

# PROJECT 1529 - 106 BEACHLAND AVENUE, MILFORD, CT

## COMMUNITY DEVELOPMENT BLOCK GRANT DISASTER RECOVERY PROGRAM OWNER OCCUPIED REHABILITATION AND REBUILDING CONNECTICUT DEPARTMENT OF HOUSING HARTFORD, CONNECTICUT 06118

### GENERAL NOTES:

1. WHERE REFERENCED IN THIS PLAN SET, MARTINEZ COUCH & ASSOCIATES, LLC SHALL HEREIN BE REFERRED TO AS "MCA."
2. THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS.
3. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE, AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
4. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT MCA IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS, SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH MCA PRIOR TO BIDDING.
5. REFER TO OTHER PLANS, DETAILS, AND PROJECT MANUAL FOR ADDITIONAL INFORMATION.

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STREET VIEW  
(N.T.S.)

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106 BEACHLAND AVENUE  
MILFORD, CONNECTICUT 06460

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2	06/23/2016	ISSUED FOR BIDDING	MBR	MBR	REC
1	05/25/2016	ISSUED FOR CT DOH REVIEW AND APPROVAL	MBR	MBR	REC

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TITLE SHEET

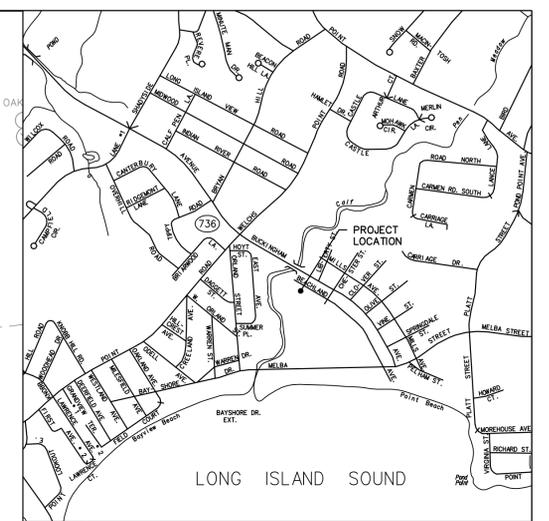
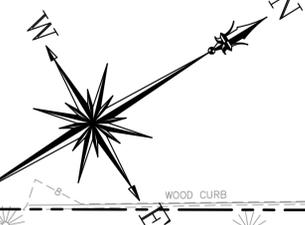
JOB NO.	DRAWING NUMBER	SHEET
33-262-1529	BASEMAP 33-262-1529.dwg	T-0.0

N/F  
WILLIAM R. &  
CHRISTY A. HULTBERG  
116 BEACHLAND AVENUE  
MILFORD CT.  
VOL. 3282 PAGE 260

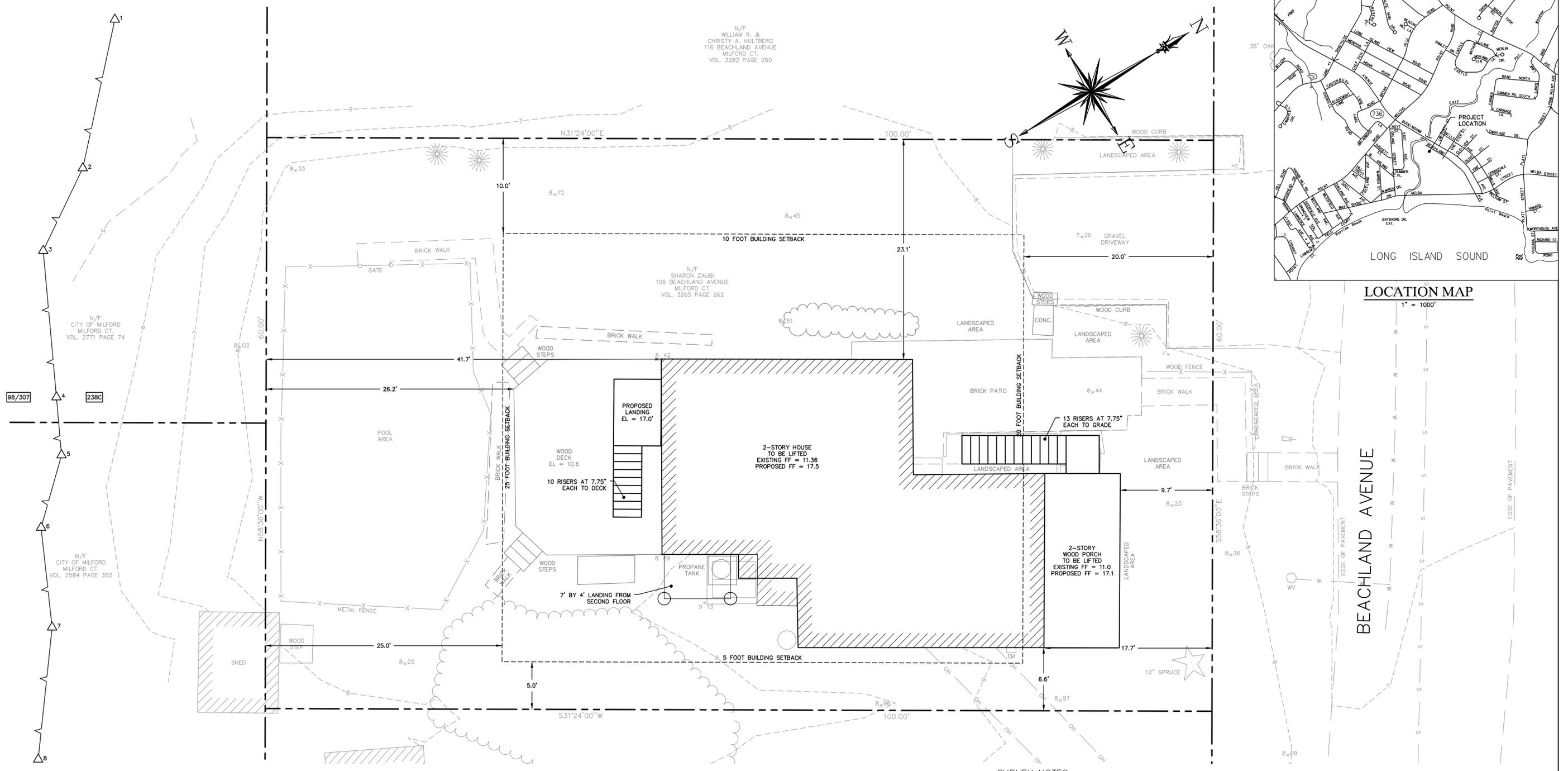
N/F  
SHARON ZAUBI  
106 BEACHLAND AVENUE  
MILFORD CT.  
VOL. 3265 PAGE 262

N/F  
CITY OF MILFORD  
MILFORD CT.  
VOL. 2771 PAGE 74

N/F  
CITY OF MILFORD  
MILFORD CT.  
VOL. 2584 PAGE 352



LOCATION MAP  
1" = 1000'



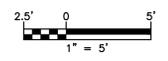
**SOIL TYPE LEGEND**

98	WESTBROOK MUCKY PEAT, FREQUENTLY FLOODED, VERY POORLY DRAINED, WETLAND SOIL
238C	HINCKLEY-URBAN LAND COMPLEX, WELL DRAINED, UPLAND SOIL
307	AQUENTS, POORLY DRAINED, WETLAND SOIL

**WETLANDS INVESTIGATION:**  
1. ON-SITE WETLANDS INVESTIGATION COMPLETED JULY 2015 BY SOIL & ENVIRONMENTAL SERVICES, INC. FOR MARTINEZ COUCH AND ASSOCIATES, LLC  
2. REFER TO REPORT FOR "PROJECT: 106 BEACHLAND AVENUE, MILFORD CT" DATED NOVEMBER 25, 2015.

**SYMBOLS LEGEND**

Mail Box	Sanitary Line (Buried)
Utility Post	Water Line (Buried)
Water Valve	Property Line
Electric Meter	Contour Line
Deciduous Tree	Spot Grade
Evergreen Tree	Fence
Shrub	Overhead Wire
WETLAND FLAG LABEL	TREE LINE
SOIL TYPE LABEL	
LIMIT OF WETLANDS	



**ZONING REGULATIONS (R-7.5)**

	REQUIRED	EXISTING	PROPOSED
LOT AREA (SQ.FT.)	7,500	6,000	6,000
MIN. LOT WIDTH (FT.)	60	60.0	60.0
MIN. LOT DEPTH (FT.)	85	100.0	100.0
MIN. FRONT YARD (FT.)	20	17.7	17.7
MIN. SIDE YARDS (FT.)	5/10**	6.6/23.1	6.6/23.1
MIN. REAR YARD (FT.)	25	41.7	41.7
MAX. BLDG. COVERAGE	40%	23.7%	23.7%
MAX. BLDG. HGT. (FT.)	35	22.6	28.75
LOT COVERAGE	60%	30.5%	30.5%

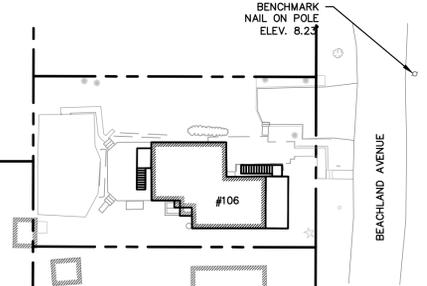
\*\* ONE SIDE TEN (10) FEET; OTHER SIDE FIVE (5) FEET.

**SURVEY NOTES**

NORTH ORIENTATION AND COORDINATES REFER TO NAD 83.  
ELEVATIONS BASED ON NAVD 1988.  
PARCEL OWNER OF RECORD: SHARON ZAUBI  
106 BEACHLAND AVE.  
MILFORD, CT 06460  
PARCEL AREA = 6000 SQ. FT., 0.137± ACRES.  
PARCEL IS IN THE R7.5 ZONING DISTRICT.  
PARCEL ID: MAP 38, BLOCK 558, LOT 66 MILFORD ASSESSOR'S MAPPING.  
ENTIRE SUBJECT PARCEL IS IN ZONE AE(EL 11) FLOOD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP, NEW HAVEN COUNTY, CONNECTICUT PANEL 534 OF 635, MAP NUMBER 09009C0533J, REVISED JULY 8, 2013 BY FEDERAL EMERGENCY MANAGEMENT AGENCY.

**REFERENCE MAPS:**

1. 'POND POINT BEACH BUILDING LOTS, MILFORD, CT. SCALE 1"=100'. DATED OCTOBER 1, 1911. PREPARED BY V. B. CLARKE



BENCHMARK LOCATION MAP  
1" = 30'

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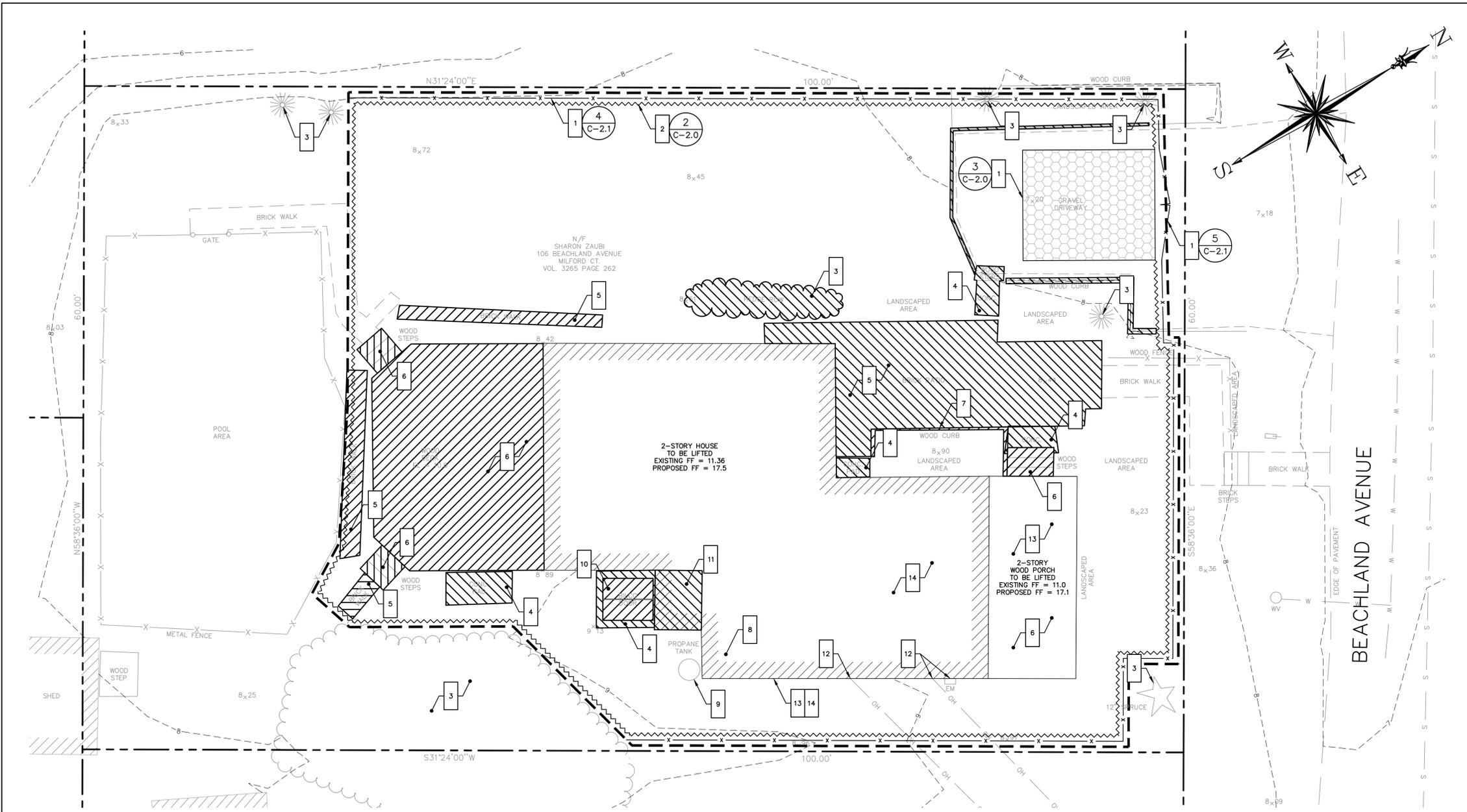
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**IMPROVEMENT  
LOCATION PLAN**

JOB NO.	DRAWING NUMBER	SHEET
33-262-1529	BASEMAP 33-262-1529.dwg	C-1.0



**SITE PLAN**



**LEGEND**

- 1 WORK NOTE
- [Hatched Box] SITE FEATURE TO BE DEMOLISHED
- LIMIT OF WORK
- (#/C-2.X) DETAIL REFERENCE  
# = DETAIL NUMBER  
X = DETAIL SHEET NUMBER
- ~~~~ SILT FENCE
- x- CHAIN LINK FENCE
- W — EXISTING WATER LINE
- S — EXISTING SEWER
- x- EXISTING FENCE
- - - - EDGE OF EXISTING BITUMINOUS CONCRETE DRIVEWAY
- — — — LIMIT OF EXISTING HOUSE AND FOUNDATION
- OH — EXISTING OVERHEAD LINE
- [Cloud Symbol] EXISTING HEDGE
- - - 8 - - - EXISTING CONTOUR WITH ELEVATION LABEL
- 8x36 EXISTING SPOT GRADE
- PROPERTY LINE

**GENERAL NOTES**

1. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL MEASUREMENTS. ANY VARIATIONS FROM CONDITIONS SHOWN ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL AND/OR MCA PRIOR TO BIDDING FOR RESOLUTION IN ACCORDANCE WITH CONTRACT DOCUMENT REQUIREMENTS.
2. ALL REQUIRED PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
3. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF THE NOTED ITEM.
4. WORK LIMITS SHALL BE AS NOTED. ALL ITEMS DISTURBED BY ANY AND ALL CONSTRUCTION ACTIVITIES SHALL BE RESTORED SUBSTANTIALLY TO THE CONDITION THEY EXISTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, TO MCA'S APPROVAL.
5. THE CONTRACTOR AT A MINIMUM SHALL MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AS DIRECTED, AS NECESSARY, AND IN ACCORDANCE WITH CONTRACT REQUIREMENTS, AND SHALL CHECK ALL SYSTEMS ON A DAILY BASIS TO ENSURE THE PREVENTION OF SEDIMENT TRANSPORT AND THE CONTROL OF EROSION.
6. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
8. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

**SOIL EROSION AND SEDIMENT CONTROL/DEMOLITION NOTES**

- 1 FURNISH AND INSTALL 8' HIGH CHAIN LINK FENCE WHERE INDICATED ON PLAN; FURNISH AND INSTALL 10' WIDE DOUBLE LEAF GATE WHERE INDICATED ON PLAN; INSTALL AND MAINTAIN CONSTRUCTION ENTRANCE ON SITE
- 2 FURNISH AND INSTALL SILT FENCE WHERE INDICATED ON PLAN
- 3 REMOVE HEDGE ROW AT NORTHWESTERN SIDE OF HOUSE, AND REMOVE OFF SITE; PROTECT 12" SPRUCE AT EASTERN CORNER OF PROPERTY; PROTECT SHRUBS AT NORTHERN AND WESTERN CORNERS OF PROPERTY; PROTECT TREES AND VEGETATION AT SOUTHEASTERN EDGE OF PROPERTY. REPLACE ALL DAMAGED VEGETATION AT NO COST.
- 4 DEMOLISH CONCRETE PADS AT NORTHWESTERN AND SOUTHEASTERN SIDES OF HOUSE, AND REMOVE OFF SITE
- 5 REMOVE BRICK WALKS AT REAR OF HOUSE AS SHOWN ON PLAN; SALVAGE OR REPLACE BRICKS. REMOVE BRICK PATIO AT NORTHERN CORNER OF HOUSE AS REQUIRED TO COMPLETE PROJECT WORK; SALVAGE OR REPLACE BRICKS.
- 6 DEMOLISH WOOD DECK AND ADJACENT WOOD STEPS AT REAR OF HOUSE AS REQUIRED TO COMPLETE PROJECT WORK, AND REMOVE OFF SITE. DEMOLISH WOOD STEPS AT FRONT OF HOUSE, AND REMOVE OFF SITE. PROTECT TWO STORY WOOD PORCH AT FRONT OF HOUSE.
- 7 DEMOLISH WOOD CURB AT NORTHWESTERN SIDE OF HOUSE, AND REMOVE OFF SITE
- 8 REMOVE HEATING OIL STORAGE TANK FROM BASEMENT OF HOUSE, AND STORE ON SITE FOR REINSTALLATION; PUMP OIL FROM TANK AND PROPERLY DISPOSE, SEAL TANK AND STORE ONSITE. REFILL TANK TO QUANTITY REMOVED AT END OF CONTRACT
- 9 REMOVE OUTDOOR PROPANE TANK AT SOUTHERN CORNER OF HOUSE, AND STORE ON SITE FOR REINSTALLATION; SEAL TANK TO SECURE ANY PROPANE IN TANK DURING STORAGE PERIOD
- 10 REMOVE BILCO DOOR AT SOUTHERN CORNER OF HOUSE, AND DISPOSE OFF SITE
- 11 DEMOLISH UTILITY CLOSET, STORAGE AREA, AND WOOD-FRAMED FLUE ENCLOSURE ABOVE, AND DISPOSE OFF SITE; PROTECT BUILDING ENVELOPE UNTIL PERMANENT CONSTRUCTION IS IN PLACE; SEE SHEET A-2.2
- 12 COORDINATE ALL UTILITY DISCONNECTS, INCLUDING WATER, ELECTRIC, AND TELECOMMUNICATIONS; SEE SHEET C-1.3
- 13 SUPPORT HOUSE AND LIFT TO PROPOSED ELEVATION; TWO STORY WOOD FRONT PORCH TO BE SUPPORTED AND LIFTED WITH HOUSE
- 14 DEMOLISH EXISTING FOUNDATION AND ALL SUPPORTS BELOW GRADE, AND REMOVE OFF SITE. INFILL BASEMENT/CRAWLSPACE AS REQUIRED TO ADJACENT GRADE.
- 15 REMOVE TEMPORARY FENCING UPON COMPLETION OF CONSTRUCTION, AND REMOVE EROSION AND SEDIMENT CONTROLS AFTER STABILIZATION IS COMPLETE

REFERENCE MAP:  
1. "TOPOGRAPHIC & BOUNDARY SURVEY" FOR CT DOH AT 106 BEACHLAND AVENUE, MILFORD, CONNECTICUT; DATE: 3-10-2015; SCALE: 1"=10'; PREPARED BY MARTINEZ COUCH & ASSOCIATES, LLC

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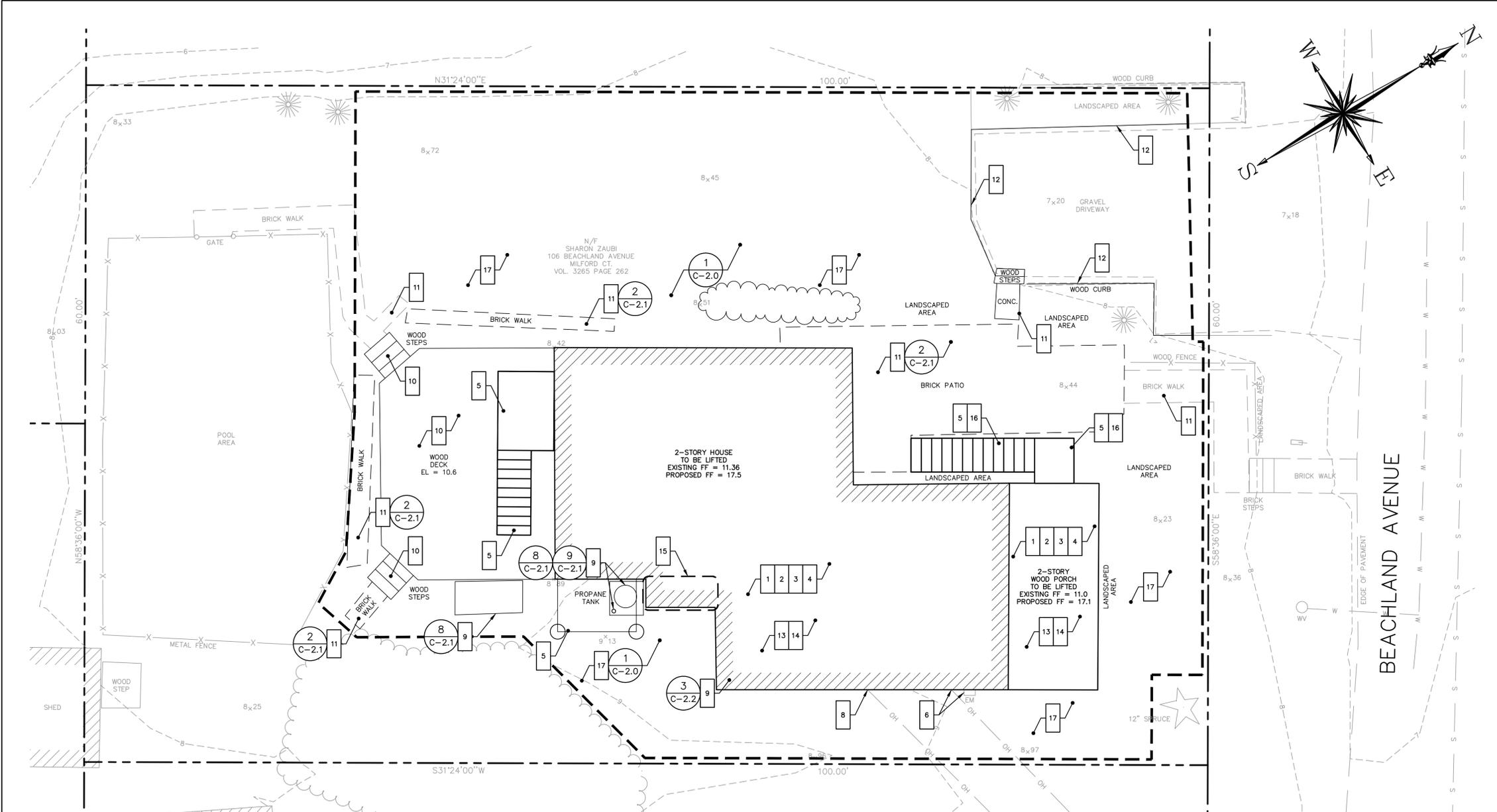
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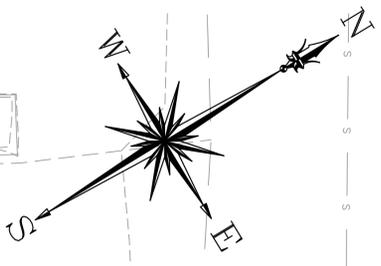
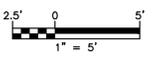
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**SOIL EROSION AND SEDIMENT CONTROL/DEMOLITION PLAN**

JOB NO.	DRAWING NUMBER	SHEET
33-262-1529	BASEMAP 33-262-1529.dwg	C-1.1



**SITE PLAN**



**GENERAL NOTES**

1. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL MEASUREMENTS. ANY VARIATIONS FROM CONDITIONS SHOWN ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL AND/OR MCA PRIOR TO BIDDING FOR RESOLUTION IN ACCORDANCE WITH CONTRACT DOCUMENT REQUIREMENTS.
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6. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
7. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

**WORK NOTES**

- 1 SUPPORT HOUSE AND LIFT TO PROPOSED ELEVATION; TWO STORY WOOD FRONT PORCH TO BE SUPPORTED AND LIFTED WITH HOUSE
- 2 FURNISH AND INSTALL NEW FOUNDATION UPON COMPLETION OF FOUNDATION DEMOLITION; SEE STRUCTURAL DRAWINGS
- 3 FURNISH AND INSTALL FIRST FLOOR FRAMING AND SUPPORTS; SEE STRUCTURAL DRAWINGS
- 4 LOWER HOUSE ONTO SUPPORTS AT PROPOSED ELEVATIONS; SEE STRUCTURAL DRAWINGS
- 5 FURNISH AND INSTALL ALL MATERIALS FOR NEW LANDINGS AND STAIRS AT FRONT AND BACK OF HOUSE AT PROPOSED ELEVATIONS. FURNISH AND INSTALL ALL MATERIALS FOR LANDING AT SOUTHEAST CORNER OF HOUSE.
- 6 COORDINATE RECONNECTION OF OVERHEAD ELECTRICAL SERVICE TO EXISTING SERVICE MAST AT SOUTHEASTERN SIDE OF HOUSE; COORDINATE RELOCATION OF ELECTRIC METER ABOVE 100-YEAR FEMA BASE FLOOD ELEVATION
- 7 EXTEND WATER AND SANITARY SERVICES TO ELEVATED HOUSE; INSULATE, PROTECT, AND MOUNT ALL SERVICES PER CONTRACT SPECIFICATIONS
- 8 COORDINATE OTHER UTILITY CONNECTIONS, INCLUDING TELECOMMUNICATIONS; RESTORE ALL SERVICES TO FUNCTIONAL SERVICE STATES; SEE SHEET C-1.3
- 9 REINSTALL HEATING OIL STORAGE TANK BENEATH HOUSE ON NEW CONCRETE PAD; SECURE PER DETAIL 3 ON SHEET C-2.2. REINSTALL OUTDOOR PROPANE TANK AT SOUTHERN CORNER OF HOUSE; SECURE PROPANE TANK ON CONCRETE PAD ADJACENT TO NEW STRUCTURAL COLUMN WITH BOLLARD PROTECTION. REINSTALL POOL HEATER ON NEW CONCRETE PAD AT EDGE OF REAR DECK.
- 10 REBUILD WOOD DECK AND ADJACENT WOOD STEPS AT REAR OF HOUSE IN ORIGINAL LOCATIONS AS DISTURBED BY CONSTRUCTION ACTIVITIES
- 11 REINSTALL BRICK WALKS AT REAR OF HOUSE AND BRICK PATIO AT NORTHERN CORNER OF HOUSE IN ORIGINAL LOCATIONS AS DISTURBED BY CONSTRUCTION ACTIVITIES; REPAIR BRICK PATIO, WALKS, AND CONCRETE PADS IN ANY LOCATIONS DISTURBED BY CONSTRUCTION.
- 12 REPLACE WOOD CURBING AT DRIVEWAY AND WALKS AS DISTURBED BY CONSTRUCTION ACTIVITIES
- 13 COMPLETE REMAINING BUILDING WORK (BOTH INTERIOR AND EXTERIOR)
- 14 FURNISH AND INSTALL 12-INCH THICK LAYER OF 3/4-INCH CRUSHED STONE BENEATH MAIN STRUCTURE
- 15 FURNISH AND INSTALL ALL MATERIALS FOR NEW UTILITY CLOSET; SEE SHEET A-2.2. INFILL SIDING AS REQUIRED; MATCH ADJACENT EXISTING CONDITIONS. NEW STAINLESS STEEL METAL FLUE ABOVE PROPOSED UTILITY CLOSET; TOP OF FLUE TO EXTEND 3' ABOVE ROOF PEAK.
- 16 MULCH AREA BENEATH DECKS AND ACCESS STAIRS
- 17 RESTORE EXTERIOR AREAS, INCLUDING LANDSCAPED AREAS, TO PRE-CONSTRUCTION CONDITIONS OR BETTER

**LEGEND**

- 1 WORK NOTE
- LIMIT OF WORK
- # DETAIL REFERENCE  
# = DETAIL NUMBER  
X = DETAIL SHEET NUMBER
- X- EXISTING METAL FENCE
- o-o- EXISTING WOOD FENCE
- o-o- EXISTING PLASTIC FENCE
- - - EDGE OF EXISTING BITUMINOUS CONCRETE DRIVEWAY
- - - LIMIT OF ELEVATED HOUSE
- OH- EXISTING OVERHEAD LINE
- G- EXISTING GAS LINE
- ☁ EXISTING HEDGE
- - - 8 - - - EXISTING CONTOUR WITH ELEVATION LABEL  
8x36 EXISTING SPOT GRADE  
8x5 PROPOSED SPOT GRADE
- PROPERTY LINE

REFERENCE MAP:  
1. "TOPOGRAPHIC & BOUNDARY SURVEY" FOR CT DOH AT 106 BEACHLAND AVENUE, MILFORD, CONNECTICUT; DATE: 3-10-2015; SCALE: 1"=10'; PREPARED BY MARTINEZ COUCH & ASSOCIATES, LLC

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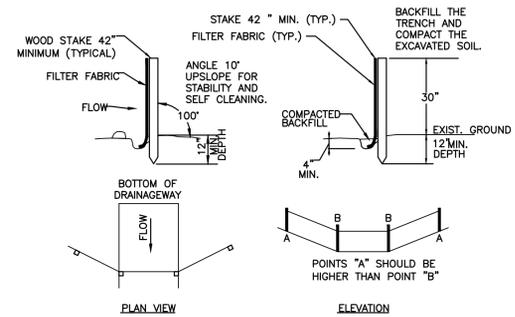
**SITE PLAN**

JOB NO.	DRAWING NUMBER	SHEET
33-262-1529	BASEMAP 33-262-1529.dwg	C-1.2



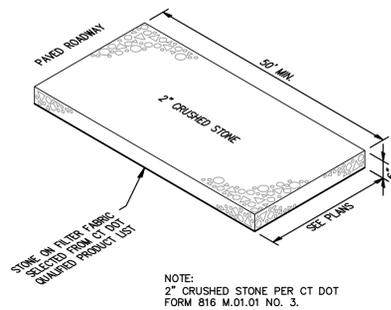
SEEDING SCHEDULE				
PERMANENT SEEDING				
PERMANENT SEEDING SHALL BE ACCOMPLISHED WITH ONE OF THE FOLLOWING SEEDING MIXTURES:				
KIND OF AREA: LAWNS AND HIGH MAINTENANCE AREAS				
SEED MIXTURE	LBS./ACRE	LBS./1,000 SQ.FT.		
KENTUCKY BLUEGRASS	20	0.45		
CREeping RED FESCUE	20	0.45		
PERENNIAL RYEGRASS	5	0.1		
TOTAL	45	1.0		
TEMPORARY SEEDING RATES AND DATES				
SEED MIXTURE	LBS./ACRE	LBS./1,000 SQ.FT.	DATE (1)(3)	DEPTH (2)
ANNUAL RYEGRASS	40	1.0	8/1-10/1 3/1-6/15	0.5 INCHES
SEEDING NOTES: (1) MAY BE PLANTED THROUGHOUT SUMMER IF SOIL IS ADEQUATE OR CAN BE IRRIGATED. (2) SEED AT TWICE THE INDICATED DEPTH FOR SANDY SOILS. SOURCE: U.S. DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE, STORRS, CT				
ORGANIC MULCH MATERIALS AND APPLICATION RATES				
MULCHES	PER ACRE	PER 1,000 SQ.FT.	NOTES	
STRAW OR HAY	1/2-2 TONS	70-90 LBS	FREE FROM MATTER AND COARSE MATTER. MUST BE ANCHORED. SPREAD WITH MULCH BLOWER OR BY HAND.	

1 TYPICAL SEEDING SCHEDULE  
C-2.0 N.T.S.



- A) MINIMUM LENGTH OF SILT FENCE IS 15 L.F.
- B) MAXIMUM POST SPACING IS 10 L.F.
- C) JOINTS ONLY AT SUPPORT POST WITH MINIMUM 6" OVERLAP, SECURELY SEALED.
- D) SEDIMENTATION DEPOSITS SHALL BE REMOVED WHEN THEY REACH 1/2 THE HEIGHT OF THE SILT FENCE.
- E) SILT FENCE SHALL NOT BE USED IN A WATER COURSE.
- F) UPON ESTABLISHMENT OF GROUND COVER ON DISTURBED AREAS, AND WHEN DIRECTED BY THE ENGINEER, FENCE WILL BE REMOVED AND ANY SEDIMENTATION WILL BE THINLY SPREAD UPON EXISTING GROUND COVER.

2 TYPICAL SILTATION FENCE  
C-2.0 N.T.S.



3 TYPICAL CONSTRUCTION TRACK PAD  
C-2.0 N.T.S.

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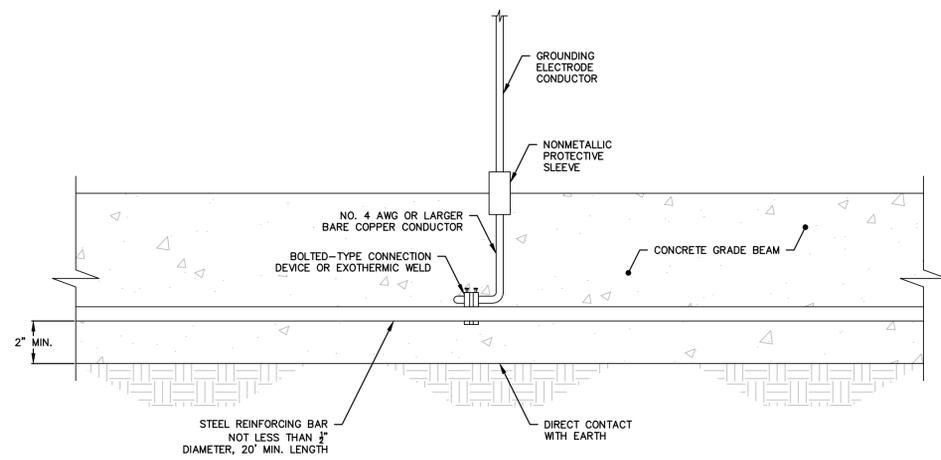
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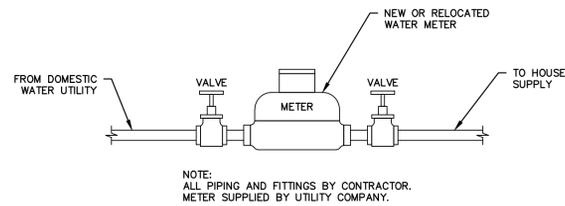
SOIL EROSION AND  
SEDIMENT CONTROL DETAILS

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33-262-1529	BASEMAP 33-262-1529.dwg	C-2.0

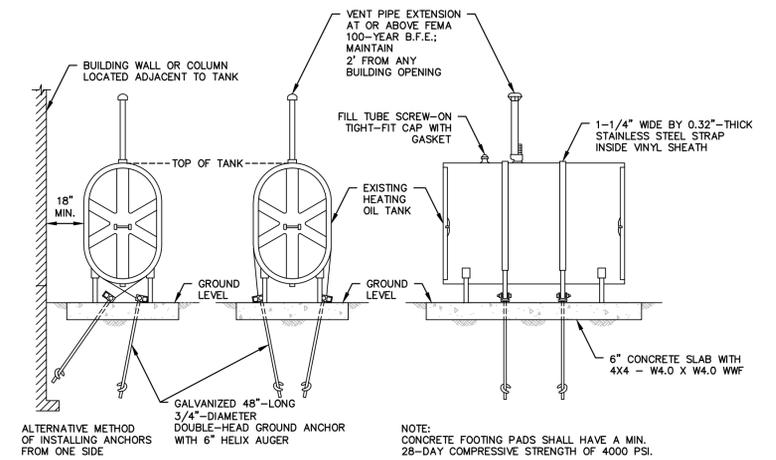




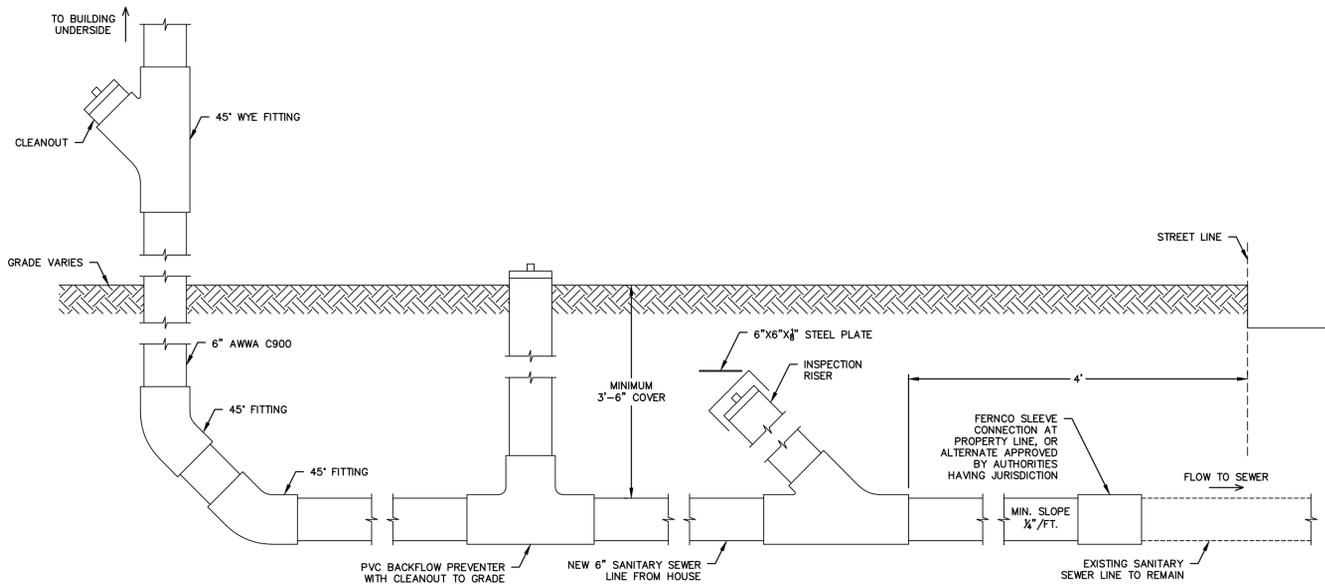
1 CONCRETE-ENCASED ELECTRODE  
C-2.2 N.T.S.



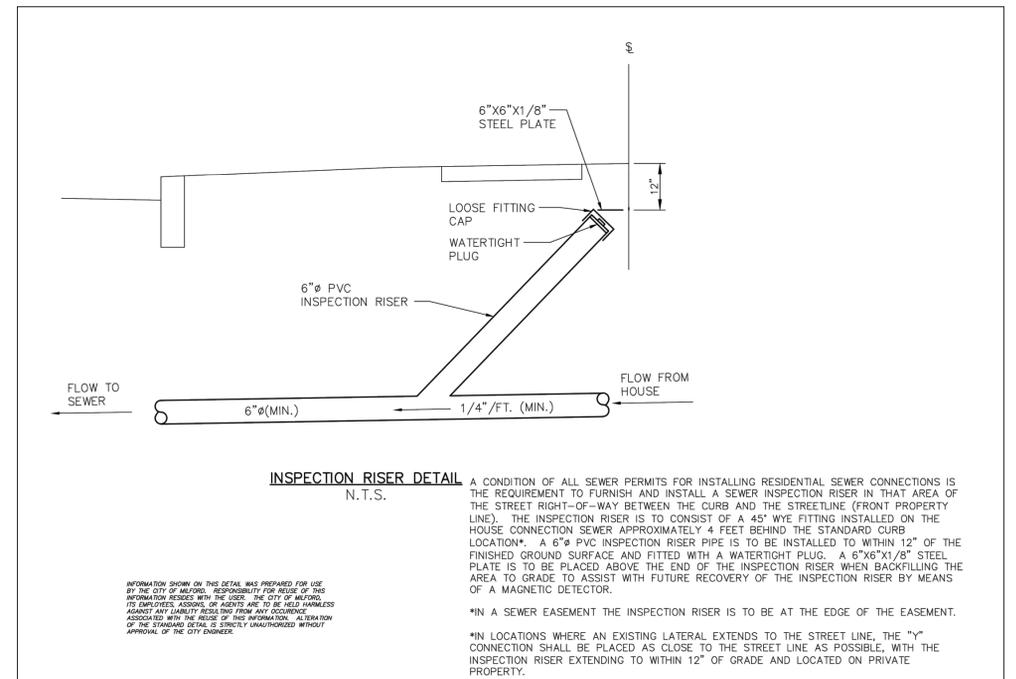
2 WATER METER PIPING  
C-2.2 N.T.S.



3 TYPICAL OUTSIDE HEATING OIL TANK ANCHORING  
C-2.2 N.T.S.



4 SANITARY DRAIN SCHEMATIC  
C-2.2 1" = 1'



5 CITY OF MILFORD INSPECTION RISER  
C-2.2 N.T.S.

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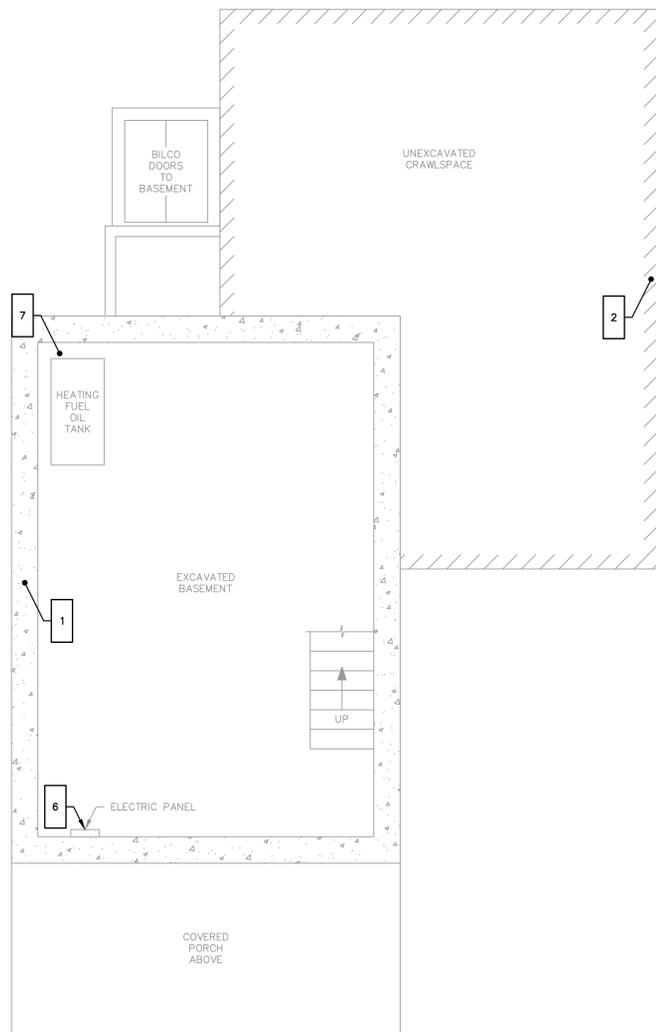
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1	05/25/2016	ISSUED FOR CT DOH REVIEW & APPROVAL		MBR	MBR REC

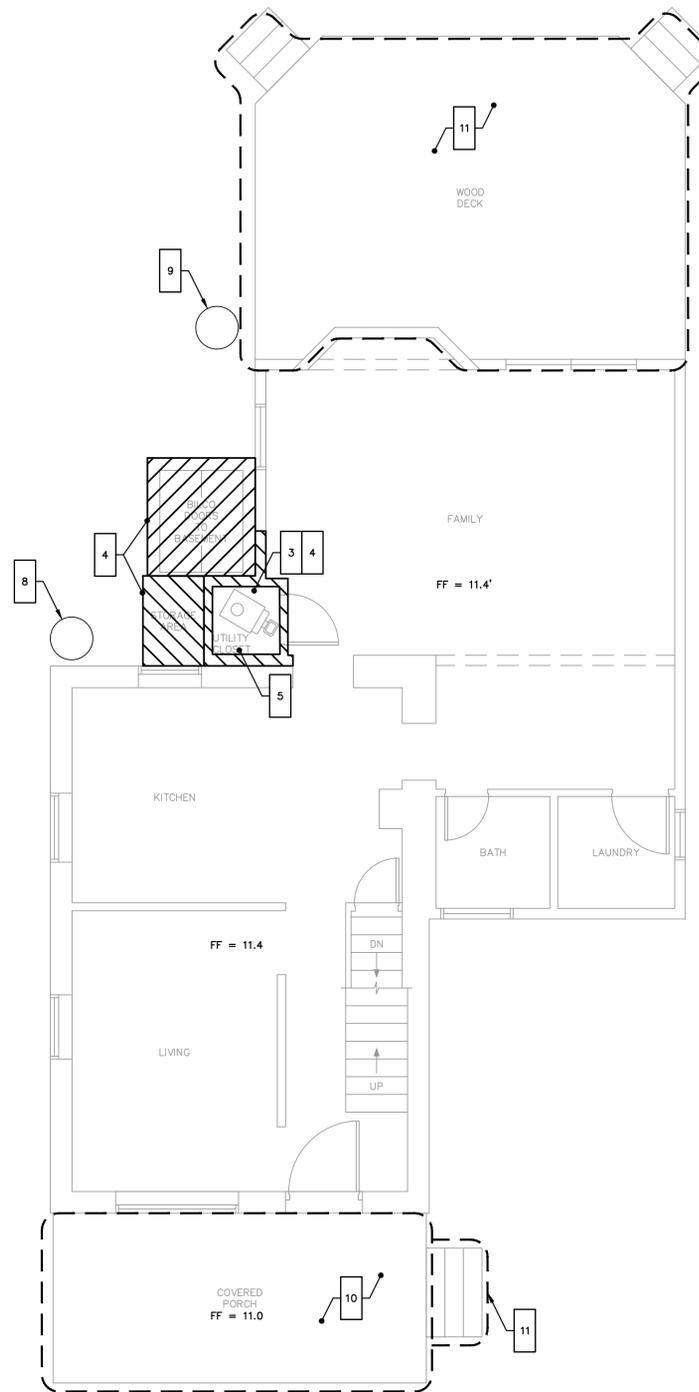
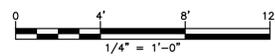
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**BUILDING UTILITY DETAILS**

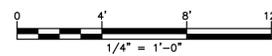
JOB NO.	DRAWING NUMBER	SHEET
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**BASEMENT**



**FIRST FLOOR**



**GENERAL NOTES**

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2. ALL REQUIRED PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
3. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF THE NOTED ITEM.
4. WORK LIMITS SHALL BE AS NOTED. ALL ITEMS DISTURBED BY ANY AND ALL CONSTRUCTION ACTIVITIES SHALL BE RESTORED SUBSTANTIALLY TO THE CONDITION THEY EXISTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, TO MCA'S APPROVAL.
5. THE CONTRACTOR AT A MINIMUM SHALL MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AS DIRECTED, AS NECESSARY, AND IN ACCORDANCE WITH CONTRACT REQUIREMENTS, AND SHALL CHECK ALL SYSTEMS ON A DAILY BASIS TO ENSURE THE PREVENTION OF SEDIMENT TRANSPORT AND THE CONTROL OF EROSION.
6. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
8. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

**WORK NOTES**

- 1 EXISTING FOUNDATION WITH MASONRY WALL ABOVE; REMOVE ENTIRE FOUNDATION, AND DISPOSE OFF SITE
- 2 EXISTING FOUNDATION WITH WOOD-FRAMED WALL ABOVE; REMOVE ENTIRE FOUNDATION, AND DISPOSE OFF SITE
- 3 DEMOLISH EXISTING METAL FLUE AND WOOD-FRAMED ENCLOSURE, AND DISPOSE OFF SITE; PATCH EXTERIOR CONSTRUCTION AS REQUIRED, MATCH ADJACENT EXISTING CONDITIONS; PROTECT BUILDING ENVELOPE UNTIL PERMANENT CONSTRUCTION IS COMPLETE
- 4 DEMOLISH EXISTING BILCO DOORS, STORAGE AREA, AND UTILITY CLOSET, AND DISPOSE OFF SITE; PROTECT BUILDING ENVELOPE UNTIL PERMANENT CONSTRUCTION IS COMPLETE
- 5 REMOVE EXISTING OIL-FIRED BOILER AND DISPOSE OFF SITE; PROPER DISPOSAL OF ENTIRE FURNACE AND INSULATION IS RESPONSIBILITY OF THE CONTRACTOR.
- 6 RELOCATE EXISTING ELECTRIC PANEL BOARD TO FIRST FLOOR
- 7 EXISTING HEATING FUEL OIL TANK; REMOVE HEATING OIL STORAGE TANK FROM BASEMENT OF HOUSE, AND STORE ON SITE FOR REINSTALLATION; PUMP OIL FROM TANK AND PROPERLY DISPOSE, SEAL TANK AND STORE ONSITE. REFILL TANK TO QUANTITY REMOVED AT END OF CONTRACT
- 8 EXISTING PROPANE TANK FOR POOL HEATER; SEAL TANK TO SECURE ANY PROPANE IN TANK DURING STORAGE PERIOD, AND STORE ON SITE FOR REINSTALLATION
- 9 EXISTING POOL HEATER; SECURE AND STORE ON SITE DURING CONSTRUCTION FOR REINSTALLATION
- 10 FRONT PORCH TO BE SUPPORTED IN PLACE AND LIFTED WITH HOUSE
- 11 DEMOLISH FRONT STEPS AND REAR WOOD DECK AS REQUIRED TO COMPLETE PROJECT WORK, AND DISPOSE OFF SITE

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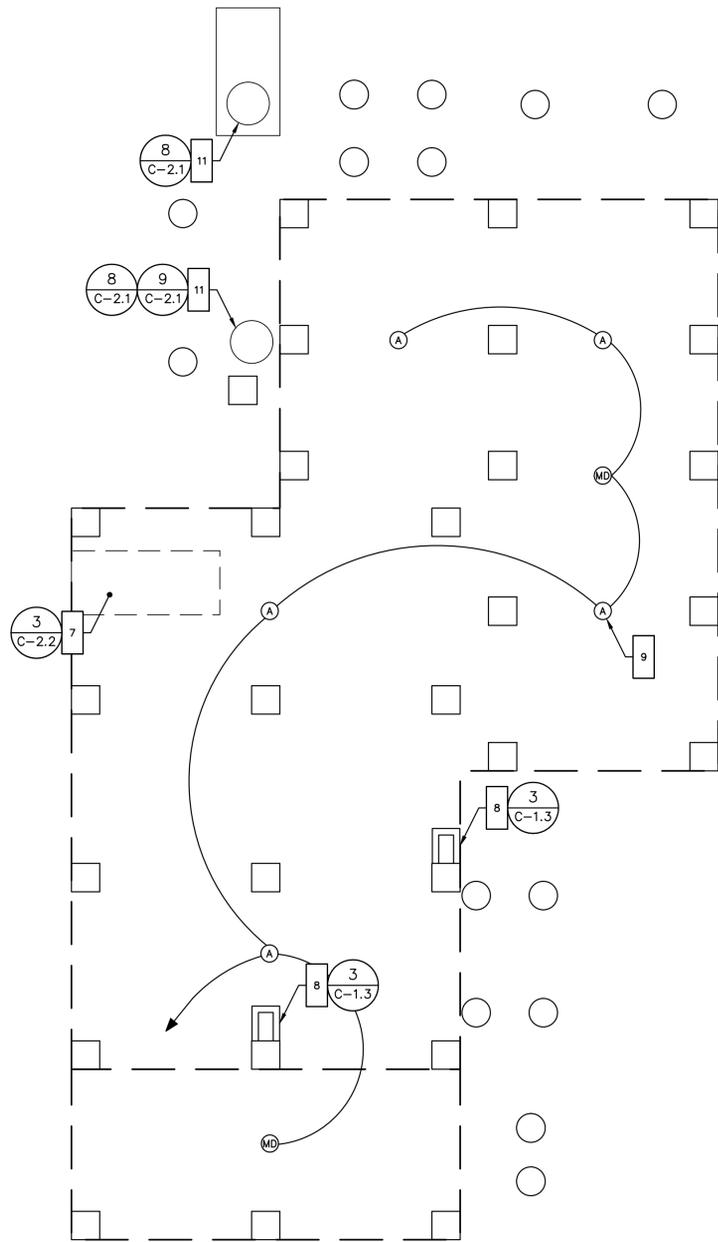
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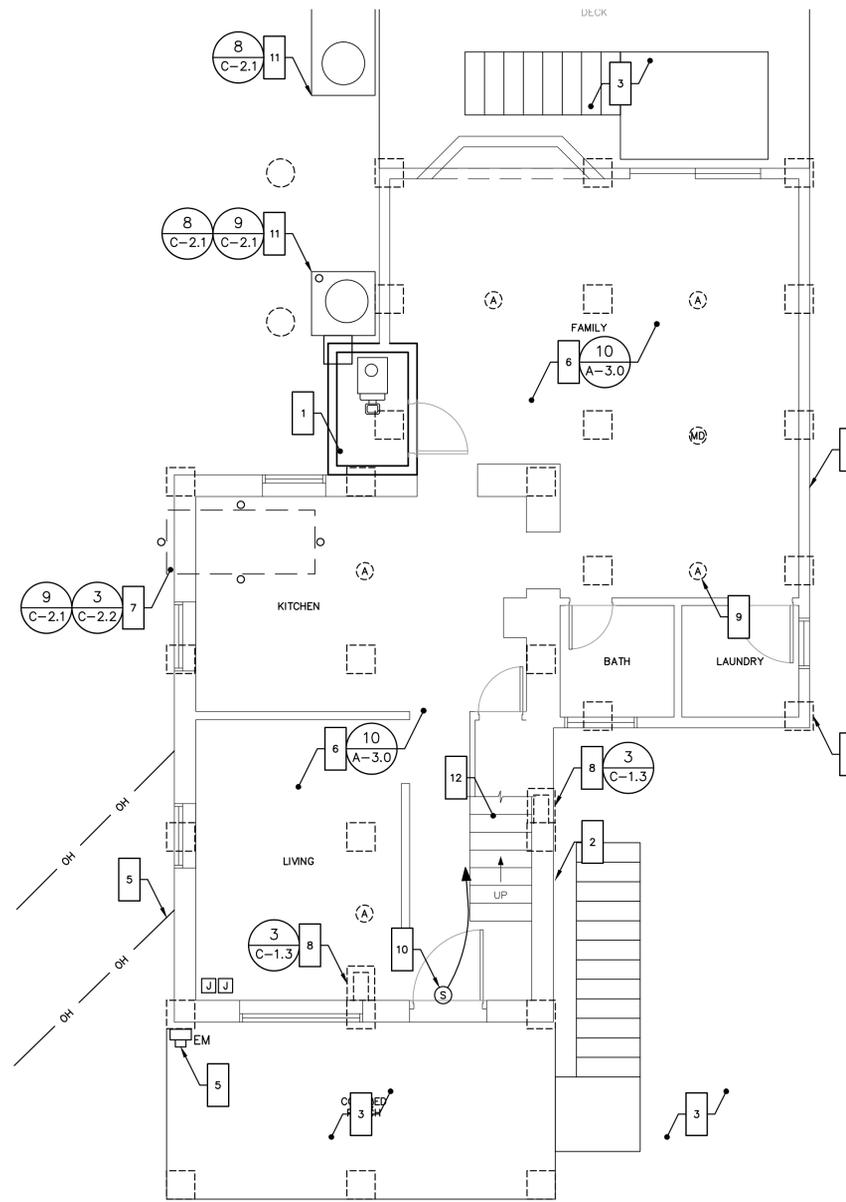
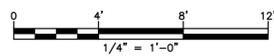
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**EXISTING FLOOR PLANS**

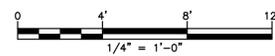
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**GRADE LEVEL**



**FIRST FLOOR**



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7. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

**WORK NOTES**

- 1 FURNISH AND INSTALL ALL MATERIALS FOR NEW UTILITY CLOSET; INFILL SIDING AS REQUIRED AND PATCH ALL EXISTING CONSTRUCTION DISTURBED; MATCH ADJACENT EXISTING CONDITIONS. NEW STAINLESS STEEL METAL FLUE ABOVE PROPOSED UTILITY CLOSET; TOP OF FLUE TO EXTEND 3' ABOVE ROOF PEAK.
- 2 FURNISH AND INSTALL ALL MATERIALS FOR NEW RIBBON BOARD AROUND ENTIRE STRUCTURE. FURNISH AND INSTALL CELLULAR PVC RIBBON BOARD FROM TOP OF COLUMN TO TOP OF NEW STRUCTURAL SUPPORT. FURNISH AND INSTALL INFILL SIDING AT WOOD-FRAMED PORTION OF HOUSE.
- 3 FURNISH AND INSTALL ALL MATERIALS FOR NEW STAIRS, LANDINGS, AND FOUNDATION SUPPORTS; SEE STRUCTURAL DRAWINGS
- 4 NEW FOUNDATION; SEE STRUCTURAL DRAWINGS
- 5 COORDINATE RECONNECTION OF OVERHEAD ELECTRICAL SERVICE TO EXISTING SERVICE MAST AT SOUTHEASTERN SIDE OF HOUSE; COORDINATE RELOCATION OF ELECTRIC METER ABOVE 100-YEAR FEMA BASE FLOOD ELEVATION
- 6 FURNISH AND INSTALL ALL MATERIALS TO INSULATE AND FINISH BUILDING UNDERSIDE PER DETAIL 10 ON SHEET A-3.0
- 7 FURNISH AND INSTALL ALL MATERIALS FOR NEW CONCRETE PAD FOR OUTDOOR HEATING FUEL STORAGE TANK; REINSTALL OUTDOOR HEATING FUEL STORAGE TANK WITH 4 (FOUR) BOLLARDS
- 8 FURNISH AND INSTALL ALL MATERIALS FOR COLUMN UTILITY CHASE FOR SANITARY SEWER SERVICE AND DOMESTIC WATER SERVICE. SEE STRUCTURAL DRAWINGS FOR LOCATION OF STRUCTURAL COLUMNS.
- 9 FURNISH AND INSTALL ALL MATERIALS FOR EXTERIOR LIGHTING FIXTURES AND MOTION DETECTION OPERATION AT UNDERSIDE OF ELEVATED HOUSE.
- 10 CONNECT TO NEW SWITCH ON FIRST FLOOR AND NEW EXTERIOR LIGHTING CIRCUIT ON EXISTING PANEL BOARD. CABLE TO BE NON-METALLIC SHEATHED TYPE NM-B; PROVIDE 2-#12, 1-#12 GROUND. PROVIDE ELECTRIC METALLIC TUBING AS CONDUIT FOR CABLING AT BUILDING UNDERSIDE FROM FIXTURES TO FLOOR PENETRATION TO PROPOSED SWITCH AND SUPPLY ON FIRST FLOOR.
- 11 REINSTALL PROPANE TANK AND POOL HEATER ON NEW CONCRETE PADS. SECURE PROPANE TANK TO PAD. FURNISH AND INSTALL ALL MATERIALS FOR ELECTRIC AND PLUMBING CONNECTIONS FOR HEATER AND TANK.
- 12 FURNISH AND INSTALL VINYL COMPOSITE TILE FLOORING IN LOCATION OF FORMER STAIR TO BASEMENT IN AREA BENEATH STAIR TO SECOND FLOOR.

LIGHTING LEGEND	
(A)	LIGHT FIXTURE, LITHONIA SERIES VR2
(MD)	MOTION DETECTOR
(S)	LIGHT SWITCH

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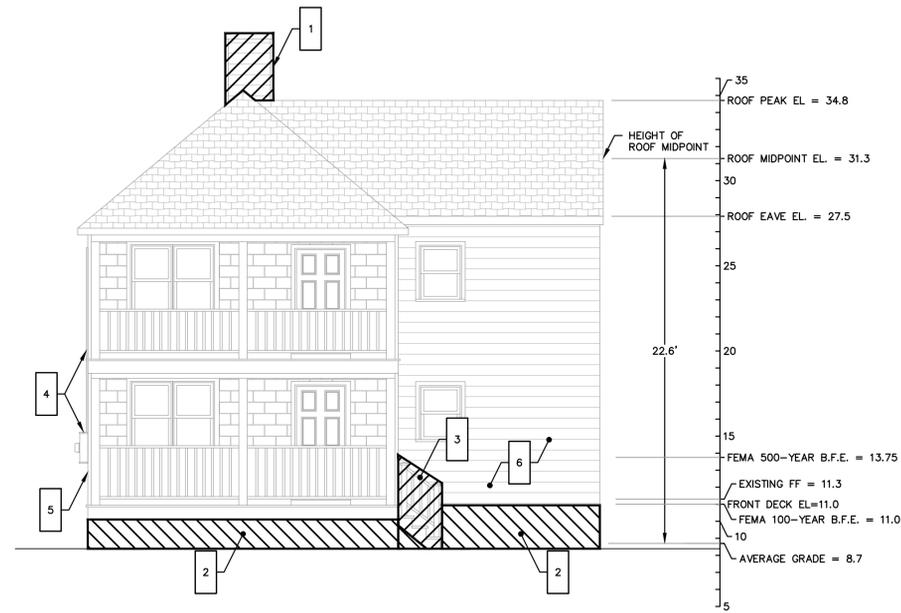
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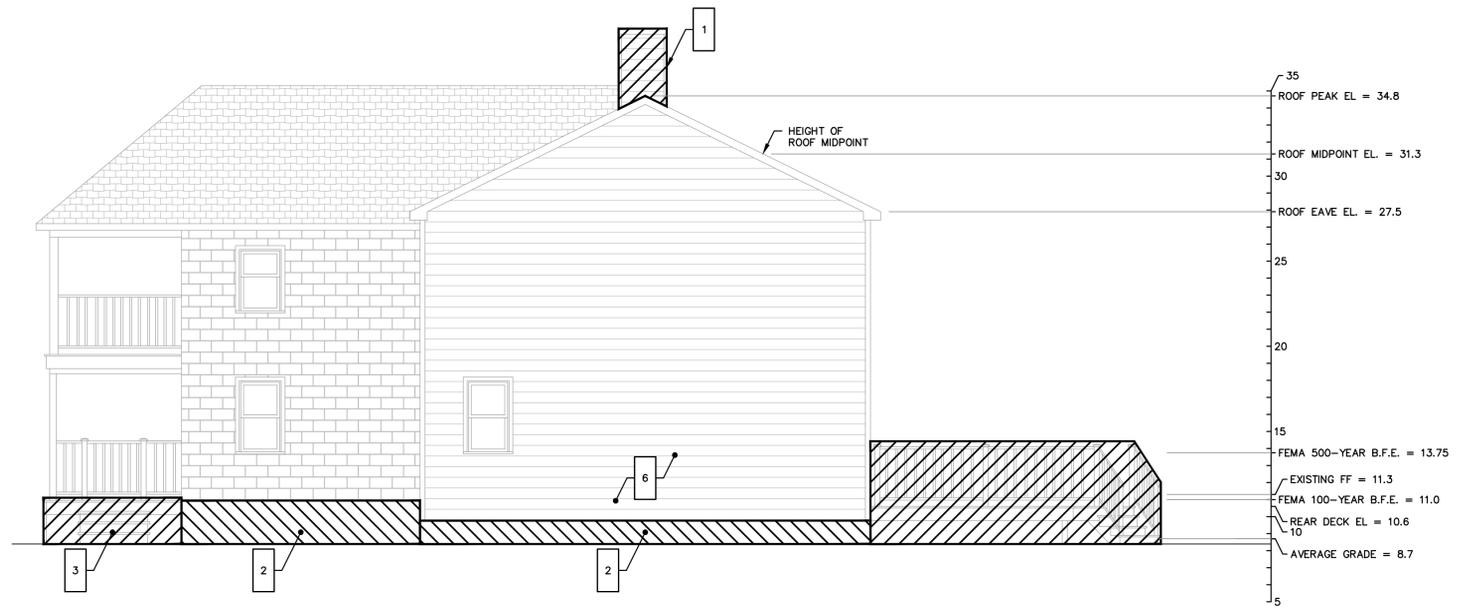
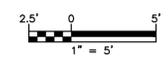
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KNL	MBR	REC	1/4" = 1'	4/27/2016	

**PROPOSED FLOOR PLANS**

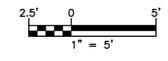
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FRONT ELEVATION



RIGHT SIDE ELEVATION



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**WORK NOTES**

- 1 DEMOLISH AND DISPOSE OFF SITE EXISTING WOOD-FRAMED CHIMNEY, METAL FLUE, AND UTILITY CLOSE; PROTECT BUILDING ENVELOPE FROM THE ELEMENTS UNTIL PERMANENT CONSTRUCTION IS IN PLACE.
- 2 DEMOLISH EXISTING FOUNDATION AND ALL SUPPORTS BELOW GRADE, AND DISPOSE OFF SITE
- 3 DEMOLISH FRONT STAIRS, RAILING, AND ALL SUPPORTS BELOW GRADE, AND DISPOSE OFF SITE
- 4 COORDINATE DISCONNECT OF OVERHEAD ELECTRICAL SERVICE AT SERVICE MAST AT SOUTHEASTERN SIDE OF HOUSE. REMOVE ELECTRICAL SERVICE METER AND STORE ON SITE FOR REINSTALLATION OR REPLACE AS REQUIRED BY UTILITY PROVIDER.
- 5 EXISTING SOLAREEDGE TECHNOLOGIES INC. PHOTOVOLTAIC INVERTER, METER, AND DISCONNECT; COORDINATE WITH TRINITY SOLAR (1-800-373-3765)
- 6 REMOVE SIDING AS REQUIRED TO ELEVATE STRUCTURE AND FOR INSTALLATION OF HURRICANE STRAPS; SEE STRUCTURAL DRAWINGS

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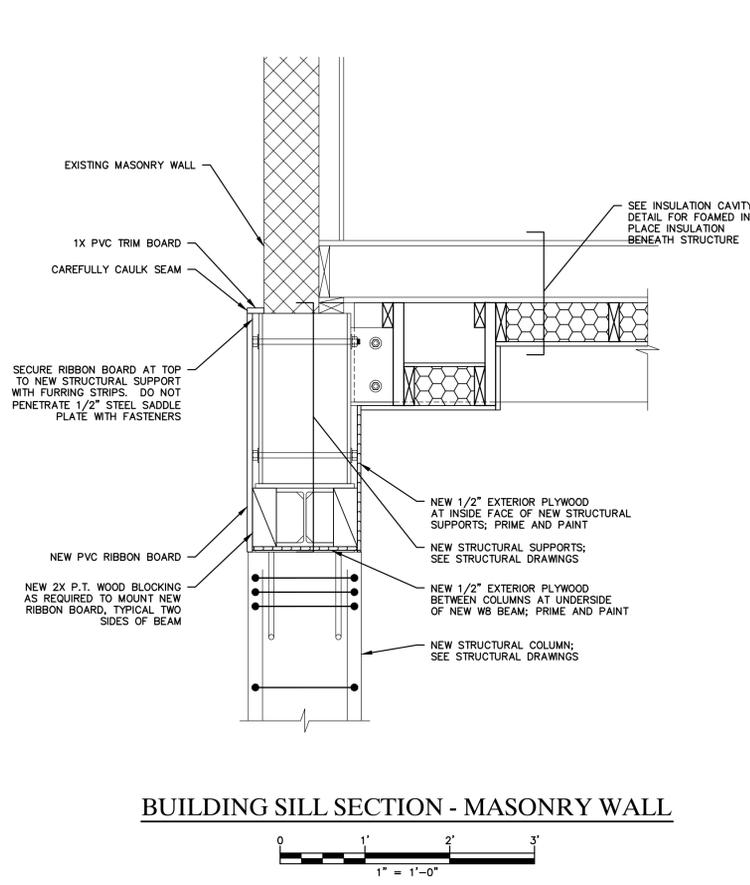
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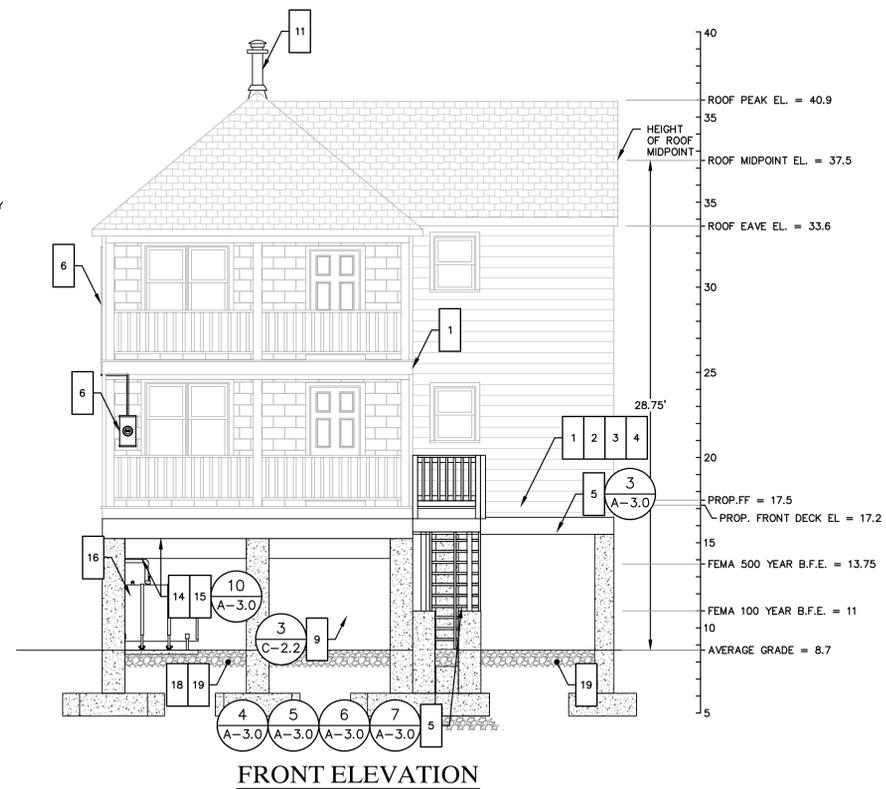
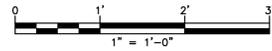
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**EXISTING BUILDING ELEVATIONS**

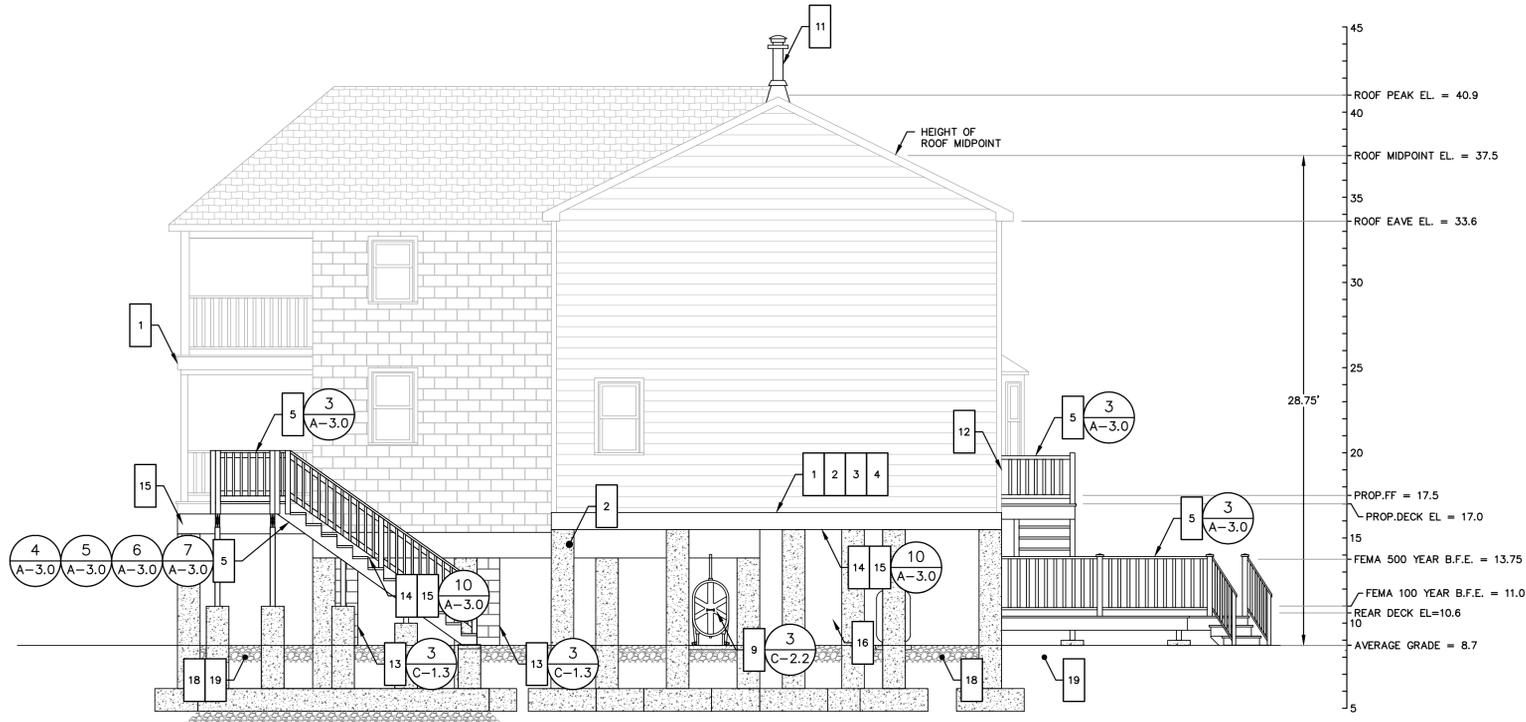
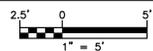
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**BUILDING SILL SECTION - MASONRY WALL**



**FRONT ELEVATION**



**RIGHT SIDE ELEVATION**



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**WORK NOTES**

- 1 SUPPORT HOUSE AND LIFT TO PROPOSED ELEVATION; TWO STORY WOOD FRONT PORCH TO BE SUPPORTED AND LIFTED WITH HOUSE
- 2 FURNISH AND INSTALL NEW FOUNDATION ON PILES UPON COMPLETION OF FOUNDATION DEMOLITION; SEE STRUCTURAL DRAWINGS
- 3 FURNISH AND INSTALL FIRST FLOOR FRAMING AND SUPPORTS; SEE STRUCTURAL DRAWINGS
- 4 LOWER HOUSE ONTO SUPPORTS AT PROPOSED ELEVATIONS; SEE STRUCTURAL DRAWINGS
- 5 FURNISH AND INSTALL ALL MATERIALS FOR NEW LANDINGS AND STAIRS AT FRONT AND BACK OF HOUSE AT PROPOSED ELEVATIONS; REBUILD WOOD DECK AND WOOD STEPS AT REAR OF HOUSE AT ORIGINAL LOCATIONS AS DISTURBED BY CONSTRUCTION ACTIVITIES
- 6 COORDINATE RECONNECTION OF OVERHEAD ELECTRICAL SERVICE TO EXISTING SERVICE MAST AT SOUTHEASTERN SIDE OF HOUSE; COORDINATE RELOCATION OF ELECTRIC METER ABOVE 100-YEAR FEMA BASE FLOOD ELEVATION
- 7 EXTEND WATER AND SANITARY SERVICES TO ELEVATED HOUSE; INSULATE, PROTECT, AND MOUNT ALL SERVICES PER CONTRACT SPECIFICATIONS
- 8 COORDINATE OTHER UTILITY CONNECTIONS, INCLUDING TELECOMMUNICATIONS; RESTORE ALL SERVICES TO FUNCTIONAL SERVICE STATES
- 9 REINSTALL HEATING OIL STORAGE TANK BENEATH HOUSE ON NEW CONCRETE PAD; SECURE PER DETAIL 3 ON SHEET C-2.2. REINSTALL OUTDOOR PROPANE TANK AT SOUTHERN CORNER OF HOUSE.
- 10 FURNISH AND INSTALL ALL MATERIALS FOR NEW UTILITY CLOSET; SEE SHEET A-2.2 FOR SECTION AND PLAN VIEW.
- 11 FURNISH AND INSTALL NEW STAINLESS STEEL METAL FLUE ABOVE PROPOSED UTILITY CLOSET; TOP OF FLUE TO EXTEND 3' ABOVE ROOF PEAK
- 12 RELOCATE HOSE BIB TO ELEVATED DECK; FURNISH AND INSTALL NEW NON-FREEZE WALL HYDRANTS
- 13 FURNISH AND INSTALL ALL MATERIALS FOR COLUMN UTILITY CHASE FOR SANITARY SEWER SERVICE AND DOMESTIC WATER SERVICE LINES. SEE STRUCTURAL DRAWINGS FOR LOCATION OF STRUCTURAL COLUMNS.
- 14 FURNISH AND INSTALL ALL MATERIALS FOR NEW RIBBON BOARD AND BUILDING SILL AROUND MASONRY PORTION OF STRUCTURE. FURNISH AND INSTALL CELLULAR PVC RIBBON BOARD FROM TOP OF COLUMN TO BOTTOM OF EXISTING MASONRY WALL.
- 15 FURNISH AND INSTALL ALL MATERIALS FOR NEW RIBBON BOARD AND BUILDING SILL AROUND WOOD-FRAMED PORTION OF STRUCTURE. FURNISH AND INSTALL CELLULAR PVC RIBBON BOARD FROM TOP OF COLUMN TO TOP OF NEW STRUCTURAL SUPPORT. FURNISH AND INSTALL INFILL SIDING.
- 15 FURNISH AND INSTALL ALL MATERIALS TO INSULATE AND FINISH BUILDING UNDERSIDE PER DETAIL 10 ON SHEET A-3.0
- 16 REINSTALL PROPANE TANK AND POOL HEATER ON NEW CONCRETE PADS. SECURE PROPANE TANK TO PAD. FURNISH AND INSTALL ALL MATERIALS FOR ELECTRIC AND PLUMBING CONNECTIONS FOR HEATER AND TANK.
- 17 COMPLETE REMAINING BUILDING WORK (BOTH INTERIOR AND EXTERIOR)
- 18 FURNISH AND INSTALL 12-INCH THICK LAYER OF 3/4-INCH CRUSHED STONE BENEATH MAIN STRUCTURE
- 19 MULCH AREA BENEATH DECKS AND ACCESS STAIRS

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**PROPOSED  
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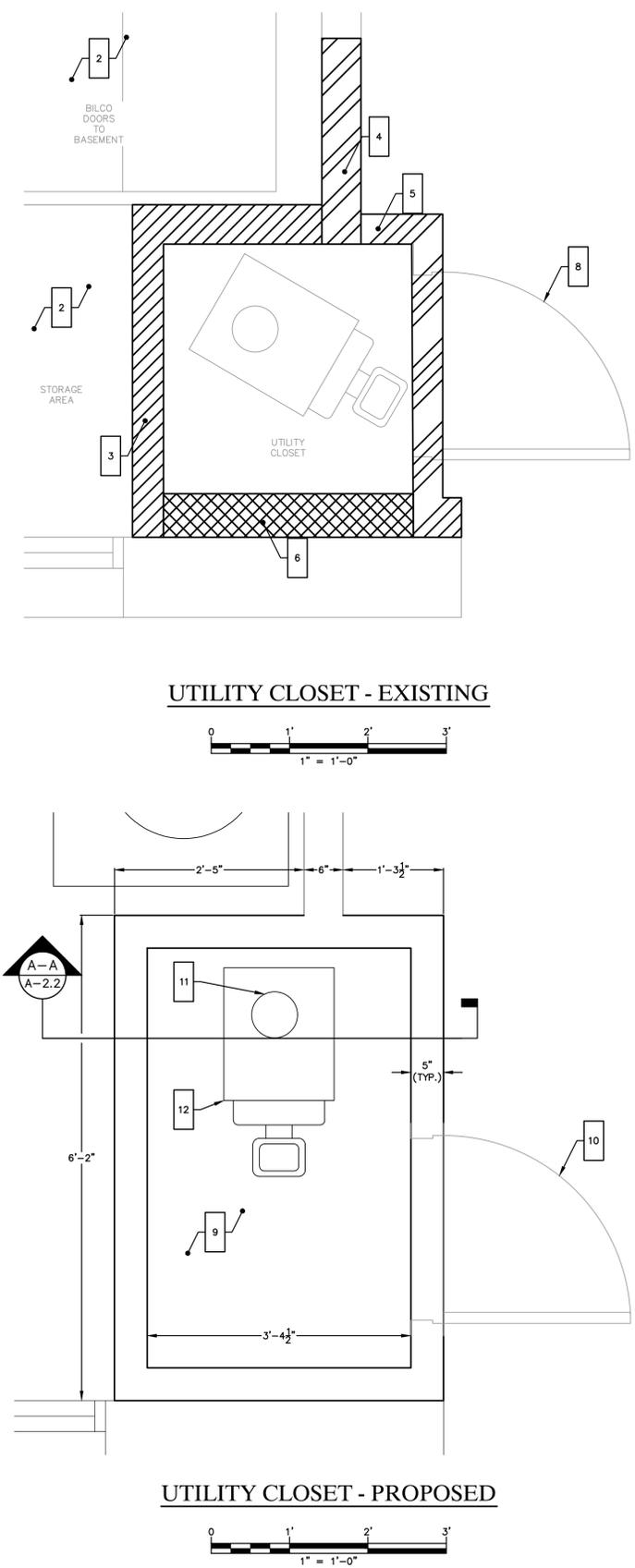
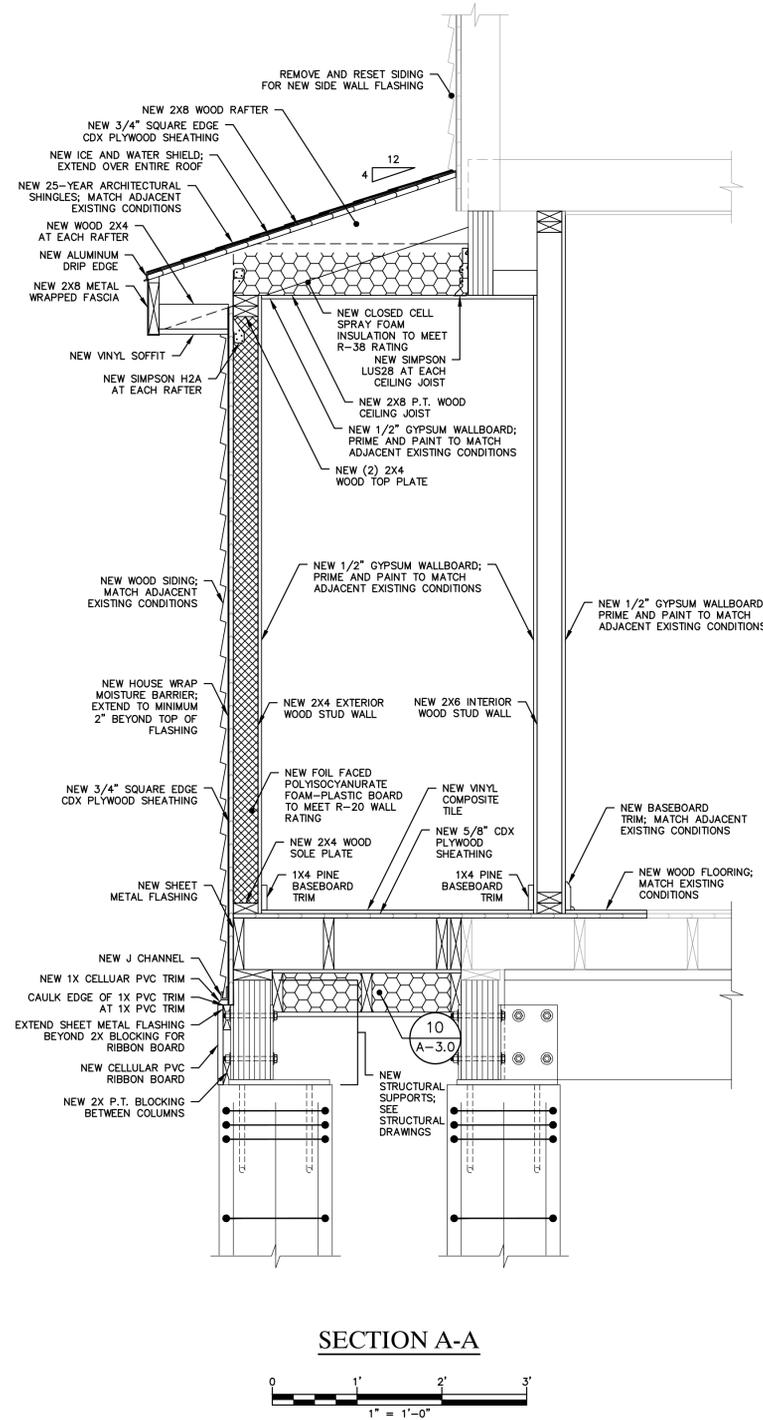
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4. WORK LIMITS SHALL BE AS NOTED. ALL ITEMS DISTURBED BY ANY AND ALL CONSTRUCTION ACTIVITIES SHALL BE RESTORED SUBSTANTIALLY TO THE CONDITION THEY EXISTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, TO MCA'S APPROVAL.
5. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
6. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
7. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

**WORK NOTES**

- 1 DEMOLISH EXISTING METAL FLUE AND WOOD-FRAMED ENCLOSURE, AND DISPOSE OFF SITE. PATCH EXTERIOR CONSTRUCTION AS REQUIRED. MATCH ADJACENT EXISTING CONDITIONS. PROTECT BUILDING ENVELOPE UNTIL PERMANENT CONSTRUCTION IS COMPLETED.
- 2 DEMOLISH EXISTING BILCO DOORS AND STORAGE AREA, AND DISPOSE OFF SITE; PROTECT BUILDING ENVELOPE.
- 3 DEMOLISH EXISTING EXTERIOR WOOD-FRAMED WALL OF UTILITY CLOSET
- 4 DEMOLISH EXISTING EXTERIOR WOOD-FRAMED WALL IN LIVING ROOM
- 5 DEMOLISH EXISTING INTERIOR WOOD-FRAMED WALL IN LIVING ROOM
- 6 DEMOLISH EXISTING WOOD-FRAMED WALL AND FINISHES TO OUTSIDE FACE OF KITCHEN MASONRY WALL
- 7 REMOVE AND DISPOSE OFFSITE OF EXISTING OIL FIRED BOILER AND ALL CONTROLS IN MECHANICAL CLOSET; DEMOLISH PLUMBING BACK TO PENETRATIONS IN MECHANICAL CLOSET WALLS AND PLUG FOR RECONNECTION OF NEW PLUMBING.
- 8 REMOVE EXISTING DOOR SLAB AND HARDWARE; SALVAGE FOR REINSTALLATION
- 9 FURNISH AND INSTALL ALL MATERIALS FOR NEW UTILITY CLOSET; INFILL SIDING AS REQUIRED; MATCH ADJACENT EXISTING CONDITIONS. FURNISH AND INSTALL COMBUSTION AIR VENTS IN WALL.
- 10 REINSTALL DOOR SLAB WITH EXISTING HARDWARE; FURNISH AND INSTALL CASING TRIM TO MATCH EXISTING
- 11 FURNISH AND INSTALL NEW STAINLESS STEEL METAL FLUE ABOVE PROPOSED UTILITY CLOSET; TOP OF FLUE TO EXTEND 3' ABOVE ROOF PEAK.
- 12 FURNISH AND INSTALL NEW WEIL-MCLAIN WFG-4RD BOILER, CONTROLS, TRIM, AND ALL REQUIRED PLUMBING FOR FUNCTIONING DOMESTIC HOT WATER AND ZONED RADIANT HEATING BUILDING SUPPLY, BALANCE AND COMMISSION SYSTEM. CONNECT TO EXISTING ZONED HEATING AND DOMESTIC HOT WATER PIPING



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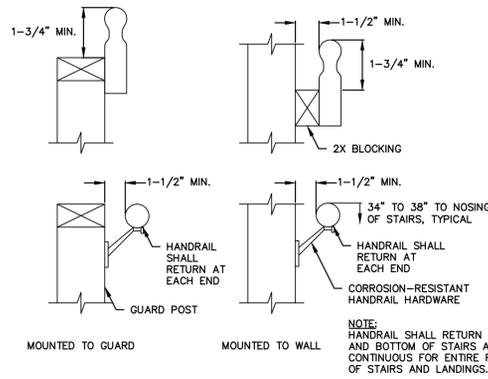
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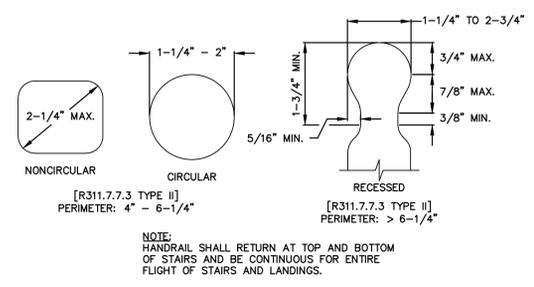
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1	05/25/2016	ISSUED FOR DOH REVIEW & APPROVAL	MBR	MBR	REC
DRAWN: KNL    CHECKED: MBR    APPROVED: REC    SCALE: AS NOTED    DATE: 4/27/2016					

**UTILITY CLOSET**

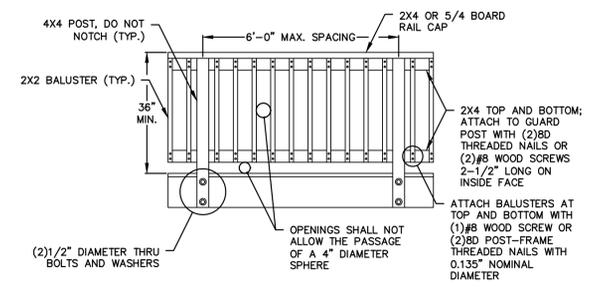
JOB NO.	DRAWING NUMBER	SHEET
33-262-1529	BASEMAP 33-262-1529.dwg	A-2.2



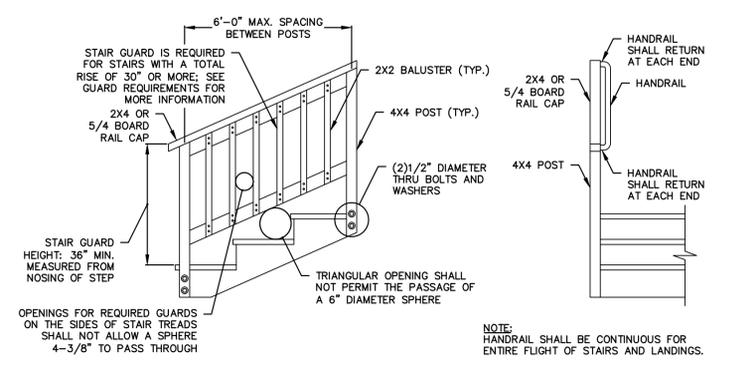
1 TYPICAL HANDRAIL MOUNTING  
A-3.0 N.T.S.



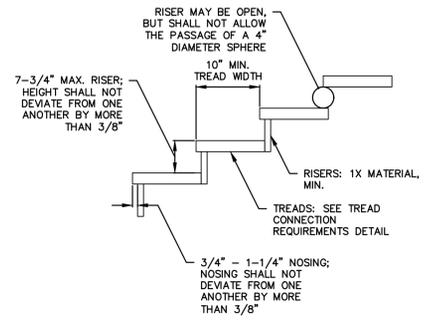
2 TYPICAL HANDRAIL GRIP SIZE  
A-3.0 N.T.S.



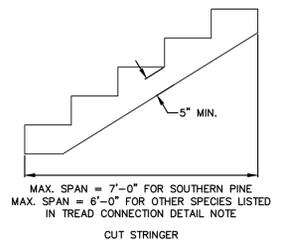
3 TYPICAL DECK RAILING GUARD  
A-3.0 N.T.S.



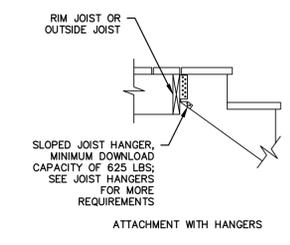
4 TYPICAL STAIR GUARD REQUIREMENTS  
A-3.0 N.T.S.



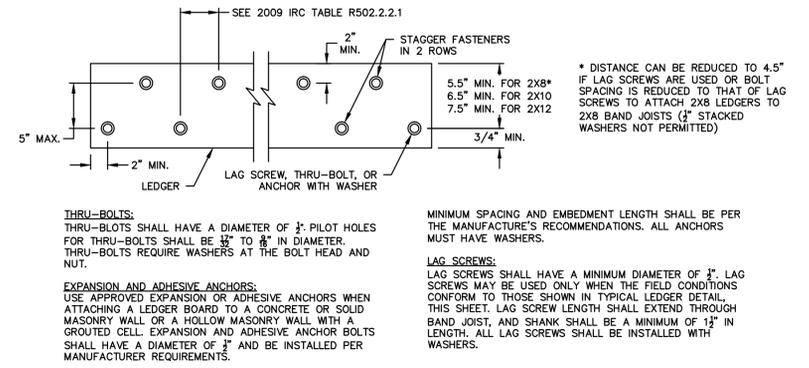
5 TYPICAL TREAD AND RISER  
A-3.0 N.T.S.



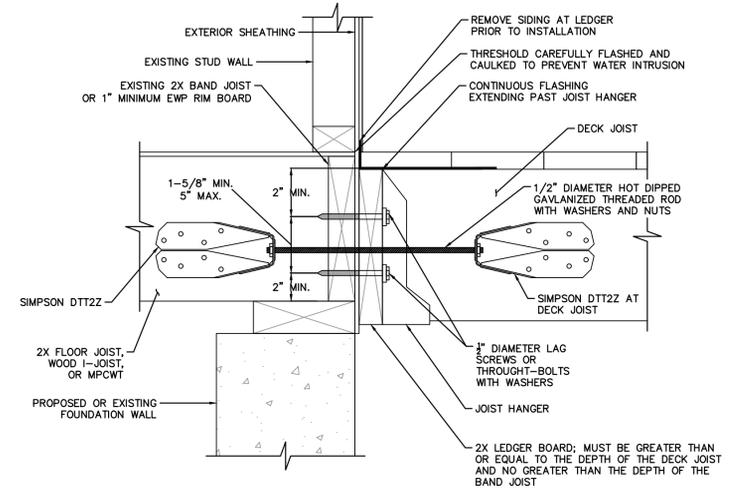
6 TYPICAL STAIR STRINGER REQUIREMENTS  
A-3.0 N.T.S.



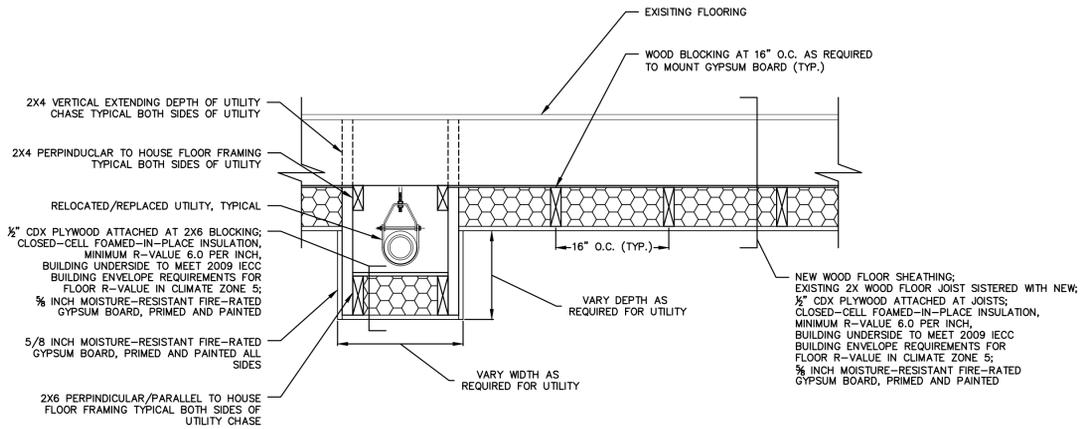
7 TYPICAL STAIR STRINGER ATTACHMENT  
A-3.0 N.T.S.



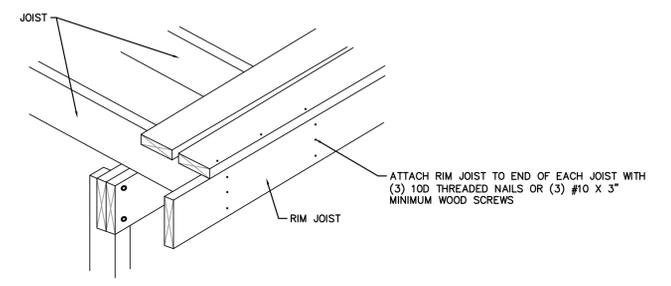
8 TYPICAL LEDGER BOARD FASTENER SPACING AND CLEARANCE  
A-3.0 N.T.S.



9 TYPICAL GENERAL ATTACHMENT OF LEDGER  
A-3.0 N.T.S.



10 TYPICAL FLOOR CAVITY INSULATION DETAIL  
A-3.0 1/2\"/>



11 TYPICAL RIM JOIST CONNECTION  
A-3.0 N.T.S.

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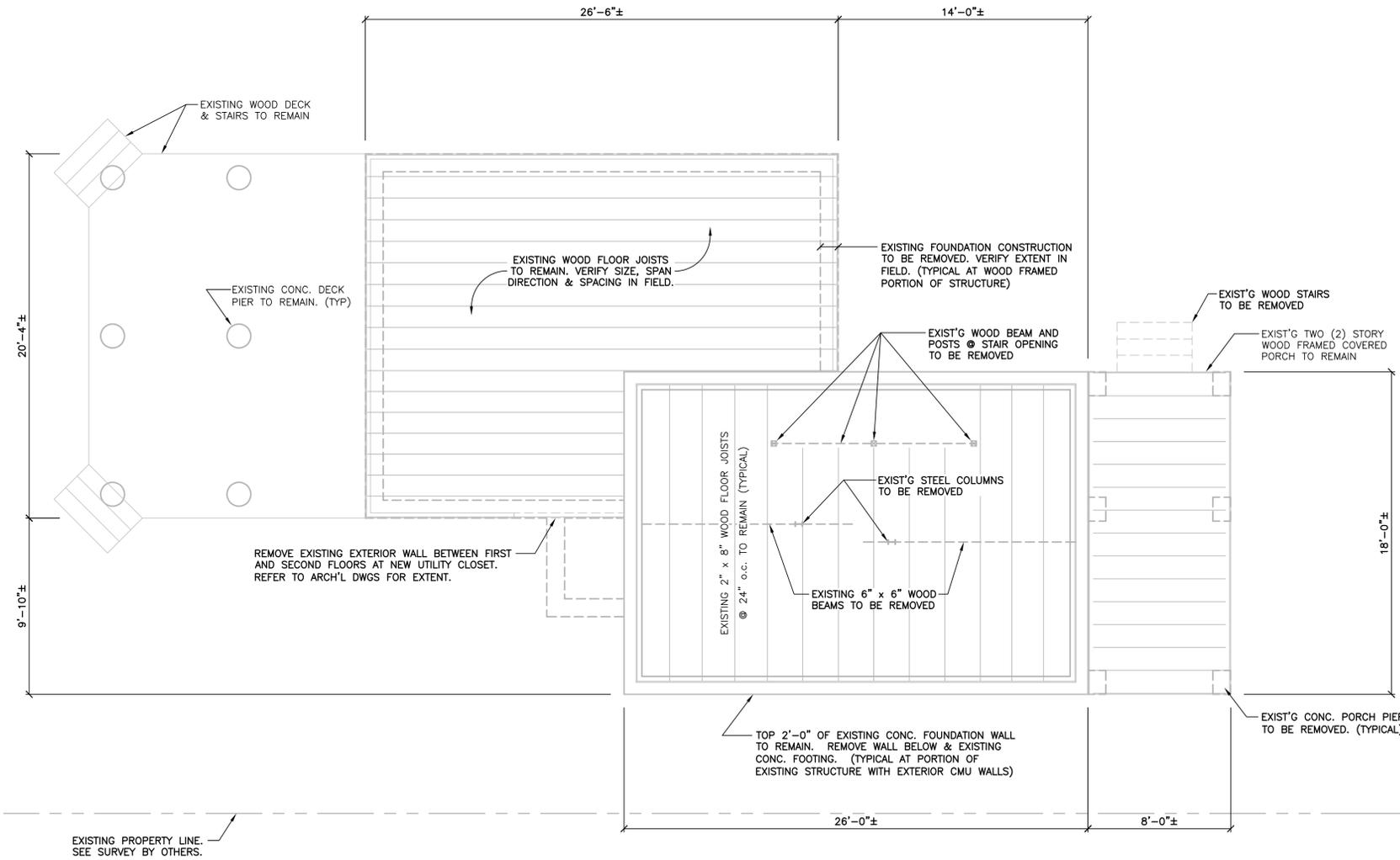
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NO.	DATE	REVISIONS	BY	CHK	APPV
DRAWN: KNL		CHECKED: MBR	APPROVED: REC	SCALE: AS NOTED	DATE: 4/27/2016

DECK AND STAIR DETAILS

JOB NO.	DRAWING NUMBER	SHEET
33-262-1529	BASEMAP 33-262-1529.dwg	A-3.0



**EXISTING CONDITIONS PLAN**

SCALE: 1/4" = 1'-0"



**NOTES:**

1. THE EXISTING CMU & WOOD FRAMED SUPERSTRUCTURE SHALL BE ADEQUATELY SHORED PRIOR TO DEMOLITION OF THE EXISTING FOUNDATION SYSTEM. REFER TO SECTION 1/S4 FOR ADDITIONAL SUPPORT REQUIREMENTS.
2. REFER TO THE ACCOMPANYING DRAWINGS FOR PLANS, DETAILS AND ADDITIONAL REQUIREMENTS RELATED TO THE NEW FOUNDATION AND FRAMING SYSTEM TO SUPPORT THE EXISTING SUPERSTRUCTURE TO BE ELEVATED.
3. CONDITIONS SHOWN ARE BASED SOLELY ON AVAILABLE INFORMATION AND HAVE NOT BEEN INDEPENDENTLY VERIFIED TO BE COMPLETELY ACCURATE.

**DESIGN BASIS**

GOVERNING CODE .....2005 STATE BUILDING CODE +  
2009 & 2013 CONNECTICUT AMENDMENTS

**GENERAL NOTES:**

SHOP DRAWINGS ARE TO BE CHECKED BY THE CONTRACTOR AND BEAR THE CHECKER'S INITIALS BEFORE BEING SUBMITTED TO THE ENGINEER.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, ANGLES, AND EXISTING CONDITIONS BEFORE PROCEEDING WITH ANY WORK.

IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.

IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE CONSTRUCTION PROCEDURE AND SEQUENCE, AND TO ENSURE THE SAFETY OF THE EXISTING BUILDING AND ITS COMPONENT PARTS DURING CONSTRUCTION. THIS INCLUDES THE ADDITION OF WHATEVER SHORING, BRACING, ETC. THAT MAY BE REQUIRED.

WORK THESE DRAWINGS WITH THOSE OF OTHER TRADES FOR LOCATIONS OF OPENINGS, RECESSES, BUILT-IN WORK, ETC.

**FOUNDATION NOTES**

REFER TO GEOTECHNICAL REPORT PREPARED BY DR. CLARENCE WELTI, P.E., P.C., DATED JANUARY 12, 2015 FOR SUBSURFACE PREPARATION & RELATED REQ'MENTS.

WHERE GROUNDWATER IS ENCOUNTERED, DEWATERING SHALL BE ACCOMPLISHED CONTINUOUSLY AND COMPLETELY DURING FOUNDATION CONSTRUCTION. PROVIDE CRUSHED STONE AS REQUIRED TO STABILIZE FOOTING SUBGRADE.

ALL FOOTINGS ARE TO REST ON FIRM SOIL REGARDLESS OF ELEVATIONS SHOWN ON THE DRAWINGS, BUT IN NO CASE MAY FOOTING ELEVATIONS BE HIGHER THAN INDICATED ON THE FOUNDATION PLAN, UNLESS SPECIFICALLY DIRECTED BY THE STRUCTURAL ENGINEER. BOTTOM OF FOOTINGS TO BE 3'-6" MINIMUM BELOW GRADE.

**CONCRETE**

**MATERIALS:**

ALL CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 5,000 PSI AT 28 DAYS. CONTRACTOR TO SUBMIT CONCRETE MIX DESIGN.

ALL DETAILING, FABRICATION, AND ERECTION OF REINFORCING BARS, UNLESS OTHERWISE NOTED, MUST FOLLOW THE LATEST ACI CODE AND LATEST ACI "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES".

ALL REINFORCING STEEL SHALL BE EPOXY COATED IN ACCORDANCE WITH ASTM A775.

NO CALCIUM CHLORIDE OR ADMIXTURES CONTAINING MORE THAN 1% CHLORIDE BY WEIGHT OF ADMIXTURE SHALL BE USED IN THE CONCRETE.

PROVIDE 5% TO 7% AIR ENTRAINMENT IN ALL CONCRETE.

UNLESS OTHERWISE NOTED, ALL LAP SPLICES SHALL BE CLASS B.

**STRUCTURAL STEEL**

**MATERIALS:**

STRUCTURAL STEEL.....ASTM A572/992  
 ANGLES, MISCELLANEOUS PLATES AND BARS.....ASTM A36  
 BOLTS.....ASTM A325  
 WELDING ELECTRODE.....ASTM E 70

SHOP AND ERECTION DRAWINGS SHALL BE SUBMITTED FOR ALL STRUCTURAL STEEL WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. SUBMIT FOUR (4) PRINTS TO THE ENGINEER.

STRUCTURAL STEEL SHALL CONFORM TO THE CURRENT "AISC SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS", AND THE "AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES".

ALL PERMANENTLY EXPOSED STRUCTURAL STEEL SHALL BE HOT DIP GALVANIZED IN ACCORDANCE WITH ASTM A123. ALL OTHER STEEL SHALL BE SHOP PRIMED GRAY TO 2 MIL THICKNESS.

ALL WELDING SHALL BE DONE BY A CERTIFIED WELDER IN ACCORDANCE WITH A.W.S. STANDARDS.

ALL STRUCTURAL STEEL, FROM DELIVERY TO THE JOB SITE TO AFTER ERECTION SHALL CONFORM TO ALL REQUIREMENTS OF ASTM A6.

**CONNECTIONS:**

CONNECTIONS SHALL CONFORM TO ALL REQUIREMENTS OF THE "AISC SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS", LATEST EDITION, AND THE "SPECIFICATION FOR STRUCTURAL STEEL JOINTS USING ASTM A325 OR A490 BOLTS" APPROVED APRIL 26, 1978.

CONNECTIONS SHALL HAVE A MINIMUM OF TWO BOLT ROWS.

SHOP CONNECTIONS SHALL BE WELDED OR HIGH STRENGTH BOLTED.

UNLESS SPECIFICALLY NOTED BOLTS SHALL BE 3/4" TYPE A325-N.

PROVIDE HEAVY HEX NUTS AND WASHERS AT ALL ANCHOR BOLTS.

NO WELDING OR FINAL BOLTING SHALL BE DONE UNTIL AS MUCH OF THE STRUCTURE THAT WILL BE STIFFENED THEREBY HAS BEEN PROPERLY ALIGNED.

MILL BEARING ENDS OF COLUMNS, STIFFENERS, AND OTHER BEARING SURFACES TO TRANSFER LOAD OVER ENTIRE CROSS SECTION.

BOLT HOLES SHALL BE PUNCHED OR DRILLED. FLAME CUT HOLES ARE NOT ACCEPTABLE.

**STRUCTURAL LUMBER**

STRUCTURAL LUMBER USED FOR BRIDGING, BLOCKING AND OTHER MISCELLANEOUS FRAMING SHALL BE NOT LESS THAN NO. 2 GRADE DOUGLAS FIR AND SHALL HAVE THE FOLLOWING MINIMUM ALLOWABLE UNIT STRESSES:

EXTREME FIBER IN BENDING..... $F_b = 875$  PSI  
 HORIZONTAL SHEAR..... $F_v = 95$  PSI  
 TENSION PARALLEL TO GRAIN..... $F_t = 825$  PSI  
 COMPRESSION PERPENDICULAR TO GRAIN..... $F_c = 385$  PSI  
 COMPRESSION PARALLEL TO GRAIN..... $F_c = 1,050$  PSI  
 MODULUS OF ELASTICITY..... $E = 1,700,000$  PSI

MOISTURE CONTENT OF ALL FRAMING LUMBER WHEN DELIVERED TO THE PROJECT SITE SHALL NOT EXCEED 19%.

NAILING AND OTHER FASTENING SHALL BE AS PER TABLE 2304.9.1, FASTENING SCHEDULE, OF THE 2005 STATE OF CONNECTICUT BUILDING CODE.

PLYWOOD WALL SHEATHING SHALL BE NOMINAL 5/8" THICK SQUARE EDGE EXTERIOR GRADE CDX AND CONTAIN (4) INNER PLYS.

PLYWOOD ROOF SHEATHING SHALL BE NOMINAL 3/4" THICK SQUARE EDGE EXTERIOR GRADE.

**ENGINEERED WOOD PRODUCTS**

ELEMENTS. FOLLOWING ERECTION, JOISTS SHALL BE SHEATHED AND PROTECTED TO MAINTAIN STRESS-GRADED MOISTURE CONTENT NOT TO EXCEED 19%.

PARALLAM PLUS PSL WOLMANIZED MEMBERS USED FOR BEAMS AND HEADERS SHALL HAVE THE FOLLOWING MINIMUM ALLOWABLE UNIT STRESSES:

EXTREME FIBER IN BENDING..... $F_b = 1,827$  PSI  
 HORIZONTAL SHEAR..... $F_v = 197$  PSI  
 TENSION PARALLEL TO GRAIN..... $F_t = 1,397$  PSI  
 COMPRESSION PERPENDICULAR TO GRAIN..... $F_c = 368$  PSI  
 COMPRESSION PARALLEL TO GRAIN..... $F_c = 1,508$  PSI  
 MODULUS OF ELASTICITY..... $E = 1,460,000$  PSI



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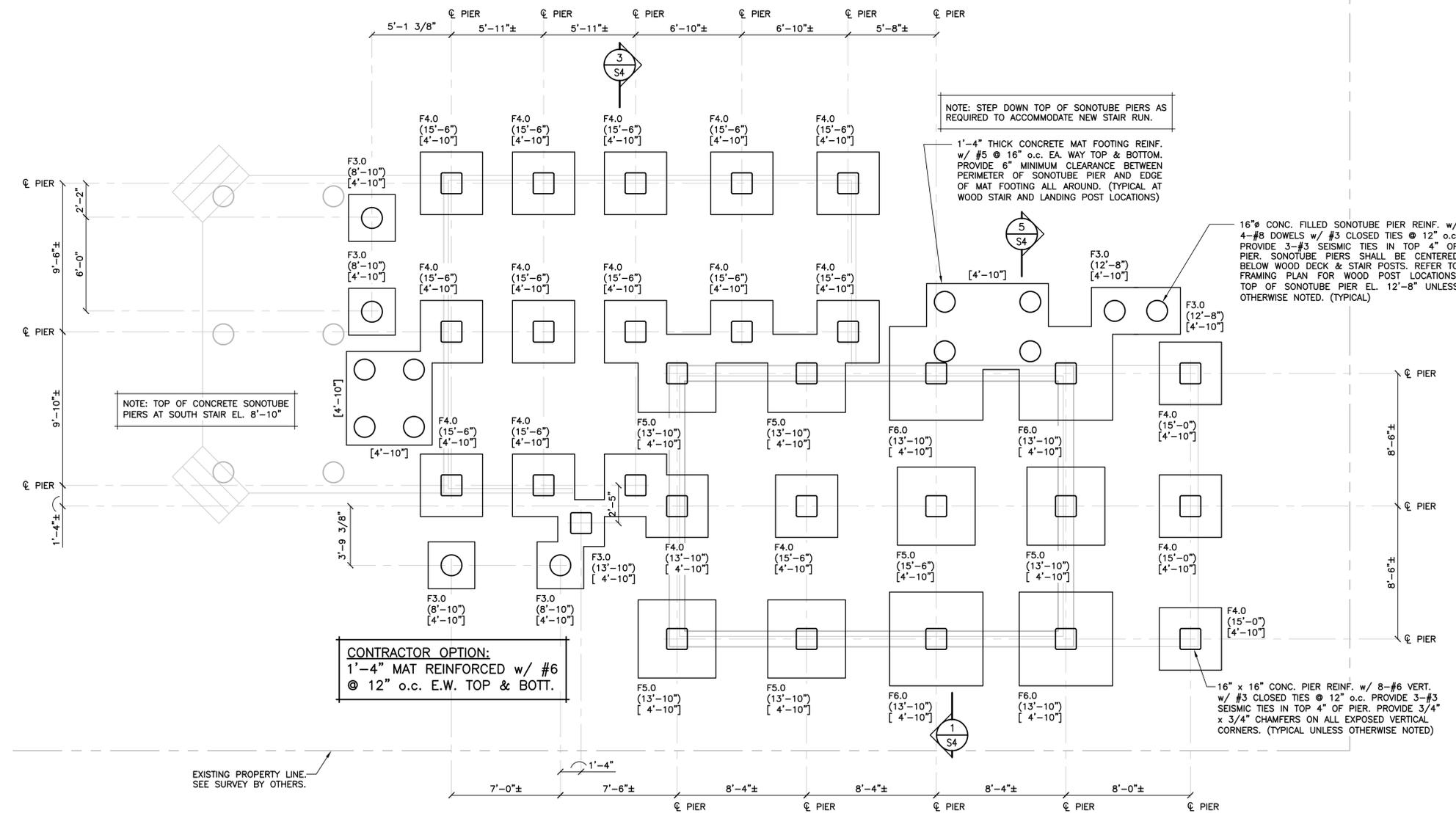
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1	4/27/2016	ISSUED FOR CT DOH REVIEW AND APPROVAL	DEB	TAT	TAT
DRAWN BY: DEB			CHECKED BY: TAT	SCALE: AS NOTED	DATE: 4/27/2016

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<b>FOUNDATION DESIGN</b>		
<b>EXISTING CONDITIONS PLAN &amp; STRUCTURAL NOTES</b>		
JOB NO.	DRAWING NUMBER	SHEET
33-262-1529	21518 S1-S4.dwg	S1



**FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"

**LEGEND:**

- F4.0 FOOTING MARK (SEE SCHEDULE)
- (.....) EL. TOP OF CONC. PIER
- [.....] EL. BOTTOM OF CONC. FOOTING

**PIER FOOTING SCHEDULE**

MARK	SIZE	REINF. (BOTTOM)
F3.0	3'-0" x 3'-0" x 1'-4" DEEP	4-#5 EA. WAY
F4.0	4'-0" x 4'-0" x 1'-4" DEEP	6-#5 EA. WAY
F5.0	5'-0" x 5'-0" x 1'-4" DEEP	7-#6 EA. WAY
F6.0	6'-0" x 6'-0" x 1'-4" DEEP	7-#7 EA. WAY



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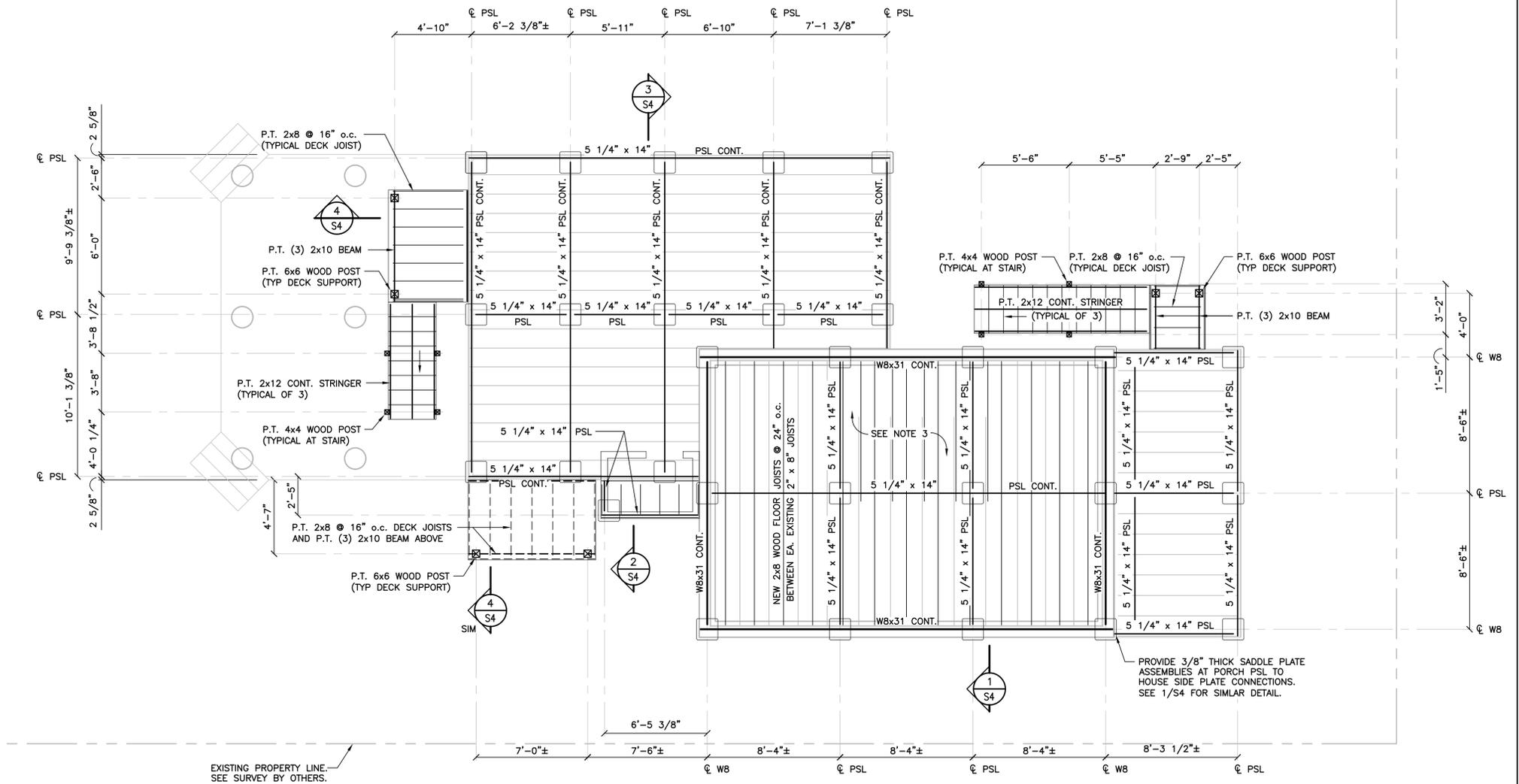
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**FOUNDATION DESIGN**

**FOUNDATION PLAN**

JOB NO.	DRAWING NUMBER	SHEET
33-262-1529	21518 S1-S4.dwg	S2



**FIRST FLOOR FRAMING SUPPORT PLAN**

SCALE: 1/4" = 1'-0"



**NOTES:**

1. NEW FINISH FIRST FLOOR EL. 17'-6"±
2. SETTING AND ANCHORAGE OF THE SUPERSTRUCTURE TO NEW CONCRETE FOUNDATION IS THE RESPONSIBILITY OF CONTRACTOR.
3. AT EXISTING STAIR OPENING, PROVIDE 2x8 WOOD FLOOR JOISTS AT EACH EXISTING FLOOR JOIST IN ADDITION TO FRAMING SHOWN ABOVE & PLYWOOD FLOORING TO MATCH EXISTING.
4. PROVIDE P.T. 2x CONTINUOUS NAILERS AT ALL NEW FLOOR FRAMING MEMBERS SUPPORTING EXISTING FLOOR JOISTS AS REQUIRED.
5. CONDITIONS SHOWN ARE BASED SOLELY ON AVAILABLE INFORMATION AND HAVE NOT BEEN INDEPENDENTLY VERIFIED TO BE COMPLETELY ACCURATE.
6. REFER TO DRAWING S4 FOR ADDITIONAL CONSTRUCTION ITEMS & REQUIREMENTS NOT SHOWN FOR CLARITY ON FRAMING PLAN ABOVE.



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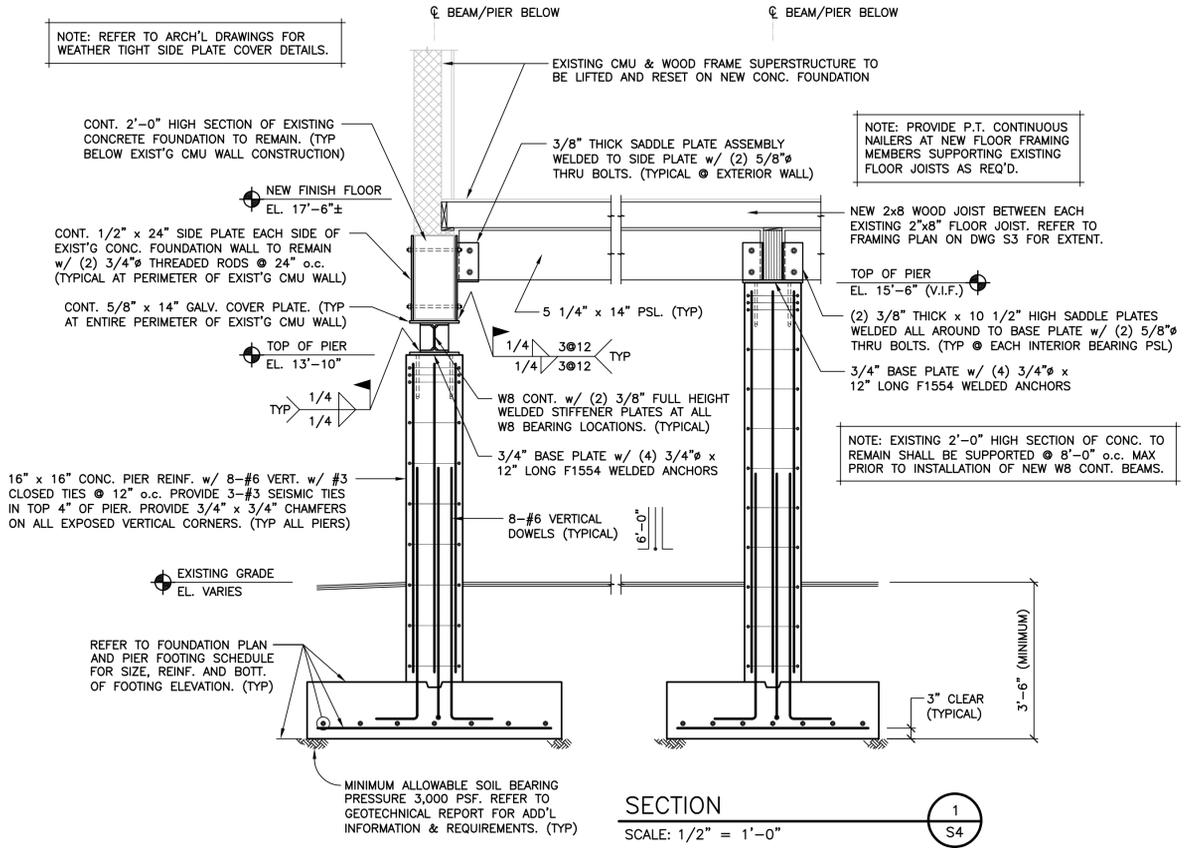
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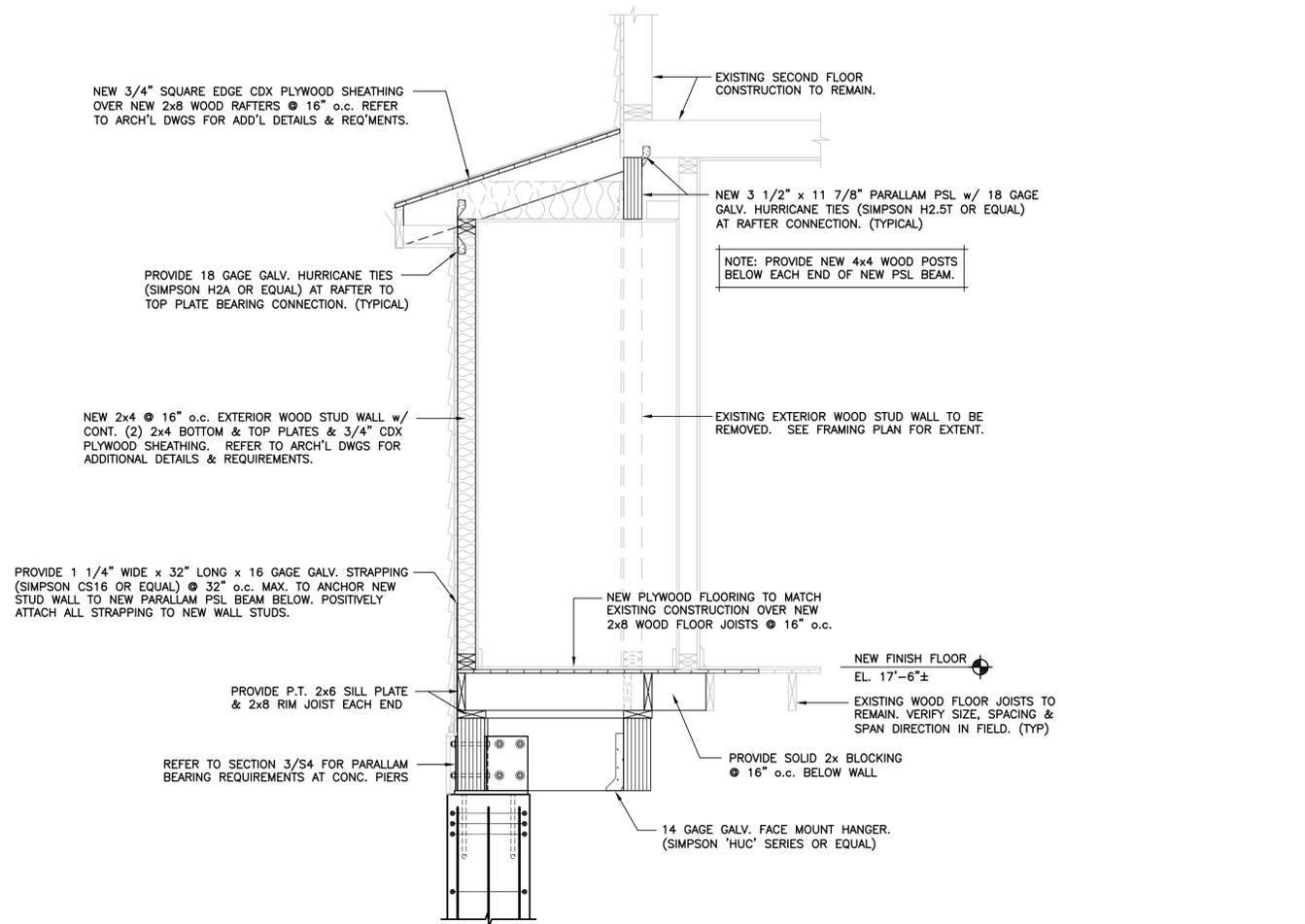
**FOUNDATION DESIGN**

**FIRST FLOOR FRAMING SUPPORT PLAN**

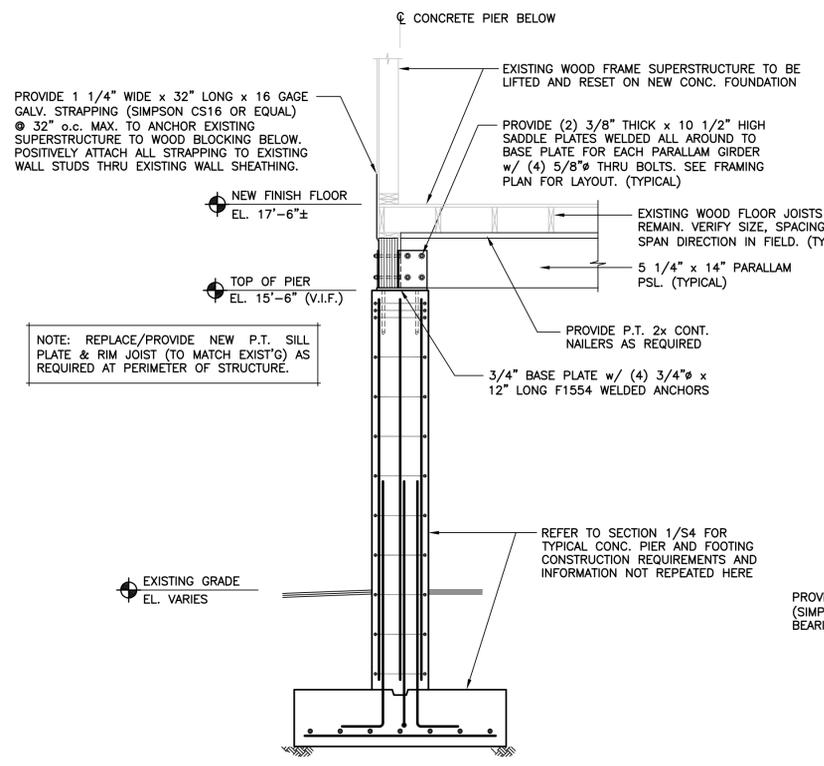
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33-262-1529	21518 S1-S4.dwg	S3



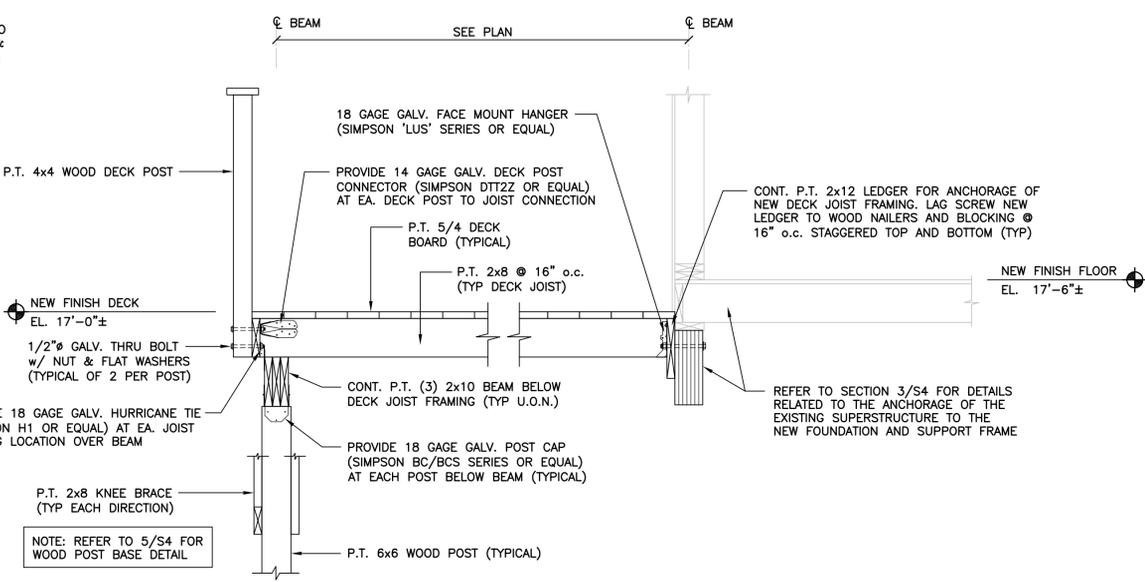
SECTION 1  
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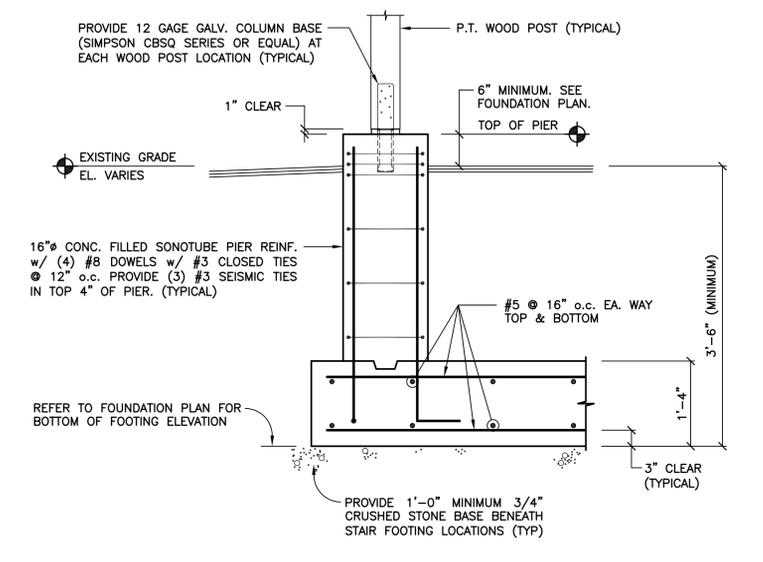
SECTION 2  
SCALE: 3/4" = 1'-0"



SECTION 3  
SCALE: 1/2" = 1'-0"



SECTION 4  
SCALE: 3/4" = 1'-0"



SECTION 5  
NO SCALE  
(TYPICAL STAIR/LANDING FOUNDATION)



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FOUNDATION DESIGN

SECTIONS

JOB NO.	DRAWING NUMBER	SHEET
33-262-1529	21518 S1-S4.dwg	S4