

# THE STATE OF CONNECTICUT DEPARTMENT OF HOUSING (DOH) COMMUNITY DEVELOPMENT BLOCK GRANT - DISASTER RECOVERY (CDBG-DR) OWNER OCCUPIED REHABILITATION and REBUILDING PROGRAM (OORR)

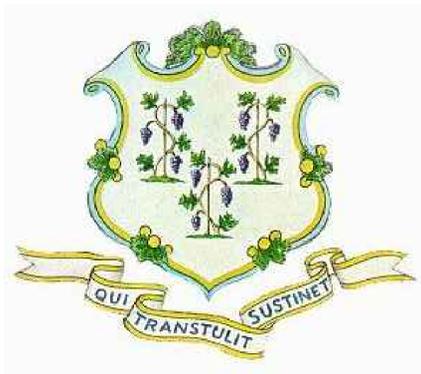


September 29, 2014

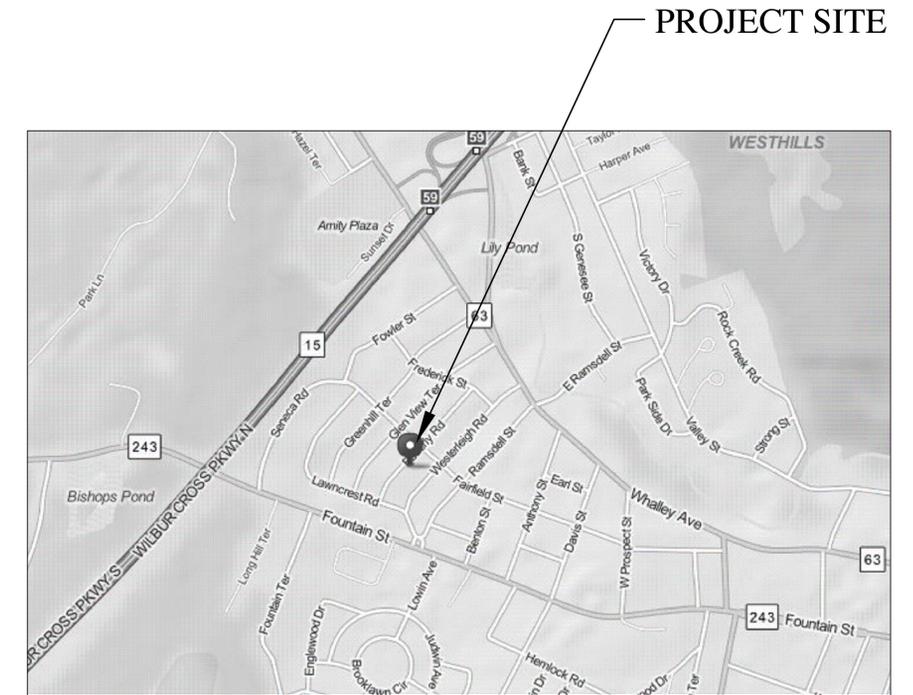
csa project 1347-26

Issued for:

Owner Scope Review



## Valentine Residence Roof Replacement and Hazardous Materials Remediation Application No. 1591 41 Beverly Road, New Haven, CT 06511



### LOCATION PLAN

not to scale



#### Architect

Capital Studio Architects, LLC

1379 Main Street  
East Hartford, Connecticut 06108  
tel: 860.289.3262 fax: 860.289.3163

#### Environmental Consultant

Eagle Environmental, Inc.

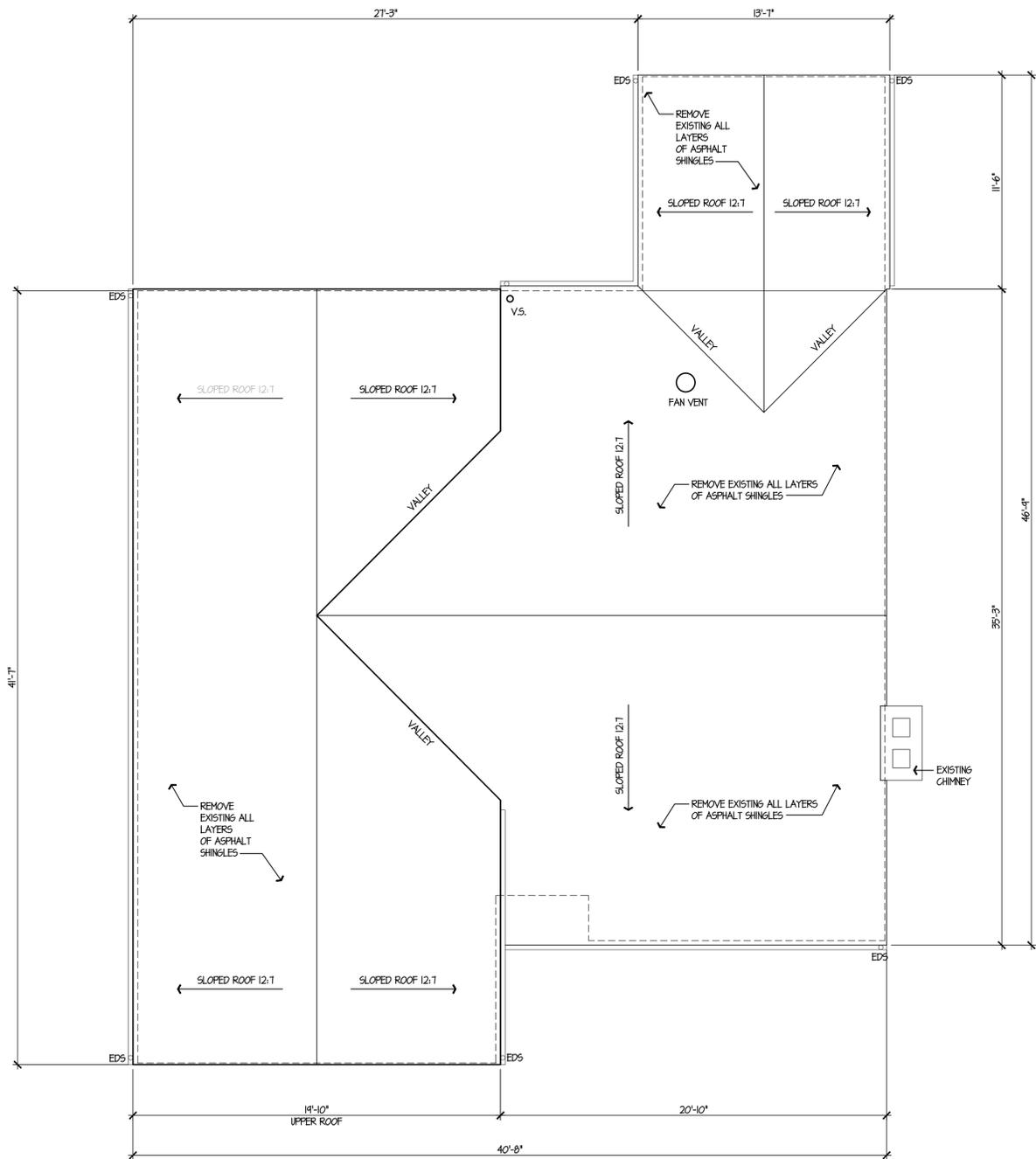
8 South Main Street, Suite 3  
Terryville, Connecticut 06786  
tel: 860.589.8257 fax: 860.585.7034

### Drawing List

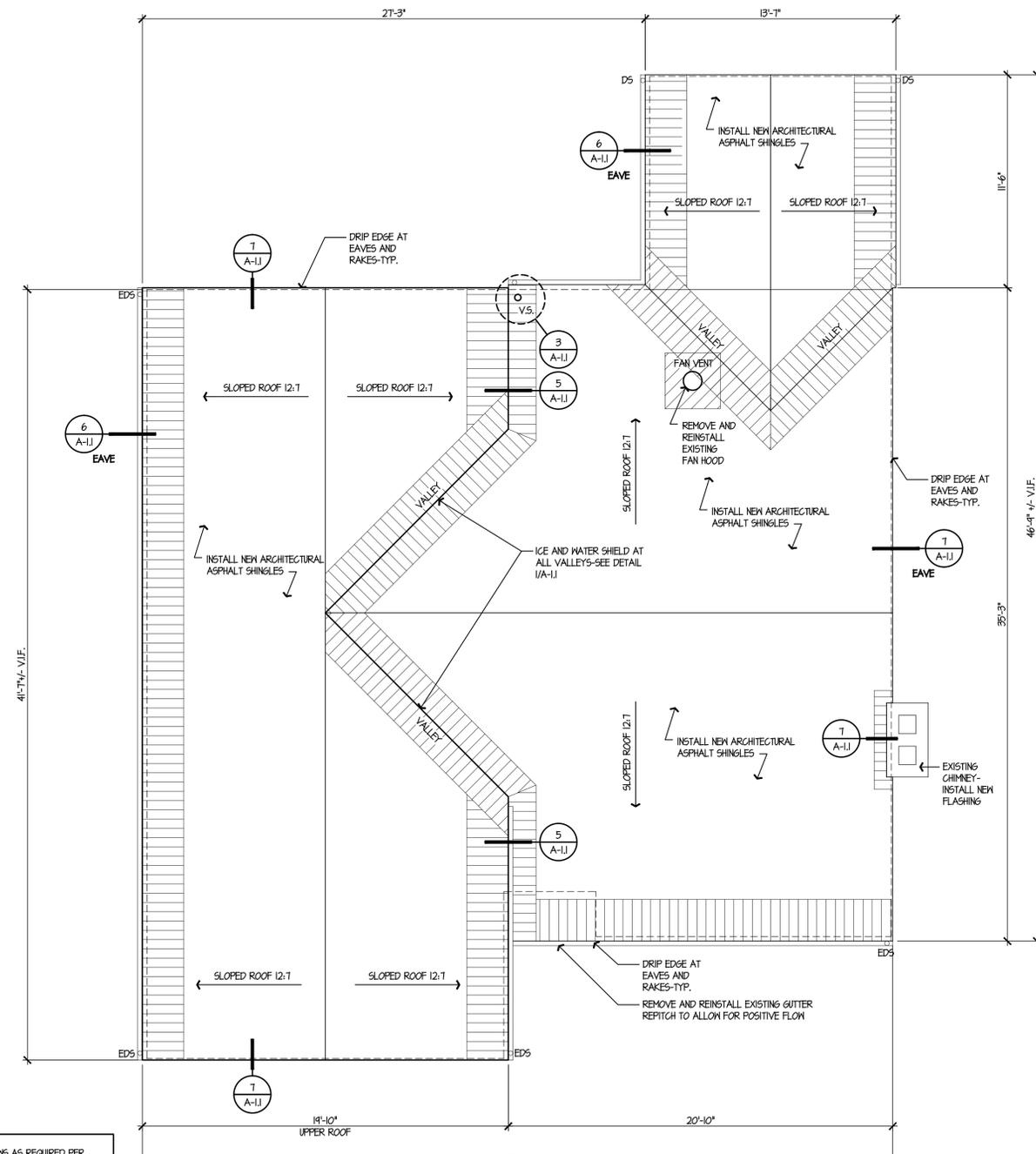
- Title Sheet
- A-1.0 ROOF PLANS
- A-1.1 ROOF DETAILS

**THE STATE OF CONNECTICUT  
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COMMUNITY DEVELOPMENT BLOCK  
GRANT - DISASTER RECOVERY (CDBG-DR)  
OWNER OCCUPIED REHABILITATION and  
REBUILDING PROGRAM (OOR)**

**Valentine Residence  
Roof Replacement and  
Hazardous Materials  
Remediation  
Application No. 1591  
41 Beverly Road  
New Haven, CT 06511**



**NOTE:**  
REPLACE EXISTING WINDOWS AS REQUIRED PER SPECIFICATION SECTION 021010 - LEAD BASED PAINT ABATEMENT. CONTRACTOR SHALL PROVIDE ANDERSEN 400 SERIES REPLACEMENT WINDOWS OF MATCHING SIZE and FUNCTION. REFER TO SPECIFICATION SECTION 08550 FOR WINDOWS



**1 DEMOLITION ROOF PLAN**  
SCALE: 1/4"=1'-0"

**2 ROOF PLAN**  
SCALE: 1/4"=1'-0"

**LEGEND**

	REVISION NUMBER		SECTION MARKER DETAIL NUMBER SHEET NUMBER
	DETAIL NUMBER SHEET NUMBER		EXISTING WALL
	ELEVATION MARK (HEIGHT)		NEW WALL
	CENTERLINE		WALL TYPE
			DOOR TYPE

**DESIGN LOADS**

Roof Load \_\_\_\_\_ 30 p.s.f.

**ABBREVIATIONS**

Conc.	Concrete
Exist.	Existing
Gyp. Brd.	Gypsum Board
O/C	On center
P.T.	Pressure Treated
R	Riser
w	with

**GENERAL INFO**

- The contractor must visit the site and thoroughly familiarize himself with all existing and proposed conditions prior to bidding the project, any discrepancies should be brought to the attention of the Architect.
- Protect all existing construction to remain. Repair to original condition if damaged at no additional cost to the owner.

**SCOPE OF WORK**

- REFER TO SPECIFICATIONS FOR COMPLETE DETAILED DESCRIPTIONS, INCLUDING HAZARDOUS MATERIALS ABATEMENT.
- BASE BID ITEMS:**
- SELECTIVE DEMOLITION, INCLUDING REMOVAL OF ALL LAYERS OF EXISTING ASPHALT AND UNDERLAYMENTS DOWN TO EXISTING ROOF SHEATHING.
  - REPLACE EXISTING METAL ROOF VENTS BOOTS, SURROUND WITH ICE & WATER SHIELD, PATCH ROOF SHEATHING AS NEEDED TO MATCH EXISTING.
  - REPLACEMENT OF EXISTING ROOF FLASHING SYSTEMS.
  - INSTALL NEW FIBERGLASS BASED ASPHALT ROOF SHINGLE SYSTEM INCLUDING ICE AND WATER SHIELD, SHINGLE UNDERLAYMENT, TRIM AND ACCESSORIES. NOTE: ICE & WATER SHIELD MUST EXTEND FROM DRIP EDGE TO A MINIMUM OF 24" HORIZONTALLY BEYOND INTERIOR FACE OF THE EXTERIOR WALL.
  - RE-PITCH EXISTING ALUMINUM GUTTERS AS SHOWN.
  - REPLACE EXISTING FOYER CEILING GYP. BOARD.
  - REPAINT FOYER CEILING AND WALLS.
  - REPLACE EXISTING WINDOWS CONTAMINATED WITH LEAD BASED PAINT.
- UNIT ITEMS:**
- NOTE: SEE SPEC BID FORM FOR UNIT PRICES FOR DETERIORATED FASCIA, SOFFITS AND OTHER MATERIALS.

date	description	no.
	revisions	

**ROOF PLANS**

**A-1**

date	24 SEP 2014
drawn	BD
scale	AS SHOWN
checked	JP/DH
project no.	1341-26

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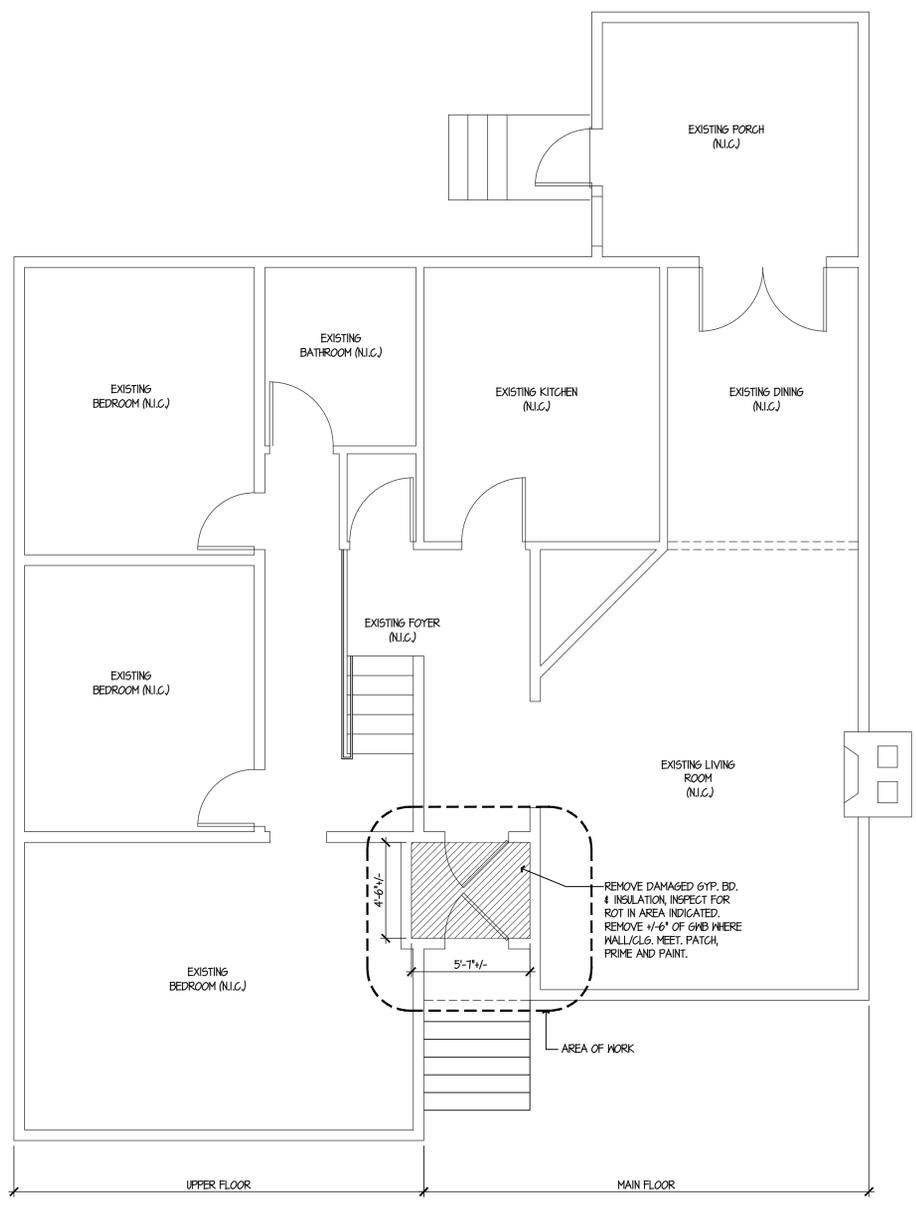
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DETAILS

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8 EXISTING FLOOR PLAN  
A-11 SCALE: 1/4"=1'-0"

