

# QUISENBERRY ARCHITECTS, LLC

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REHABILITATION / RECONSTRUCTION WORK FOR:

## THE FORRAS RESIDENCE

APPLICANT #1676

ISSUE DATE: NOVEMBER 21, 2014

504 BARRACK HILL RD.

RIDGEFIELD, CT

### LIST OF DRAWINGS

COVER

G1.1 GENERAL NOTES

A1.1 FLOOR PLANS

A2.1 EXTERIOR ELEVATIONS

A3.1 WINDOW DETAILS, PLANS & ELEVATIONS

COMMUNITY DEVELOPMENT BLOCK GRANT

DISASTER RECOVERY PROGRAM (CDBG-DR)

OWNER OCCUPIED REHABILITATION

& REBUILDING PROGRAM (OORR)

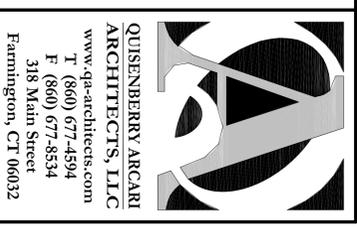
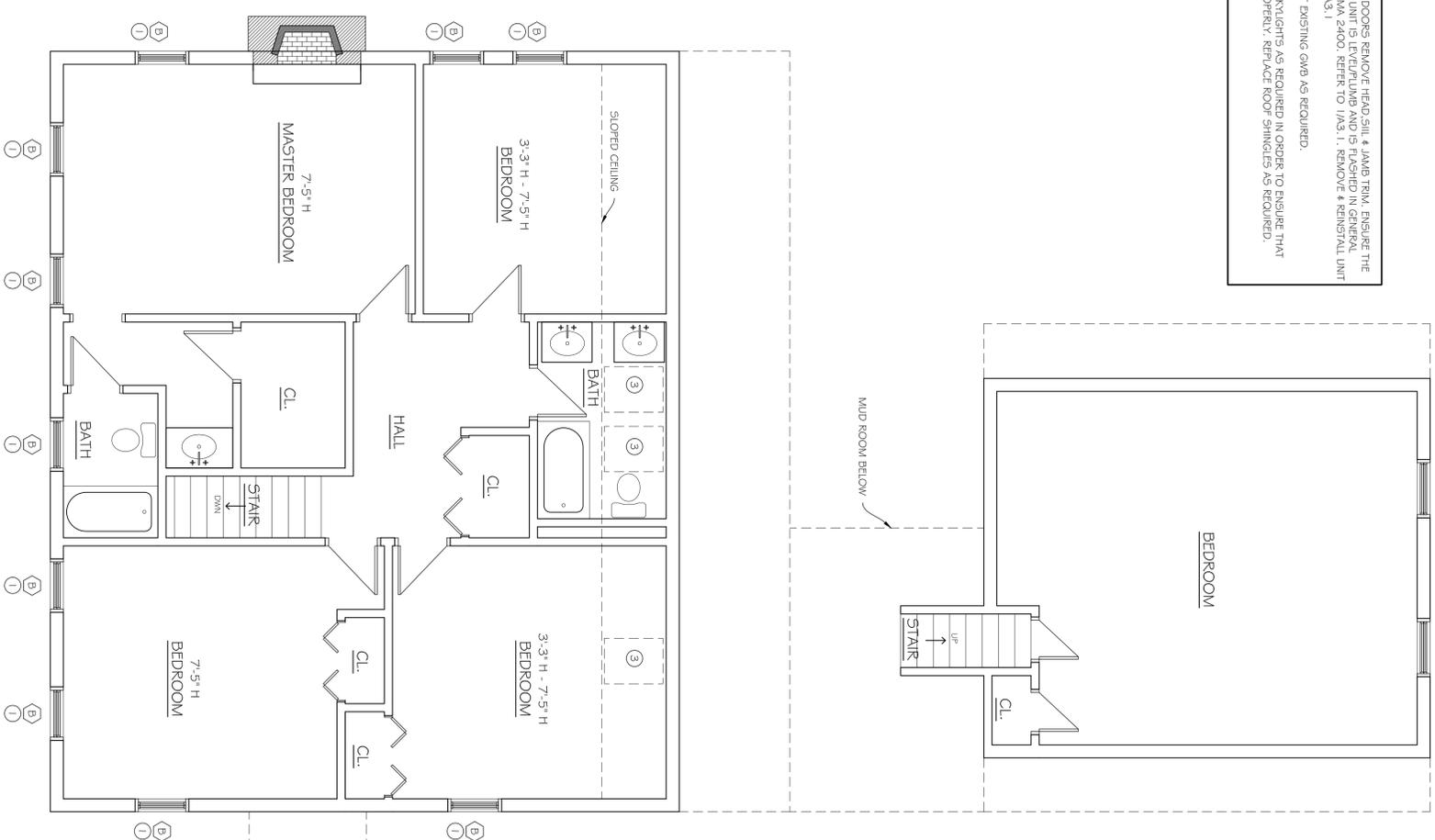
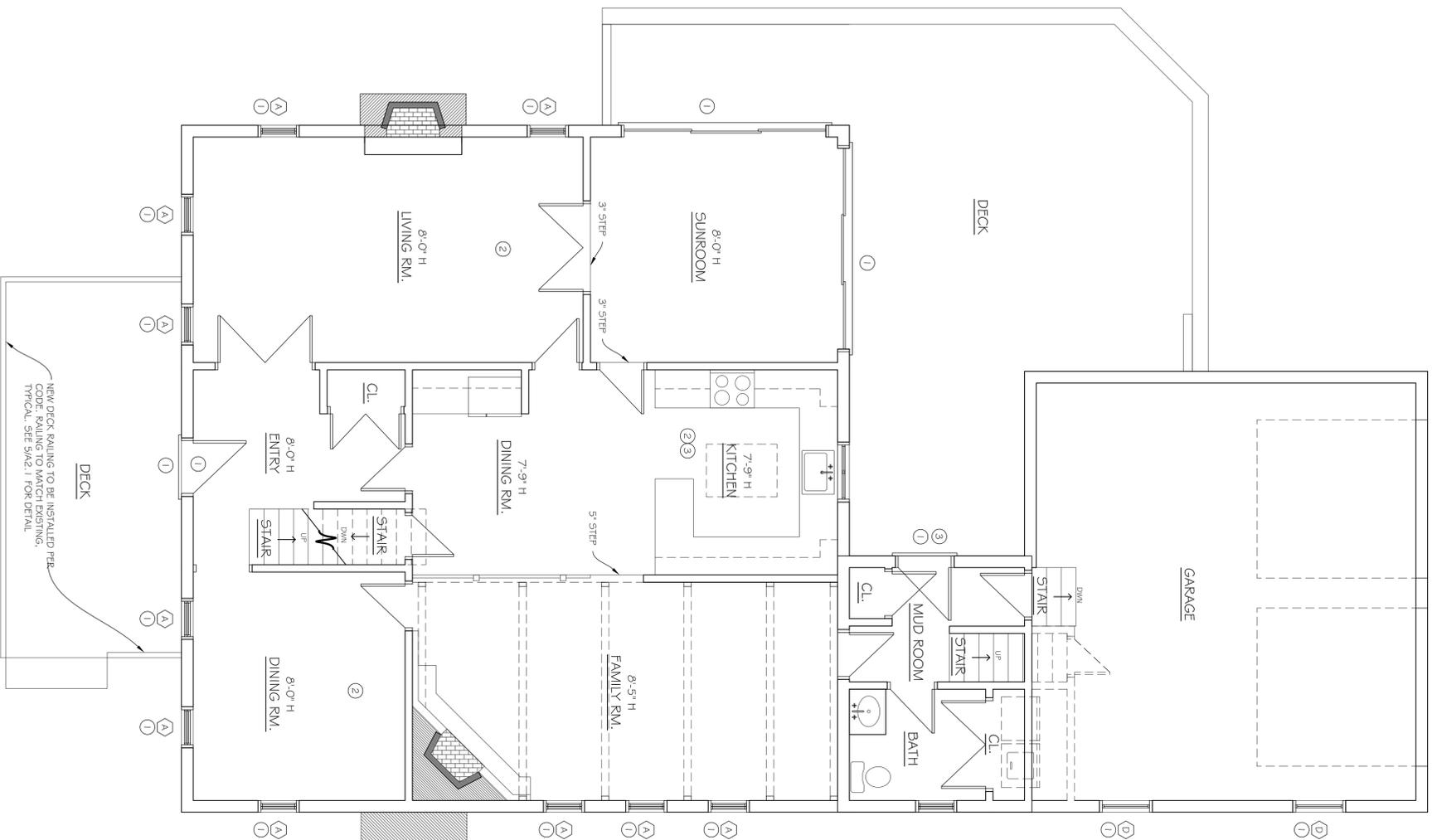
SPONSORED IN CONJUNCTION WITH FUNDING FROM  
THE CONNECTICUT DEPARTMENT OF HOUSING

LOCATION MAP





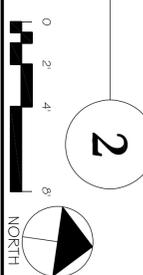
- KEY NOTES**
- ON ALL WINDOWS & DOORS REMOVE HEAD SILL & JAMB TRIM. ENSURE THE EXISTING INSTALLED UNIT IS LEVEL/PLUMB AND IS FLASHED IN GENERAL ACCORDANCE WITH WAMA 2400. REFER TO 1/A3.1. REMOVE & REINSTALL UNIT AS REQUIRED. SEE A3.1
  - REPAIR AND REPAINT EXISTING GWB AS REQUIRED.
  - REMOVE EXISTING SKYLIGHTS AS REQUIRED IN ORDER TO ENSURE THAT THEY FLASHED PROPERLY. REPLACE ROOF SHINGLES AS REQUIRED.



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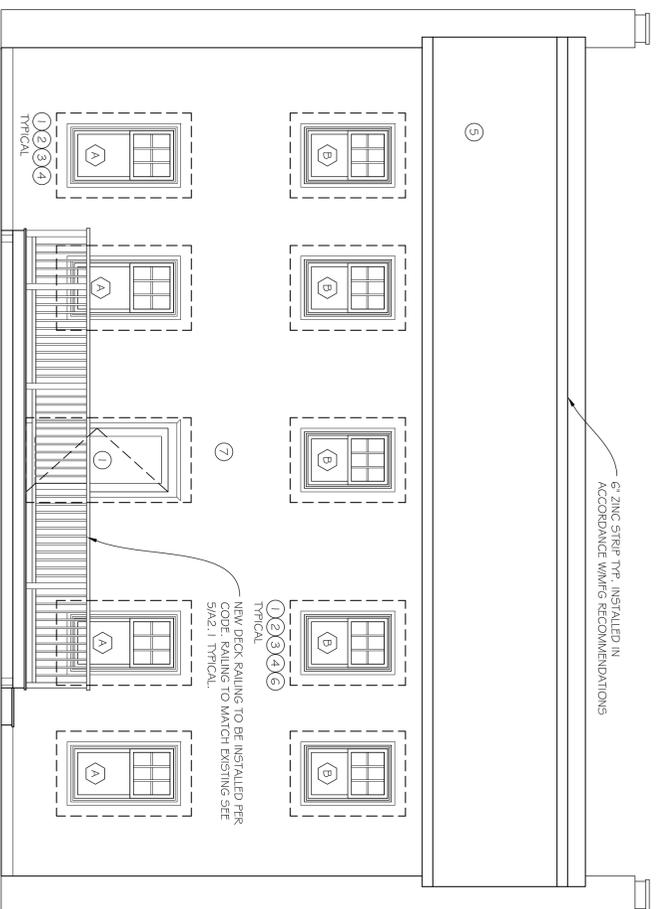
Sheet Description:  
FIRST & SECOND FLOOR PLAN  
Issue Dates:  
NOVEMBER 21, 2014  
Project #:  
QA 1346-40  
Drawn By:  
JcB  
Scale:  
1/4" = 1'-0"

Sheet #:  
**A1.1**



**1**

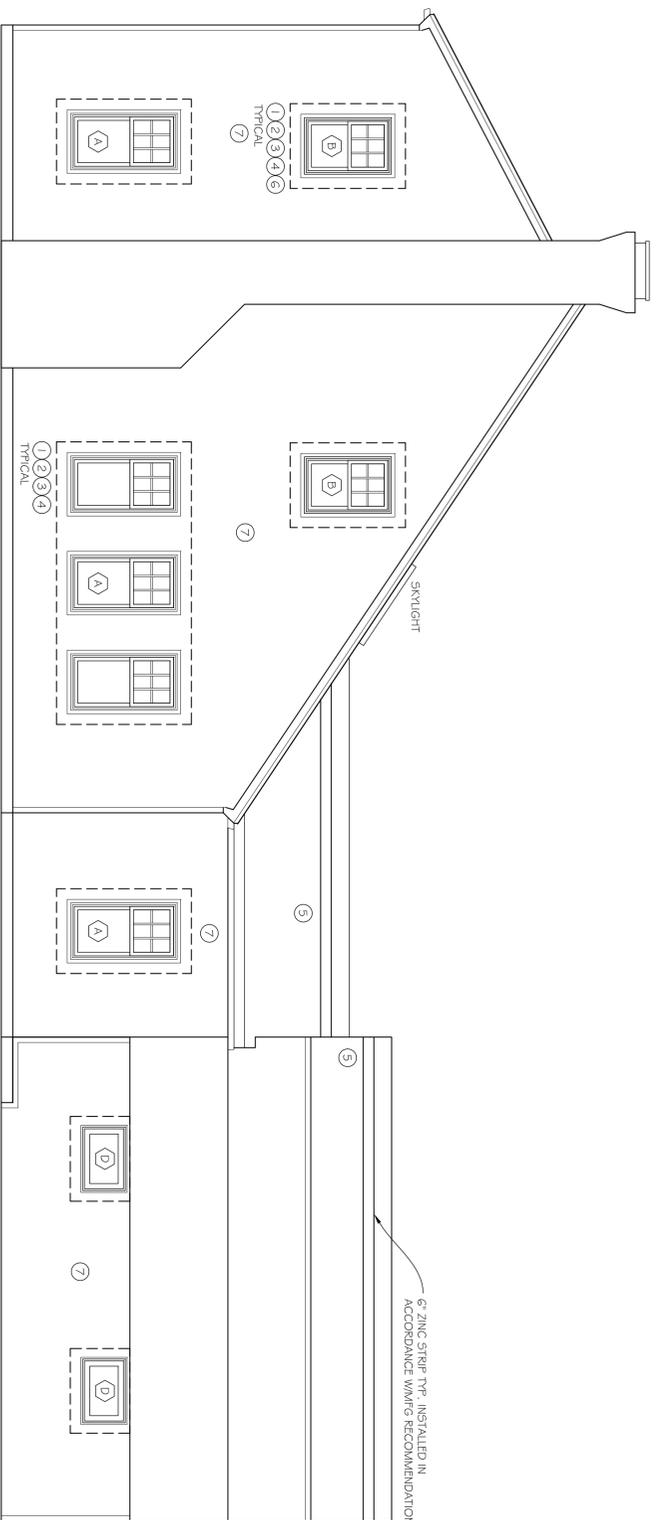
**2**



### SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

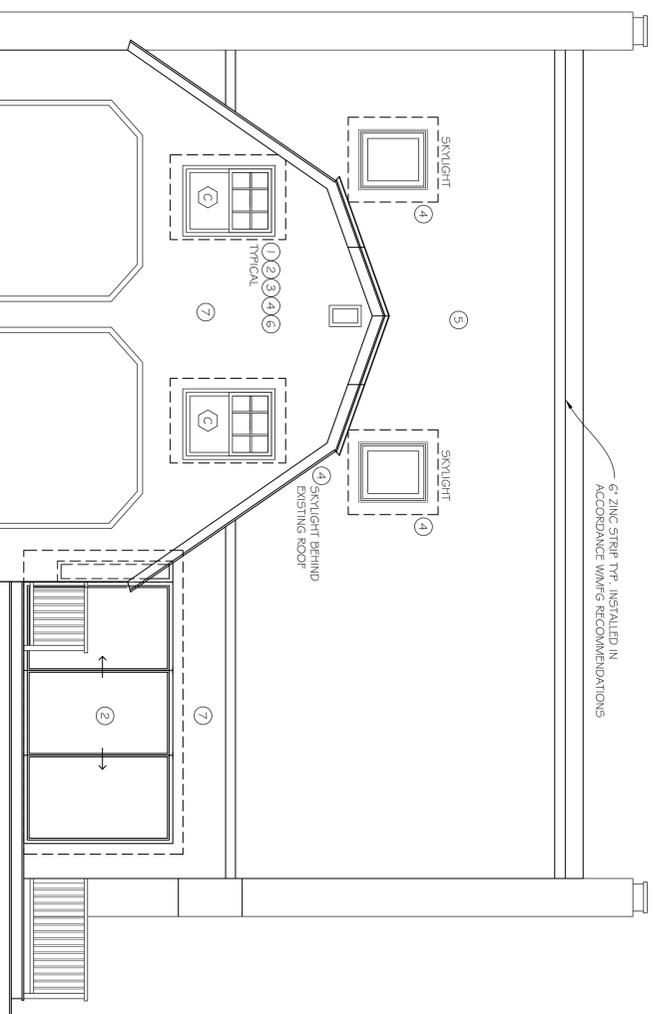
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### EAST ELEVATION

SCALE: 1/4" = 1'-0"

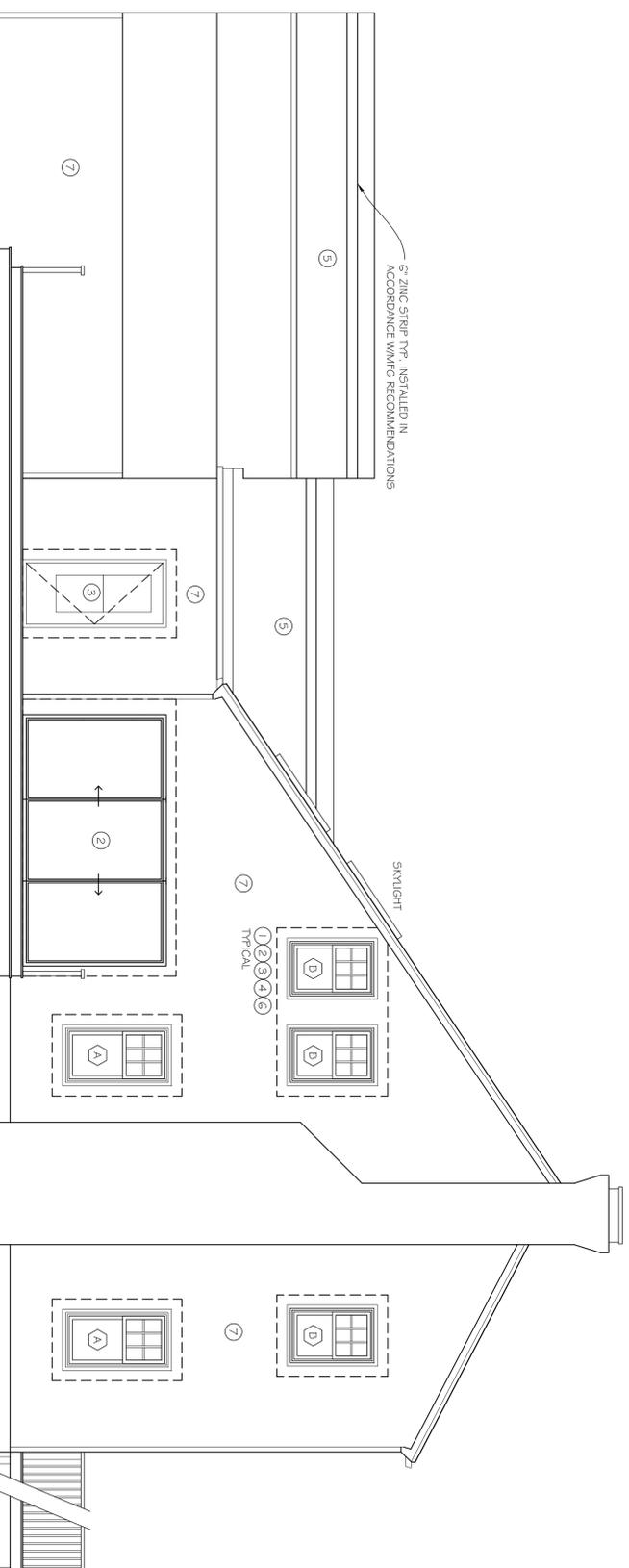
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### NORTH ELEVATION

SCALE: 1/4" = 1'-0"

3



### WEST ELEVATION

SCALE: 1/4" = 1'-0"

4



### DECK RAIL DETAIL

N.T.S.

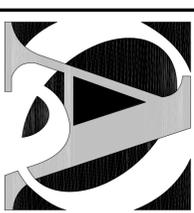
5

- FTD, P.T. 2x6 CAP
- FTD, P.T. 4x4 POST
- FTD, P.T. 1-1/2" x 1-1/2" PICKET
- FTD, P.T. 2x6

NOTE:  
ENSURE RAILING MEETS ALL APPLICABLE CODES

#### KEY NOTES

- 1 REMOVE EXISTING WINDOW UNIT AS REQUIRED. PREPARE OPENING TO RECEIVE NEW FLASHING, TRIM AND EXISTING WINDOW TO BE REINSTALLED. SEE DETAILS.
- 2 GENERAL CONTRACTOR TO PATCH, REPAIR & REPAINT ADJACENT EXTERIOR/INTERIOR FINISHES DISTURBED BY WORK AS REQUIRED
- 3 INSULATE AROUND FULL PERIMETER OF WINDOW UNIT WITH MINIMAL EXPANDING FOAM INSULATION
- 4 EXISTING SKYLIGHTS TO BE REMOVED IN A MANNER TO BE REUSED, AND NEW FLASHING TO BE INSTALLED. REUSE OR REPLACE ANY SHINGLES AS NECESSARY.
- 5 DO NOT POWER WASH THE ROOF. CAREFULLY REMOVE ANY VEGETATION OR ANY OTHER GROWTH FROM THE ROOF WITHOUT CAUSING DAMAGE TO THE SHINGLES. CAREFULLY WASH THE AREA WITH SOLUTION (EX. 50% MIXTURE OF WATER & BLEACH). ENSURE ALL PLANTS AT GRADE LEVEL ARE PROTECTED AND/OR ARE RINSED WITH WATER AS THE ROOF IS BEING RINSED. INSTALL 6" CONTINUOUS ZINC STRIPS @ ONE COURSE BELOW THE RIDGE CAP TO REMOVE ANY STAINS.
- 6 SEE FINISHES/G.I. PAINTING REQUIREMENTS
- 7 PREPARE AND PAINT HOUSE, REPAIR OR REPLACE ANY SIDING AS NEEDED. TYPICAL.



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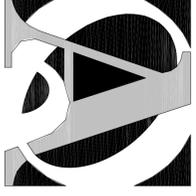
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Sheet Description:  
 EXTERIOR ELEVATIONS

Issue Dates:  
 NOVEMBER 21, 2014

Project #: QA 1346-40  
 Drawn By: JcB

Sheet #: A2.1



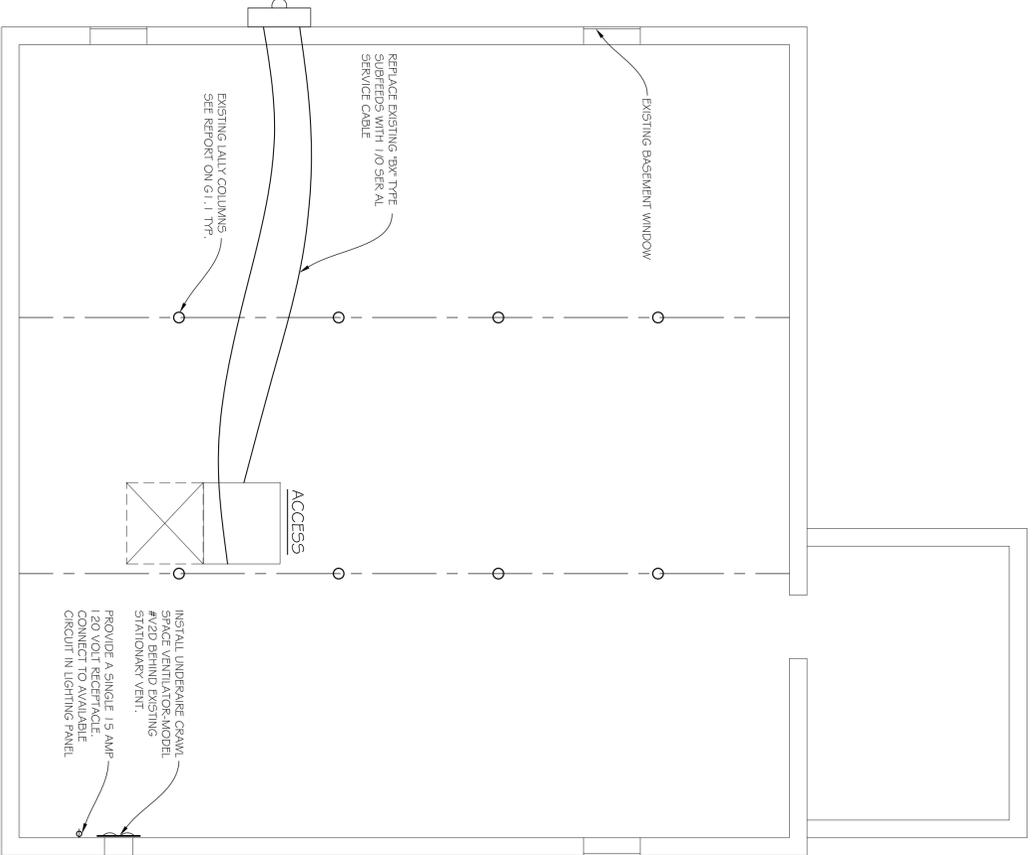
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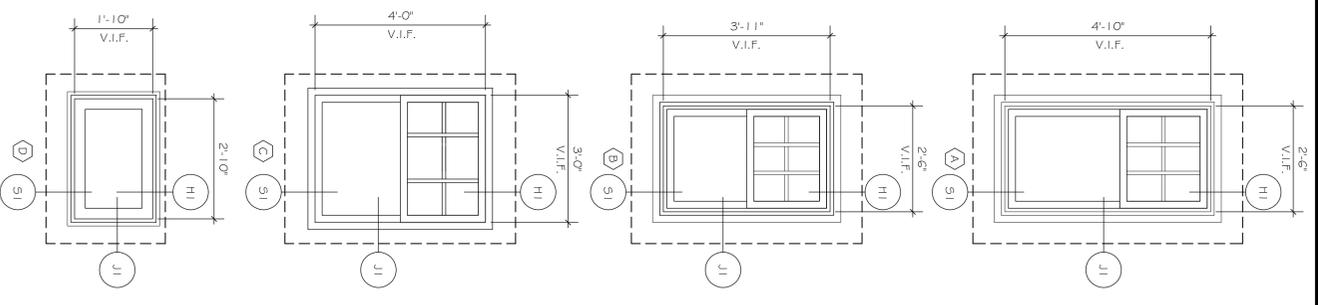
**WINDOW DETAILS,**  
**PLANS**  
**&**  
**ELEVATIONS**

Issue Dates:	NOVEMBER 21, 2014
Project #:	QA 1346-40
Drawn By:	JcB
as noted	

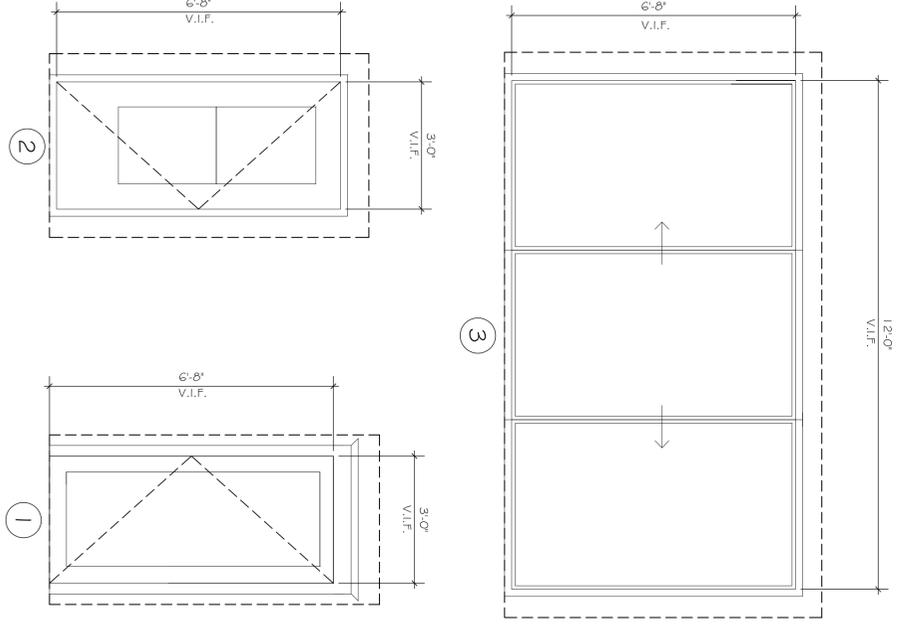
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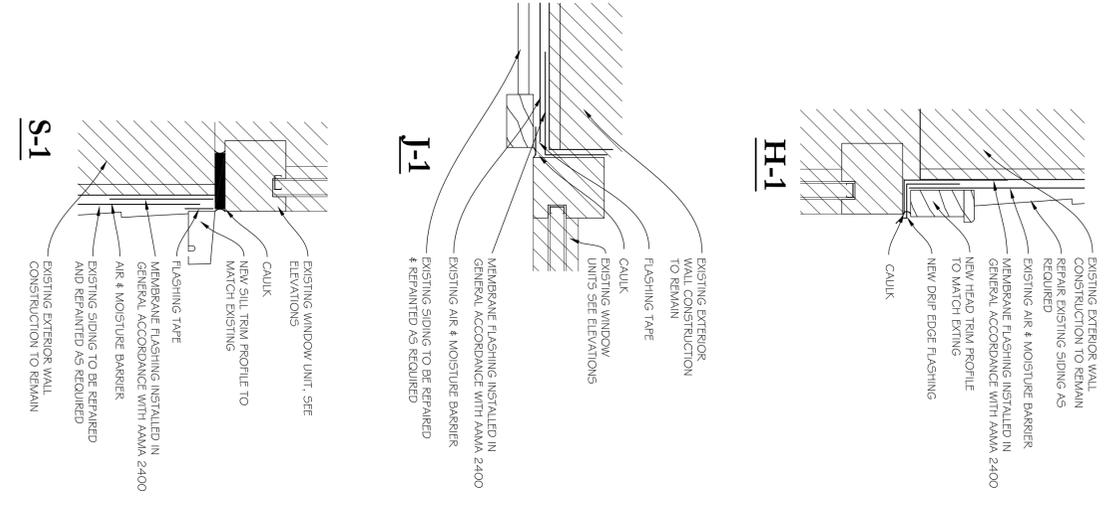
**4**  
**CRAWL SPACE**  
 SCALE: 1/4" = 1'-0"



**3**  
**WINDOW ELEVATIONS**  
 SCALE: 1/2" = 1'-0"



**2**  
**DOOR ELEVATIONS**  
 SCALE: 1/2" = 1'-0"



**1**  
**WINDOW DETAILS**  
 SCALE: 3/8" = 1'-0"



TYPICAL EXTERIOR WINDOW TRIM



TYPICAL STAIN AT ROOF



TYPICAL VEGETATION AT ROOF



INSULATION AT CRAWL SPACE

