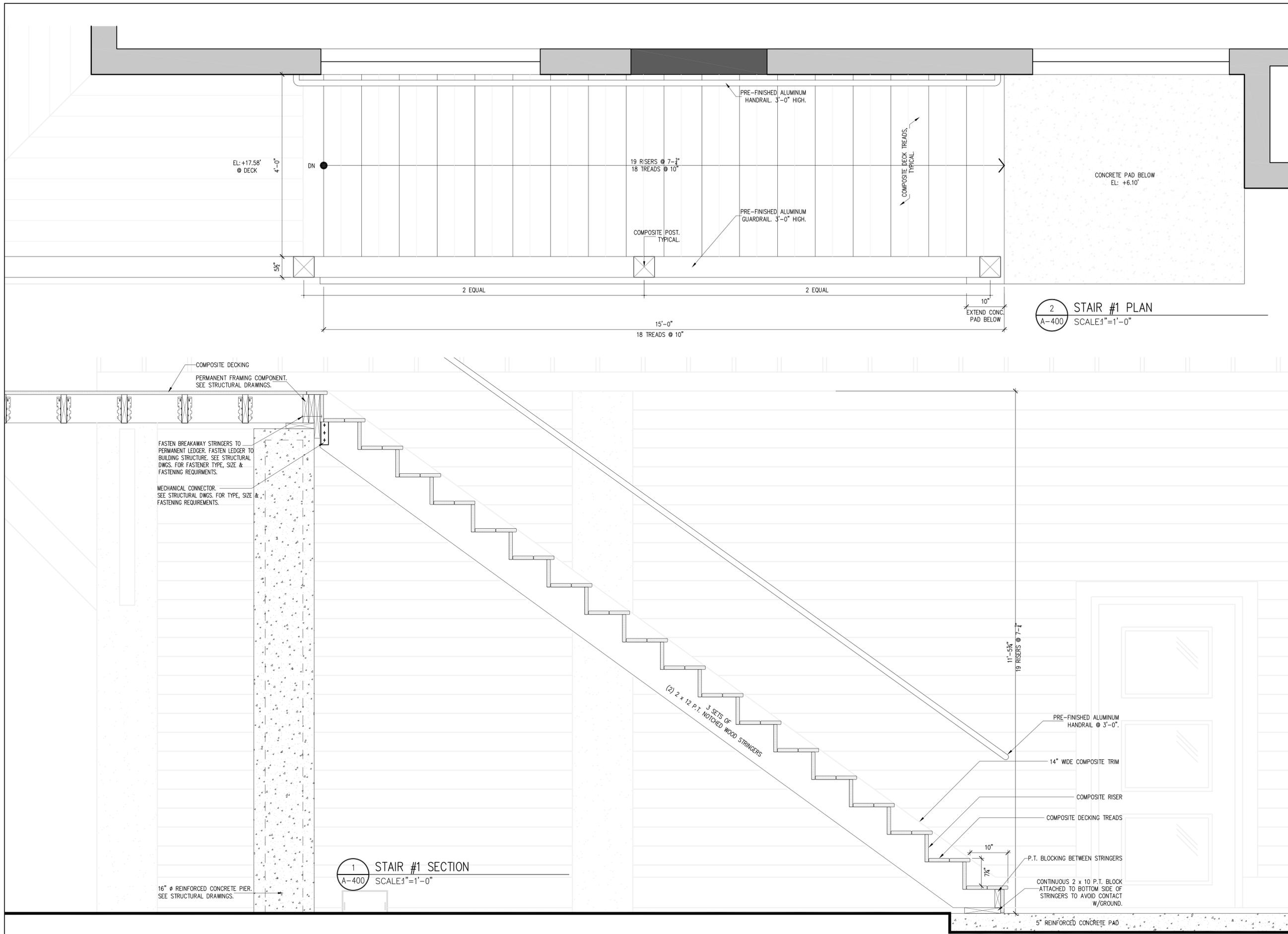
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DATE: 08/15/2014

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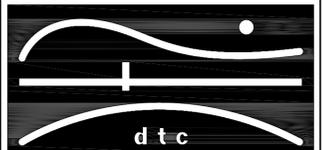


2 STAIR #1 PLAN
A-400 SCALE: 1"=1'-0"

1 STAIR #1 SECTION
A-400 SCALE: 1"=1'-0"

NOTES:

REVISIONS



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OORR
APPLICATION NO. 1690

WEADY RESIDENCE
116 SEASIDE AVENUE
GUILFORD, CT

STAIR #1
PLAN & DETAILS

DTC PROJECT NUMBER: 13-449-###

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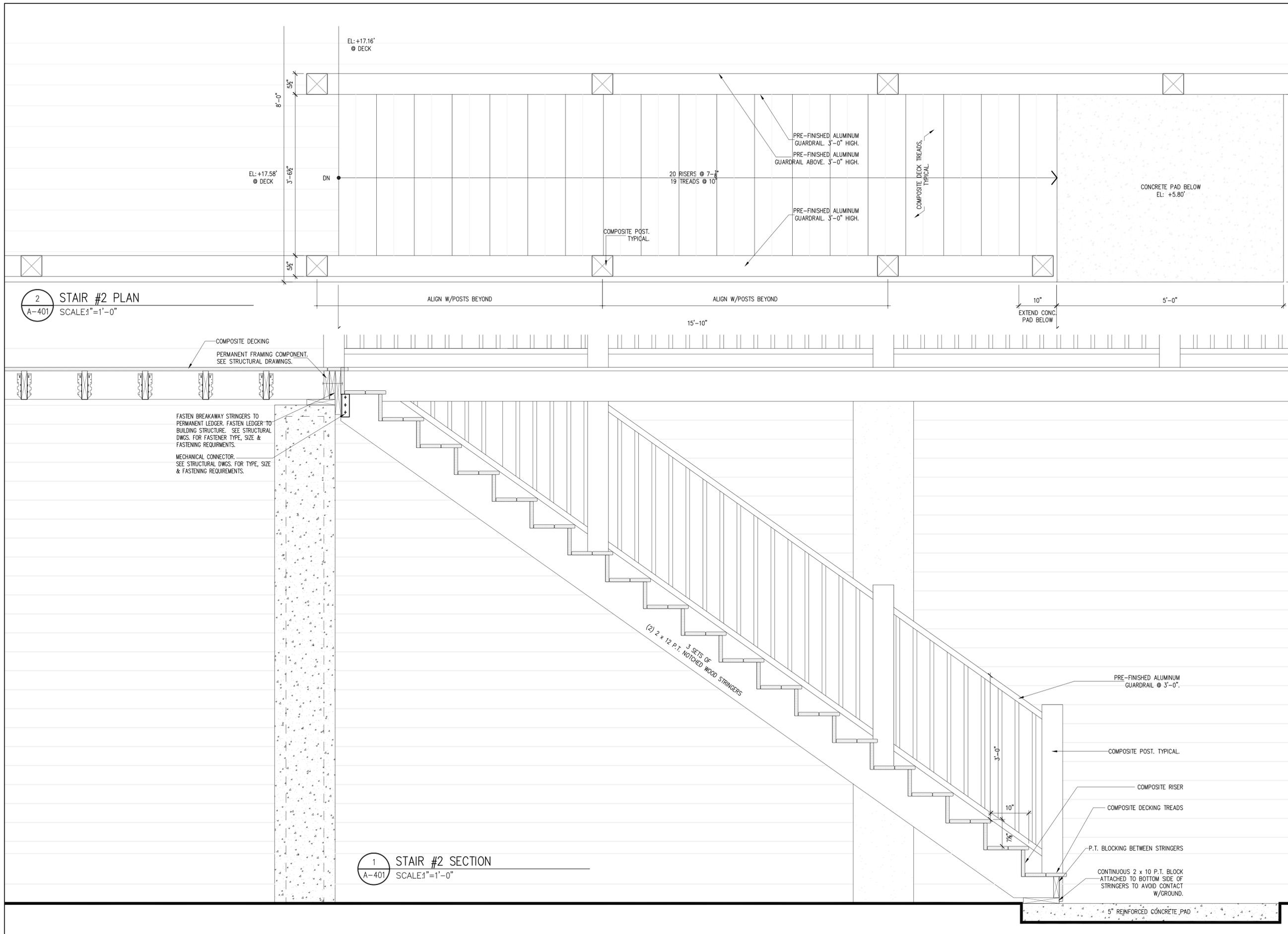
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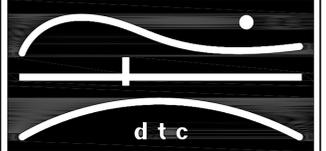
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NOTES:

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OORR
APPLICATION NO. 1690

WEADY RESIDENCE
116 SEASIDE AVENUE
GUILFORD, CT

STAIR #2
PLAN & DETAILS

DTC PROJECT NUMBER: 13-449-###

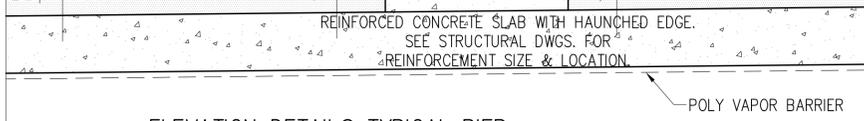
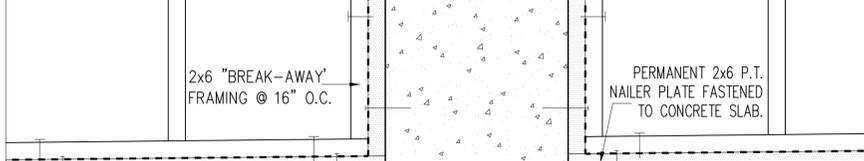
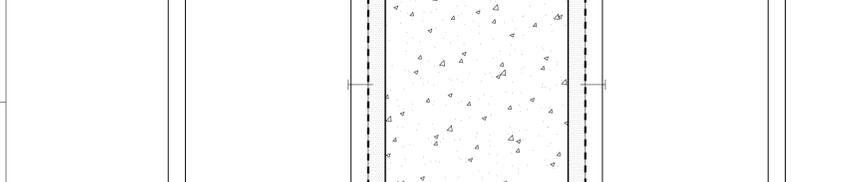
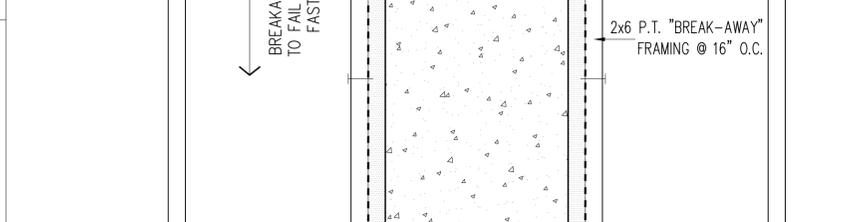
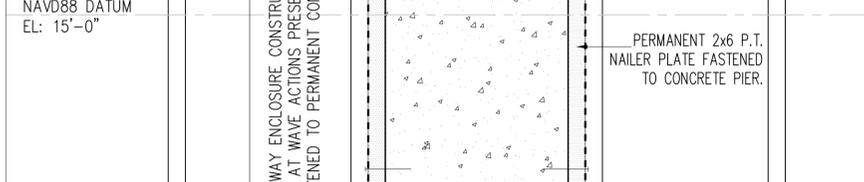
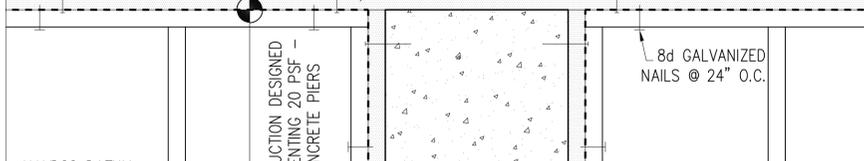
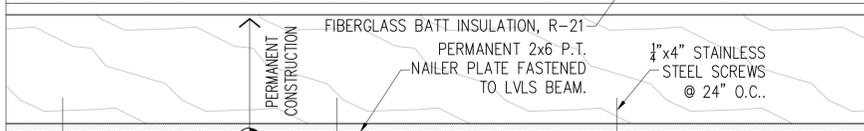
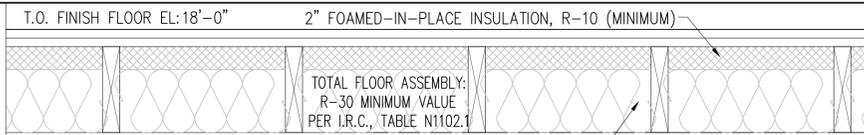
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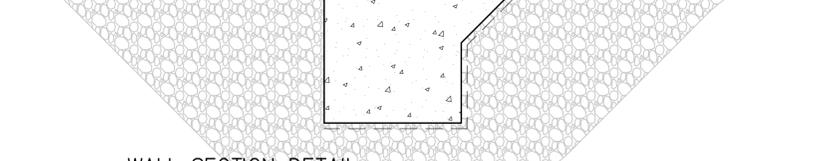
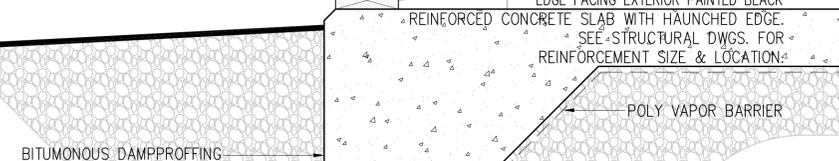
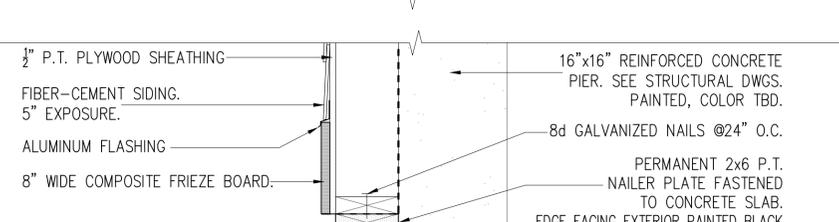
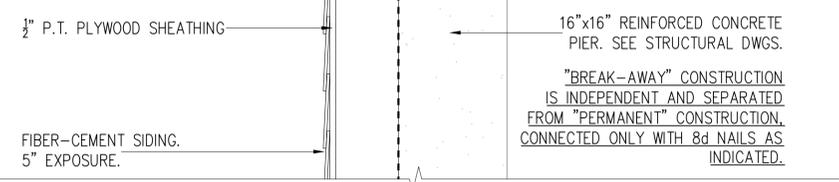
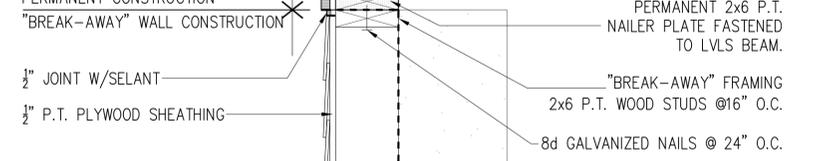
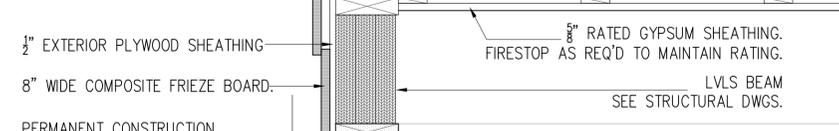
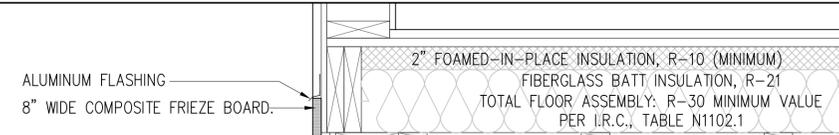
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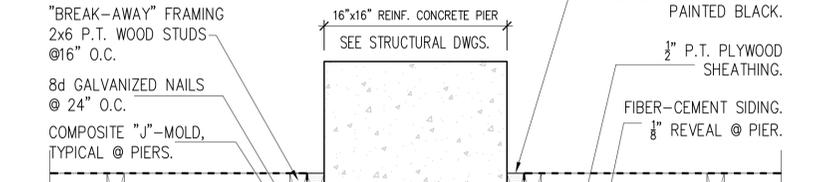
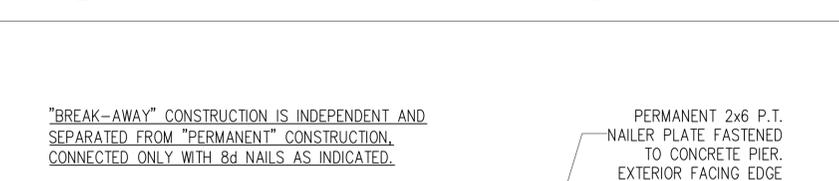
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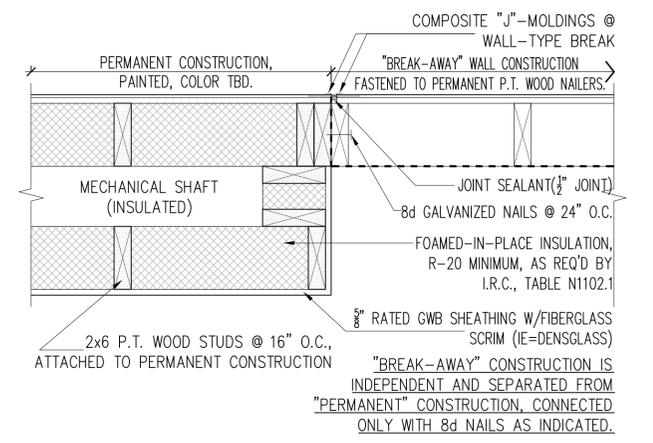
3 ELEVATION DETAIL@ TYPICAL PIER "BREAK-AWAY" WALL CONNECTION SCALE: 1-1/2"=1'-0" ALTERNATE 2



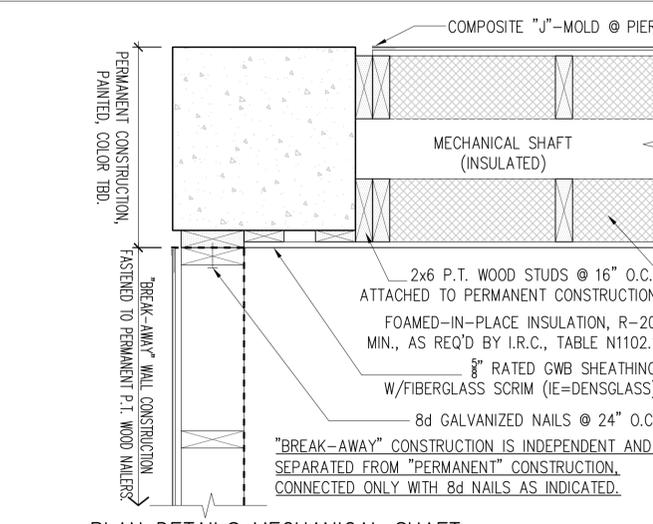
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1 PLAN DETAIL@ TYPICAL PIER "BREAK-AWAY" WALL CONNECTION SCALE: 1-1/2"=1'-0" ALTERNATE 2



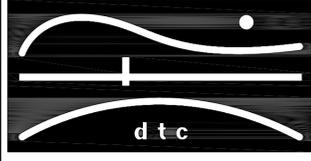
5 PLAN DETAIL@ MECHANICAL SHAFT "BREAK-AWAY" WALL CONNECTION SCALE: 1-1/2"=1'-0"



4 PLAN DETAIL@ MECHANICAL SHAFT "BREAK-AWAY" WALL CONNECTION SCALE: 1-1/2"=1'-0"

NOTES:

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OORR
APPLICATION NO. 1690

WEADY RESIDENCE
116 SEASIDE AVENUE
GUILFORD, CT

"BREAK-AWAY"
WALL DETAILS

DTC PROJECT NUMBER: 13-449-###

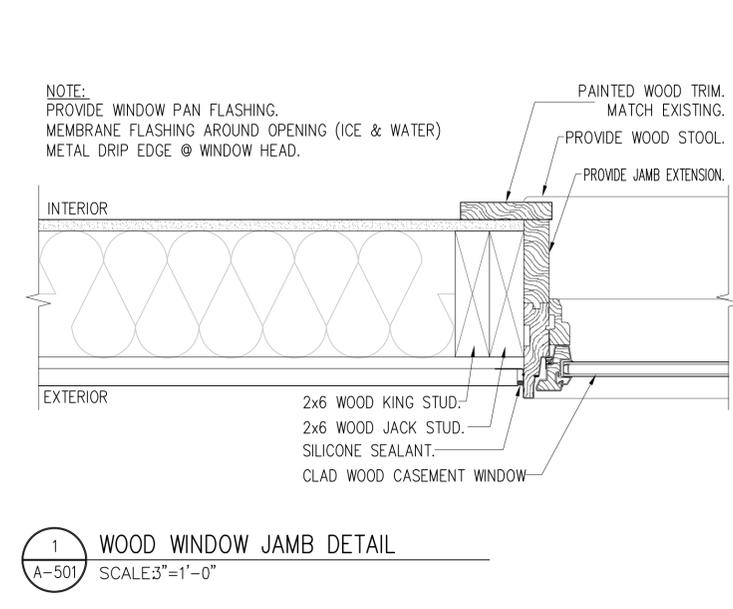
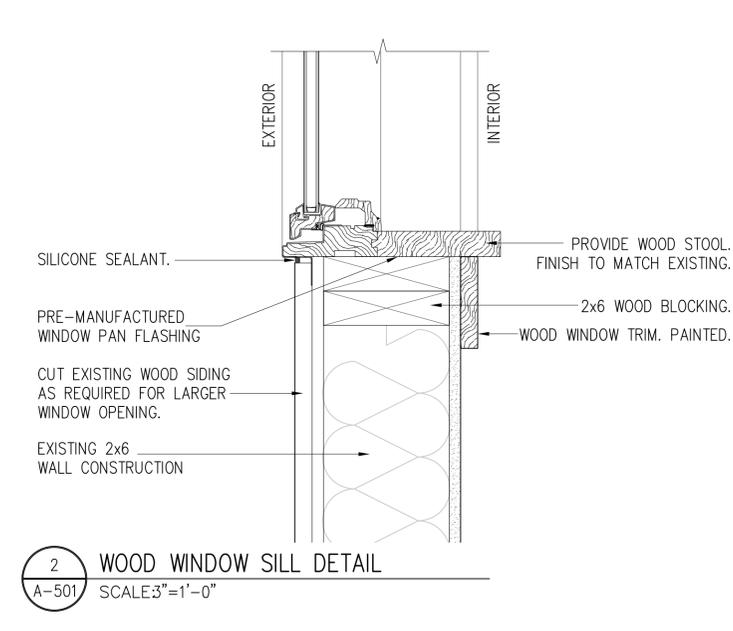
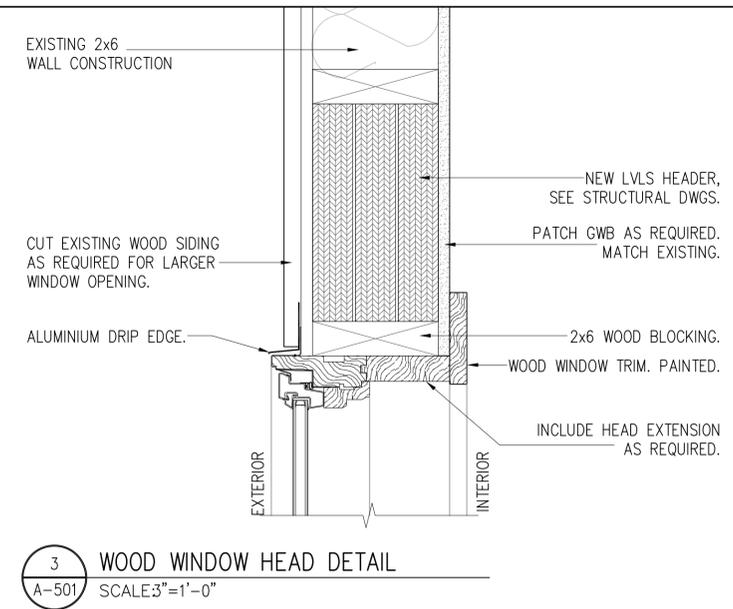
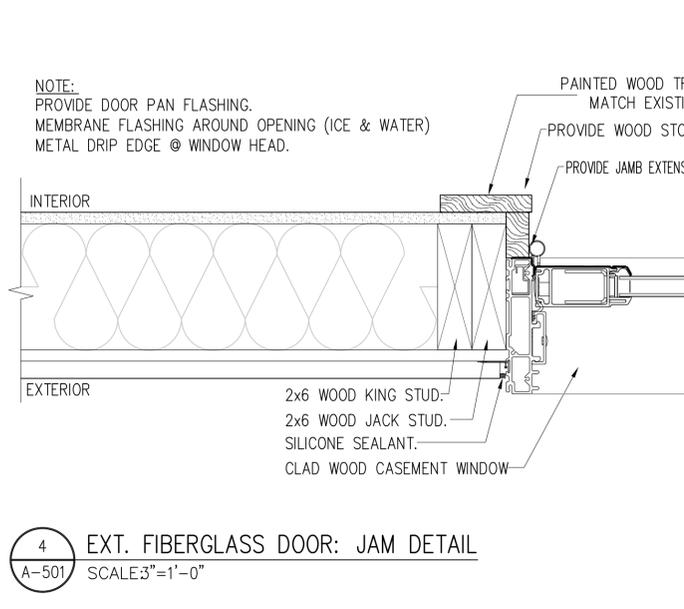
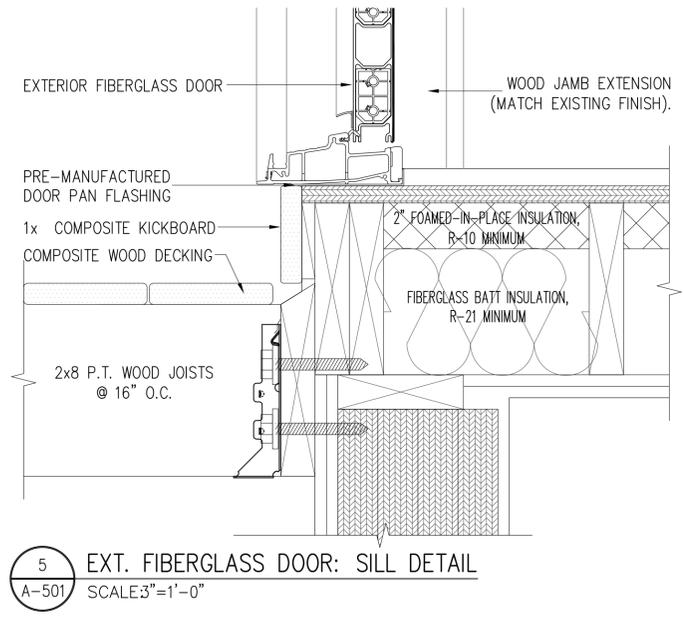
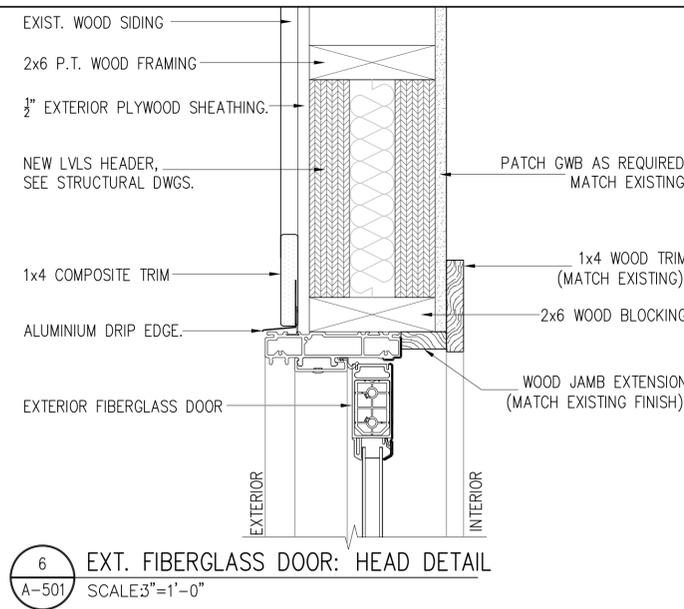
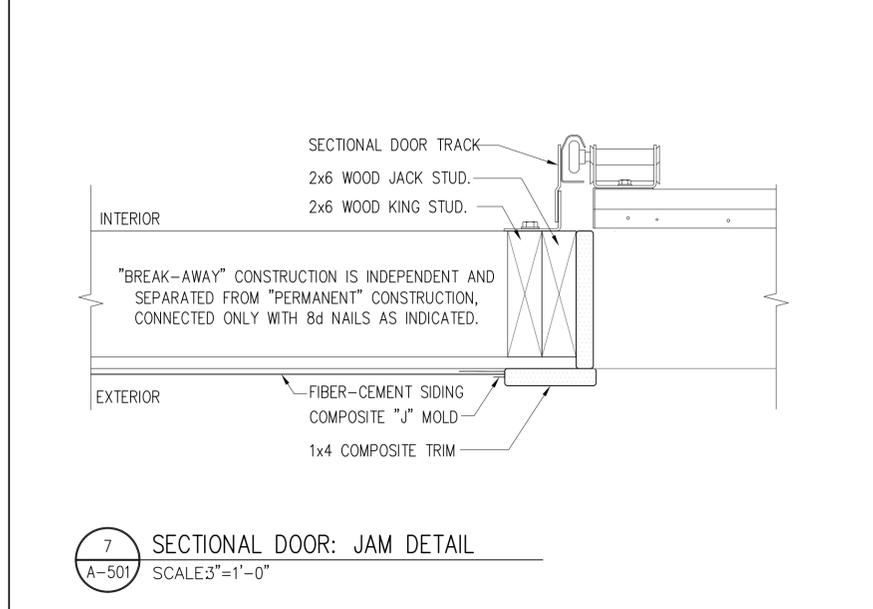
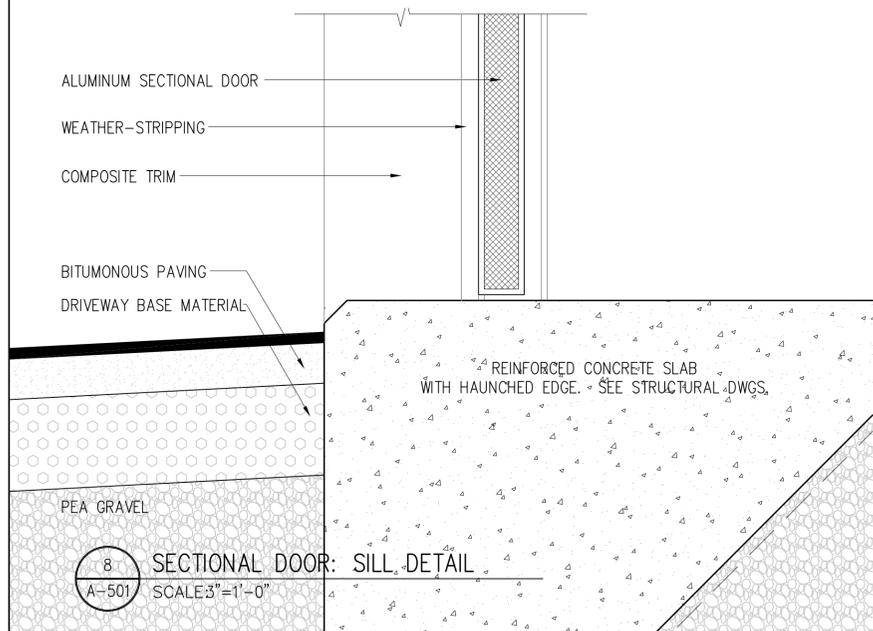
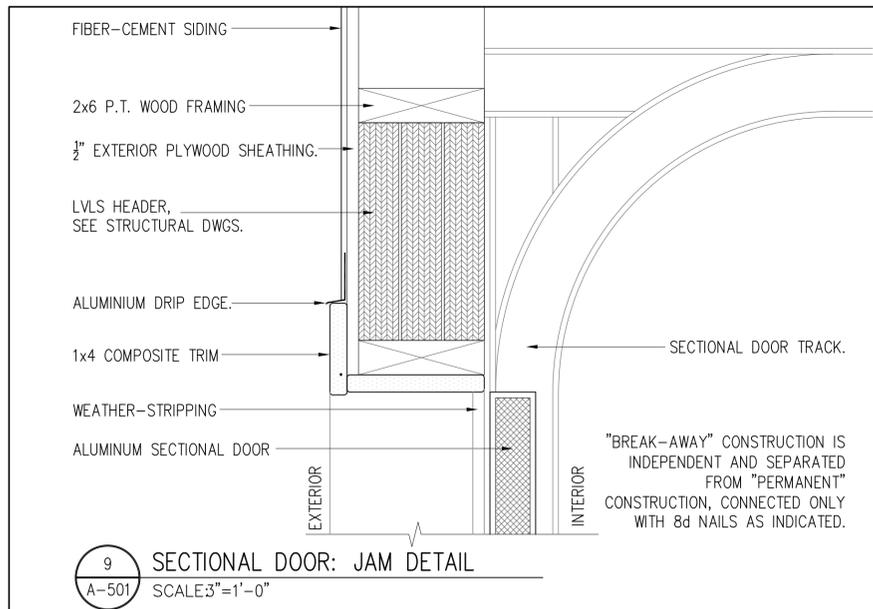
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A-500



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OORR
APPLICATION NO. 1690

WEADY RESIDENCE
116 SEASIDE AVENUE
GUILFORD, CT

WINDOW DETAILS,
DOOR DETAILS

DTC PROJECT NUMBER: 13-449-###
DTC DRAWING FILE:

SCALE: AS NOTED	DRAWN BY: PWR
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PLUMBING GENERAL NOTES

- THE CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH THE PROJECT DOCUMENTS OF ALL TRADES. THE DRAWINGS ARE DIAGRAMMATIC AND SHOW THE GENERAL ARRANGEMENT OF EQUIPMENT AND PIPING. THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION OF EQUIPMENT AND PIPING INSTALLATION WITH ALL TRADES BEFORE COMMENCING WORK.
- THIS CONTRACT SHALL INCLUDE ALL THE NECESSARY PIPING, FITTINGS, TRANSITIONS ETC. AS NECESSARY TO INSTALL PLUMBING SYSTEM, AND TO AVOID ANY CONFLICTS WITH OTHER TRADES AND THE BUILDING STRUCTURE.
- IT IS NOT THE INTENT OF THE DRAWINGS TO SHOW INDIVIDUAL BRANCH PIPING TO EACH PLUMBING FIXTURE; ONLY THE BRANCH PIPING TO GROUPS OF FIXTURES IS INDICATED. THE ENTIRE PLUMBING SYSTEM SHALL BE FULLY OPERATIONAL AND READY FOR BENEFICIAL USE BEFORE THE JOB IS CONSIDERED COMPLETE.
- REFER TO LATEST ARCHITECTURAL PLANS FOR ELEVATIONS, SECTIONS, DETAILS, MOUNTING HEIGHTS, LOCATION OF PLUMBING FIXTURES. ALL HANDICAPPED DESIGNATED FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH ANSI AND ADA STANDARDS.
- DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS & CONDITIONS IN THE FIELD AND SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY & ALL DISCREPANCIES.
- IT IS NOT INTENDED THAT THE DRAWINGS SHOW EVERY PIPE, FITTING, RISE/DROP OR DETAIL. SYSTEM & COMPONENTS SHALL BE INSTALLED ACCORDING TO THE INTENT AND MEANING OF CONTRACT DOCUMENTS AND IN ACCORDANCE WITH GOOD PRACTICE.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE COMPLETE AND OPERATIONAL SYSTEMS WITH FACILITIES AND SERVICES TO MEET REQUIREMENTS INDICATED AND IN ACCORDANCE WITH APPLICABLE CODES AND ORDINANCES.
- EQUIPMENT AND COMPONENTS HAVING EQUAL PERFORMANCE CHARACTERISTICS BY OTHER MANUFACTURERS MAY BE CONSIDERED PROVIDED DEVIATIONS IN DIMENSIONS, OPERATION AND OTHER CHARACTERISTICS DO NOT CHANGE DESIGN CONCEPT OR INTENDED PERFORMANCE AS JUDGED BY THE ENGINEER. BURDEN OF PROOF OF EQUALITY OF PRODUCTS IS ON THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR THE SAFEKEEPING OF HIS OWN PROPERTY ON THE JOB SITE. OWNER ASSUMES NO RESPONSIBILITY FOR THE PROTECTION OF PROPERTIES AGAINST FIRE, THEFT AND ENVIRONMENTAL CONDITIONS.
- CONTRACTOR IS RESPONSIBLE FOR PROPERLY PROTECTING OWNER'S PROPERTY AND EQUIPMENT FROM INJURY, AND DAMAGE TO SAME SHALL BE REPLACED BY CONTRACTOR.
- CONTRACTOR IS TO CLEAN JOB SITE DAILY AND REMOVE FROM THE PREMISES ANY DIRT AND DEBRIS CAUSED BY THE PERFORMANCE OF THE WORK INCLUDED IN THIS CONTRACT.
- ALL WORK TO BE DONE IN A CLEAN AND WORKMANLIKE MANNER. CARE SHALL BE EXERCISED TO MINIMIZE ANY INCONVENIENCE OR DISTURBANCE TO OTHER AREAS OF THE BUILDING WHICH ARE TO REMAIN IN OPERATION. ISOLATE CONSTRUCTION AREAS BY MEANS OF TEMPORARY PARTITIONS AND/OR TARPS TO KEEP DUST AND DIRT WITHIN WORK AREA.
- CONTRACTOR IS RESPONSIBLE TO PROPERLY SECURE AREAS OF CONSTRUCTION AT THE END OF EACH WORKING DAY.
- EQUIPMENT AND PIPING TO BE INSTALLED IN ACCORDANCE WITH SEISMIC REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH ALL OTHER TRADES.
- ALL EQUIPMENT SUPPORTS AND PIPE HANGERS TO BE CONNECTED FROM THE BUILDING STRUCTURE.
- PROVIDE ACCESS PANELS/DOORS FOR ALL CONCEALED PLUMBING ITEMS REQUIRING ACCESS, COORDINATE WITH DIVISION 8.
- PROVIDE SHUTOFF VALVES AT ALL BRANCH PIPING TAKEOFFS.
- ALL BRANCH WATER PIPES TO HAVE STOP VALVES AT EACH PLUMBING FIXTURE.
- INSULATE EXPOSED WASTE, HOT AND COLD WATER PIPING UNDER HANDICAP LAVATORIES.
- INSULATE COLD WATER, HOT WATER AND RECIRCULATION PIPING, CONDENSATE DRAIN, STORM PIPING AND ROOF DRAIN BODIES.
- EVERY FIXTURE SHALL BE PROPERLY PIPED TO WATER, SANITARY, WASTE, AND VENT SYSTEMS. REFER TO THE PLUMBING SCHEDULES ON MEP DRAWINGS FOR INDIVIDUAL PIPE SIZES TO EACH FIXTURE.
- WHERE AN INACCESSIBLE CEILING IS INSTALLED (GYP BOARD OR EQUIVALENT), THE CONTRACTOR SHALL COORDINATE THE LOCATIONS OF ACCESS PANELS FOR ALL VALVES, CLEANOUTS, ETC., REQUIRING ACCESS, WITH THE ARCHITECT, PRIOR TO INSTALLATION OF SUCH DEVICES AND OTHER APPURTENANCES.
- NO PIPING SHALL BE INSTALLED WITHIN STAIRS, STAIR WALLS, OR OVER ELECTRICAL PANELS/EQUIPMENT. ONLY DEDICATED PLUMBING PIPING WILL BE ALLOWED WITHIN EACH OF THE SPACES INDICATED ABOVE. COORDINATE THE LOCATION OF ALL PIPING WITH ALL OTHER TRADES, AND ADJUST AS NECESSARY.
- ALL PIPING IS TO BE RUN CONCEALED IN CEILINGS OR WALLS. PIPING IS TO BE EXPOSED ONLY WHERE NOTED ON DRAWINGS. IF CONTRACTOR CANNOT RUN PIPING CONCEALED, NOTIFY ENGINEER IMMEDIATELY TO RESOLVE CONFLICT.
- PIPE ALL CONDENSATE DRAINS FROM MECHANICAL EQUIPMENT COOLING COILS, BY GRAVITY (INTERIOR AIR HANDLING UNITS, FAN COIL UNITS, ETC.) TO FLOOR DRAINS OR JANITOR'S SINKS THROUGH AN AIR GAP. EACH CONDENSATE DRAIN SHALL BE TRAPPED AT THE EQUIPMENT DRAIN OUTLET, REFER TO TRAP DETAILS ON DRAWINGS. COORDINATE EXACT LOCATION WITH THE HVAC CONTRACTOR AND ADJUST AS NECESSARY.
- COORDINATE EXACT LOCATION OF ALL UNDERGROUND UTILITIES (WATER, GAS, SANITARY, ETC.) EXITING OR ENTERING THE BUILDING WITH UTILITY DRAWINGS. COORDINATE ALL FOUNDATION WALL PENETRATIONS AND INVERT ELEVATIONS WITH THE GENERAL CONTRACTOR AND OR OWNER'S REPRESENTATIVE.
- DOMESTIC WATER DROPS OR RISERS INSTALLED IN EXTERIOR WALLS, SHALL BE INSTALLED ON THE WARM SIDE OF THE BUILDING INSULATION, AND THE LOCATION SHALL BE MADE INFILTRATION FREE.
- COORDINATE ALL PLUMBING EQUIPMENT REQUIRING POWER, FOR EXACT LOCATION AND POWER REQUIREMENTS WITH THE ELECTRICAL CONTRACTOR.
- ALL INDIRECT WASTE DRAINS SHALL BE PIPED TO FLOOR DRAINS, FUNNELS OR FIXED AIR GAP FITTINGS, THROUGH AIR GAP OR TO A SINK DRAIN TRAP/PIECE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ELBOWS, TEES, DROPS, AND MISCELLANEOUS PIPING DUE TO ELEVATION CHANGES, OBSTRUCTIONS, COORDINATION WITH OTHER TRADES, ETC. TO INSTALL A COMPLETE, FUNCTIONING, PLUMBING SYSTEM.

LEGEND

SYMBOL	DESCRIPTION
	SOIL OR WASTE ABOVE FLOOR OR GRADE
	SOIL OR WASTE BELOW FLOOR OR GRADE
	CONDENSATE DRAIN PIPING
	VENT PIPING
	COLD WATER PIPING
	DOMESTIC HOT WATER PIPING
	HOT WATER PIPING 105°F TEMPERATURE
	GAS PIPING
	PIPING DIRECTION OF FLOW
	HT - HEAT TRACED & INSULATED PIPE
	PIPING RISER UP
	PIPING RISER DOWN
	BRANCH/BOTTOM CONNECTION
	TRAP
	BALL VALVE
	BUTTERFLY VALVE
	CHECK VALVE
	UNION
	CAP ON END OF PIPE
	GAS COCK
	GAS PRESSURE REGULATOR
	GAS SOLENOID VALVE
	POINT OF CONNECTION
	POINT OF DISCONNECT
	TEMPERING VALVE

FIXTURE CONNECTION SCHEDULE

MARK	DESCRIPTION	MINIMUM PIPE SIZES (INCHES)			
		CW	HW	W	V
WC-HC, WC	WATER CLOSET	3/8	-	3	2
LAV-HC, LAV	LAVATORY	3/8	1/2	1-1/2	1-1/2
KS, KS-HC	KITCHEN SINK	1/2	1/2	1-1/2	1-1/2
BT-HC, BT	BATH TUB WITH SHOWER	1/2	1/2	1-1/2	1-1/2
HB	HOSE BIBB	1/2	-	-	-
WM	WASHING MACHINE	1/2	1/2	2	1-1/2
HWH	HOT WATER HEATER	3/4	3/4	-	2"

PIPING SYMBOLS

- HWS HOT WATER SUPPLY
- HWR HOT WATER RETURN
- RLL REFRIGERANT LIQUID
- RSL REFRIGERANT SUCTION
- RHG REFRIGERANT HOT GAS
- RV REFRIGERANT VENT
- D DRAIN

ABBREVIATIONS

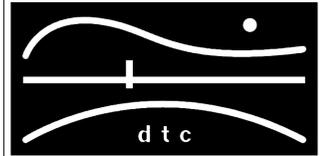
- CO CLEANOUT
- CTE CONNECT TO EXISTING
- CW COLD WATER
- (E) EXISTING TO REMAIN
- (ER) EXISTING TO BE REMOVED
- (ERR) EXISTING TO BE RELOCATED
- HW HOT WATER
- HZ HERTZ
- IN INCH
- GPM GALLONS PER MINUTE
- MAX MAXIMUM
- MIN MINIMUM
- (N) NEW
- PH PHASE
- RLL REFRIGERANT LIQUID LINE
- RSL REFRIGERANT SUCTION LINE
- TEMP TEMPERATURE
- TYP TYPICAL
- W WASTE

HVAC GENERAL NOTES

- NOTES BELOW ARE NOT INTENDED TO REPLACE SPECIFICATIONS. SEE SPECIFICATIONS FOR REQUIREMENTS IN ADDITION TO GENERAL NOTES.
- CONTRACTOR SHALL VISIT THE SITE AND BECOME INFORMED AS TO THE NATURE AND SCOPE OF WORK REQUIRED BY CONTRACT DOCUMENTS PRIOR TO BIDDING PROJECT.
- PROVIDE ALL REQUIRED MATERIALS, LABOR, EQUIPMENT, AND SERVICES NECESSARY FOR THE INSTALLATION OF THE WORK AS SHOWN ON THESE DRAWINGS OR SPECIFIED BY THE BASE BUILDING DRAWING AND SPECIFICATIONS.
- REFER TO AND CAREFULLY CHECK ARCHITECTURAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DRAWINGS AND DETAILS, NOTES, LOCATIONS WHERE WALLS, PARTITIONS, CEILINGS, AND OTHER SURFACES ARE FURRED, LOCATIONS OF SHAFTS, SOFFITS, AND CONFLICTS WITH WORK OF OTHER TRADES, AND ARRANGE WORK ACCORDINGLY. FURNISH ALL OFFSETS, DAMPERS, CONNECTORS, ETC., REQUIRED TO MEET SUCH CONDITIONS.
- DUE TO SCALE OF DRAWINGS, ALL REQUIRED OFFSETS, DAMPERS, ETC., MAY NOT BE INDICATED.
- COORDINATE DIFFUSERS LOCATIONS AND DUCT WITH LIGHTING FIXTURES AND SPRINKLER HEADS. SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND DETAILS OF PARTITIONS, SUSPENDED CEILINGS, AND SOFFITS.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND ARRANGE FOR ALL REQUIRED INSPECTIONS IN ACCORDANCE WITH STATE AND LOCAL GOVERNING CODES.
- THE TERM "PROVIDE" SHALL MEAN TO FURNISH, INSTALL, AND CONNECT COMPLETELY.
- TURN OVER TO THE OWNER ALL MANUFACTURER'S WARRANTIES FOR EQUIPMENT AND MATERIALS PROVIDED.
- WHERE THE CONTRACTOR PROPOSES TO USE AN ITEM OF EQUIPMENT OTHER THAN THAT SPECIFIED OR DETAILED ON THE DRAWINGS WHICH REQUIRES ANY REDESIGN OF THE STRUCTURE, PARTITIONS, FOUNDATIONS, PIPING, WIRING OR ANY OTHER PART OF THE MECHANICAL, ELECTRICAL OR ARCHITECTURAL LAYOUT, ALL SUCH REDESIGN AND ALL NEW DRAWINGS AND DETAILING REQUIRED THEREFORE, SHALL BE PREPARED AT THE CONTRACTOR'S EXPENSE AND ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE OWNER OR HIS AUTHORIZED REPRESENTATIVE. OWNER RESERVES THE RIGHT TO HAVE THE ARCHITECT OR ENGINEER OF HIS CHOICE PREPARE ANY REDESIGN WORK.
- CONTRACTOR SHALL COORDINATE ELECTRICAL REQUIREMENTS OF MECHANICAL EQUIPMENT WITH DIVISION 26.
- ALL WORK SHALL BE DONE WITH LICENSED WORKMEN IN ACCORDANCE WITH STATE AND LOCAL GOVERNING AUTHORITIES.
- BEFORE SELLING MATERIALS AND LABOR, EQUIPMENT AND PROCESSING THE WORK, INSPECT AREAS WHERE MATERIAL AND EQUIPMENT ARE TO BE INSTALLED TO INSURE SUITABILITY AND CHECK NEEDED SPACE FOR PLACEMENT AND CLEARANCES.
- BEFORE CUTTING AND DRILLING INTO BUILDING ELEMENTS, INSPECT AND LAYOUT WORK TO AVOID DAMAGING STRUCTURAL ELEMENTS AND BUILDING UTILITIES.
- CONTRACTOR RESPONSIBLE FOR REPAIR AND PAYMENT FOR ALL UTILITIES DAMAGE DURING CONSTRUCTION.
- CONTRACTOR TO CONFIRM DUCTWORK LOCATIONS, ELEVATIONS AND SIZES BEFORE ANY WORK IS STARTED. IF ANY DISCREPANCIES ARE FOUND, NOTIFY ENGINEER BEFORE PROCEEDING WITH WORK. (SEE PAR. 48 'COORDINATION DRAWINGS').
- FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION OF PROVIDED EQUIPMENT.
- ALL SHOP DRAWINGS OF INDIVIDUAL COMPONENTS ARE TO BE SUBMITTED AS A COMPLETE PACKAGE.
- HVAC DRAWINGS DO NOT NECESSARILY SHOW ALL CONDITIONS OF BUILDING. CONTRACTOR TO USE ALL DRAWINGS AND SPECIFICATIONS OF CONTRACT DOCUMENTS AND INSPECTION OF FIELD CONDITIONS FOR DIVISION 23.
- HVAC PLANS, DETAILS AND ONE LINE DIAGRAMS SHOW THE GENERAL LOCATION AND ARRANGEMENT OF THE SYSTEM. THESE ARE DIAGRAMMATIC AND DO NOT SHOW ALL OFFSETS, HANGERS, ACCESS DOORS, ETC. WHICH THE CONTRACTOR MUST PROVIDE TO COMPLETE THE SYSTEM.
- ALL WORK IN INTERIOR FINISHED SPACES EXCEPT INDICATED IS TO BE CONCEALED ABOVE CEILING. PROVIDE ALL NECESSARY CUTTING, PATCHING, REPAINTING AND/OR REPLACEMENT OF FINISHES AS REQUIRED TO PERFORM COORDINATE WITH OTHER DIVISIONS.
- IF MANUFACTURER OF EQUIPMENT REQUIRES LARGER CAPACITY CIRCUITRY AND/OR EQUIPMENT THE CONTRACTOR SHALL PROVIDE SUCH CAPACITY AND/OR EQUIPMENT UNDER THIS CONTRACT AT NO COST TO THE OWNER.
- SUPPORT DUCTWORK ABOVE SUSPENDED CEILING FROM CONSTRUCTION ABOVE AS CLOSE AS POSSIBLE TO BOTTOM OF SLABS, BEAMS, MAINTAINING HEADROOM AT ALL TIMES.
- DO NOT SCALE DRAWINGS. CHECK EXISTING SPACE CONDITIONS AT THE JOB SITE.
- DO NOT PENETRATE STAIR WALLS WITH ANY UTILITIES OR CONDUIT EXCEPT FOR UTILITIES SPECIFICALLY SERVING THAT STAIR.
- GENERAL CONTRACTOR PROVIDE ALL CONTROL DEVICES, EQUIPMENT, ACCESSORIES, VFD DRIVES, OTHER APPARATUS, CONTROL VALVES AND DAMPERS, ACTUATORS, SENSORS, ETC. AND ALL CONTROL WIRING.
- ALL DUCTWORK SHALL BE HUNG FROM STRUCTURE ABOVE.
- PROVIDE FLEXIBLE JOINTS ON ALL PIPING AND DUCTWORK WHERE PENETRATING ALL BUILDING EXPANSION JOINTS.
- PROVIDE FLEXIBLE CONNECTIONS BETWEEN MECHANICAL EQUIPMENT AND DUCTWORK AND PIPING.
- PROVIDE MINIMUM OF 3' DUCT LINEAR AT EACH FAN-COIL UNIT BRANCH DUCT UNIT CONNECTION AND DUCT LINER FOR DUCT FROM FAN-COIL UNIT TO SUPPLY DIFFUSERS (SEE DETAILS).
- PROVIDE VOLUME DAMPERS ON ALL BRANCHES OF DUCTWORK (SUPPLY, RETURN, EXHAUST).
- PROVIDE FLEXIBLE DUCTWORK CONNECTION TO ALL CEILING SUPPLY DIFFUSERS. (MAXIMUM 3'-0" LONG).
- ALL PENETRATIONS THRU WALLS, ROOF, AND FLOORS TO BE COORDINATED BEFORE SITE WORK EXECUTION WITH STRUCTURAL ENGINEERS.
- THERMOSTAT AND TEMPERATURE SENSOR LOCATIONS TO BE COORDINATED WITH INTERIOR WALL LAYOUT, REFER TO ARCHITECTURAL PLANS.
- CEILING DIFFUSER AND REGISTER LOCATIONS TO BE COORDINATED WITH CEILING GRID, LIGHTING & SPRINKLER LAYOUT. REFER TO ARCHITECTURAL REFLECTED CEILING PLAN.
- NO THREADED FITTINGS 2-1/2" AND LARGER ALLOWED FOR HYDRONIC HVAC PIPING.
- CONTRACTOR SHALL SELECT AND PROVIDE EXPANSION JOINTS OR EXPANSION LOOPS AND ANCHORS AS REQUIRED TO PREVENT TEMPERATURE EXPANSION STRESSES OF HYDRONIC PIPES BASED ON ACTUAL INSTALLATION/CONDITIONS.
- ELECTRICAL CHARACTERISTICS FOR MECHANICAL EQUIPMENT: EQUIPMENT OF HIGHER ELECTRICAL CHARACTERISTICS MAY BE FURNISHED PROVIDED SUCH PROPOSED EQUIPMENT IS APPROVED IN WRITING AND CONNECTING ELECTRICAL SERVICES, CIRCUIT BREAKERS, AND CONDUIT SIZES ARE APPROPRIATELY MODIFIED. IF MINIMUM ENERGY RATINGS OR EFFICIENCIES ARE SPECIFIED, EQUIPMENT SHALL COMPLY WITH REQUIREMENTS.
- ALL SUPPLY, RETURN, TRANSFER, AND EXHAUST DUCTWORK EXPOSED IN A ROOM WITH NO CEILING (EXCEPT ELECTRICAL AND MECHANICAL ROOMS) SHALL BE DOUBLE WALL INSULATED DUCTWORK WITH PERFORATED INNER LINER.
- WINGS: DETAIL MAJOR ELEMENTS, COMPONENTS, AND SYSTEM PF MECHANICAL EQUIPMENT AND MATERIALS IN RELATIONSHIPS WITH OTHER SYSTEMS, INSTALLATIONS, AND BUILDING COMPONENTS. SHOW SPACE REQUIREMENTS FOR INSTALLATION AND ACCESS. INDICATE IF SEQUENCE AND COORDINATION ARE IMPORTANT TO EFFICIENT FLOW OF THE WORK. INCLUDE THE FOLLOWING.
 - A. PLANNED PIPING LAYOUT, INCLUDING VALVE AND SPECIALTY LOCATIONS AND VALVE-STEM MOVEMENT.
 - B. CLEARANCES FOR INSTALLING AND MAINTAINING INSULATION.
 - C. CLEARANCES FOR SERVING AND MAINTAINING EQUIPMENT, ACCESSORIES, AND SPECIALTIES, INCLUDING SPACE FOR DISASSEMBLY REQUIRED BY PERIODIC MAINTENANCE.
 - D. EQUIPMENT AND ACCESSORY SERVICE CONNECTIONS AND SUPPORT DETAILS.
 - E. EXTERIOR WALL AND FOUNDATION PENETRATIONS.
 - F. SIZES AND LOCATION OF REQUIRED CONCRETE PADS AND BASES.
 - G. FLOOR PLANS, ELEVATIONS, AND DETAILS TO INDICATE PENETRATIONS, FLOORS, WALLS, AND CEILINGS AND THEIR RELATIONSHIP TO OTHER PENETRATIONS AND INSTALLATIONS.
 - H. SCALE: MINIMUM 1/4"=1'-0" FOR FLOOR PLAN, 3/8"=1'-0" FOR MECHANICAL ROOMS.
- CONTRACTOR TO PROVIDE ALL CONTROL DEVICES, EQUIPMENT, ACCESSORIES, OTHER APPARATUS, CONTROL VALVES AND DAMPERS, ACTUATORS, SENSORS, ETC. AND ALL CONTROL WIRING AND LOW VOLTAGE POWER WIRING.

NOTES:

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OOR
APPLICATION NO. 1690

WEADY RESIDENCE
116 SEASIDE AVENUE
GUILFORD, CT

MECHANICAL & PLUMBING GENERAL NOTES

DTC PROJECT NUMBER: 13-449-001

DTC DRAWING FILE:

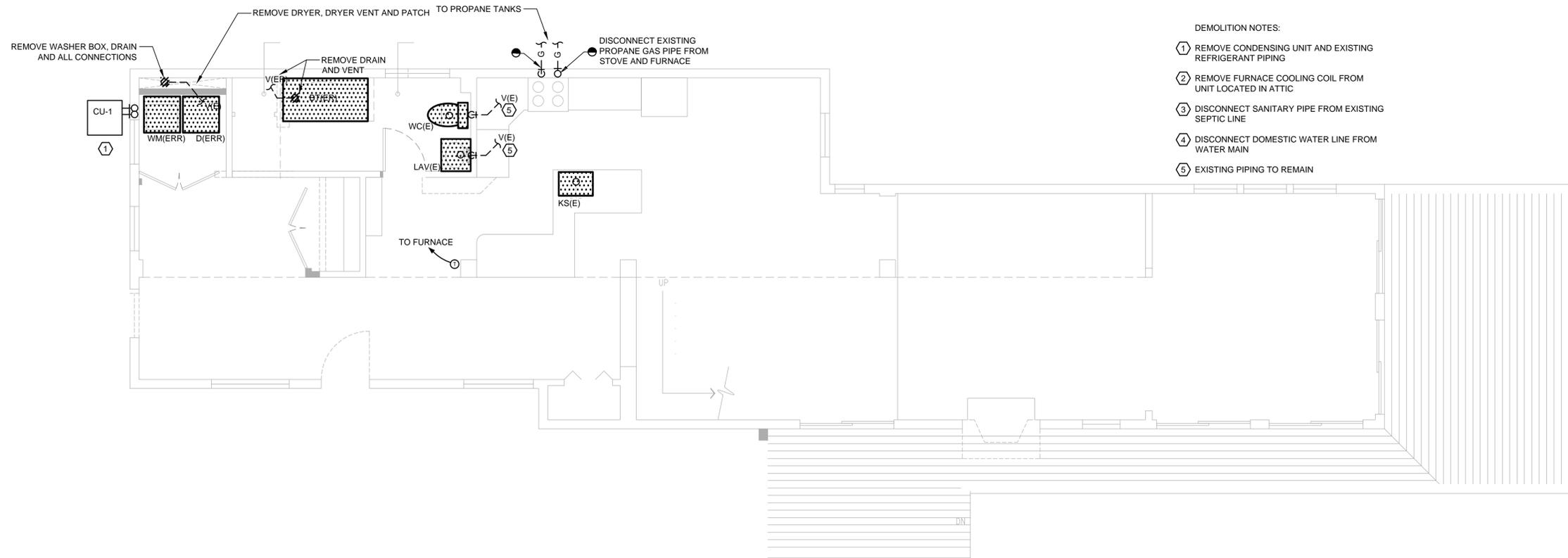
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MP-001

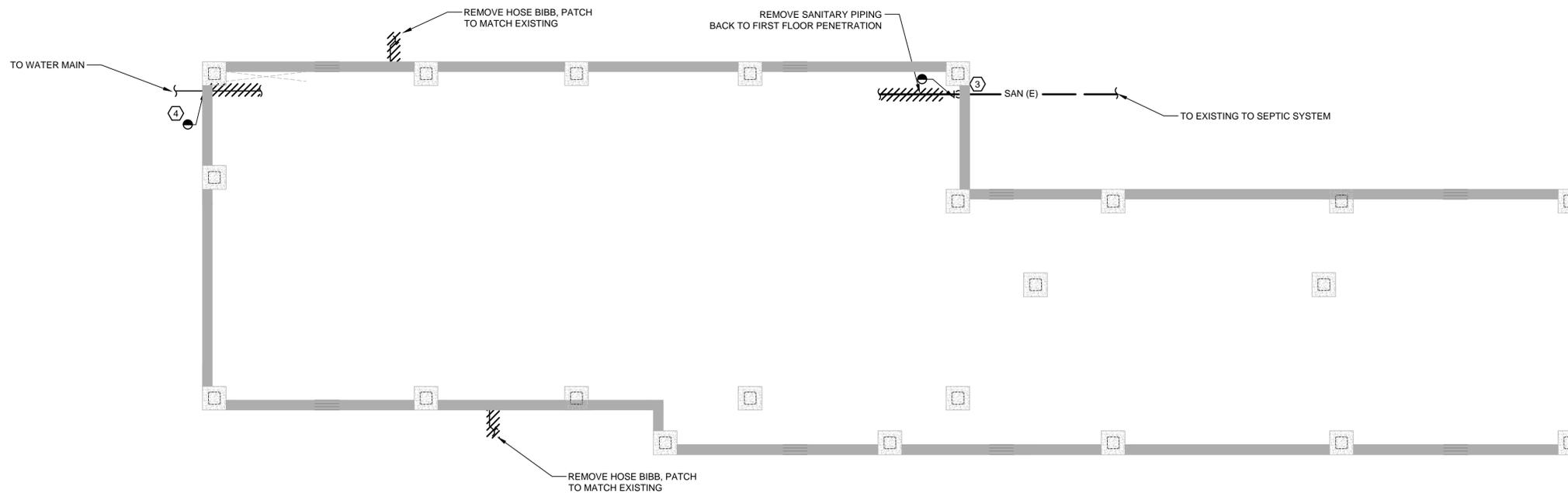
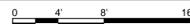
PORTIONS OF HTE AREAS TO BE RETROFITTED WERE NOT ACCESSIBLE AND/OR NOT DEMOLISHED UNTIL AFTER THE DESIGN PERIOD. WITHOUT THE SPACE BEING COMPLETELY ACCESSIBLE AND/OR DEMOLISHED DURING THE DESIGN PERIOD, WE WERE NOT ABLE TO SURVEY THE EXTENT OF THE EXISTING CONDITIONS AND ALL OF THE SERVICES AND CONDITIONS THAT MAY EXIST FOR CONFLICTS WITH THE INTENDED PROGRAM. THERE MAY BE COORDINATION ITEMS THAT WILL NEED TO BE ADDRESSED AFTER DEMOLITION DURING THE CONSTRUCTION PERIOD. IT SHOULD BE NOTED THAT A FINAL REVIEW AND COORDINATION WILL BE REQUIRED AFTER DEMOLITION TO VERIFY ALL FIELD CONDITIONS WITH THE DESIGN DOCUMENTS. THIS MAY RESULT IN CONSTRUCTION COST CHANGES.

NOTE: SOME SYMBOLS AND ABBREVIATIONS MAY OR MAY NOT APPEAR ON THE DRAWINGS.



- DEMOLITION NOTES:
- ① REMOVE CONDENSING UNIT AND EXISTING REFRIGERANT PIPING
 - ② REMOVE FURNACE COOLING COIL FROM UNIT LOCATED IN ATTIC
 - ③ DISCONNECT SANITARY PIPE FROM EXISTING SEPTIC LINE
 - ④ DISCONNECT DOMESTIC WATER LINE FROM WATER MAIN
 - ⑤ EXISTING PIPING TO REMAIN

1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

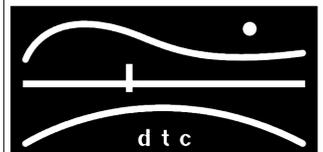


1 GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"



NOTES:

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OORR
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WEADY RESIDENCE
116 SEASIDE AVENUE
GUILFORD, CT

MECHANICAL &
PLUMBING GROUND &
FIRST FLOOR PLAN

DTC PROJECT NUMBER: 13-449-001

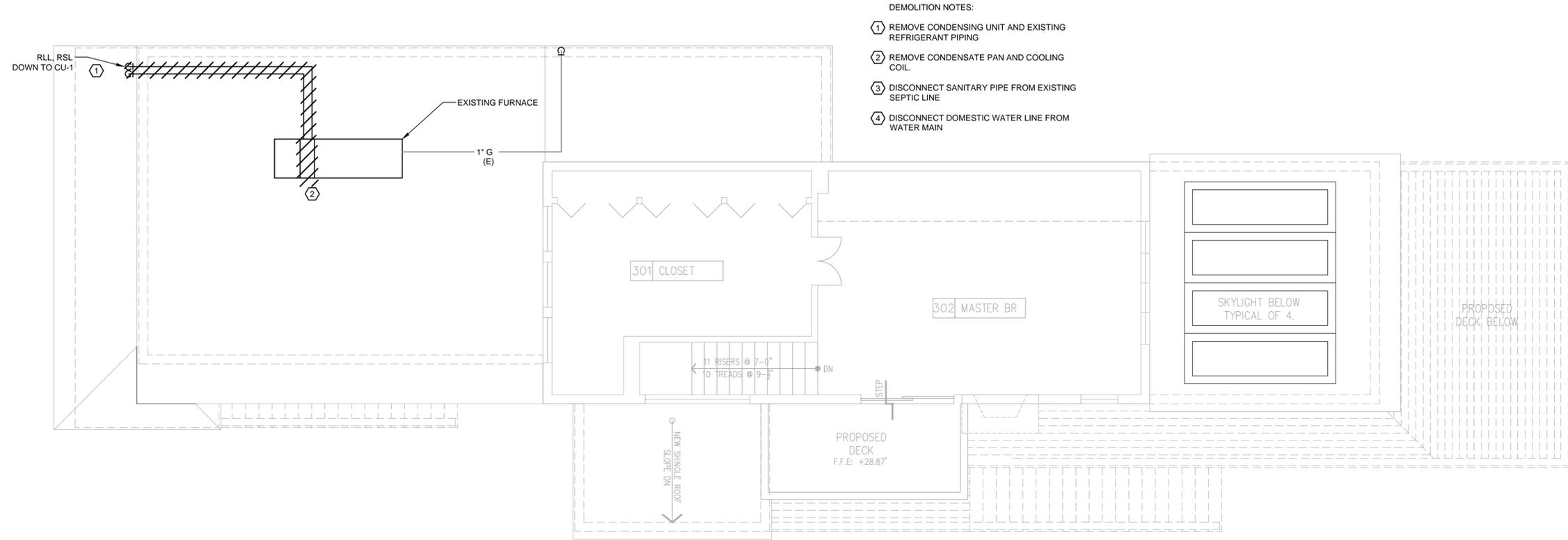
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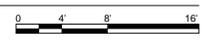
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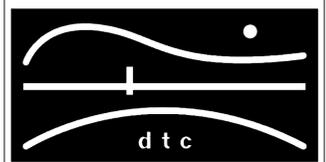


1 SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



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MECHANICAL & PLUMBING SECOND FLOOR PLAN

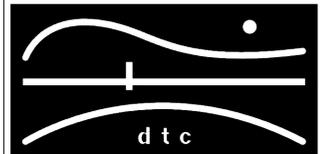
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SHEET:
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NOTES:

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MECHANICAL &
PLUMBING GROUND &
FIRST FLOOR PLAN

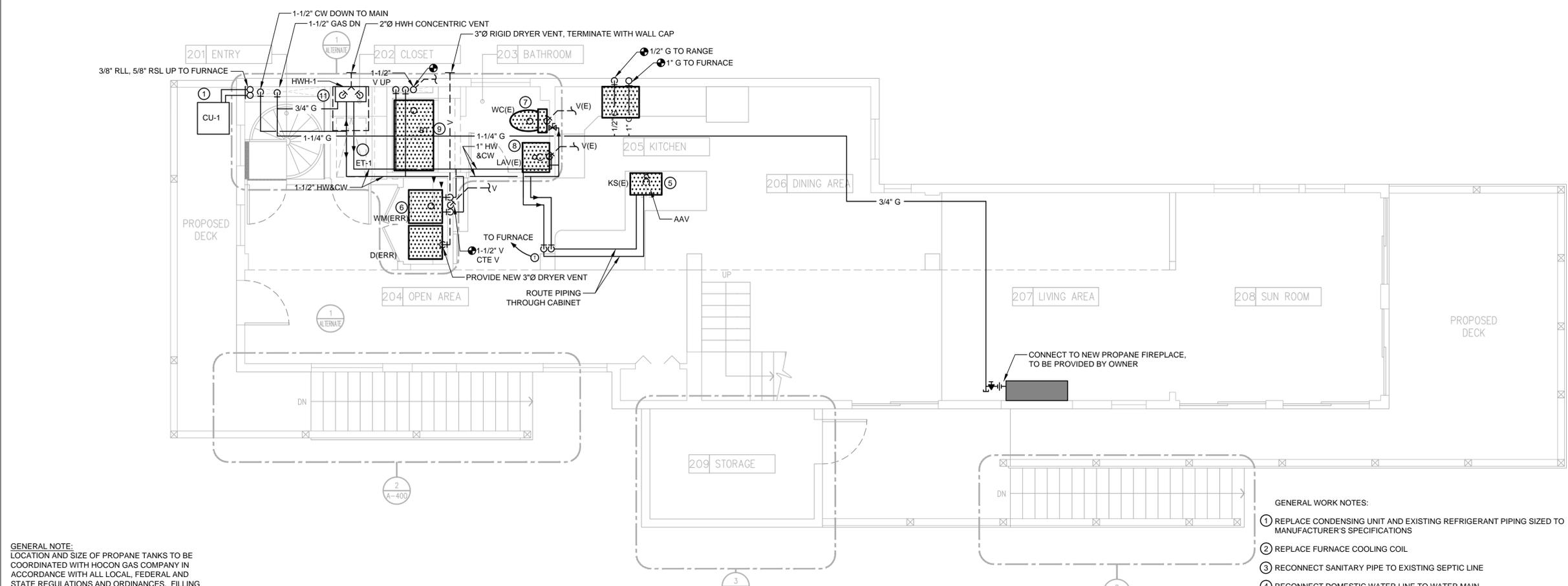
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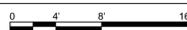
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1 FIRST FLOOR PLAN

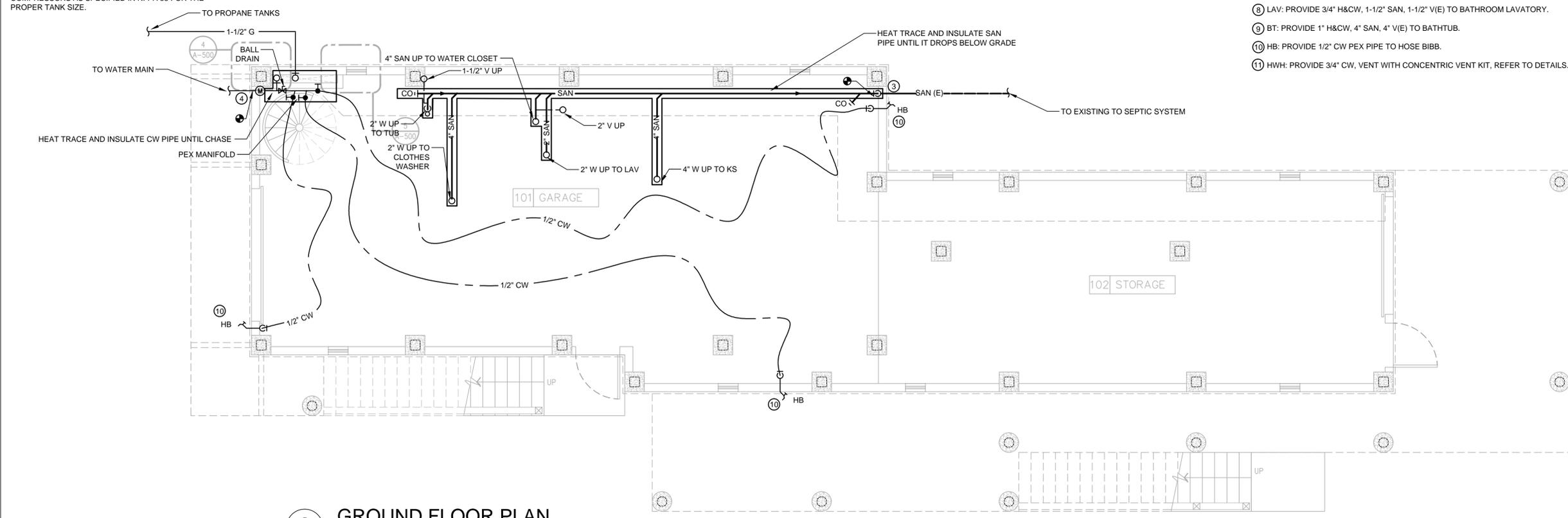
SCALE: 1/4" = 1'-0"



GENERAL NOTE:
LOCATION AND SIZE OF PROPANE TANKS TO BE COORDINATED WITH HOCOM GAS COMPANY IN ACCORDANCE WITH ALL LOCAL, FEDERAL AND STATE REGULATIONS AND ORDINANCES. FILLING CONNECTION AND FIXED LIQUID LEVEL GAUGE ON TANK SHOULD BE LOCATED AWAY FROM INTAKES TO DIRECT VENTED GAS APPLIANCES OR MECHANICAL VENTILATION INTAKES AND AWAY FROM IGNITION SOURCES SUCH AS OPEN WINDOWS, WINDOW AIR CONDITIONERS, AND COMPRESSORS AS SPECIFIED IN NFPA 58 FOR THE PROPER TANK SIZE.

GENERAL WORK NOTES:

- ① REPLACE CONDENSING UNIT AND EXISTING REFRIGERANT PIPING SIZED TO MANUFACTURER'S SPECIFICATIONS
- ② REPLACE FURNACE COOLING COIL
- ③ RECONNECT SANITARY PIPE TO EXISTING SEPTIC LINE
- ④ RECONNECT DOMESTIC WATER LINE TO WATER MAIN
- ⑤ KS: PROVIDE 3/4" H&CW, 1-1/2" SAN 1-1/2", V(E) TO EXISTING SINK
- ⑥ WM: PROVIDE 3/4" H&CW, 2" SAN, 1-1/2" V(E) TO NEW WASHING MACHINE BOX
- ⑦ WC: PROVIDE 3/4" CW, 4" SAN, 2" V(E) TO WATER CLOSET.
- ⑧ LAV: PROVIDE 3/4" H&CW, 1-1/2" SAN, 1-1/2" V(E) TO BATHROOM LAVATORY.
- ⑨ BT: PROVIDE 1" H&CW, 4" SAN, 4" V(E) TO BATHTUB.
- ⑩ HB: PROVIDE 1/2" CW PEX PIPE TO HOSE BIBB.
- ⑪ HWH: PROVIDE 3/4" CW, VENT WITH CONCENTRIC VENT KIT, REFER TO DETAILS.

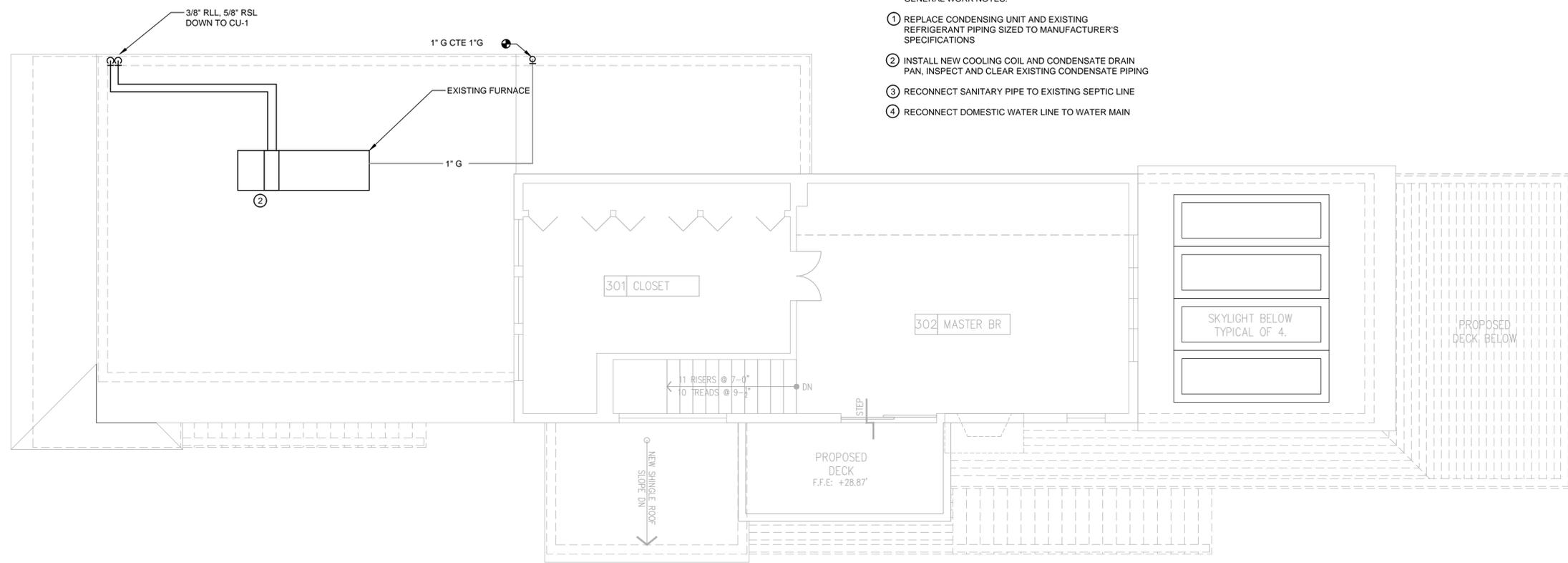


2 GROUND FLOOR PLAN

SCALE: 1/4" = 1'-0"

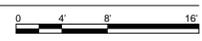


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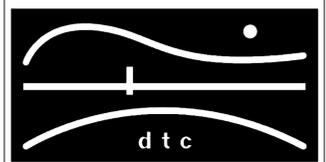


- GENERAL WORK NOTES:
- ① REPLACE CONDENSING UNIT AND EXISTING REFRIGERANT PIPING SIZED TO MANUFACTURER'S SPECIFICATIONS
 - ② INSTALL NEW COOLING COIL AND CONDENSATE DRAIN PAN, INSPECT AND CLEAR EXISTING CONDENSATE PIPING
 - ③ RECONNECT SANITARY PIPE TO EXISTING SEPTIC LINE
 - ④ RECONNECT DOMESTIC WATER LINE TO WATER MAIN

1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



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OORR
APPLICATION NO. 1690

WEADY RESIDENCE
116 SEASIDE AVENUE
GUILFORD, CT

MECHANICAL &
PLUMBING SECOND
FLOOR PLAN

DTC PROJECT NUMBER: 13-449-001
DTC DRAWING FILE:

SCALE: 1/4"=1.0	DRAWN BY: RWF
DATE: 8/15/2014	CHECKED BY: RCN

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MP-200

CONDENSING UNIT SCHEDULE												
UNIT	MANUFACTURER	MODEL	ASSOCIATED UNIT	TONS	NOMINAL CAPACITY (BTUH)	REFRIG. TYPE	OUTDOOR AMBIENT	SEER	WEIGHT	ELECTRICAL		REMARKS
										VOLTAGE/PH/HZ	MCA	
CU-1	CARRIER	24ABB348C003	FURNACE	4	46,500	R-410A	95	13.0	133 LBS	230/1/60	28.4	INCLUDE WALL BRACKETS

NOTES: 1. INSTALL REFRIGERANT PIPING IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

HOT WATER HEATER SCHEDULE														
MARK	MANUFACTURER	MODEL	FUEL TYPE	FLOW RATE (GPM)	WATER TEMP. RISE (°F)	WATER PRESSURE (PSI)	GAS CONSUMPTION MIN/MAX (BTU/H)	GAS PRESSURE MIN/MAX (IN. WC)	VENT	INTAKE	WEIGHT	ELECTRIC		REMARKS
												VOLT/PH/HZ	AMPS	
HWH-1	NAVIEN	NPE-240	PROPANE	5.1	75	15-150	19,900/199,000	8/13	2" PVC	2" PVC	82 LBS	120/1/60	2	

NOTES: 1. STAINLESS STEEL HEAT EXCHANGER

EXPANSION TANKS SCHEDULE							
SYMBOL	SERVICE	MANUFACTURER	MODEL	TYPE	VOLUME (GALS.)	ACCEPTANCE (GALS.)	REMARKS
ET-1	HOT WATER HEATER	AMTROL	ST-5	DIAPHRAGM	2	0.9	

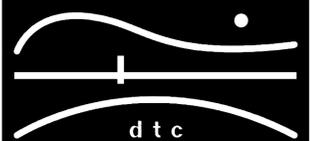
PLUMBING VALVES SCHEDULE																																			
TYPE	VALVE SPECIFICATION						MATERIAL						PRESSURE						LOCATIONS																
	FIG. NO. MILWAUKEE	FIG. NO. HOMESTEAD	SIZE	O.S.&Y.	N.I.R.S.	FLANGED	SCREWED SOLDER	BRASS	BRONZE	I.B.B.M.	ALL IRON	CAST STEEL	HOSE END	175# WWP	200# WWP	250# WWP	300# WWP	400# WWP	500# WWP	600# WWP	900# WWP	GAS	C.W. 4" & UP	C.W. 3" & DN	C.W. 2" & DN	HW HWC 4" & UP	HW HWC 3" & DN	HW HWC 2" & DN	REQ. AT EQUIP	SUMP DISCH.	EJECT. DISCH.	D.W. D.W.C.			
BALL VALVES	BA-100	-	1/4"-2"				●	●																											
	BA-150	-	1/4"-2"				●	●																											
GLOBE & ANGLE VALVES	502	-	1/8"-3"				●	●																											
	1590T	-	3/8"-3"				●	●																											
	595T	-	1/8"-3"				●	●																											
CHECK VALVES	F-2981	-	2"-10"	●																															
	F-2974	-	2"-12"				●	●																											
PLUG VALVES	2974	-	2"-12"				●	●																											
	510T	-	1/4"-2"				●	●																											
	1509	-	3/8"-3"				●	●																											
PLUG VALVES	-	611	1/2"-6"				●	●																											
	-	611	1"-4"				●	●																											
	-	612	1"-8"				●	●																											

MATERIAL SCHEDULE										
SYSTEMS	PIPE	FITTING	JOINTS							
	REQUIRED	C.I.								
	STL. SCHED.40									
	BLACK IRON									
	CALVANIZED									
	C.T. "L"									
	PEX									
	C.I. NO-HUB FITTINGS									
	SOLDER FITTINGS									
	THREADED									
	SOLDERED									
	WELDED									
	NO-HUB (HUSKY # 400)									
SANITARY	●	●	●							
VENTS	●	●	●							
C.W.	●	●	●							
H.W.	●	●	●							
GAS	●	●	●							

PLUMBING FIXTURE/EQUIPMENT SCHEDULE				
SYMBOL	MARK	MFR	MODEL	DESCRIPTION
	BT	KOHLER	STERLING ACCORD	ONE-PIECE RECESS BATH W/ INTEGRAL APRON, W/END DRAIN OUTLET. NOMINAL DIMENSIONS: 60" X 32" X 74". 2" CAST BRASS DRAIN WITH CHROME PLATED STRAINER; 1.5 GPM TEMPTROL SHOWER WITH PRESSURE BALANCING MIXING VALVE, INTEGRAL CHECK STOPS, SHOWER HEAD ANCHOR PLATE AND LEVER HANDLE. SOLID SURFACE, 3 PIECE SHOWER WALL KIT & CURTAIN ROD. COLOR AND MODEL SPECIFIED BY OWNER.
	FIXTURE	SYMMONS	TEMPROL	
	HB	WOODFORD	26 METAL HANDLE	CAST BRASS, CHROME FINISH, LOOSE KEY, ANTI-SIPHON ASSE RATED VACUUM BREAKER, TRIMLINE WALL HYDRANT w/ 1/2" INLET.
	TMV	LAWLER	804	THERMOSTATIC MIXING VALVE- WATER HEATERS, 1-1/2" INLETS, 2" OUTLET.
	WC	KOHLER	K3658-RA-0 HIGHLINE COMFORT HEIGHT	VITREOUS CHINA, FLOOR SET, TANK TYPE WATER CLOSET. ELONGATED BOWL, 1.28 GPF.
	-	RAYCHEM	8XL1	120V, 1 Ø, 60 HZ, 8W/FT WITH A MAXIMUM LENGTH OF 115 FT, MAXIMUM OPERATING TEMP OF 150F.

NOTES:

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WEADY RESIDENCE
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MECHANICAL &
PLUMBING SCHEDULES
& DETAILS

DTC PROJECT NUMBER: 13-449-001
DTC DRAWING FILE:

SCALE: 1/4=1.0 DRAWN BY: RWF
DATE: 8/15/2014 CHECKED BY: RCN

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Aug 20, 2014 - 11:34am
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ELECTRICAL LEGEND

SYMBOL	DESCRIPTION
	RECESSED PANELBOARD
	BRANCH CIRCUIT POWER WIRING
	BRANCH CIRCUIT HOME RUN
	SWITCHED WIRING
	RECEPTACLE OUTLET FOR DRYER
	DUPLEX RECEPTACLE OUTLET
	DUPLEX RECEPTACLE OUTLET WITH GROUND-FAULT CIRCUIT-INTERRUPTER
	DUPLEX RECEPTACLE OUTLET WITH GROUND-FAULT CIRCUIT-INTERRUPTER MOUNTED ABOVE COUNTER
	DUPLEX RECEPTACLE OUTLET WITH GROUND-FAULT CIRCUIT-INTERRUPTER AND IN WEATHERPROOF ENCLOSURE
	DUPLEX RECEPTACLE OUTLET MOUNTED ABOVE COUNTER FOR MICROWAVE OVEN
	DUPLEX RECEPTACLE OUTLET FOR REFRIGERATOR
	DUPLEX RECEPTACLE OUTLET FOR WASHING MACHINE
	CEILING MOUNTED DUPLEX RECEPTACLE WITH GROUND-FAULT CIRCUIT-INTERRUPTER
	WALL MOUNTED JUNCTION BOX
	MOTOR, SEE SCHEDULE ON DWG E-001
	SURFACE MOUNTED LIGHTING FIXTURE
	WALL MOUNTED LIGHTING FIXTURE
	SINGLE POLE SWITCH
	SINGLE POLE SWITCH IN WEATHERPROOF ENCLOSURE
	THREE WAY SWITCH
	THREE WAY SWITCH IN WEATHERPROOF ENCLOSURE
	UTILITY METER
	MULTI-STATION COMBINATION SMOKE/CARBON MONOXIDE DETECTOR
	WALL MOUNTED TELEPHONE OUTLET
	CATV OUTLET

ELECTRICAL ABBREVIATIONS

ABBREVIATIONS	DESCRIPTION
A	AMPERES
AC	ALTERNATING CURRENT (60 HZ)
A/C	AIR CONDITIONING
AHJ	AUTHORITY HAVING JURISDICTION
AFF	ABOVE FINISHED FLOOR
AWG	AMERICAN WIRE GAUGE
C	CONDUIT
CATV	CABLE TV
CU	COPPER
DR	DRYER
DWG	DRAWING
EX	EXISTING TO REMAIN
FLA	FULL LOAD AMPS
GFI	GROUND-FAULT CIRCUIT-INTERRUPTER
HP	HORSEPOWER
J	JUNCTION
KV	KILOVOLT AMPERE
KVA	KILOVOLT AMPERE
M	METER
MC	METAL CLAD
MCA	MINIMUM CIRCUIT AMPACITY
MW	MICROWAVE OVEN
NEC	NATIONAL ELECTRIC CODE
NECA	NATIONAL ELECTRICAL CONTRACTORS ASSOC.
NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSOC.
NM/NM-B	NONMETALLIC SHEATHED
N.T.S.	NOT TO SCALE
OCP	OVERCURRENT PROTECTION
P	POLE
PVC	POLYVINYL CHLORIDE
REF	REFRIGERATOR
TYP	TYPICAL
UL	UNDERWRITER'S LABORATORY
U.O.N.	UNLESS OTHERWISE NOTED
V	VOLTS
VA	VOLT-AMPERES
W	WATTS
WM	WASHING MACHINE
WP	WEATHERPROOF
#	NUMBER
'	FEET
"	INCHES

DRAWING LIST

SHEET	NAME
E-001	ELECTRICAL NOTES, LEGENDS, ABBREVIATIONS, DETAILS & SCHEDULES
E-100	ELECTRICAL GROUND & FIRST FLOOR PLANS
E-200	ELECTRICAL SECOND FLOOR PLAN

- ### ELECTRICAL GENERAL NOTES
- UNLESS OTHERWISE INDICATED, FURNISH AND INSTALL A COMPLETE AND OPERATIONAL ELECTRICAL SYSTEM INCLUDING ALL NECESSARY MATERIAL, LABOR, AND EQUIPMENT.
 - ELECTRICAL PLANS AND DETAILS, AND ONE LINE DIAGRAMS SHOW THE GENERAL LOCATION AND ARRANGEMENT OF THE ELECTRICAL SYSTEM. THEY ARE DIAGRAMMATIC AND DO NOT SHOW ALL CONDUIT BODIES, CONNECTORS, BENDS, FITTINGS, HANGERS, AND ADDITIONAL PULL AND JUNCTION BOXES WHICH THE CONTRACTOR MUST PROVIDE TO COMPLETE THE ELECTRICAL SYSTEM.
 - FURNISH AND INSTALL A TEMPORARY ELECTRICAL SERVICE FOR ELECTRICAL POWER DURING CONSTRUCTION.
 - ALL EQUIPMENT AND MATERIAL SHALL BE LABELED AND LISTED, AND INSTALLED IN ACCORDANCE WITH THEIR LISTING.
 - THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND ARRANGE FOR ALL REQUIRED INSPECTIONS IN ACCORDANCE WITH STATE GOVERNING AUTHORITIES.
 - ALL WORK SHALL BE DONE WITH LICENSED WORKMEN IN ACCORDANCE WITH STATE GOVERNING AUTHORITIES.
 - THE DEFINITION OF ELECTRICAL TERMS USED SHALL BE AS DEFINED IN THE 2011 EDITION OF THE NATIONAL ELECTRIC CODE (NEC).
 - THE TERM "INDICATED" SHALL MEAN "AS SHOWN ON CONTRACT DOCUMENTS (SPECIFICATIONS, DRAWINGS, AND RELATED ATTACHMENTS)".
 - THE TERM "SIZE" SHALL MEAN ONE OR MORE OF THE FOLLOWING: "LENGTH, CURRENT AND VOLTAGE RATING, NUMBER OF POLES, NEMA SIZE, AND OTHER SIMILAR ELECTRICAL CHARACTERISTICS".
 - ELECTRICAL PLANS AND DETAILS DO NOT SHOW ALL INTERFERENCE'S AND CONDITIONS, VISIBLE AND/OR HIDDEN, THAT MAY EXIST; THUS REQUIRING THE CONTRACTOR TO INSPECT AND SURVEY THE SPACE BEFORE PERFORMING THE WORK.
 - COORDINATE ELECTRICAL WORK WITH OWNER.
 - COORDINATE ELECTRICAL WORK WITH OTHER DIVISIONS OF THIS PROJECT.
 - BEFORE SELECTING MATERIAL AND EQUIPMENT, AND PROCEEDING WITH WORK, INSPECT AREAS WHERE MATERIAL AND EQUIPMENT ARE TO BE INSTALLED TO INSURE SUITABILITY, AND CHECK NEEDED SPACE FOR PLACEMENT, CLEARANCES AND INTERCONNECTIONS.
 - BEFORE CUTTING OR DRILLING INTO BUILDING ELEMENTS INSPECT AND LAYOUT WORK TO AVOID DAMAGING STRUCTURAL ELEMENTS AND BUILDING UTILITIES.
 - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE (NEC) ANSI/NFPA 70 2011 EDITION.
 - TYPICAL MOUNTING HEIGHTS OF DEVICES SHALL COMPLY NECA 1-2010.
 - PENETRATIONS THROUGH GROUND SLAB SHALL BE SEALED WITH POLYURETHANE SEALANT TYPICAL FOR ALL PENETRATIONS.
 - FURNISH AND INSTALL MEANS OF DISCONNECTION FOR ALL MOTORIZED EQUIPMENT AND APPLIANCES IN ACCORDANCE WITH NEC.

MOTOR CIRCUIT SCHEDULE

EQUIPMENT	SOURCE PANEL	OCP DEVICE	BRANCH CIRCUIT	DISC SW	STARTER	LOAD					REMARKS
						HP/KW	FLA	MCA	PH	VOLT	
CU-1	1,3,RP	40A-2P	2#10, #10G, 3/4" C.	40A-2P	DIV. 23			28.4A	1	230V	1,3,4
HWH-1	1,RPG	15A-1P	2#14, #14G	STOL	DIV. 23			2A	1	120V	2,3,4,5

- NOTES:**
- REFER TO SPECIFICATIONS FOR STANDARD FEATURES. DISCONNECT SWITCHES SHALL BE HEAVY DUTY TYPE AND NEMA 4X RATED.
 - PROVIDE STOL - THERMAL OVERLOAD SWITCH. STOL SHALL BE NEMA 1 RATED.
 - OVERCURRENT PROTECTIVE DEVICE SHALL BE MOLDED CASE CIRCUIT BREAKER U.O.N.
 - REFER TO ELECTRICAL AND MECHANICAL PLANS FOR EQUIPMENT LOCATIONS. STARTERS AND DISCONNECTS BY DIV 26 U.O.N.
 - UNIT SHALL BE WIRED WITH NM CABLE (ROMEX)

FEEDER SCHEDULE

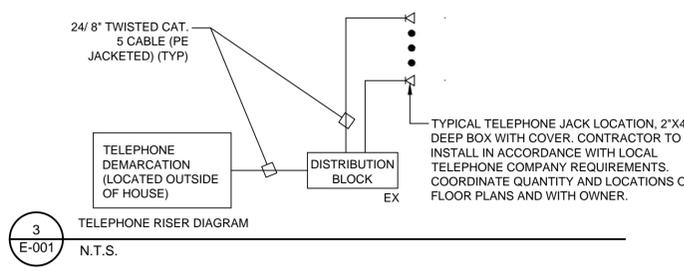
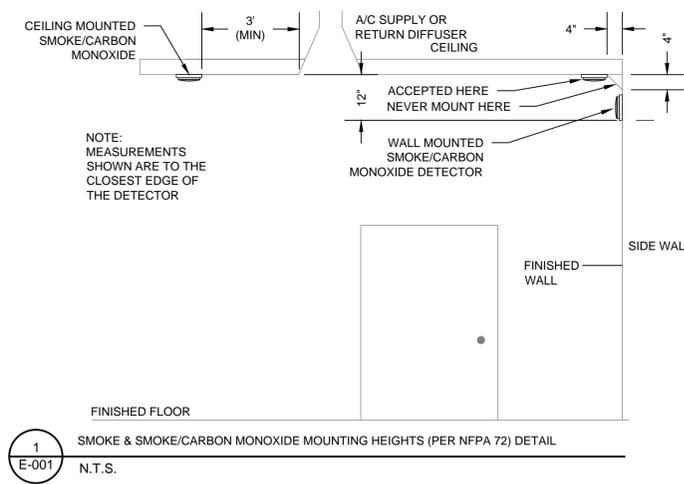
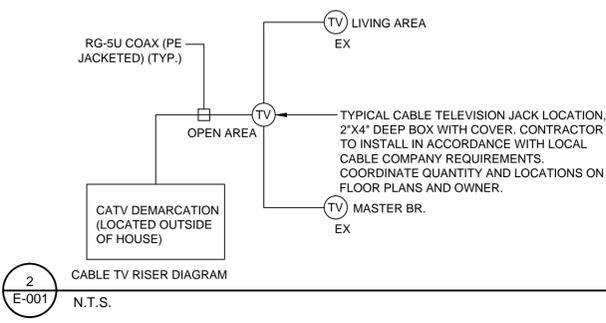
INDOOR BRANCH CIRCUITS	CIRCUIT OR OVERCURRENT RATING 2 POLE	OUTDOOR BRANCH CIRCUITS	CIRCUIT OR OVERCURRENT RATING 2 POLE	SIZE CONDUIT
2#14&1#14G.	15A	2#12&1#12G.	15A	3/4"
2#12&1#12G.	20A	2#12&1#12G.	20A	3/4"
2#10&1#10G.	30A	2#10&1#10G.	30A	3/4"
2#8&1#10G.	40A	2#8&1#10G.	40A	3/4"
2#6&1#10G.	50A	2#6&1#10G.	50A	1"
SERVICE		3#1&1#6G.	100A	1-1/2"

- NOTES:**
- ALL BRANCH CIRCUIT USED INDOORS SHALL BE WIRED WITH NONMETALLIC SHEATHED CABLE (ROMEX), U.O.N.
 - ALL EQUIPMENT AND DEVICES LOCATED OUTDOORS SHALL BE CIRCUITED WITH CONDUIT AND WIRING.

LIGHT FIXTURE SCHEDULE

TYPE	BASE OF DESIGN	DESCRIPTION	VOLTAGE	LAMPS	REMARKS
A	COLUMBIA LIGHTING LXEM-4-35ML-RFA-EU	SURFACE MOUNTED LIGHTING FIXTURE, WET LOCATION LISTED, ENERGY STAR RATED AND RESISTANT TO SALT SPARY	120V	53W LED DRIVER	1,2,3,4
B	EFFICIENT LIGHTING EL-158	EXTERIOR WALL MOUNTED LIGHTING FIXTURE WITH FULL CUT OFF, WET LOCATION LISTED, ENERGY STAR RATED, CONTROLLED BY INTEGRAL OCCUPANCY SENSOR AND RESISTANT TO SALT SPRAY	120V	23W	1,2,3,4

- NOTES:**
- ALL NECESSARY MOUNTING HARDWARE, HANGERS, BRACKETS, STEMS, CHAINS, ETC. SHALL BE PROVIDED.
 - REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING HEIGHTS, ARRANGEMENTS, EXACT LOCATIONS, CEILING HEIGHTS, ETC. ALL COLORS AND FINISHES SHALL BE VERIFIED BY THE ARCHITECT.
 - FIXTURES SHALL BE SEISMICALLY SUPPORTED AS REQUIRED BY THE CONNECTICUT STATE BUILDING CODE.
 - FIXTURES SHOWN ARE FOR BASIS OF DESIGN ONLY. CONTRACTOR SHALL MEET THE CRITERIA OF THE FIXTURES SHOWN IN THE DESCRIPTIONS ABOVE.



NOTES:

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OORR
APPLICATION NO. 1690

WEADY RESIDENCE
116 SEASIDE AVENUE
GUILFORD, CT

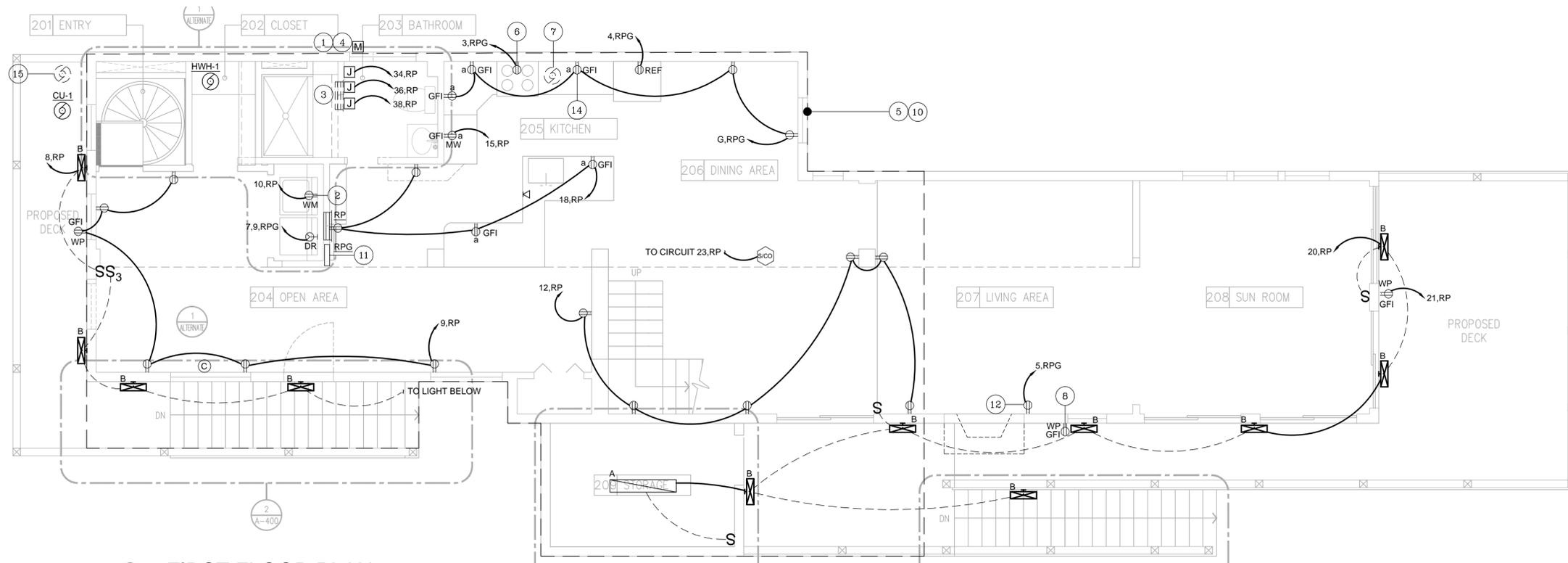
ELECTRICAL NOTES, LEGENDS, ABBREVIATIONS, DETAILS & SCHEDULES

DTC PROJECT NUMBER: 13-449-001

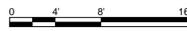
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DATE: 8/15/2014	CHECKED BY: JP

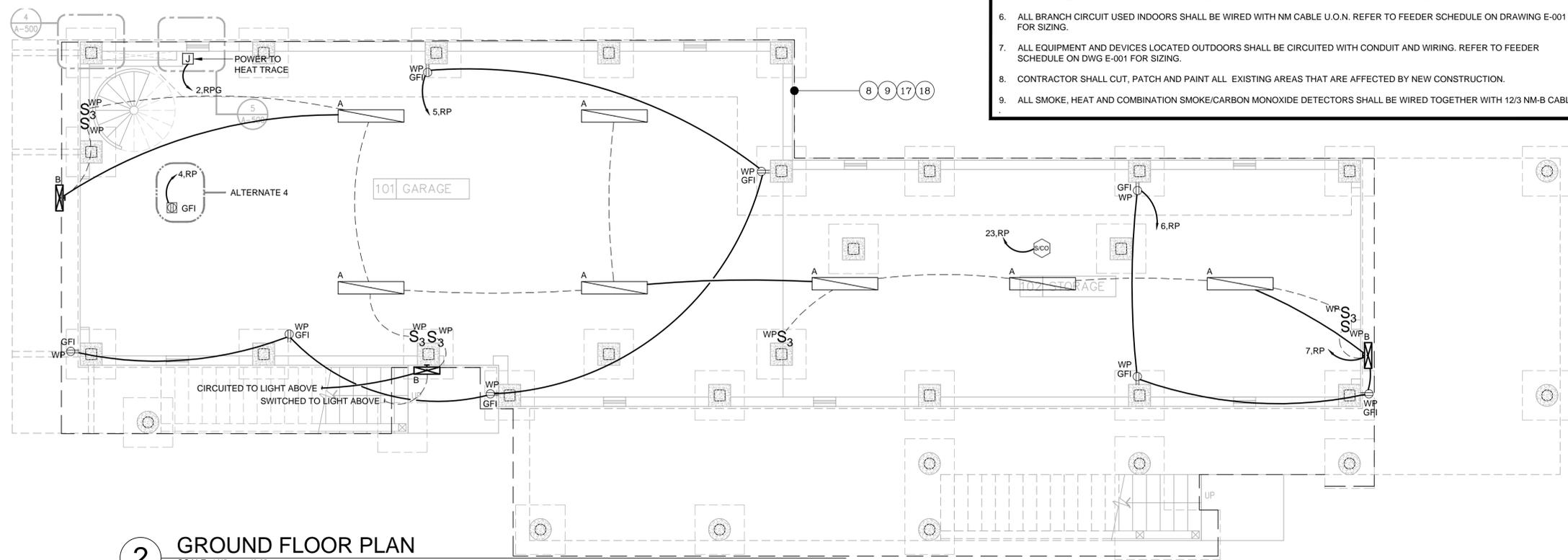
E-001



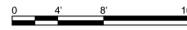
1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



- ### GENERAL NOTES
1. ALL CIRCUITS ON THIS DRAWING SHALL BE SIZED 2#12 , #12G AND SHALL BE CONNECTED TO NEW 20A-1P CIRCUIT BREAKER IN SOURCE PANEL, U.O.N.
 2. ALL 120VAC BRANCH CIRCUITS EXCEEDING 100' IN LENGTH SHALL BE INCREASED TO 2#10, #10G UNLESS OTHERWISE NOTED.
 3. REFER TO DWG E-001 FOR SYMBOL LEGEND, ABBREVIATIONS, MOTOR CIRCUIT SCHEDULE AND LIGHTING SCHEDULE.
 4. REFER TO DWG E-200 FOR ELECTRICAL KEY NOTES (#) WIRING SCHEDULE AND PANEL SCHEDULE.
 5. IF 2011 NEC REQUIRED GROUNDING IS NOT PRESENT ON EXISTING OUTLETS TO BE REPLACED, THE REPLACEMENT OUTLETS SHALL BE GFI TYPE, OR PROPER GROUNDING SHALL BE PROVIDED VIA ANOTHER METHOD ACCEPTABLE TO AHJ.
 6. ALL BRANCH CIRCUIT USED INDOORS SHALL BE WIRED WITH NM CABLE U.O.N. REFER TO FEEDER SCHEDULE ON DRAWING E-001 FOR SIZING.
 7. ALL EQUIPMENT AND DEVICES LOCATED OUTDOORS SHALL BE CIRCUITED WITH CONDUIT AND WIRING. REFER TO FEEDER SCHEDULE ON DWG E-001 FOR SIZING.
 8. CONTRACTOR SHALL CUT, PATCH AND PAINT ALL EXISTING AREAS THAT ARE AFFECTED BY NEW CONSTRUCTION.
 9. ALL SMOKE, HEAT AND COMBINATION SMOKE/CARBON MONOXIDE DETECTORS SHALL BE WIRED TOGETHER WITH 12/3 NM-B CABLE.

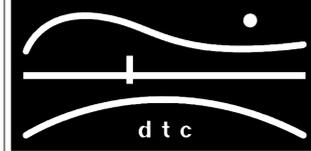


2 GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"



NOTES:

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OORR
APPLICATION NO. 1690

WEADY RESIDENCE
116 SEASIDE AVENUE
GUILFORD, CT

ELECTRICAL
GROUND & FIRST
FLOOR PLAN

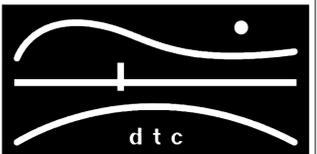
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SHEET:
E-100

Aug 20, 2014 - 1:51pm
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 reid@mcgrm.com

NOTES:

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APPLICATION NO. 1690

WEADY RESIDENCE
116 SEASIDE AVENUE
GUILFORD, CT

ELECTRICAL
SECOND
FLOOR PLAN

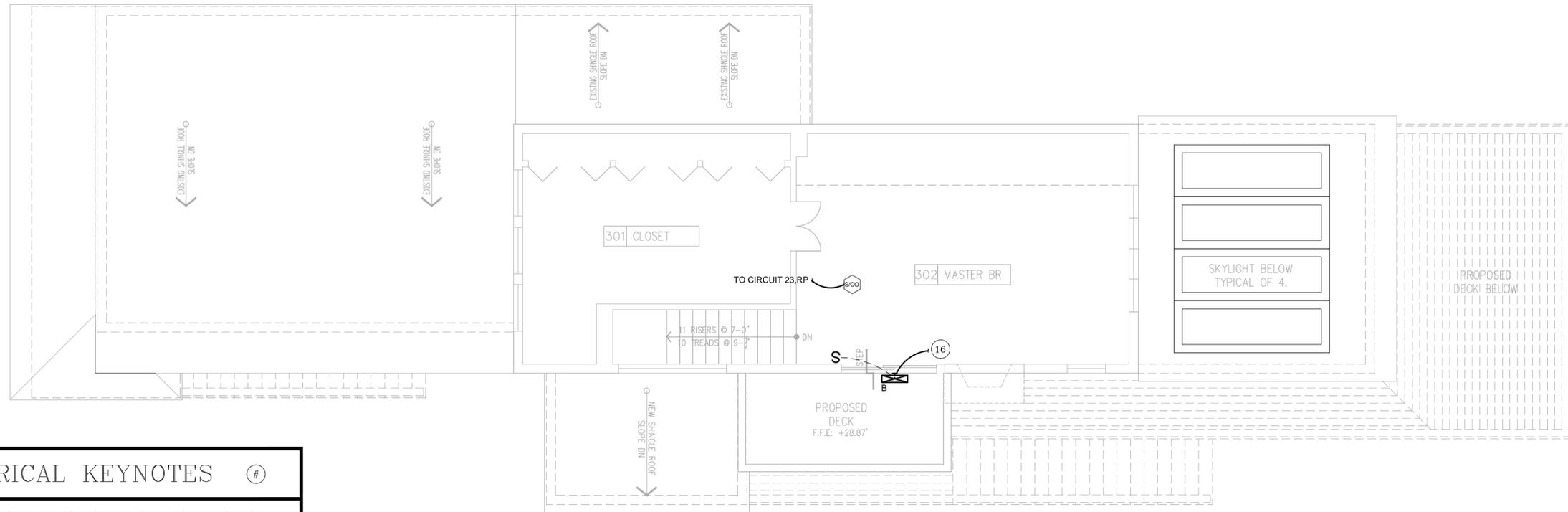
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DTC DRAWING FILE:

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DATE: 8/15/2014 CHECKED BY: JP

SHEET:

E-200



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



ELECTRICAL KEYNOTES

- DISCONNECT, CUT TO PROPER LENGTH AND RE-CONNECT TELEPHONE AND CABLE TV SERVICE ENTRANCE WIRING TO ACCOMMODATE LIFTING OF HOUSE. EQUIPMENT SHALL BE ABOVE THE 500 YEAR FLOOD PLANE. COORDINATE ALL WORK, INCLUDING SERVICE ENTRANCE EQUIPMENT MOUNTING HEIGHTS WITH ASSOCIATED UTILITY COMPANIES.
- PROVIDE NEW 100A, 240/120V ELECTRICAL PANEL. PANEL SHALL INCLUDE CIRCUIT BREAKER SIZES AND QUANTITIES TO MATCH EXISTING, PLUS ANY NEW BREAKERS CALLED OUT ON THE CONTRACT DOCUMENTS. IN ADDITION, PROVIDE EXTRA CIRCUIT BREAKERS AS REQUIRED TO REMEDY EXISTING NON-CODE COMPLIANT DOUBLE-TAPPED BREAKERS. PROVIDE NEW SERVICE GROUNDING ELECTRODE CONDUCTORS AND CONNECTIONS PER NEC ARTICLE 250.
- EXISTING PANELBOARD TO BE REMOVED. EXISTING CIRCUITING NOT EFFECT BY CONSTRUCTION SHALL BE SPLICED IN WALL MOUNTED JUNCTION BOXES AND EXTENDED TO PANELBOARD 'RP'. EXTEND CONDUIT, WIRING AND CABLING AS REQUIRED TO MATCH EXISTING. REFER TO FEEDER SCHEDULE ON DWG E-001 FOR SIZING.
- DISCONNECT, CUT TO PROPER LENGTH AND RE-CONNECT SERVICE ENTRANCE THROUGH WEATHERHEAD TO METER TO ACCOMMODATE LIFTING OF HOUSE. EQUIPMENT SHALL BE ABOVE THE 500 YEAR FLOOD PLANE. COORDINATE ALL WORK, INCLUDING CONFIRMING PROPER MOUNTING HEIGHT OF METER, WITH THE UTILITY COMPANY. PROVIDE NEW 100 AMP RATED SERVICE ENTRANCE WIRING FROM METER TO NEW PANEL LOCATION.
- REMOVE ALL EXISTING RECEPTACLES AND THEIR ASSOCIATED BOXES AND WIRING IN THIS AREA THAT ARE CURRENTLY MOUNTED AT OR BELOW 24" ABOVE THE FLOOR OF THE FIRST LEVEL, DUE TO SUBMERSION IN SALTWATER. PROVIDE NEW OUTLETS AND CIRCUITING AS SHOWN.
- PROVIDE NEMA 5-20R RECEPTACLE FOR NEW GAS RANGE.
- REMOVE EXISTING WATER HEATER. REMOVE ALL STARTERS, DISCONNECTS AND ASSOCIATED WIRING FOR THE EQUIPMENT.
- REPLACE ALL EXISTING EXTERIOR RECEPTACLES WITH NEW GFI, WEATHERPROOF RECEPTACLES AND BOXES. REPLACE WIRING BACK TO NEAREST ADJACENT DEVICE ABOVE THE ELEVATION AT WHICH FLOODING OCCURRED.
- REPLACE ALL EXISTING WIRING IN CRAWLSPACE BENEATH FIRST LEVEL DUE TO IMMERSION IN SALTWATER. NEW WIRING SIZE AND QUANTITY TO MATCH EXISTING.
- REPLACE ALL EXISTING WIRING AND BOXES IN THIS AREA THAT ARE CURRENTLY MOUNTED AT OR BELOW 24" ABOVE THE FLOOR OF THE FIRST LEVEL (AND THAT WERE NOT REPLACED UNDER KEYNOTE 5), DUE TO SUBMERSION IN SALTWATER. WIRE AND BOX SIZES AND QUANTITIES TO MATCH EXISTING.
- LOCATION OF TRANSFER SWITCH AND LOAD CENTER.
- POWER TO BLOWER FOR FUTURE FIREPLACE.
- PROVIDE NEMA 10-30R RECEPTACLE FOR DRYER.
- REPLACE EXISTING EXTERIOR RECEPTACLE WITH NEW GFI RECEPTACLE AND REWIRE AS SHOWN.
- REMOVE EXISTING FURNACE CONDENSING UNIT. REMOVE ALL STARTERS, DISCONNECTS AND ASSOCIATED WIRING FOR THE EQUIPMENT.
- WIRE LIGHTING FIXTURE TO NEAREST ADJACENT EXTERIOR LIGHTING FIXTURE.
- PVC CONDUIT AND WIRING SHALL BE USED FOR ALL DEVICES IN LOCATED IN THE BASEMENT.
- WALL MOUNTED RECEPTACLES SHALL BE MOUNTED 44" AFF.

GENERAL NOTES

- ALL CIRCUITS ON THIS DRAWING SHALL BE SIZED #12, #12G AND SHALL BE CONNECTED TO NEW 20A-1P CIRCUIT BREAKER IN SOURCE PANEL, U.O.N.
- ALL 120VAC BRANCH CIRCUITS EXCEEDING 100' IN LENGTH SHALL BE INCREASED TO #10, #10G UNLESS OTHERWISE NOTED.
- REFER TO DWG E-001 FOR SYMBOL LEGEND, ABBREVIATIONS, MOTOR CIRCUIT SCHEDULE AND LIGHTING SCHEDULE.
- REFER TO DWG E-200 FOR ELECTRICAL KEY NOTES (Ⓢ) WIRING SCHEDULE AND PANEL SCHEDULE.
- REFER TO DWG E-300 FOR DETAILS.
- IF 2011 NEC REQUIRED GROUNDING IS NOT PRESENT ON EXISTING OUTLETS TO BE REPLACED, THE REPLACEMENT OUTLETS SHALL BE GFI TYPE, OR PROPER GROUNDING SHALL BE PROVIDED VIA ANOTHER METHOD ACCEPTABLE TO AHJ.
- ALL BRANCH CIRCUIT USED INDOORS SHALL BE WIRED WITH NM CABLE, U.O.N. REFER TO FEEDER SCHEDULE ON DRAWING E-001 FOR SIZING.
- ALL EQUIPMENT AND DEVICES LOCATED OUTDOORS SHALL BE CIRCUITED WITH CONDUIT AND WIRING, U.O.N. REFER TO FEEDER SCHEDULE ON DWG E-001 FOR SIZING.
- CONTRACTOR SHALL CUT, PATCH AND PAINT ALL EXISTING AREAS THAT ARE AFFECTED BY NEW CONSTRUCTION.
- ALL SMOKE, HEAT AND COMBINATION SMOKE/CARBON MONOXIDE DETECTORS SHALL BE WIRED TOGETHER WITH 12/3 NM-B CABLE.

PANELBOARD RP

CLASS: ● Lighting ○ Distribution
BUS SIZE 100A
VOLTAGE CLASS: 240/120V, 1 Ø .3W
SCR (FULLY RATED) 22 KAIC

S/RATING NO MOUNTING RECESSED
CB TYPE 100A
FEEDER ENTRANCE TOP
LOCATION KITCHEN

BREAKER #	A	P	DESCRIPTION	PHASE LOAD - KVA				DESCRIPTION	A	P	#
				LOAD	A	B	LOAD				
1	40	2	CJ-1	3.27	3.27	-	-	SPARE	15	1	2
3	-	-	-	3.27	-	3.45	0.18	DOOR OPENER (ALT 4)	20	1	4
5	20	1	GARAGE RECEPTACLES	0.90	1.44	-	0.54	STORAGE RECEPTACLES	20	1	6
7	20	1	GARAGE/STORAGE LIGHTING	0.37	-	0.49	0.12	EXTERIOR LIGHTING	20	1	8
9	20	1	OPEN AREA RECEPTACLES	1.08	2.58	-	1.50	WASHING MACHINE	20	1	10
11	30	2	SPARE	-	-	1.08	1.08	DINNING RECEPTACLES	20	1	12
13	-	-	-	-	-	-	-	SPARE	20	1	14
15	20	1	MICROWAVE OVEN	1.50	-	1.50	-	SPARE	15	1	16
17	20	1	SPARE	-	0.72	-	0.72	KITCHEN RECEPTACLES	20	1	18
19	15	1	SPARE	-	-	0.21	0.21	EXTERIOR LIGHTING	20	1	20
21	20	1	EXTERIOR RECEPTACLE	0.18	0.18	-	-	TRANSFER SWITCH	50	2	22
23	20	1	SMOKE DETECTORS	0.54	-	0.54	-	-	-	-	24
25	15	2	EXIST. LOAD	-	-	-	-	EXIST. LOAD	40	2	26
27	-	-	-	-	-	-	-	-	-	-	28
29	20	2	EXIST. LOAD	-	-	-	-	EXIST. LOAD	30	2	30
31	-	-	-	-	-	-	-	-	-	-	32
33	20	2	EXIST. LOAD	-	-	-	-	EXIST. LOAD	20	1	34
35	-	-	-	-	-	-	-	EXIST. LOAD	20	1	36
37	20	1	SPARE	-	-	-	-	EXIST. LOAD	20	1	38
39	20	1	SPARE	-	-	-	-	SPARE	20	1	40
41	20	1	SPARE	-	-	-	-	SPARE	20	1	42
TOTAL LOAD PER PHASE:				8.2	7.3	-	-				
TOTAL LOAD ON PANEL:				15.45	KVA						

NOTE
1. ALL EXISTING BEDROOM CIRCUITS SHALL BE WIRED TO NEW AFCI CIRCUIT BREAKERS.

PANELBOARD RPG

CLASS: ● Lighting ○ Distribution
BUS SIZE 50A
VOLTAGE CLASS: 240/120V, 1 Ø .3W
SCR (FULLY RATED) 22 KAIC

S/RATING NO MOUNTING RECESSED
CB TYPE 50A
FEEDER ENTRANCE TOP
LOCATION KITCHEN

BREAKER #	A	P	DESCRIPTION	PHASE LOAD - KVA				DESCRIPTION	A	P	#
				LOAD	A	B	LOAD				
1	15	1	HWH-1	0.24	0.42	-	0.18	HEAT TRACE	20	1	2
3	15	1	RANGE	0.18	-	1.38	1.20	REFRIGERATOR	20	1	4
5	15	1	FUTURE BLOWER	0.18	0.90	-	0.72	KITCHEN RECEPTACLES	20	1	6
7	30	2	DRYER	2.00	-	2.00	-	EXISTING LOAD	20	2	8
9	-	-	-	2.00	2.00	-	-	-	-	-	10
TOTAL LOAD PER PHASE:				3.3	3.4	-	-				
TOTAL LOAD ON PANEL:				6.70	KVA						