

STATE OF CONNECTICUT DEPARTMENT OF HOUSING

Community Development Block Grant
Disaster Recovery Program
Project: B-13-DS-09-001

Merritt Construction Services, Inc.

1177 High Ridge Road
Stamford, Connecticut 06905

Applicant Number 1526

108 Longdean Road
Fairfield, Connecticut 06824

TOWN PLAN AND ZONING DEPARTMENT
TOWN OF FAIRFIELD

F.E.M.A. STANDARD ONLY IF IN FLOOD HAZARD AREAS
ZONING COMPLIANCE PREDICATED ON A. B. C. & D.

A. All new construction and substantial improvements shall:

1. Be designed or modified and adequately anchored to prevent flotation, collapse, or lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including the effects of buoyancy.

2. Be constructed with materials resistant to flood damage.

3. Be constructed by methods and practices that minimize flood damages.

4. Be constructed with electrical, heating, ventilation, plumbing and air-conditioning equipment and other service facilities that are designed and located so as to prevent water from entering or accumulating within the components during conditions of flooding.

B. New and replacement water supply systems shall be designed to minimize or eliminate infiltration of flood waters into the system.

C. New and replacement sanitary sewage systems shall be designed to minimize or eliminate infiltration of flood waters into the systems and discharges from the system into flood waters and on-site waste disposal systems shall be located and constructed to avoid impairment to them or contamination from them during flooding.

D. All new construction and substantial improvements shall have the lowest floor, including basement elevated to or above the base flood level and if constructed with a fully enclosed area below this lowest floor shall be designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for the entry and exit of flood waters.

CODES:

THE DESIGN AND CONSTRUCTION DOCUMENTS PROVIDED WERE PREPARED IN ACCORDANCE WITH THE FOLLOWING CODES:

THE 2009 INTERNATIONAL RESIDENTIAL CODE AS MODIFIED BY:
2009 AND 2013 AMENDMENT TO THE STATE OF CONNECTICUT BUILDING CODE
2009 INTERNATIONAL ENERGY CONSERVATION CODE
2011 AMENDMENT TO THE 2009 INTERNATIONAL ENERGY CODE
2008 CONNECTICUT STATE FIRE SAFETY CODE AND
2009 AMENDMENT TO THE CONNECTICUT FIRE SAFETY CODE
2003 INTERNATIONAL PLUMBING CODE
2003 INTERNATIONAL MECHANICAL CODE
2011 NATIONAL ELECTRICAL CODE

DRAWING LIST:

T-1.0	TITLE SHEET
SE-1	SITE PLAN
EBLS	EXISTING BUILDING LOCATION SURVEY
ZLS	ZONING LOCATION SURVEY
A-1.0	FOUNDATION & FIRST FLOOR PLAN
A-2.0	FIRST FLOOR PLAN
S-1.0	GENERAL NOTES & MATERIAL SPECIFICATIONS
S-1.1	FOUNDATION & FIRST FLOOR PLANS
S-2.0	TYPICAL FOUNDATION DETAILS
DP-1.0	BASEMENT PLUMBING DEMOLITION PLAN
DM-1.0	BASEMENT MECHANICAL DEMOLITION PLAN
DE-1.0	BASEMENT ELECTRICAL DEMOLITION PLAN
P-1.0	PLUMBING PLAN
M-1.0	BASEMENT MECHANICAL PLAN
E-1.0	FIRST FLOOR ELECTRICAL PLAN

**NOT FOR
CONSTRUCTION**

TITLE BLOCK

108 Longdean Road, Fairfield, CT 06824
Tax Map: 183 Lot: 264
Zone: B
Applicants & Owners of record:
Emily & Sheila Sherwood
108 Longdean Road
Fairfield, CT 06824
(203) 858-8723

Project Description: One Story Residential Addition & FEMA Compliance

CT Department of Housing Community Development
Block Grant
Disaster Recovery Applicant #1526

Revisions	Date
BID SET	9/1/15
BID SET	11/10/15
BID SET	03/09/16
BID SET	03/27/16
BID SET	04/14/16
ZONING APPROVAL	05/16/16



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Aris Crist Architects

34 East Putnam Avenue
Greenwich, Connecticut 06830
203 661 0661

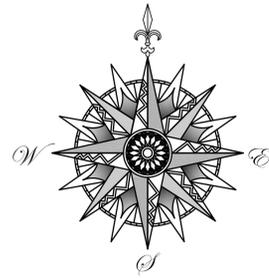
RESIDENCE No. 1526

108 LONGDEAN ROAD
FAIRFIELD CT, 06824

TITLE

Drawn
L.F.O
Checked
Date
07.21.15
Scale
AS NOTED
Job Number
Sheet

T-1.0



GENERAL NOTES:

- This drawing is intended only to depict the design of site grading, utilities and sediment & erosion controls. This drawing is for approval purposes only. No construction may begin prior to obtaining all necessary permits and approvals.
- All survey data, boundary lines, topography, building locations and area calculations are from a survey prepared by Redniss & Mead entitled Existing Building Location Survey dated 9-30-2015. Elevations depicted or labeled are based on NAVD-88.
- Refer to soils report prepared by Pietras Environmental Group, LLC, dated September 23, 2015 for a description of site soils. There are no wetland soil types or watercourses on the property. Furthermore, there are no apparent wetlands or watercourses located off-site within 100' of the subject property.
- Refer to drawings by Aris Cris, Architect for information regarding building plans.
- Property lies in a B Residential zone.
- All construction shall comply with the City of Fairfield requirements, the State of Connecticut Basic Building Code Americans with Disabilities Act (ADA), the Connecticut Guidelines for Soil and Erosion and Sediment Control, OSHA, CT DOT Form 816 (latest edition), and FEMA Flood Regulations.
- All development activities to be undertaken within the street right-of-way and other public lands shall comply fully with Fairfield standards unless approved deviation is specifically set forth as part of this application. All work within the State right-of-way will comply with the CT DOT Form 816 with the latest Special Provisions and Typical State Standard Details.
- Contractor shall supply complete shop drawings including manufacturer's product data sheets to the Site Engineer, for all construction material used in conjunction with these drawings. Contractor shall allow a 5 day review period, prior to fabrication and installation.
- Information on existing utilities has been compiled from various sources including utility company records, municipal record maps and field survey and is not guaranteed to be correct or complete. The contractor is solely responsible for determining actual locations and elevations of all utilities including underground services.
- The property is served by public water and sewers.
- Prior to any excavation the Contractor and/or Applicant, in accordance with Public Act 77-250, shall be required to contact "Call Before You Dig" at 1-800-922-4455 for mark-out of underground utilities. Dig test pit(s) at utility crossing(s) to check actual clearances with new utilities prior to construction. If conflicts are found the contractor shall notify the engineer, at which time the sewer in question shall be redesigned. If such redesign is not possible, the existing pipes or utilities shall be relocated to avoid the conflict. Such relocation shall be done with knowledge of and in accordance with the owner of the utility.
- It shall be the responsibility of the contractor to provide any excavation safeguards, necessary barricades, flagmen, etc., for traffic control and site safety. All work shall be done in accordance with OSHA requirements. The contractor shall be responsible for compliance with OSHA requirements.
- When preparing the existing site for the proposed development, all materials removed shall be disposed of in accordance with all governing agencies.
- Prior to issuance of a Certificate of Occupancy, the Engineering Department may require a certification letter stating that the development was constructed in accordance to the approved plans, and an "as-built" survey shall be submitted.
- The work shall be done in conformance with the plans unless changes have been approved in writing by the design engineer prior to the work being done.

EARTHWORK & GRADING:

- Grade away from building walls at 2% minimum (typical).
- After the areas to be topped have been brought to grade, the subgrade shall be loosened by scarifying to a depth of at least 2" to ensure bonding of the topsoil and subsoil.
- Fill or topsoil shall not be placed nor compacted while in a frozen or muddy condition or while subgrade is frozen.

FLOOD PROTECTION:

- The property lies within FEMA Special Flood Hazard Area Zone AE-11 & AE-13. Base Flood Elevation (BFE) (100 year storm) for the existing dwelling is 11.0 NAVD-88 as depicted on the Flood Insurance Rate Map Community No. 09001C0419G Panel 419 of 626, revised date July 8, 2013.
- The construction of this development must follow the requirements set forth in the Federal Emergency Management Administration (FEMA) regulations for flood protection.
- All utilities shall be installed per FEMA regulations for flood protection. All utilities (i.e., meters, etc.) must be set at least one foot above the BFE or waterproofed.

UTILITIES:

- Where necessary, existing utilities shall be reinstalled to meet all minimum coverage requirements.
- Utility connections at building face shall be coordinated with the building contractors.
- All utilities shall be installed per FEMA regulations for flood protection. All utilities (i.e., HVAC condensers, electric transformers, etc.) must be set one foot above the Base Flood Elevation (BFE) or waterproofed.

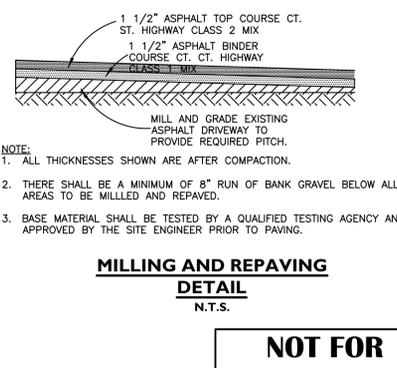
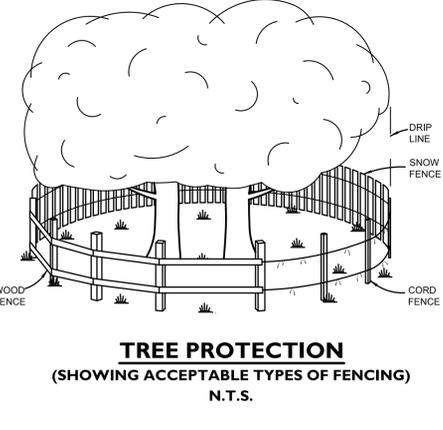
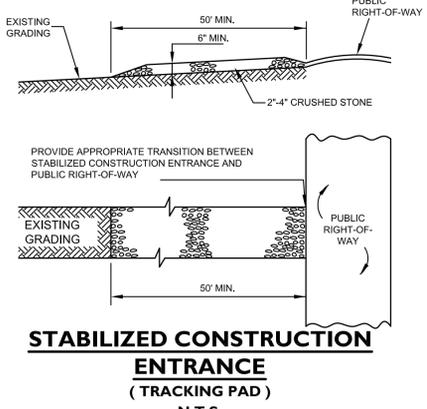
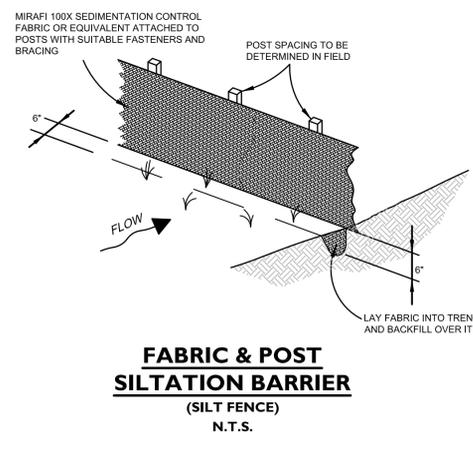
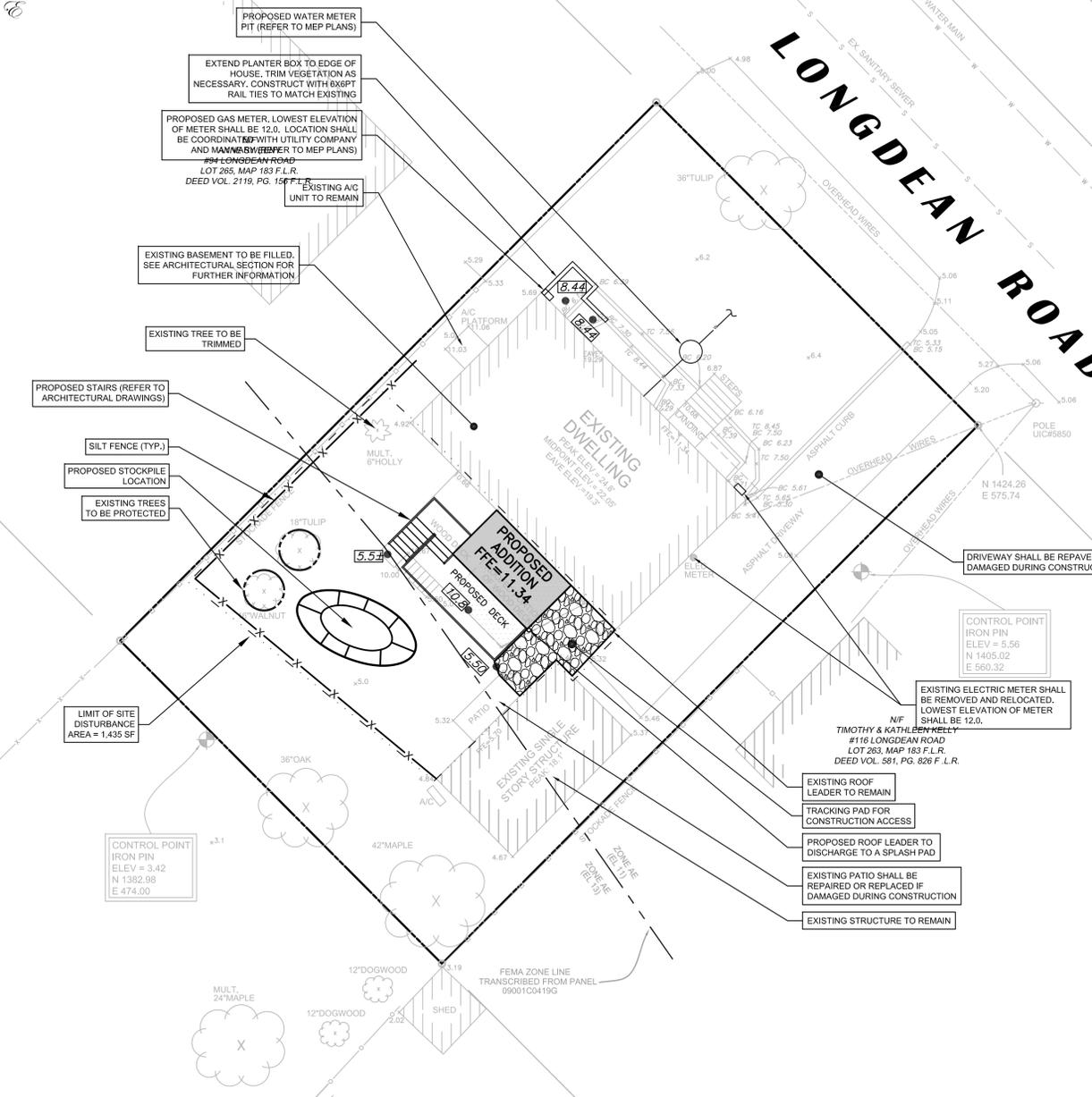
PAVEMENT:

- Areas of asphalt pavement that are disturbed by the construction of this project shall be replaced in accordance with the asphalt pavement repair detail. The finished grade of asphalt paving shall blend to existing grade and the edge of the concrete pavement smoothly with no slopes exceeding 4%.
- Existing features such as but not limited to walks, curbs, and pavement damaged by construction activities shall be repaired at no additional cost to the owner.
- Bituminous curbs damaged by the project shall be replaced with the new bituminous curbing machine laid Class 3 as described in Sections 8.15 and M.04 of the CT DOT Form 816.
- Saw cut perimeter of area to be excavated. Saw cut shall be straight and vertical.
- Compaction shall be constructed as specified in the CT DOT FORM 816 (latest edition), Section 4.06 specification, the drawings and the details. Testing lab shall verify compaction of each course of pavement as directed by the Site Engineer.
- Finished paving shall be free of "bird baths" and be smooth at the slopes specified on the plans.
- The pavement shall be protected from vehicular traffic of any kind with the use of barricades, etc. for a minimum period of 24 hours after final rolling. Maintain and protect asphalt surface from scrapes, sears, spills, hydraulic leaks, and any other construction damage for the remainder of construction until Owner's Representative acceptance. Contractor is responsible for clearing, repairing, seal coating, patching, and re-striping as necessary to obtain Owner's Representative's final approval/acceptance.

SEDIMENT AND EROSION CONTROL NOTES:

- All sediment and erosion controls shall be done in conformance with the "Connecticut Guidelines for Soil Erosion and Sediment Control" dated May 2002 prepared by The Connecticut Council on Soil and Water Conservation.
- The contractor is assigned the responsibility for implementing this sediment and erosion control plan. This responsibility includes the installation and maintenance of control measures, informing all parties engaged on the construction site of the requirements and objectives of the plan notifying the Zoning Department of any transfer of this responsibility.
- Temporary sediment control measures and tree protection must be installed in accordance with drawings and manufacturer recommendations prior to work in any upland areas.
- No construction or construction equipment or storage of materials will be allowed on the downhill side of the site fence or within fenced off areas, except during construction of the proposed facilities shown beyond the fences.
- Where existing trees are to be saved, trees shall be protected with trunk armorings where shown. Tree limbs shall be trimmed as needed to protect the trees from damage by construction operations. Such trimming shall be minimized. Ammoring and any limb trimming should be done before construction begins. Tree protection should be maintained during construction. Equipment Trafficking and materials storage over the tree roots shall be avoided.
- Anti-tracking pads shall be installed at start of construction and maintained in an effective condition throughout the duration of construction. Pads consist of 2" - 4" crushed stone, 6" minimum thickness and extend the width of the construction access. The length of the access shall be sufficient to prevent dirt from being tracked onto off site roads (minimum length of 50').
- Silt fence shall be Mirafi envelope, Amoco siltstop or equivalent approved by Site Engineer. Filter fabric used shall be Mirafi 100x or equivalent. Install silt fence according to manufacturer's instruction, particularly, bury lower edge of fabric into ground.
- Land disturbance shall be kept to a minimum. All disturbed area shall be planted in where permanent plantings are called for as soon as practicable. Seed and mulch disturbed areas with grass seed where permanent plantings are not called for, as soon as practicable. Prepare seedbed (4" thick minimum) with topsoil. Seed, rills, roll, water and mulch areas according to rills below. Water as often as necessary (up to 3 times per day) to establish cover. Mulch seeded areas at 1 to 2 tons/acre with salt hay. Maintain mulch and watering until grass is 3" high with 85% cover. Reseed or overseed if necessary.

Perennial Seed Mix:		
Perennial ryegrass	40 lbs./ac.	(1 lb/1000 sf)
Permanent Lawns:		
Kentucky Bluegrass	20 lbs./ac.	
Creeping Red Fescue	20 lbs./ac.	
Perennial Ryegrass	5 lbs./ac.	
	45 lbs./ac.	(1 lb/1000 sf)
Optimum Seeding Dates:		
April 15 through June 15		
August 15 through October 1		



NOT FOR CONSTRUCTION

TITLE BLOCK
 108 Longdean Road, Fairfield, CT 06824
 Tax Map: 183 Lot: 264
 Zone: B
 Applicants & Owners of record:
 Emily & Sheila Sherwood
 108 Longdean Road
 Fairfield, CT 06824
 (203) 858-8723

Project Description: One Story Residential Addition and FEMA compliance

CT Department of Housing Community Development Block Grant Disaster Recovery Applicant #1526

SITE DEVELOPMENT PLAN
 DEPICTING
108 LONGDEAN ROAD
 FAIRFIELD, CT
 PREPARED FOR
MERRITT CONSTRUCTION SERVICES, INC.

SCALE: 0 10 20
 1"=10'

DRAWN BY: BDH CHECKED BY: BDH

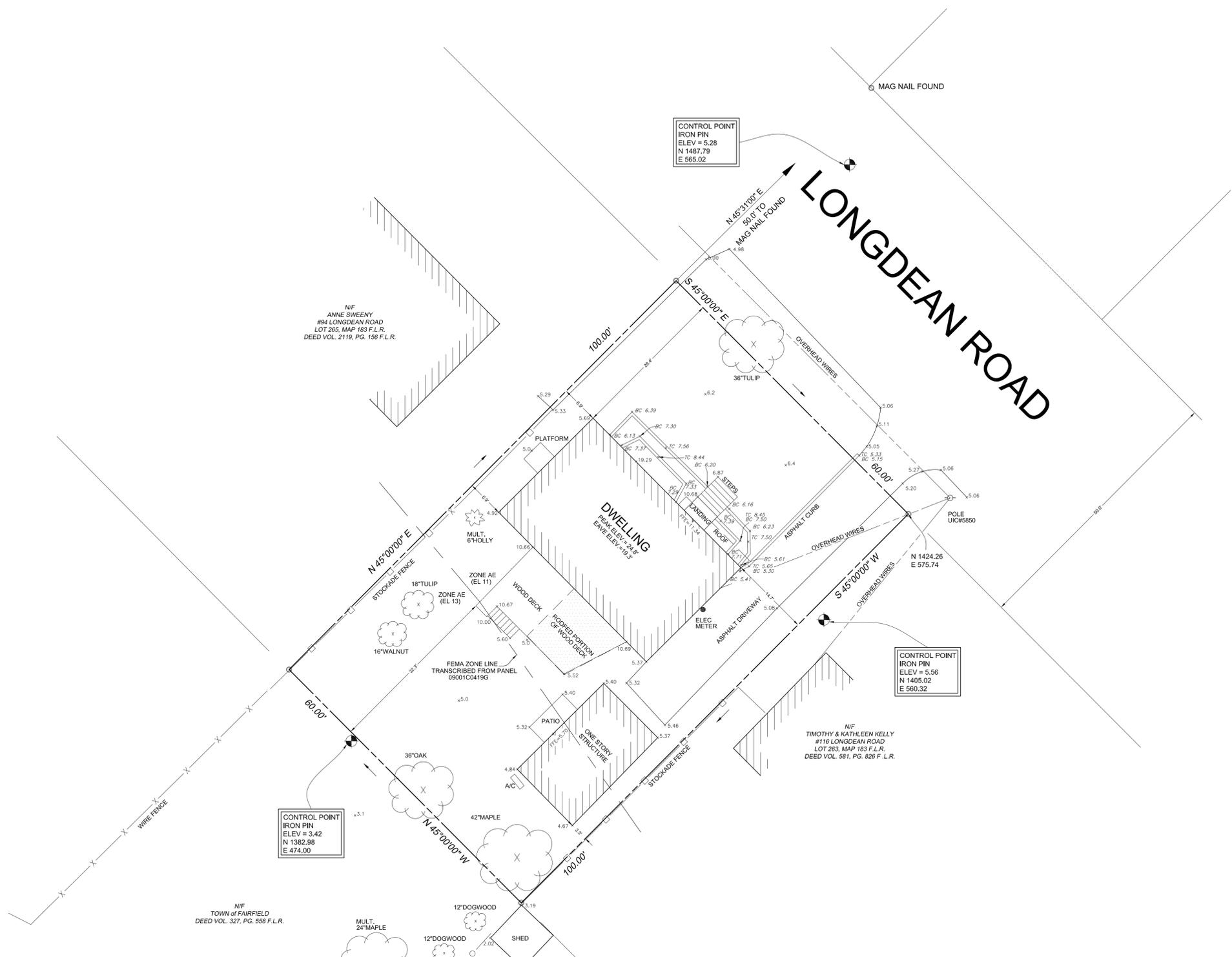
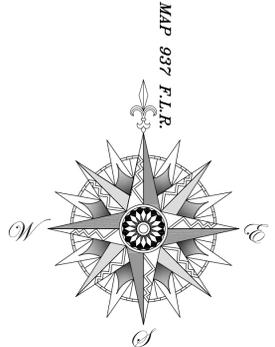
Bret D. Holzworth
 BRET D. HOLZWARTH CT, P.E. 27812
 June 10, 2016
 DATE

This document and copies thereof are valid only if they bear the signature and professional seal of the designated licensed professional. Unauthorized alterations render any declaration herein null & void.

SHEET No: **SE-1**

Comm. No: 8048

6/10/2016 10:16 AMH:\jobfiles2\8000\8000\8048\DWG\8048_Siteplan.DWG



- NOTES:**
- This survey has been prepared in accordance with Sections 20-300b-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies and the Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. as an Existing Building Location Survey the Boundary Determination Category of which is a Resurvey conforming to Horizontal Accuracy Class A-2 and Vertical Accuracy Class V-2 intended to be used for verification of zoning compliance with respect to the location of improvements depicted hereon.
 - Total area of the surveyed parcel = 6,000 SF or 0.1377 acres.
 - Building Area = 1,525 sf or 25.4% (includes entire rear deck)
 - Reference is made to Lot 32 on Map 937 of Fairfield Land Records (FLR)
 - Reference is made to Deed found in Volume 3527 at Page 225 F.L.R.
 - Reference is made to restrictions found in Vol. 327, Pg. 558 F.L.R.
 - Elevations depicted hereon are based on North American Vertical Datum of 1988 (NAVD-88).
 - Reference is made to a Coast and Geodetic Survey Benchmark # B1199 at the intersection of Reef Road and Lind Street, Fairfield, CT. (EL=7.47).
 - Reference is made to FEMA Flood Insurance Rate Map Panel No. 419 of 626, Map No. 09001C0419G, Effective Date July 8, 2013. A portion of the subject property lies within Special Flood Hazard Area Zone AE (EL13).
 - Wetlands identified by Pietras Environmental Group, LLC in September of 2015. There are no apparent wetlands or watercourses located offsite within 100' of the subject property.
 - Owner of record is Emily M. Sherwood and Sheila B. Sherwood.

ZONE RESIDENCE B	MINIMUM REQUIRED MAXIMUM ALLOWED	EXISTING CONDITIONS
Minimum Lot Area (sf)	6,000	6,000
Minimum Square On Lot (ft)	60	-70
Minimum Lot Frontage (ft)	60	60
MINIMUM SETBACK - PRINCIPLE BUILDING		
Setback From Street Line (ft)	20	28.4
Setback From Side Property Line(s) (ft) - Two Stories	One Side - 5 / Both Sides - 20	6.9 / 14.7
Setback From Rear Property Line (ft)	20	32.3
MINIMUM SETBACK - ACCESSORY BUILDING		
Setback From Street Line (ft)	20	61'
Setback From Side Property Line (ft)	4	3.3'
Setback From Rear Property Line (ft)	4	16.5'
MINIMUM SETBACK - UNENCLOSED PORCHES		
Setback From Street Line (ft)	12	-
MINIMUM FLOOR AREA		
Maximum Height For A Building Or Structure (ft)	32	19+/-
Maximum Number Of Stories Per Building	2.5	2
Maximum Building Lot Coverage As A Percentage Of Lot Area	30%	20.7%
Maximum Building Floor Area As A Percentage Of Lot Area (Total)	50%	-
Minimum Building Floor Area for Dwelling (1st Fl) (sf)	650	931sf
Minimum Building Floor Area for Dwelling (Total) (sf)	1,000	-

EXISTING BUILDING LOCATION SURVEY
 DEPICTING
#108 LONGDEAN ROAD
 FAIRFIELD, CONNECTICUT
 PREPARED FOR
MERRITT CONSTRUCTION SERVICES, INC.

To my knowledge and belief this map is substantially correct as noted hereon

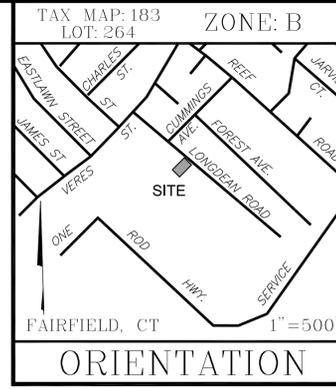
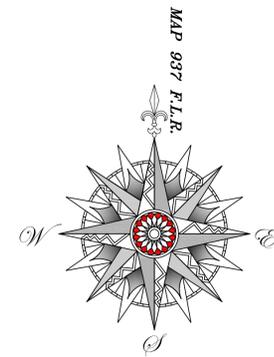
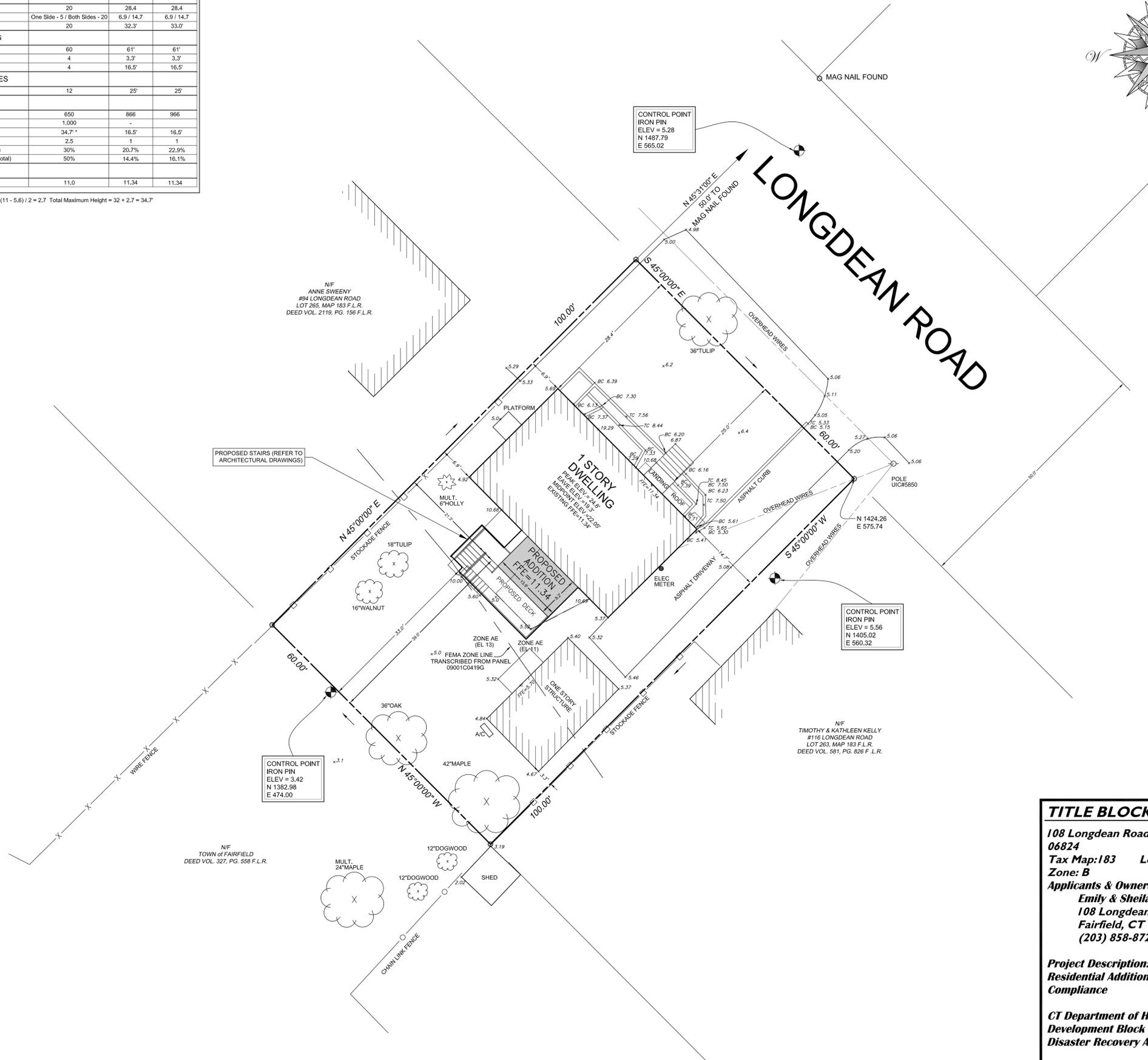
 KIMBALL R. SIEGFIED C.T. LIC. NO. 70424
 DATE: 9/30/2015

JOB NO.: 8048 DATE: 09/25/2015
 DRAWN BY: KAJ CHECKED BY:
 SCALE: 0 10 20
 1" = 10'
 8048_EBLS.DWG

REDNISS & MEAD
 ENGINEERS - SURVEYORS - PLANNERS - WWW.REDNISSMEAD.COM
 22 FIRST STREET - STAMFORD, CONNECTICUT 06905 - 203-327-0500

ZONE RESIDENCE B	MINIMUM REQUIRED MAXIMUM ALLOWED	EXISTING CONDITIONS	PROPOSED CONDITIONS
Minimum Lot Area (sf)	6,000	6,000	-
Minimum Square On Lot (ft)	60	60	60
Minimum Lot Frontage (ft)	60	60	60
MINIMUM SETBACK - PRINCIPLE BUILDING			
Setback From Street Line (ft)	20	28.4	28.4
Setback From Side Property Line(s) (ft) - Two Stories	One Side - 5 / Both Sides - 20	6.9 / 14.7	6.9 / 14.7
Setback From Rear Property Line (ft)	20	32.3'	33.0'
MINIMUM SETBACK - ACCESSORY BUILDING			
Setback From Street Line (ft)	60	61'	61'
Setback From Side Property Line (ft)	4	3.3'	3.3'
Setback From Rear Property Line (ft)	4	16.5'	16.5'
MINIMUM SETBACK - UNENCLOSED PORCHES			
Setback From Street Line (ft)	12	25'	25'
MINIMUM FLOOR AREA			
Minimum Building Floor Area for Dwelling (1st Fl) (sf)	650	866	966
Minimum Building Floor Area for Dwelling (Total) (sf)	1,000	-	-
Maximum Height in Feet (ft)	34.7'	16.5'	16.5'
Maximum Height in Stories	2.5	1	1
Maximum Building Lot Coverage As A Percentage Of Lot Area	30%	20.7%	22.9%
Maximum Building Floor Area As A Percentage Of Lot Area (Total)	50%	14.4%	16.1%
MINIMUM FLOOR ELEVATION			
Minimum First Floor Elevation (F.F.E.)	11.0	11.34	11.34

*Height Bonus for Flood Zone: (Flood Zone - Avg. Grade) / 2 = (11 - 5.6) / 2 = 2.7 Total Maximum Height = 32 + 2.7 = 34.7'



- NOTES:**
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 #108 LONGDEAN ROAD
 FAIRFIELD, CONNECTICUT
 PREPARED FOR
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Scale: 0 10 20
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Drawn By: KRS Checked By: Date: 06/09/2016

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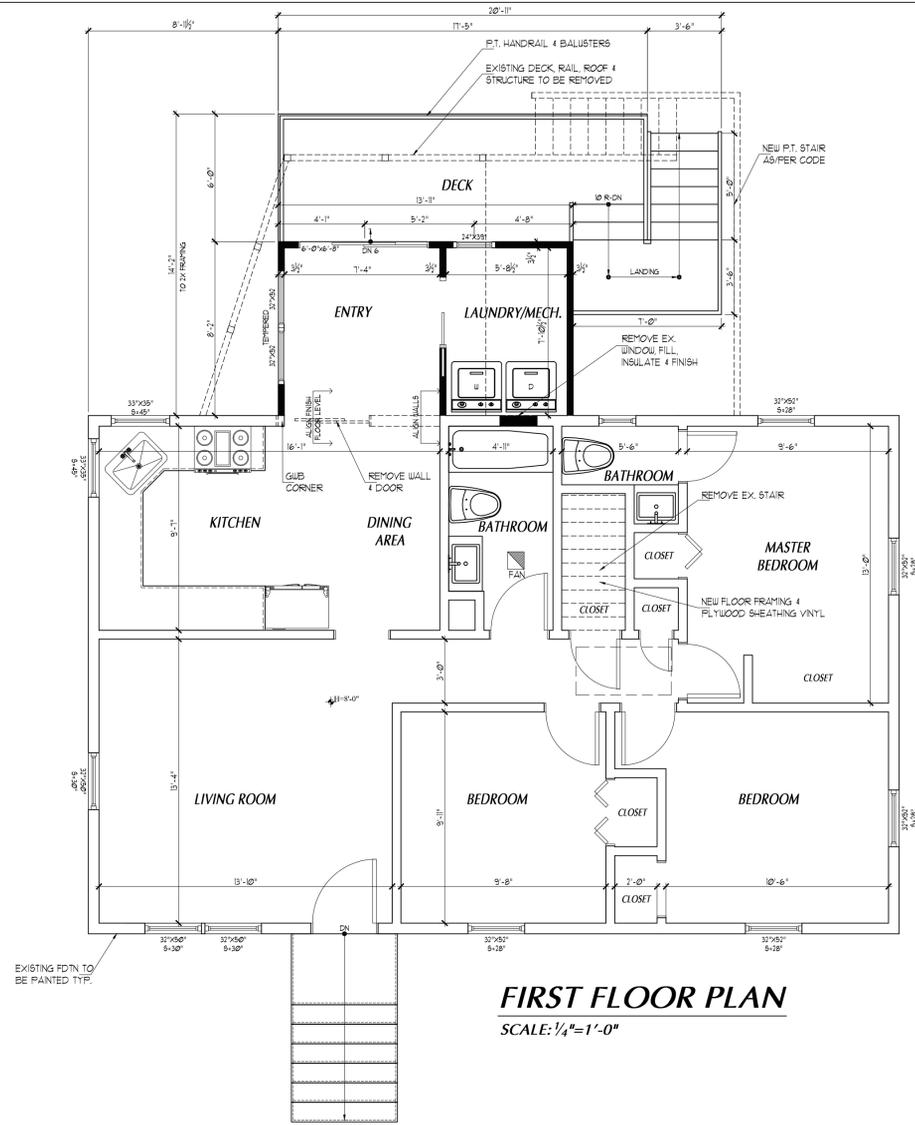
K. Sieghard
 KIMBALL R. SIEGHARD CT. L.S. #70424
 6/9/2016
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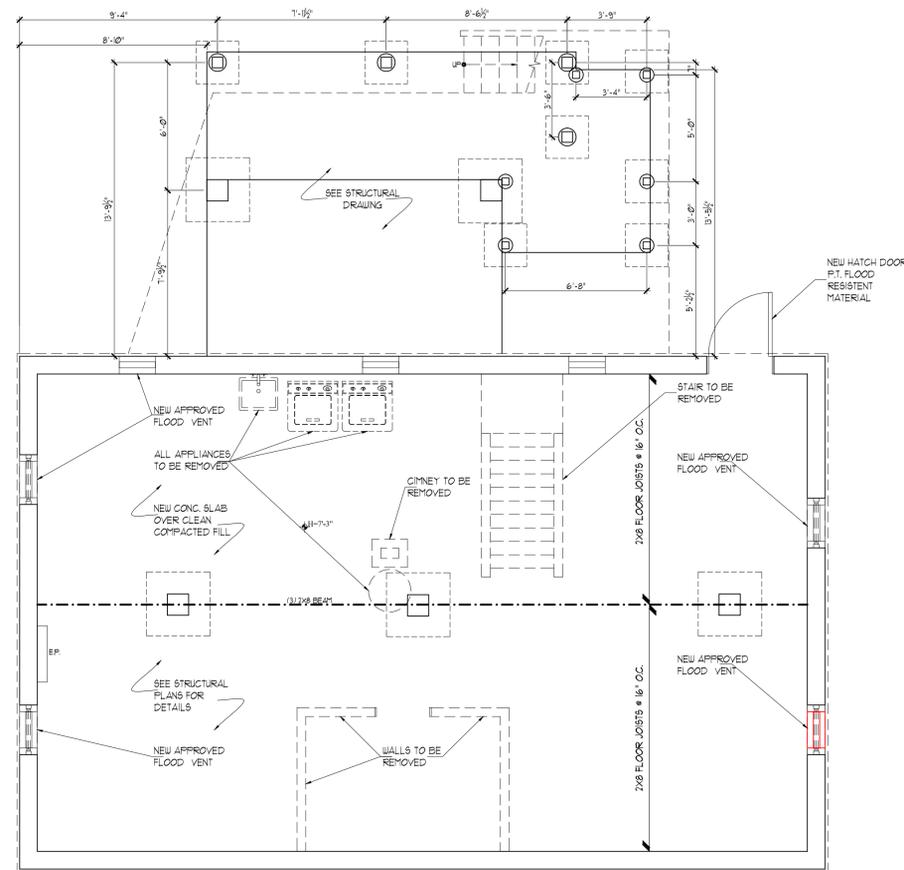
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 Comm. No: 8048

LAND SURVEYING
 CIVIL ENGINEERING
 PLANNING & ZONING CONSULTING
 PERMITTING

22 First Street | Stamford, CT 06905
 Tel: 203.327.0500 | Fax: 203.357.1118
 www.rednissandmead.com



FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



BASEMENT PLAN
SCALE: 1/4"=1'-0"

TOWN PLAN AND ZONING DEPARTMENT
TOWN OF FAIRFIELD

F.E.M.A. STANDARD ONLY IF IN FLOOD HAZARD AREAS
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ZONING APPROVAL	05/16/16

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Aris Crist Architects
34 East Putnam Avenue
Greenwich, Connecticut 06830
203 661 0661

RESIDENCE No. 1526

108 LONGDEAN ROAD
FAIRFIELD CT, 06824

BASEMENT & FIRST FLOOR PLAN

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A-1.0

Revisions	Date
BID SET	9/1/15
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 203 661 0661

RESIDENCE No. 1526

108 LONGDEAN ROAD
 FAIRFIELD CT, 06824

ELEVATIONS

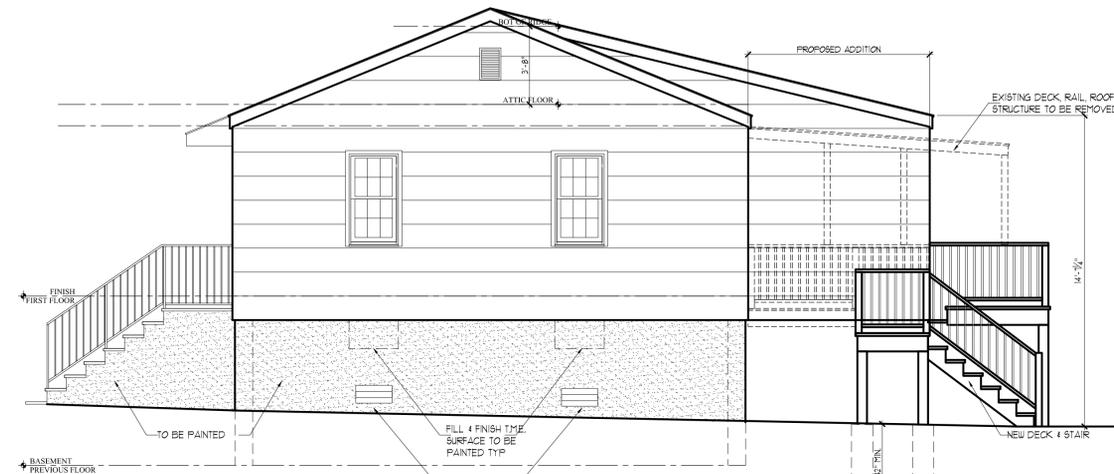
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L.F.O	Checked
Date	
07.21.15	Scale
AS NOTED	
Job Number	
Sheet	

A-2.0



FRONT ELEVATION

SCALE: 1/4"=1'-0"



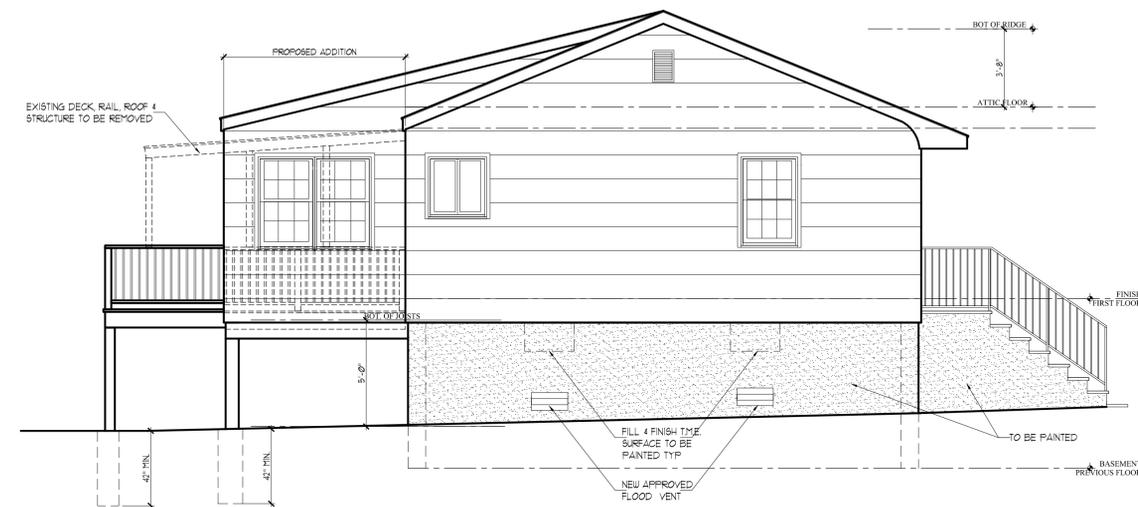
RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"



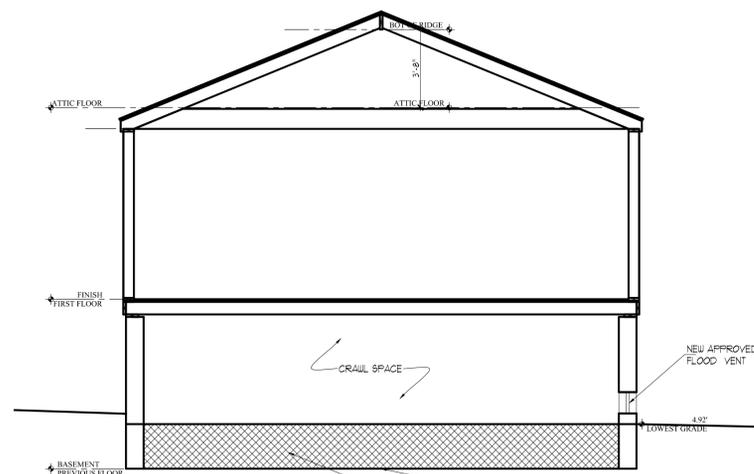
REAR ELEVATION

SCALE: 1/4"=1'-0"



LEFT SIDE ELEVATION

SCALE: 1/4"=1'-0"



SECTION

SCALE: 1/4"=1'-0"

NOT FOR CONSTRUCTION

TITLE BLOCK

108 Longdean Road, Fairfield, CT 06824
 Tax Map: 183 Lot: 264
 Zone: B
 Applicants & Owners of record:
 Emily & Sheila Sherwood
 108 Longdean Road
 Fairfield, CT 06824
 (203) 858-8723

Project Description: One Story Residential Addition & FEMA Compliance

CT Department of Housing Community Development
 Block Grant
 Disaster Recovery Applicant #1526

TOWN PLAN AND ZONING DEPARTMENT
 TOWN OF FAIRFIELD

F.E.M.A. STANDARD ONLY IF IN FLOOD HAZARD AREAS
 ZONING COMPLIANCE PREDICATED ON A, B, C, & D.

A. All new construction and substantial improvements shall:

1. Be designed or modified and adequately anchored to prevent flotation, collapse, or lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including the effects of buoyancy.
2. Be constructed with materials resistant to flood damage.
3. Be constructed by methods and practices that minimize flood damages.
4. Be constructed with electrical, heating, ventilation, plumbing and air-conditioning equipment and other service facilities that are designed and located so as to prevent water from entering or accumulating within the components during conditions of flooding.

B. New and replacement water supply systems shall be designed to minimize or eliminate infiltration of flood waters into the system.

C. New and replacement sanitary sewage systems shall be designed to minimize or eliminate infiltration of flood waters into the systems and discharges from the system into flood waters and on-site waste disposal systems shall be located and constructed to avoid impairment to them or contamination from them during flooding.

D. All new construction and substantial improvements shall have the lowest floor, including basement elevated to or above the base flood level and if constructed with a fully enclosed area below this lowest floor shall be designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for the entry and exit of flood waters.

Revisions	Date
Issue for Bid	04.01.16

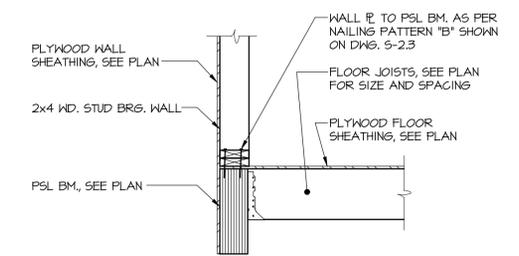
NOT FOR CONSTRUCTION

Aris Crist Architects
34 East Putnam Avenue
Greenwich, Connecticut 06830
203 661 0661

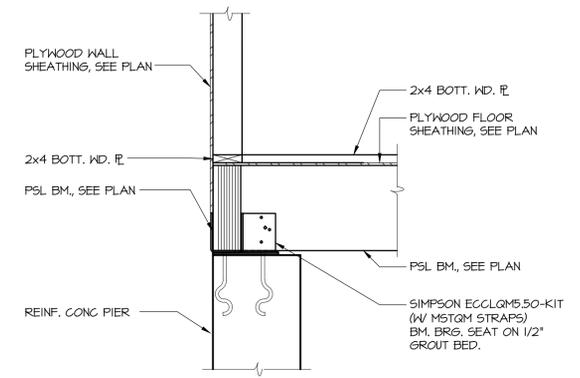
RESIDENCE No. 1526
108 LONGDEAN ROAD
FAIRFIELD, CT
TYPICAL DETAILS

Drawn	JM
Checked	GCF
Date	04.01.16
Scale	
AS NOTED	
Job Number	13288.00
Sheet	S-2.0

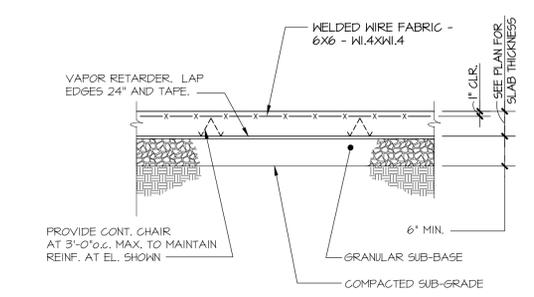
S-2.0



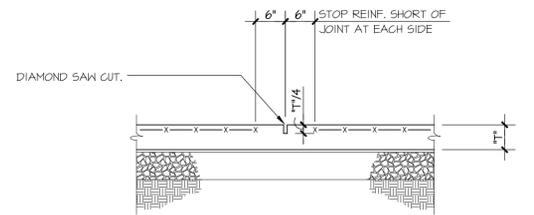
SECTION
3/4" = 1'-0"



SECTION
3/4" = 1'-0"



TYPICAL SLAB ON GRADE DETAIL



TYPICAL CONTROL JOINT DETAIL

NOTE:
THE SAW CUT IS TO BE PERFORMED UP TO 12 HOURS AFTER THE CONC. IS POURED, REFER TO ACI 301

ALL NEW CONSTRUCTION AND SUBSTANTIAL IMPROVEMENTS SHALL:
- BE DESIGNED OR MODIFIED AND ADEQUATELY ANCHORED TO PREVENT FLOTATION, COLLAPSE OR LATERAL MOVEMENT OF THE STRUCTURE RESULTING FROM HYDRODYNAMIC AND HYDROSTATIC LOADS, INCLUDING THE EFFECTS OF BUOYANCY.
- BE CONSTRUCTED WITH MATERIALS RESISTANT TO FLOOD DAMAGE.
- BE CONSTRUCTED BY METHODS AND PRACTICES THAT MINIMIZE FLOOD DAMAGE.

ALL NEW CONSTRUCTION AND SUBSTANTIAL IMPROVEMENTS SHALL HAVE THE LOWEST FLOOR, INCLUDING BASEMENT, ELEVATED TO OR ABOVE THE BASE FLOOD LEVEL AND, IF CONSTRUCTED WITH A FULLY ENCLOSED AREA BELOW THIS LOWEST FLOOR, SHALL BE DESIGNED TO AUTOMATICALLY EQUALIZE HYDROSTATIC FLOOD FORCES ON EXTERIOR WALLS BY ALLOWING FOR THE ENTRY AND EXIT OF FLOOD WATERS.

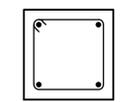
TITLE BLOCK

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Zone: B

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(203) 858-8723

Project Description: One Story Residential Addition and FEMA Compliance

CT Department of Housing Community Development Block Grant
Disaster Recovery Applicant #1526



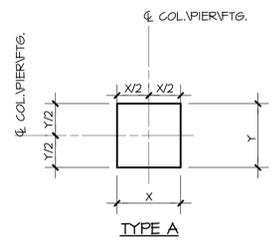
4 BARS
TYPICAL TIE ARRANGEMENT

VERTICAL BAR SIZE	SIZE AND SPACING OF TIES		
	#3	#4	#5
#5	10"	-	-
#6	12"	-	-
#7	14"	-	-
#8	16"	16"	-

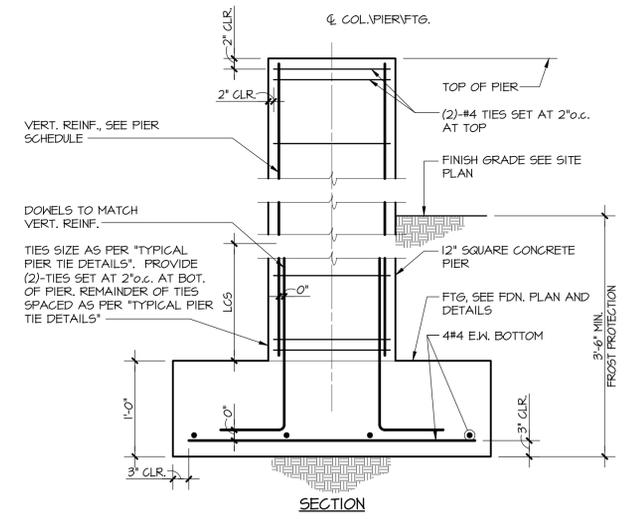
** INDICATES MAXIMUM SPACING NOT TO EXCEED LEAST DIMENSION OF COMPRESSION MEMBER.

NOTES:

1. THE VERTICAL BARS SHALL BE SPACED AROUND THE PERIMETER SO AS TO ACHIEVE APPROXIMATELY EQUAL SPACING.
2. THE MINIMUM VERTICAL BAR SPACING SHALL BE 1.5 X THE BAR DIAMETER, BUT NOT LESS THAN 1".
3. TIES SHALL BE ARRANGED SUCH THAT EVERY CORNER AND ALTERNATE VERTICAL BAR SHALL HAVE LATERAL SUPPORT PROVIDED BY THE CORNER OF A TIE WITH AN INCLUDED ANGLE OF NOT MORE THAN 135 DEGREES AND NO BAR SHALL BE FURTHER THAN 6" CLEAR ON EACH SIDE ALONG THE TIE FROM SUCH A LATERALLY SUPPORTED BAR.
4. TIES SHALL BE LOCATED VERTICALLY NOT MORE THAN ONE-HALF A TIE SPACING ABOVE THE TOP OF FOOTING OR SLAB IN ANY STORY, AND SHALL BE SPACED AS PROVIDED HEREIN TO NOT MORE THAN ONE-HALF A TIE SPACING BELOW THE LOWEST HORIZONTAL REINFORCEMENT IN SLAB OR DROP PANEL ABOVE.
5. WHERE BEAMS OR BRACKETS FRAME FROM FOUR DIRECTIONS INTO A COLUMN, PIER OR BUTTRESS, TERMINATION OF TIES NOT MORE THAN 3" BELOW REINFORCEMENT IN SHALLOWEST OF SUCH BEAMS OR BRACKETS SHALL BE PERMITTED.
6. SEE THE GENERAL NOTES ON DRAWING 5-1.0 FOR THE MINIMUM CONCRETE COVER REQUIREMENTS FOR REINFORCEMENT.



TYPE A



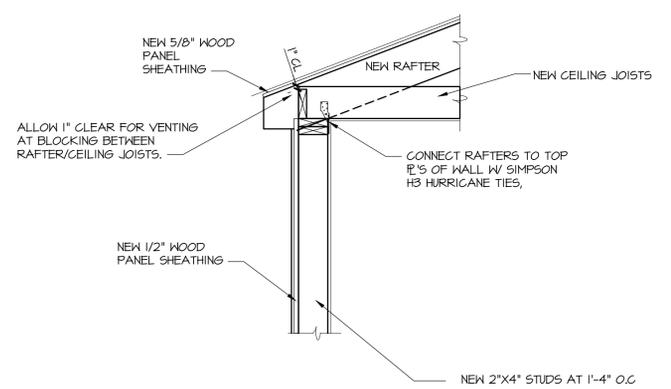
SECTION

PIER SCHEDULE

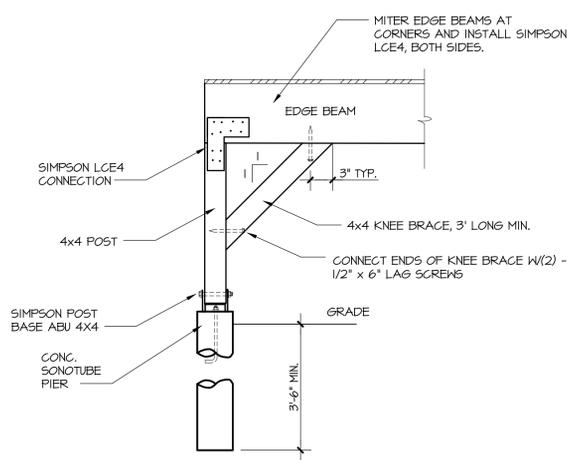
MARK	TYPE	"X" E-W DIR.	"Y" N-S DIR.	VERTICAL REINF.	REMARKS
P-1	A	1'-0"	1'-0"	(4)-#5	

PIER SCHEDULE AND PIER/FOOTING DETAILS
NO SCALE

TYPICAL PIER TIE DETAILS
NO SCALE



SECTION
3/4" = 1'-0"



DECK KNEE BRACE CONNECTION DETAIL
NO SCALE

TYPICAL SLAB ON GRADE DETAILS
NO SCALE

Revisions	Date
BID SET	04/01/16
ZONING APPROVAL	05/16/16

CONSULTANT:
SALAMONE & ASSOCIATES, P.C.
 CONSULTING ENGINEERS
 118 North Plain Industrial Road
 Wallingford, Connecticut 06495
 Tel: (203) 267-8723 Fax: (203) 267-8728

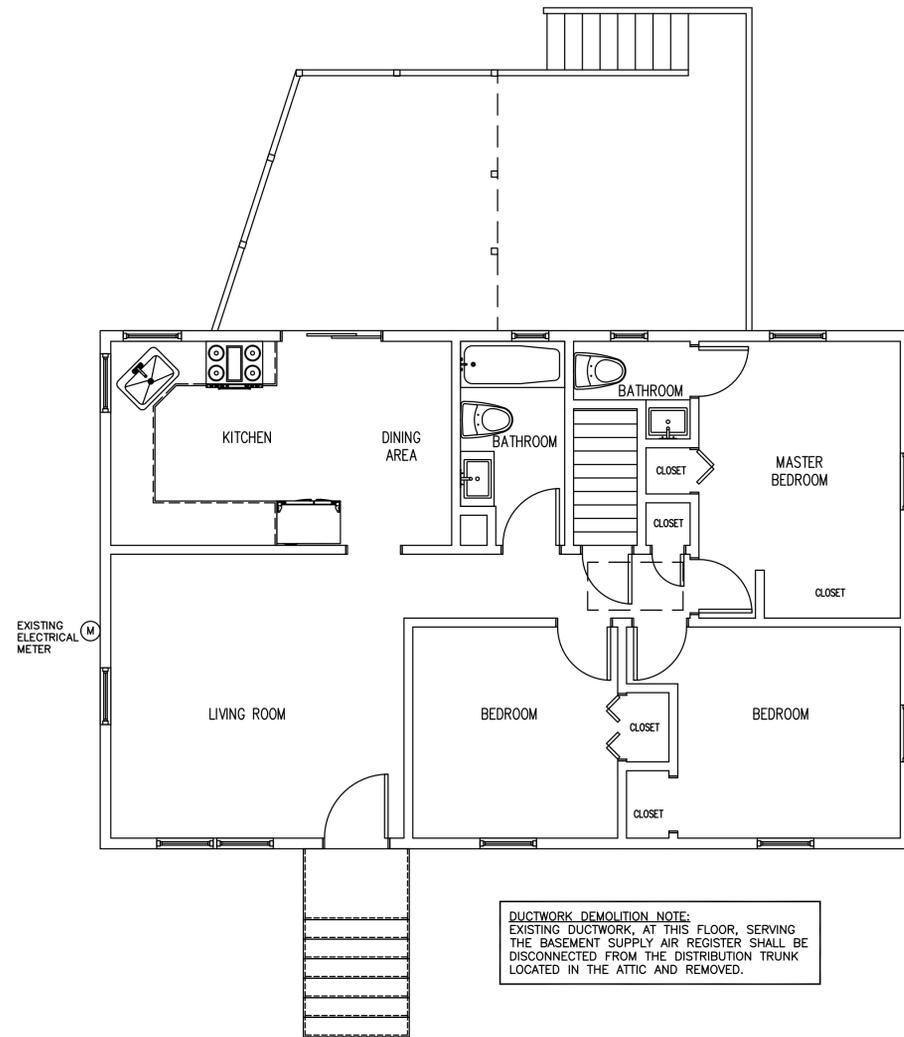
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Aris Crist Architects
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 203 661 0661

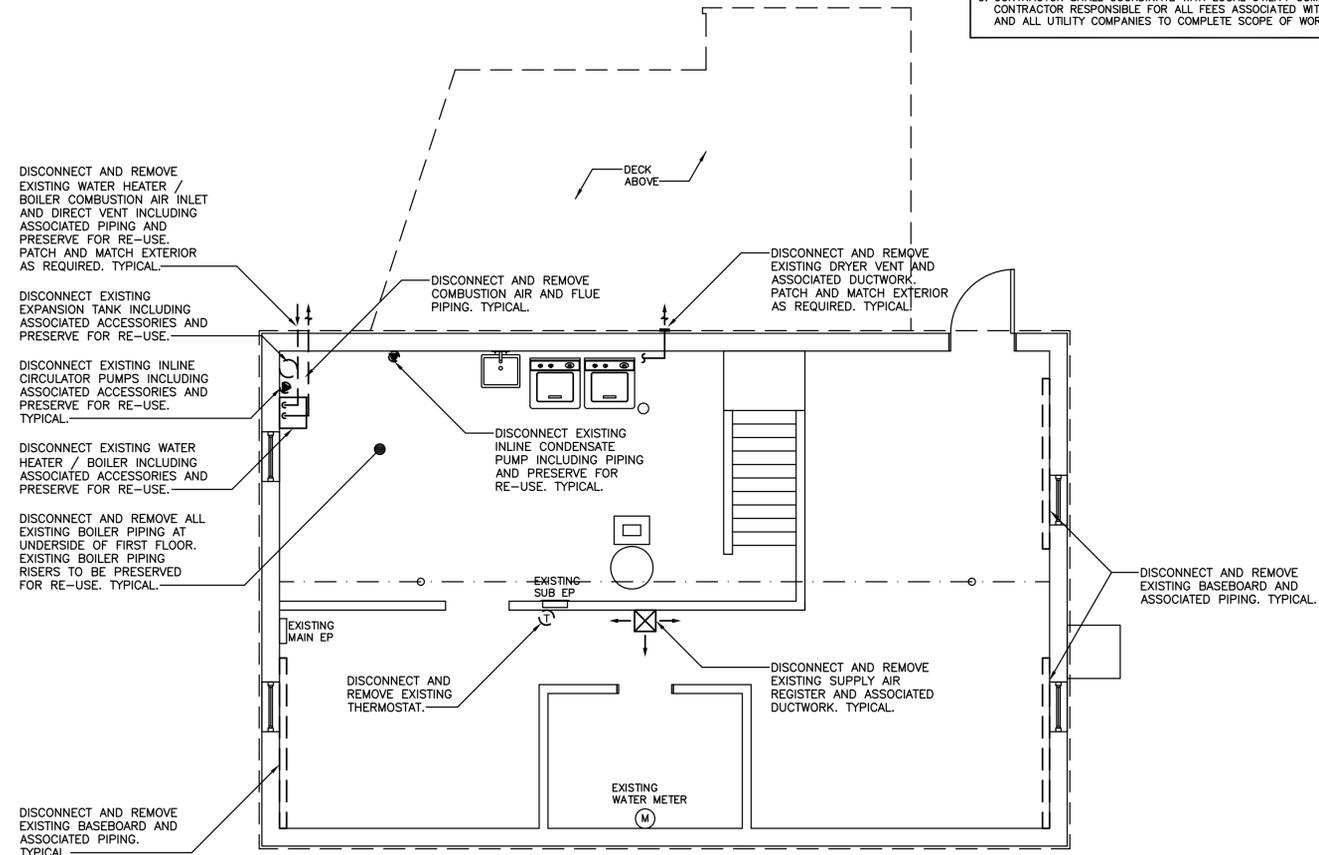
RESIDENCE No. 1526
108 LONGDEAN ROAD
 FAIRFIELD CT, 06824
 BASEMENT & FIRST FLOOR MECHANICAL DEMOLITION PLANS

Drawn
JB
JAS
04.01.16
AS NOTED
DM-1.0

- DEMOLITION NOTES:**
1. THE CONTRACTOR SHALL VISIT THE PROJECT SITE AND BECOME INFORMED AS TO THE NATURE AND SCOPE OF DEMOLITION WORK REQUIRED, NOTING AND ACCOUNTING FOR EXISTING CONDITIONS. TYPICAL.
 2. REMOVE AND PROPERLY DISPOSE OF EQUIPMENT AND ASSOCIATED COMPONENTS/ACCESSORIES AS INDICATED ON DEMOLITION PLANS. PROPERLY DISPOSE OF ALL DEMOLITION DEBRIS AS REQUIRED BY FEDERAL, STATE AND LOCAL CODES AND ORDINANCES. TYPICAL.
 3. CONTRACTOR SHALL NOT DAMAGE ANY EXISTING EQUIPMENT, PIPING, OR ASSOCIATED ACCESSORIES WHICH ARE TO REMAIN. ANY SUCH ITEMS DAMAGED SHALL BE REPLACED AT CONTRACTOR'S EXPENSE. TYPICAL.
 4. ALL DEMOLITION WORK SHALL BE PERFORMED IN A SAFE AND ORDERLY MANNER WITH QUALIFIED AND LICENSED PERSONNEL IN ACCORDANCE WITH STATE AND LOCAL GOVERNING AUTHORITIES AND ALL APPLICABLE CODES AND STANDARDS. COORDINATE WORK WITH ALL PROJECT DISCIPLINES AND EXISTING CONDITIONS. TYPICAL.
 5. DRAWINGS ARE DIAGRAMMATIC. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS INCLUDED IN AND RELATED TO THE PROJECT SCOPE OF WORK. TYPICAL.
 6. CONTRACTOR SHALL VERIFY ALL EXISTING EQUIPMENT SIZES AND LOCATIONS INFIELD AND PRIOR TO BIDDING.
 7. ALL EXISTING DUCTWORK, REGISTERS, GRILLES, AND ASSOCIATED ACCESSORIES TO REMAIN IN PLACE AND BE REUSED UNLESS OTHERWISE NOTED. TYPICAL.
 8. COORDINATED EXISTING DUCTWORK BRANCHES TO REMAIN WITH THE PROPOSED TRUNK AND BRANCH DUCTWORK SHOWN ON M-1.0.
 9. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANIES. CONTRACTOR RESPONSIBLE FOR ALL FEES ASSOCIATED WITH ANY AND ALL UTILITY COMPANIES TO COMPLETE SCOPE OF WORK.



FIRST FLOOR MECHANICAL DEMOLITION PLAN
 SCALE: 1/4"=1'-0"



BASEMENT MECHANICAL DEMOLITION PLAN
 SCALE: 1/4"=1'-0"

NOT FOR CONSTRUCTION

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 CT Department of Housing Community Development
 Block Grant
 Disaster Recovery Applicant #1526

Revisions	Date
BID SET	04/01/16
ZONING APPROVAL	05/16/16

CONSULTANT:
SALAMONE & ASSOCIATES, P.C.
 CONSULTING ENGINEERS
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 Phone: (803) 287-9728
 Fax: (803) 287-9728

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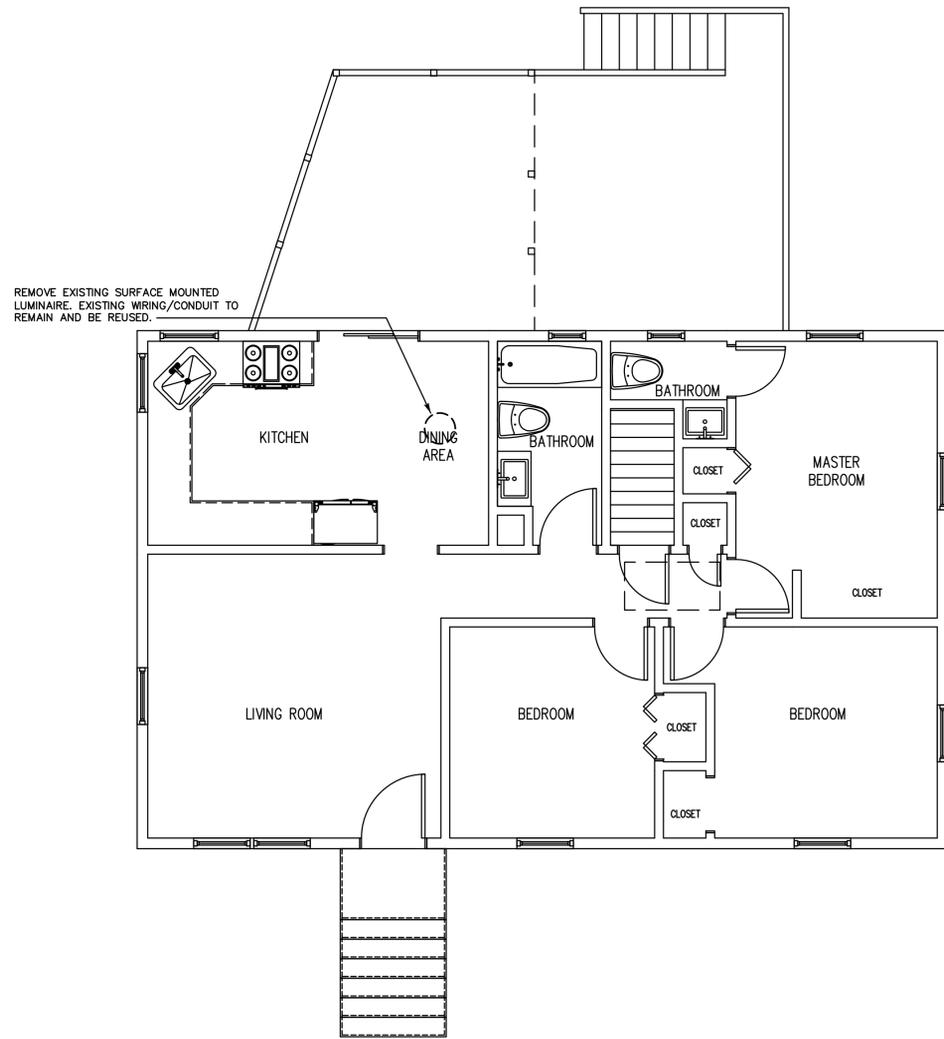
Aris Crist Architects
 34 East Putnam Avenue
 Greenwich, Connecticut 06830
 203 661 0661

RESIDENCE No. 1526
108 LONGDEAN ROAD
 FAIRFIELD CT, 06824
BASEMENT & FIRST FLOOR ELECTRICAL DEMOLITION PLANS

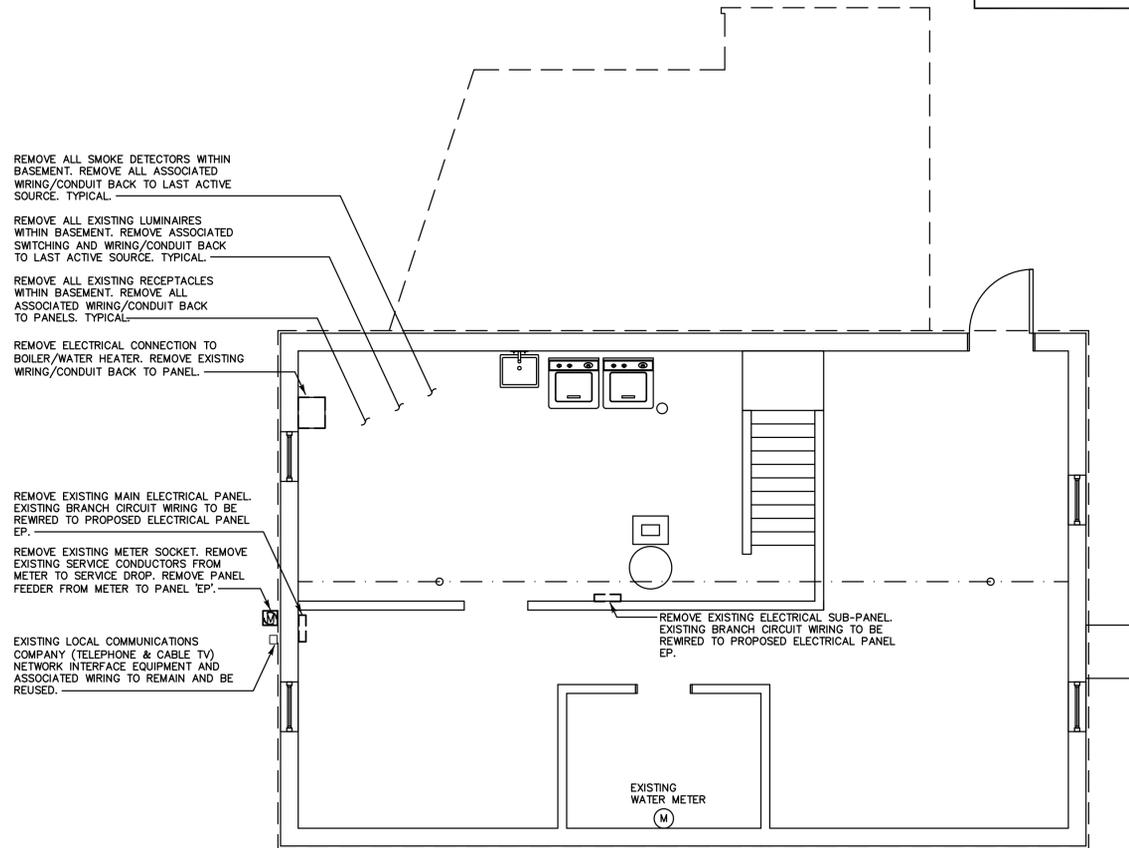
Drawn
JB
Checked
JAS
Date
04.01.16
Scale
AS NOTED
Job Number
Sheet

DE-1.0

- DEMOLITION NOTES:**
1. THE CONTRACTOR SHALL VISIT THE PROJECT SITE AND BECOME INFORMED AS TO THE NATURE AND SCOPE OF DEMOLITION WORK REQUIRED, NOTING AND ACCOUNTING FOR EXISTING CONDITIONS. TYPICAL.
 2. REMOVE AND PROPERLY DISPOSE OF EQUIPMENT AND ASSOCIATED COMPONENTS/ACCESSORIES AS INDICATED ON DEMOLITION PLANS. PROPERLY DISPOSE OF ALL DEMOLITION DEBRIS AS REQUIRED BY FEDERAL, STATE AND LOCAL CODES AND ORDINANCES. TYPICAL.
 3. CONTRACTOR SHALL NOT DAMAGE ANY EXISTING EQUIPMENT, PIPING, OR ASSOCIATED ACCESSORIES WHICH ARE TO REMAIN. ANY SUCH ITEMS DAMAGED SHALL BE REPLACED AT CONTRACTOR'S EXPENSE. TYPICAL.
 4. CONTRACTOR SHALL NOT DAMAGE ANY EXISTING ELECTRICAL CONNECTIONS, WIRING AND ASSOCIATED ACCESSORIES WHICH ARE TO REMAIN. ANY SUCH ITEMS DAMAGED SHALL BE REPLACED AT CONTRACTOR'S EXPENSE. TYPICAL.
 5. ALL DEMOLITION WORK SHALL BE PERFORMED IN A SAFE AND ORDERLY MANNER WITH QUALIFIED AND LICENSED PERSONNEL IN ACCORDANCE WITH STATE AND LOCAL GOVERNING AUTHORITIES AND ALL APPLICABLE CODES AND STANDARDS. COORDINATE WORK WITH ALL PROJECT DISCIPLINES AND EXISTING CONDITIONS. TYPICAL.
 6. DRAWINGS ARE DIAGRAMMATIC. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS INCLUDED IN AND RELATED TO THE PROJECT SCOPE OF WORK. TYPICAL.
 7. DO NOT DISTURB ANY SUSPECTED HAZARDOUS MATERIALS. NOTIFY OWNERS REPRESENTATIVE OR ANY SUSPECTED MATERIALS IMPEDING PERFORMANCE OF WORK. TYPICAL.
 8. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANIES. CONTRACTOR RESPONSIBLE FOR ALL FEES ASSOCIATED WITH ANY AND ALL UTILITY COMPANIES TO COMPLETE SCOPE OF WORK.
 9. CONTRACTOR SHALL VERIFY ALL EXISTING EQUIPMENT SIZES AND LOCATIONS INFIELD AND PRIOR TO BIDDING.



FIRST FLOOR ELECTRICAL DEMOLITION PLAN
 SCALE: 1/4"=1'-0"



BASEMENT ELECTRICAL DEMOLITION PLAN
 SCALE: 1/4"=1'-0"

NOT FOR CONSTRUCTION

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Revisions	Date
BID SET	04/01/16
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 34 East Putnam Avenue
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 203 661 0661

RESIDENCE No. 1526
108 LONGDEAN ROAD
 FAIRFIELD CT, 06824
 FIRST FLOOR PLUMBING PLAN

Drawn
JB
Checked
JAS
Date
04.01.16
Scale
AS NOTED
Job Number
Sheet
P-1.0

WARNING

"CALL BEFORE YOU DIG"
1-800-922-4455

CONTRACTOR SHALL REGISTER HIS INTENTION TO START EXCAVATIONS AT OR NEAR A PUBLIC UTILITY AT LEAST TWO FULL WORKING DAYS PRIOR TO THE ACTIVITY.

- CONTRACTOR SHALL RETURN SITE TO ORIGINAL CONDITION AFTER INSTALLATION OF ANY/ALL PROPOSED UTILITIES, EQUIPMENT, MATERIALS AND STRUCTURES.
- THE LOCATION OF ALL UNDERGROUND UTILITIES IS BASED UPON THE BEST AVAILABLE INFORMATION. CONTRACTOR SHALL CONFIRM LOCATION OF ALL UNDERGROUND UTILITIES, FOUNDATIONS AND STRUCTURES PRIOR TO COMMENCEMENT OF ANY EXCAVATION.
- CONTRACTOR IS RESPONSIBLE FOR REPAIR AND PAYMENT FOR ALL UTILITIES DAMAGED DURING CONSTRUCTION.

PLUMBING GENERAL NOTES:

- THE CONTRACTOR SHALL VISIT THE PROJECT SITE, PRIOR TO BIDDING, AND BECOME INFORMED AS TO THE NATURE AND SCOPE OF WORK REQUIRED, NOTING AND ACCOUNTING FOR EXISTING CONDITIONS. TYPICAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK INCLUDING TOOLS, MATERIAL, MANPOWER, ETC. REQUIRED FOR COMPLETE AND PROPER INSTALLATION OF PROPOSED MATERIALS, FIXTURES AND/OR EQUIPMENT.
- ALL WORK SHALL BE PERFORMED IN A SAFE AND ORDERLY MANNER WITH QUALIFIED AND LICENSED PERSONNEL IN ACCORDANCE WITH STATE AND LOCAL GOVERNING AUTHORITIES AND ALL APPLICABLE CODES AND STANDARDS. TYPICAL.
- CONTRACTOR SHALL PROVIDE CLEANOUTS FOR PROPOSED SANITARY PIPING AS REQUIRED PER CURRENT APPLICABLE CODES AND STANDARDS. TYPICAL.
- ROUTING OF ALL PIPING SHALL BE COORDINATED WITH STRUCTURAL FRAMING ELEMENTS AND ALL OTHER PROJECT DISCIPLINES. TYPICAL.
- PROVIDE DOUBLE CHECK VALVE BACKFLOW PREVENTER AND PRESSURE REDUCING VALVE ON DOMESTIC WATER SERVICE AS REQUIRED PER LOCAL WATER AUTHORITY AND CURRENT CODES AND STANDARDS.
- CONTRACTOR SHALL CONFIRM COMPATIBILITY OF SPRAY FOAM INSULATION WITH EXISTING SANITARY PVC/CPVC/ABS PIPING.
- CONTRACTOR SHALL CONFIRM COMPATIBILITY OF SPRAY FOAM INSULATION WITH PEX PIPING WHERE APPLICABLE.
- NO VALVES SHALL BE ENCASED IN SPRAY FOAM INSULATION.
- PROVIDE CONDENSATE DRAINAGE FOR DOMESTIC WATER HEATER/BOILER. PROVIDE PER MANUFACTURER'S REQUIREMENTS. COORDINATE WITH MECHANICAL. PROVIDE CONDENSATE PUMPS WHERE REQUIRED TO ROUTE TO LAUNDRY SINK. PROVIDE AND COORDINATE ALL REQUIRED CONDENSATE CONNECTIONS AND DRAINAGE WITH MECHANICAL AND ARCHITECTURAL. TYPICAL.

PLUMBING SYSTEM INSTALLATION NOTES:

- PROVIDE DOMESTIC WATER SERVICE PIPING FROM EXISTING UNDERGROUND SERVICE MAIN TO RELOCATED METER IN A BELOW GRADE WATER METER PIT. COORDINATE TRENCHING WITH SITE UTILITIES PLANS/CONTRACTOR AND LOCAL UTILITY CO.
- PROVIDE/CONNECT PROPOSED COLD WATER SERVICE PIPING MAIN FROM RELOCATED WATER METER UP TO EXISTING MAIN AT BASEMENT LEVEL. RECONNECT EXISTING SYSTEM TO REMAIN. PROVIDE ALL PIPING, FITTINGS AND ACCESSORIES AS REQUIRED FOR PROPER INSTALLATION/CONNECTION.
- CONNECT PROPOSED HOT WATER SERVICE PIPING MAIN FROM RELOCATED WATER HEATER TO EXISTING MAIN AT BASEMENT LEVEL. RECONNECT EXISTING SYSTEM TO REMAIN. PROVIDE ALL PIPING, FITTINGS AND ACCESSORIES AS REQUIRED FOR PROPER INSTALLATION/CONNECTION.
- ALL DOMESTIC WATER AND SANITARY PIPING SHALL BE INSULATED/PROTECTED FROM FREEZING AND WEATHER. COORDINATE PROTECTION DEVICE WITH STRUCTURAL DRAWINGS, INSULATION WITH ARCHITECTURAL DRAWINGS, AND HEAT TRACE WITH ELECTRICAL DRAWINGS.
- PROVIDE NO PIPING FROM GAS METER TO FIRST FLOOR GAS-FIRED EQUIPMENT CONNECTIONS. DO NOT ENCASE NG PIPING IN SPRAY FOAM INSULATION. NG PIPING SHALL BE INSTALLED AND PROTECTED PER NFPA 54 REQUIREMENTS AND RECOMMENDATIONS. TYPICAL.
- ANY/ALL VALVES SHALL BE LOCATED IN ACCESSIBLE LOCATION WITHIN BUILDING. RELOCATE EXISTING VALVES AS REQUIRED. COORDINATE VALVE ACCESS WITH ARCHITECT. TYPICAL.

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PLUMBING IN FLOOR HAZARD AREAS NOTES:

- NEW AND REPLACEMENT WATER SUPPLY SYSTEMS SHALL BE INSTALLED TO MINIMIZE OR ELIMINATE INFILTRATION OF FLOOR WATERS INTO THE SYSTEM. COORDINATE WITH ARCHITECT.
- NEW AND REPLACEMENT SANITARY SEWAGE SYSTEMS SHALL BE INSTALLED TO MINIMIZE OR ELIMINATE INFILTRATION OF FLOOR WATERS INTO THE SYSTEMS AND DISCHARGES FROM THE SYSTEM INTO FLOOD WATERS AND ON-SITE WASTE DISPOSAL SYSTEMS SHALL BE LOCATED AND CONSTRUCTED TO AVOID IMPAIRMENT TO THEM OF CONTAMINATION FROM THEM DURING FLOODING. COORDINATE WITH ARCHITECT.

PROVIDE NG TO RELOCATED GAS-FIRED WATER HEATER/BOILER AND CLOTHES DRYER. PROVIDE ALL VALVES AND ACCESSORIES AS REQUIRED FOR PROPER REINSTALLATION OF EQUIPMENT/APPLIANCE. COORDINATE WITH MECHANICAL. COORDINATE EXACT LOCATION AND ROUTING WITH ARCHITECT, EXISTING CONDITIONS, STRUCTURAL AND ALL OTHER DISCIPLINES. PROVIDE PIPING PENETRATIONS PER NFPA 54 REQUIREMENTS. TYPICAL.

DCW & DHW DN TO EXISTING SYSTEM PIPING BELOW FLOOR. PROVIDE ALL PIPING FITTINGS AND ACCESSORIES AS REQUIRED FOR PROPER INSTALLATION AND CONNECTION TO EXISTING DISTRIBUTION PIPING. ANY/ALL EXPOSED RISERS SHALL BE PROTECTED FROM FREEZING. COORDINATE PROTECTION/INSULATION WITH ARCHITECT. TYPICAL.

NG NOTE:
 PROVIDE NG FROM METER TO BUILDING GAS-FIRED APPLIANCES/EQUIPMENT. NG PIPING SHALL BE PROTECTED FROM DAMAGE AND CORROSION PER NFPA 54 REQUIREMENTS. COORDINATE WITH SITE AND LOCAL UTILITY CO. COORDINATE LOCATION, SIZING AND ROUTING WITH LOCAL UTILITY CO. ARCHITECTURAL, MECHANICAL AND EXISTING CONDITIONS, CURRENT CODE REQUIREMENTS AND EQUIPMENT MANUFACTURER RECOMMENDATIONS.

SANITARY NOTE:
 PROVIDE EXTENSIONS OF ALL CLEANOUTS AT BASEMENT TO MAINTAIN ABOVE GRADE ACCESS. PROVIDE ADDITIONAL ACCESSIBLE ABOVE GRADE CLEANOUTS AT ANY/ALL PROPOSED SANITARY PIPING PER CURRENT CODES AND STANDARDS. TYPICAL.

WATER METER NOTE:
 EXISTING WATER METER AND ASSOCIATED VALVES AND ACCESSORIES TO BE RELOCATED. COORDINATE LOCATION WITH ARCHITECT. EXISTING UNDERGROUND DOMESTIC WATER SUPPLY MAIN TO BE EXTENDED TO PROPOSED LOCATION. PROVIDE DOMESTIC COLD WATER SUPPLY MAIN IN BUILDING TO CONNECT TO EXISTING DCW SUPPLIES AND PROPOSED LOCATION OF EXISTING HOT WATER HEATER. PROVIDE ALL PIPING, FITTINGS, VALVES AND CONNECTIONS AS REQUIRED FOR PROPER SYSTEM INSTALLATION/REINSTALLATION. INSULATE PIPING. EXPOSED RISERS SHALL BE PROTECTED FROM FREEZING. COORDINATE PROTECTION/INSULATION WITH ARCHITECT. COORDINATE METER WITH ARCHITECT AND LOCAL UTILITY CO.

WATER METER PIT NOTE:
 CONTRACTOR TO PROVIDE WATER METER PIT IN COORDINATION WITH LOCAL WATER AUTHORITY REQUIREMENTS, CURRENT CODES, AND STANDARDS. ALL PIPING LOCATED INSIDE PIT SHALL BE PROTECTED FROM FREEZING.

CLOTHES WASHER/LAUNDRY NOTE:
 REINSTALL APPLIANCES PER MANUFACTURER'S INSTRUCTIONS AND CURRENT CODES. PROVIDE LAUNDRY OUTLET BOX AT WALL. PROVIDE DOMESTIC WATER, WASTE AND VENT CONNECTIONS AND ASSOCIATED VALVES AND ACCESSORIES TO AND FROM RELOCATED LAUNDRY APPLIANCES AND LAUNDRY SINK. PROVIDE CONNECTION TO NEAREST EXISTING PIPING OF EQUAL OR GREATER SIZE BELOW FIRST FLOOR. PROVIDE ALL PIPING AS REQUIRED FOR CONNECTION TO EXISTING. PROVIDE PAN AND STANDPIPE PER CURRENT CODES AND STANDARDS. PROVIDE VENT CONNECTION TO EXISTING VENT STACK AS REQUIRED. MAINTAIN REQUIRED DISTANCES FROM MECHANICAL EQUIPMENT INTAKES. COORDINATE FUTURE/APPLIANCE LOCATION WITH ARCHITECT. RECONNECT ACCORDINGLY. TYPICAL.

NOTES:
 INSULATE PROPOSED DOMESTIC WATER SYSTEM PIPING WITHIN BUILDING INTERIOR WITH MIN. R-4.

COORDINATE ALL PIPING ROUTING WITH ARCHITECTURAL AND ALL OTHER PROJECT DISCIPLINES. PIPING SHALL BE INSTALLED PER CURRENT CODES AND STANDARDS. TYPICAL.

ANY/ALL DOMESTIC WATER & SANITARY PIPING EXTERIOR RISERS SHALL BE PROTECTED FROM IMPACTS, FREEZING, AND WEATHER. COORDINATE PROTECTION WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS, INSULATION WITH ARCHITECTURAL DRAWINGS, AND HEAT TRACE WITH ELECTRICAL DRAWINGS.

ANY/ALL NG PIPING EXTERIOR RISERS SHALL BE PROTECTED FROM IMPACTS AND WEATHER. COORDINATE PROTECTION WITH STRUCTURAL DRAWINGS.

APPROXIMATE LOCATION OF NEW NG METER AND SERVICE MAIN. GAS METER AND ASSOCIATED VALVES AND APPURTENANCES WITH BUILDING SHALL BE ABOVE 100 YEAR FLOOD PLAIN LEVEL. METER SHALL BE ACCESSIBLE FOR READING AND MAINTENANCE. INSTALL AND PROVIDE PROPER SUPPORT PER NFPA 54 REQUIREMENTS. PROVIDE ADDITIONAL PIPING ACCORDINGLY. PROVIDE NG PIPING FROM METER TO PROPOSED LAUNDRY/MECHANICAL SPACES. GAS METER SHALL BE MINIMUM 10 FT FROM ANY MECHANICAL AIR INTAKE AS PER CODE. SEE MECHANICAL PLANS. COORDINATE EXACT LOCATION AND REQUIREMENTS WITH LOCAL UTILITY CO.

PROPOSED LOCATION OF EXISTING WATER HEATER/BOILER AND ASSOCIATED EXPANSION TANK, VALVES AND ACCESSORIES. COORDINATE EXACT LOCATION WITH ARCHITECT AND MECHANICAL. PROVIDE DCW, DHW, NG BRANCH PIPING, VALVES AND ACCESSORIES AS REQUIRED FOR PROPER REINSTALLATION. COORDINATE EXACT ROUTING AND LOCATION WITH EXISTING CONDITIONS, PROPOSED ARCHITECTURAL, MECHANICAL AND ALL OTHER DISCIPLINES. ALL VALVES SHALL BE ACCESSIBLE. TYPICAL. WATER HEATER SHALL BE LOCATED SO AS TO MAINTAIN MINIMUM DISTANCE FROM GAS METER TO WATER HEATER AND FURNACE AIR INTAKES. COORDINATE WITH MECHANICAL. PROVIDE CONDENSATE DRAINAGE PER MANUFACTURER'S INSTRUCTIONS AND CURRENT CODE. COMPLY WITH NFPA 54 REQUIREMENTS.

PROPOSED LOCATION OF EXISTING WASHER/DRYER. SEE CLOTHES WASHER/LAUNDRY NOTE.

PROVIDE SAN PIPING BELOW FLOOR. CONNECT TO SAN MAIN.

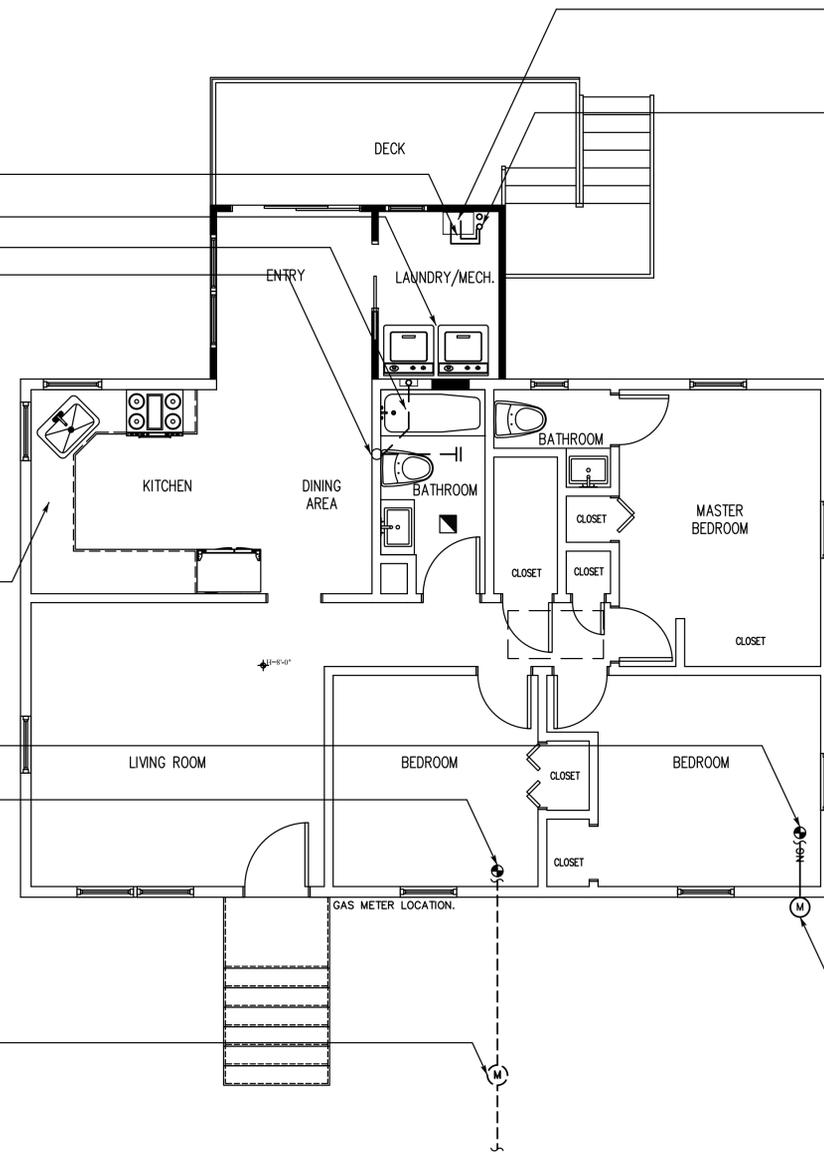
APPROXIMATE LOCATION OF SAN MAIN BELOW FLOOR.

EXISTING KITCHEN AND BATHROOM PLUMBING FIXTURES AND ASSOCIATED VALVES AND PIPING TO REMAIN. PROVIDE ALL PIPING REQUIRED FOR PROPER RECONNECTION OF DOMESTIC WATER, SAN AND VENT PIPING SYSTEMS. TYPICAL.

PROVIDE TRANSITION/CONNECTION TO EXISTING NATURAL GAS SUPPLY DISTRIBUTION PIPING, LOCATED IN THE FIRST FLOOR ASSEMBLY, AS REQUIRED FOR NEW WORK.

PROVIDE TRANSITION/CONNECTION TO EXISTING DOMESTIC WATER SUPPLY DISTRIBUTION PIPING, LOCATED IN THE FIRST FLOOR ASSEMBLY, AS REQUIRED FOR NEW WORK.

APPROXIMATE LOCATION OF NEW WATER METER PIT. EXISTING RELOCATED WATER METER, AND ASSOCIATED VALVES AND ACCESSORIES. COORDINATE EXACT LOCATION WITH LOCAL UTILITY CO. ALL ASSOCIATED VALVES SHALL BE ACCESSIBLE. SEE WATER METER NOTE AND WATER METER PIT NOTE FOR ADDITIONAL INFORMATION.



FIRST FLOOR PLUMBING PLAN
 SCALE: 1/4"=1'-0"

NOT FOR CONSTRUCTION

MECHANICAL SYMBOL LIST	
	NEW SUPPLY AIR DUCTWORK & REGISTER.
	NEW EXHAUST DUCTWORK & DISCHARGE VENT
	TRANSITION/CONNECTION TO EXISTING DUCTWORK.

RETURN AIR NOTES:

1. THE CONTRACTOR SHALL CONFIRM THAT THERE IS NO RETURN AIR GRILLE SERVING THE BASEMENT.
- IF CONFIRMED, AFTER NEW WORK IS INSTALLED, AIR HANDLING SYSTEM SHALL BE BALANCED.
- IF A RETURN AIR GRILLE IS FOUND TO BE SERVING THE BASEMENT, THIS GRILLE SHALL BE REMOVED. A NEW LOW WALL RETURN AIR GRILLE OF EQUAL FREE NET AREA SHALL BE INSTALLED IN THE DINING AREA. THE ASSOCIATED DUCTWORK FOR THE REMOVED GRILLE SHALL BE RE-ROUTED TO SERVE THE NEW LOW WALL RETURN AIR GRILLE IN THE DINING AREA AS NECESSARY. ONCE NEW WORK IS COMPLETE, THE AIR HANDLING SYSTEM SHALL BE BALANCED.

GENERAL PROPOSED MECHANICAL NOTES:

1. THE CONTRACTOR SHALL VISIT THE PROJECT SITE, PRIOR TO BIDDING, AND BECOME INFORMED AS TO THE NATURE AND SCOPE OF WORK REQUIRED, NOTING AND ACCOUNTING FOR EXISTING CONDITIONS. TYPICAL.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK INCLUDING TOOLS, MATERIAL, MANPOWER, ETC. REQUIRED FOR COMPLETE AND PROPER INSTALLATION OF PROPOSED MATERIALS, FIXTURES AND/OR EQUIPMENT.
3. ALL WORK SHALL BE PERFORMED IN A SAFE AND ORDERLY MANNER WITH QUALIFIED AND LICENSED PERSONNEL IN ACCORDANCE WITH STATE AND LOCAL GOVERNING AUTHORITIES AND ALL APPLICABLE CODES AND STANDARDS. TYPICAL.
4. CONTRACTOR TO PROVIDE FIRE DAMPERS IF REQUIRED, COORDINATE WITH ARCHITECTURAL CODE SHEET.
5. CONTRACTOR TO SEAL ALL PENETRATIONS OF THE AIR DISTRIBUTION SYSTEM TO REDUCE LEAKAGE PER HUD CPD GREEN BUILDING RETROFIT CHECKLIST.
6. CONTRACTOR TO MAINTAIN A MINIMUM 10'-0" DISTANCE BETWEEN ANY AIR INTAKE AND THE GAS METER.
7. CONTRACTOR TO MAINTAIN A MINIMUM 10'-0" DISTANCE BETWEEN ANY AIR INTAKE AND BATHROOM EXHAUST.
8. ALL MECHANICAL EQUIPMENT PIPING AND ASSOCIATED ACCESSORIES BELOW FIRST FLOOR TO BE INSULATED SIMILAR TO FLOOR ASSEMBLY.
9. CONTRACTOR TO PROVIDE A MIN. OF 1" INSULATION WRAP ON THE FIRST 10'-0" OF SUPPLY AND RETURN DUCTWORK FROM THE UNIT.
10. CONTRACTOR TO MAINTAIN THAT ALL DUCTWORK AND DUCTWORK ACCESSORIES BE INSTALLED AT MIN. 1'-0" ABOVE THE 500 YEAR BASE FLOOD ELEVATION, PER LOCAL CODE REQUIREMENTS.

Revisions	Date
BID SET	04/01/16
ZONING APPROVAL	05/16/16

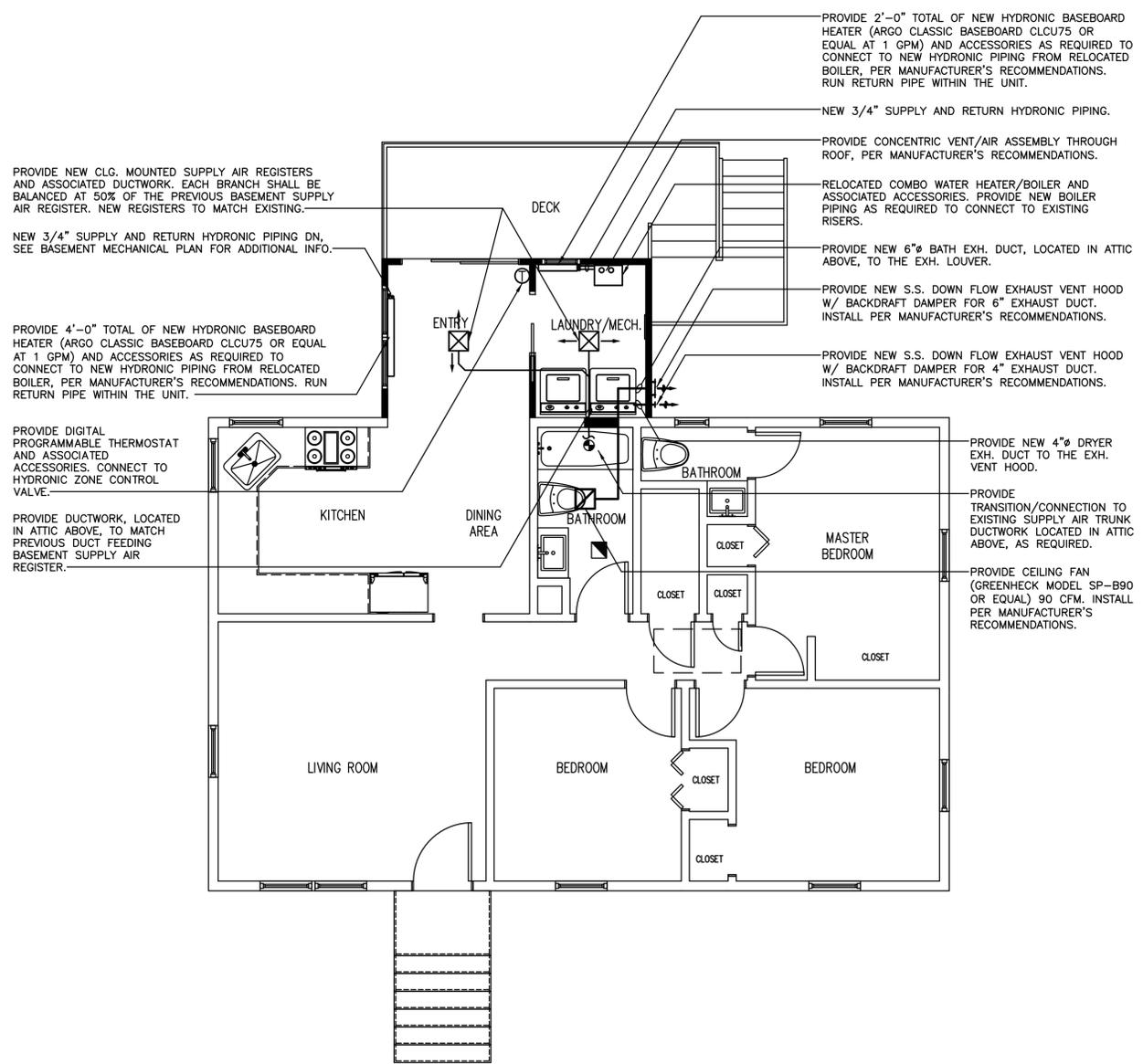
CONSULTANT:
SALAMONE & ASSOCIATES, P.C.
 CONSULTING ENGINEERS
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 Wallingford, Connecticut 06495
 Tel: (800) 877-8728

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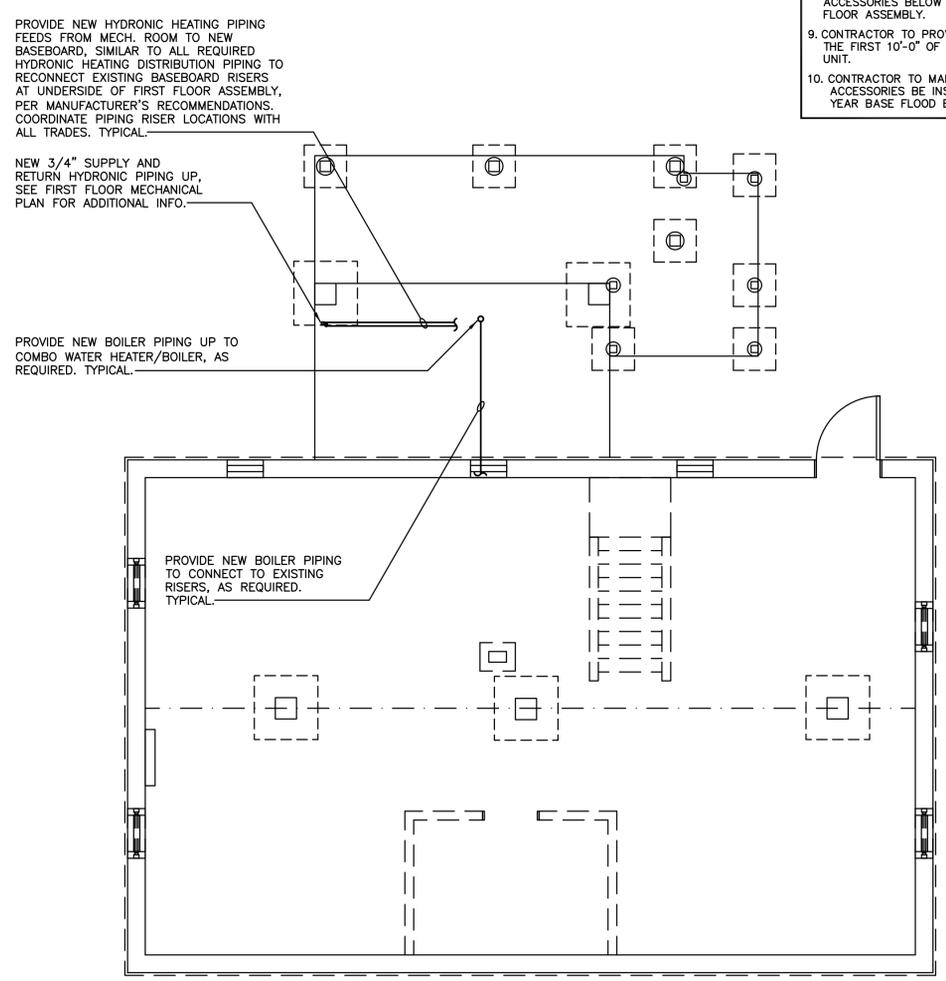
Aris Crist Architects
 34 East Putnam Avenue
 Greenwich, Connecticut 06830
 203 661 0661

RESIDENCE No. 1526
108 LONGDEAN ROAD
 FAIRFIELD CT, 06824
 BASEMENT & FIRST FLOOR MECHANICAL PLANS

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JB
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Date
04.01.16
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Job Number
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M-1.0



FIRST FLOOR MECHANICAL PLAN
 SCALE: 1/4"=1'-0"



BASEMENT MECHANICAL PLAN
 SCALE: 1/4"=1'-0"

NOT FOR CONSTRUCTION

TITLE BLOCK
 108 Longdean Road, Fairfield, CT 06824
 Tax Map:183 Lot: 264
 Zone: B
 Applicants & Owners of record:
 Emily & Sheila Sherwood
 108 Longdean Road
 Fairfield, CT 06824
 (203) 858-8723

Project Description: One Story Residential Addition & FEMA Compliance

CT Department of Housing Community Development
 Block Grant
 Disaster Recovery Applicant #1526

- ELECTRICAL NOTES:**
- THE CONTRACTOR(S) SHALL VISIT THE PROJECT SITE PRIOR TO BIDDING, NOTING EXISTING CONDITIONS AND EQUIPMENT. IF SAID IS NOT BEING REMOVED AS PART OF PROJECT OR IS NOTED AS EXISTING TO REMAIN AND IMPEDS PROPOSED EQUIPMENT AND/OR PROVIDING PROPOSED SCOPE OF WORK, EQUIPMENT SHALL BE TEMPORARILY RELOCATED AND COMPLETELY REINSTALLED AFTER PROPOSED SCOPE OF WORK IS COMPLETED. THIS SHALL BE PART OF BASE BID AND CONTRACTOR'S SHALL BID ACCORDINGLY. NO ADDITIONAL COMPENSATION WILL BE CONSIDERED FOR RELATED WORK OF COORDINATION WITH EXISTING CONDITIONS.
 - REMOVE AND PROPERLY DISPOSE OF EQUIPMENT AND ASSOCIATED COMPONENTS/ACCESSORIES AS INDICATED ON DEMOLITION PLANS. PROPERLY DISPOSE OF ALL DEMOLITION DEBRIS AS REQUIRED BY FEDERAL, STATE AND LOCAL CODES AND ORDINANCES. TYPICAL.
 - CONTRACTOR SHALL NOT DAMAGE ANY EXISTING EQUIPMENT, PIPING, OR ASSOCIATED ACCESSORIES WHICH ARE TO REMAIN. ANY SUCH ITEMS DAMAGED SHALL BE REPLACED AT CONTRACTOR'S EXPENSE. TYPICAL.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK INCLUDING TOOLS, MATERIAL, MANPOWER, ETC. REQUIRED FOR COMPLETE AND PROPER INSTALLATION OF PROPOSED MATERIALS, FIXTURES AND/OR EQUIPMENT.
 - DO NOT DISTURB ANY SUSPECTED HAZARDOUS MATERIALS. NOTIFY OWNERS REPRESENTATIVE OF ANY SUSPECTED MATERIALS IMPEDING PERFORMANCE OF WORK. TYPICAL.
 - ALL DEMOLITION WORK SHALL BE PERFORMED IN A SAFE AND ORDERLY MANNER WITH QUALIFIED AND LICENSED PERSONNEL IN ACCORDANCE WITH STATE AND LOCAL GOVERNING AUTHORITIES AND ALL APPLICABLE CODES AND STANDARDS. COORDINATE WORK WITH ALL PROJECT DISCIPLINES AND EXISTING CONDITIONS. TYPICAL.

- HEAT TRACE NOTES:**
- CONTRACTOR SHALL PROVIDE 3 WATTS PER FOOT, LOW TEMP., SELF REGULATING HEAT TRACE (THERMOSTATICALLY CONTROLLED) FOR EXPOSED EXTERIOR COPPER DOMESTIC WATER SERVICE PIPING. COORDINATE LENGTH REQUIRED WITH PLUMBING CONTRACTOR. EMERSON FREEZE FREE WITH EH38 THERMOSTAT CONTROL.
 - CONTRACTOR SHALL PROVIDE 5 WATTS PER FOOT, IN-LINE HEAT TRACE WITH THERMOSTAT FOR EXPOSED EXTERIOR PE TYPE DOMESTIC WATER SERVICE PIPING, INCLUDING PIPING IN WATER METER PIT, WITH PIPE SIZES OF 1" AND 1-1/4". ALL OTHER SIZES PROVIDE HEAT TRACE PER NOTES #1 ABOVE. COORDINATE LENGTH REQUIRED WITH PLUMBING CONTRACTOR. EMERSON EASY HEAT WITH SL26 CONTROL.
 - PROVIDE ELECTRICAL CONNECTION AND INSTALL PER NEC AND MANUFACTURERS REQUIREMENTS. CONNECT TO PROPOSED PANEL. L.C. PROVIDE 15A/1P CIRCUIT BREAKER FOR PANEL. PROVIDE 3-#14 AWG WITHIN CONDUIT.

- EXISTING UNDERGROUND FEED TO ACCESSORY BLDG. NOTES:**
- CONTRACTOR SHALL LOCATE AND MARK ROUTING OF UNDERGROUND WIRING/CONDUIT FROM HOUSE TO ACCESSORY BUILDING PRIOR TO EXCAVATION.
 - CONTRACTOR SHALL REMOVE EXISTING WIRING FROM HOUSE TO ACCESSORY BUILDING. EXISTING CONDUIT SHALL REMAIN AND BE REUSED.
 - CONTRACTOR SHALL EXTEND EXISTING CONDUIT TO PROPOSED ELECTRICAL PANEL LOCATION. MATCH EXISTING CONDUIT SIZE. CONTRACT MAY USE SCHEDULE 40 CONDUIT FOR UNDERGROUND PORTION OF RUN ONLY. CONTRACTOR SHALL TRANSITION TO RIGID METAL CONDUIT FOR ABOVEGROUND PORTION OF INSTALLATION.
 - CONTRACTOR SHALL PROVIDE 3-#6 AWG + #10 GND CONDUCTORS FROM ELECTRICAL PANEL EP TO EXISTING PANEL IN ACCESSORY BUILDING. CONNECT TO 60A/2P CIRCUIT BREAKER IN PANEL EP.

- EXISTING CIRCUITS NOTES:**
- CONTRACTOR SHALL EXTEND EXISTING BRANCH CIRCUITS TO REMAIN TO PROPOSED PANEL EP LOCATION PER NEC.
 - UNDERSIDE OF FIRST FLOOR SHALL BE SPRAYED WITH FOAM INSULATION. ALL JUNCTION BOXES SHALL BE INSTALLED SUCH THAT THEY ARE ACCESSIBLE ONCE SPRAY FOAM INSULATION IS INSTALLED.
 - WHERE JUNCTION BOXES WILL NO BE ACCESSIBLE ONCE SPRAY FOAM INSULATION IS INSTALLED, CONTRACTOR SHALL REMOVE WIRING/CONDUIT TO NEXT ACCESSIBLE POINT/BOX AND PROVIDE AN ENTIRE SECTION OF WIRING/CONDUIT WITHOUT JUNCTION/SPLICE BOXES FROM ACCESSIBLE POINT/BOX BACK TO PANEL EP.
 - ALL JUNCTION/SPLICE BOXES IN BASEMENT SHALL BE WEATHERPROOF.
 - ALL NON-METALLIC SHEATHED CABLE LOCATED IN BASEMENT SPACE SHALL BE ROUTED WITHIN CONDUIT PER NEC REQUIREMENTS.
 - ALL SERVICE ENTRANCE CABLE SHALL BE INSTALLED WITHIN CONDUIT PER NEC REQUIREMENTS.

- WIRING NOTES:**
- ALL WIRING SHALL BE COPPER THHN/THWN WITH EXCEPTION OF SERVICE ENTRANCE CONDUCTORS.
 - CONTRACTOR MAY UTILIZE ALUMINUM WIRING FOR SERVICE ENTRANCE CONDUCTORS ONLY.
 - ALL WIRING SHALL BE CONCEALED BEHIND WALL/CEILING SURFACES IN ALL FINISHED AREAS.

- WIRING DEVICE NOTES:**
- CONTRACTOR SHALL COORDINATE RECEPTACLE AND SWITCH COLORS WITH ARCHITECT PRIOR TO ORDERING AND INSTALLATION. PROVIDE MATCHING COVER PLATE. TYPICAL.
 - CONTRACTOR SHALL PROVIDE RED EMERGENCY SWITCH COVER PLATE WITH ON/OFF DIRECTION FOR COMBINATION BOILER/WATER HEATER.

- PANELBOARD EP NOTES:**
- CONTRACTOR SHALL PROVIDE RECESSED 100A, 120/240V, 1PH, 3W, 40P, LOAD CENTER TYPE PANELBOARD WITH 100A/2P MAIN CIRCUIT BREAKER AND COPPER BUSSING. GE POWERMARK GOLD MODEL 'TM4010CCUG' OR EQUAL.
 - CONTRACTOR SHALL PANELBOARD WITH THE FOLLOWING CIRCUIT BREAKERS. ALSO SEE NOTE THREE BELOW WITH REGARDS TO CIRCUIT BREAKERS.
- | | |
|---------|------|
| RATING: | QTY: |
| 15A/1P | 16 |
| 20A/1P | 13 |
| 60A/2P | 2 |
| 20A/2P | 1 |
- CONTRACTOR SHALL PROVIDE AFCI TYPE CIRCUIT BREAKERS FOR ALL CIRCUITS SERVING ALL BEDROOMS. VERIFY RATINGS AND QUANTITY REQUIRED IN FIELD.
 - CONTRACTOR SHALL PROVIDE 1-1/2" C, 3-#2 AWG ALUMINUM SERVICE ENTRANCE CONDUCTORS FROM METER TO PROPOSED PANEL EP. ROUTE FROM METER TO PANEL EP THROUGH BASEMENT.

PROVIDE GFCI DUPLEX RECEPTACLE. CONNECT TO ROOM LIGHTING CIRCUIT. ACTIVATION OF GFCI SHALL NOT INTERRUPT POWER TO LIGHTING. GFCI SHALL NOT BE CONTROLLED BY LIGHT SWITCH BUT SHALL BE CONSTANT-ON.

PROVIDE EMERGENCY SHUT-OFF SWITCH FOR COMBINATION BOILER/WATER HEATER.

PROVIDE 3-WAY SWITCH. TYPICAL.

PROVIDE SINGLE POLE SWITCH.

PROVIDE HARDWIRED AC COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR WITH BATTERY BACK-UP. BRK SC9120B' OR EQUAL. PROPOSED DETECTOR SHALL BE WIRED IN TANDEM WITH EXISTING DETECTORS WITHIN RESIDENCE. ACTIVATION OF ONE DETECTOR SHALL CAUSE ALL DETECTORS TO ACTIVATE. PROVIDE #12/3 AWG. TYPICAL.

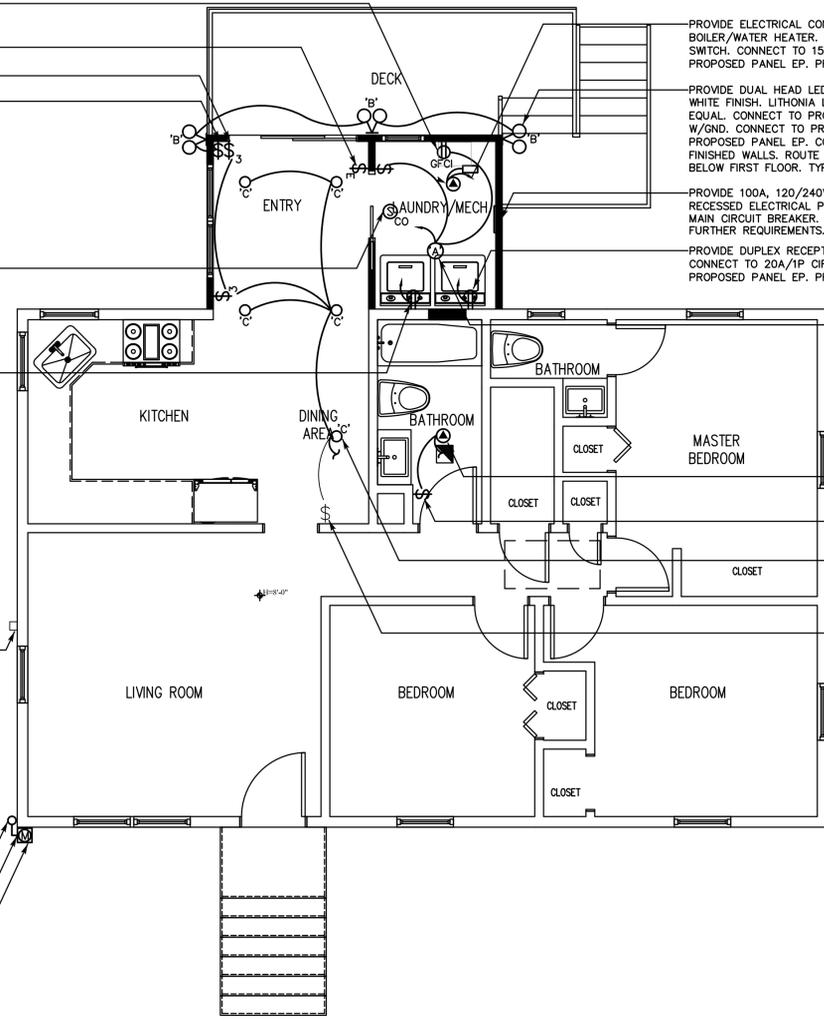
PROVIDE DUPLEX RECEPTACLE FOR WASHER. CONNECT TO 20A/1P CIRCUIT BREAKER IN PROPOSED PANEL EP. PROVIDE #12/2 W/GND.

EXISTING LOCAL COMMUNICATIONS COMPANY (TELEPHONE & CABLE TV) NETWORK INTERFACE EQUIPMENT AND ASSOCIATED WIRING TO REMAIN.

PROVIDE SERVICE MAST AND WEATHERHEAD PER LOCAL UTILITY COMPANY REQUIREMENTS FOR OVERHEAD SERVICE. PROVIDE 3-#2 AWG ALUMINUM SERVICE CONDUCTORS FROM METER SOCKET TO SERVICE DROP. INSTALL PER LOCAL UTILITY COMPANY AND NEC REQUIREMENTS. COORDINATE CONNECTION WITH LOCAL UTILITY COMPANY.

PROVIDE MILBANK #U3741-XL-100-BL COMBINATION METER SOCKET/MAIN DISCONNECT. PROVIDE 100A/2P MAIN CIRCUIT BREAKER. MOUNT WITH CENTER OF METER SOCKET AT FIVE (5) FEET ABOVE FINISHED GRADE.

PROVIDE 3/4" CONDUIT AND #8 AWG COPPER GROUNDING ELECTRODE CONDUCTORS (GEC) AND 5/8" x 8' COPPER GROUND RODS FOR GROUNDING OF ELECTRICAL SERVICE. PROVIDE ADDITIONAL 3/4" CONDUIT AND #8 AWG GROUND TO METALLIC WATER SERVICE PIPING. INSTALL PER NEC REQUIREMENTS.



FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

- ELECTRICAL GENERAL NOTES**
- UNLESS OTHERWISE INDICATED, PROVIDE A COMPLETE AND OPERATIONAL ELECTRICAL SYSTEM INCLUDING ALL NECESSARY MATERIAL, LABOR AND EQUIPMENT.
 - ELECTRICAL PLANS AND DETAILS AND ONE LINE DIAGRAMS SHOW THE GENERAL LOCATION AND ARRANGEMENT OF THE ELECTRICAL SYSTEM. THEY ARE DIAGRAMMATIC AND DO NOT SHOW ALL CONDUIT BODIES, CONNECTORS, BENDS, FITTINGS, HANGERS AND ADDITIONAL PULL AND JUNCTION BOXES REQUIRED FOR INSTALLATION.
 - ALL EQUIPMENT AND MATERIAL SHALL BE LABELED, LISTED AND INSTALLED IN ACCORDANCE WITH THEIR LISTING.
 - THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND ARRANGE FOR ALL REQUIRED INSPECTIONS IN ACCORDANCE WITH STATE AND LOCAL GOVERNING AUTHORITIES.
 - ALL WORK SHALL BE DONE WITH LICENSED WORKMEN IN ACCORDANCE WITH STATE AND LOCAL GOVERNING AUTHORITIES.
 - ALL WORK SHALL BE DONE IN ACCORDANCE WITH 2011 NATIONAL ELECTRIC CODE (NEC) ANSI/NFPA 70, NFPA 72, NFPA 101.
 - THE TERM "INDICATED" SHALL MEAN "AS SHOWN ON CONTRACT DOCUMENTS (SPECIFICATIONS, DRAWINGS AND RELATED ATTACHMENTS)".
 - THE TERM "PROVIDE" SHALL MEAN "TO FURNISH, INSTALL AND CONNECT COMPLETELY".
 - THE TERM "SIZE" SHALL MEAN ONE OR MORE OF THE FOLLOWING: "LENGTH, CURRENT AND VOLTAGE RATING, NUMBER OF POLES, NEMA SIZE AND OTHER SIMILAR ELECTRICAL CHARACTERISTICS".
 - ELECTRICAL PLANS AND DETAILS DO NOT SHOW ALL INTERFERENCES AND CONDITIONS, VISIBLE AND/OR HIDDEN, THAT MAY EXIST. THIS REQUIRING THE CONTRACTOR TO INSPECT AND SURVEY THE SPACE BEFORE PERFORMING THE WORK.
 - BEFORE SELECTING MATERIAL AND EQUIPMENT, AND PROCEEDING WITH WORK, INSPECT AREAS WHERE MATERIAL AND EQUIPMENT ARE TO BE INSTALLED TO INSURE SUITABILITY, AND CHECK NEEDED SPACE FOR PLACEMENT, CLEARANCES AND INTERCONNECTIONS.
 - BEFORE CUTTING OR DRILLING INTO BUILDING ELEMENTS, INSPECT AND LAYOUT WORK TO AVOID DAMAGING STRUCTURAL ELEMENTS AND BUILDING UTILITIES.
 - CONTRACTOR SHALL OBTAIN AND PAY FOR ALL LOCAL UTILITY COMPANIES CHARGES FOR DISCONNECTION AND RECONNECTION OF SERVICES.

ELECTRICAL SYMBOL LIST

	DUPLEX RECEPTACLE
	GFCI - GROUND FAULT CIRCUIT INTERRUPTER
	WP - WEATHERPROOF
	SWITCH - SINGLE POLE
	3 - THREE WAY
	4 - FOUR WAY
	E - EMERGENCY
	TOL - THERMAL OVERLOAD PROTECTION DEVICE
	SPECIAL PURPOSE CONNECTION
	LUMINAIRE - INTERIOR LETTER 'L' DENOTES FIXTURE TYPE
	AC COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR WITH BATTERY BACKUP

WARNING

**"CALL BEFORE YOU DIG"
1-800-922-4455"**

"CONTRACTOR SHALL REGISTER HIS INTENTION TO START EXCAVATIONS AT SITE A MINIMUM OF TWO FULL WORKING DAYS PRIOR TO THE ACTIVITY."

NOTES:

- CONTRACTOR IS RESPONSIBLE FOR REPAIR AND PAYMENT FOR ALL UTILITIES DAMAGED DURING CONSTRUCTION.
- THE LOCATION OF ALL UNDERGROUND UTILITIES IS BASED UPON THE BEST AVAILABLE INFORMATION. CONTRACTOR TO CONFIRM LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF ANY EXCAVATION.
- CONTRACTOR TO RETURN SITE TO ORIGINAL CONDITION AFTER INSTALLATION OF UNDERGROUND UTILITIES.

TITLE BLOCK

108 Longdean Road, Fairfield, CT 06824
Tax Map:183 Lot: 264
Zone: B
Applicants & Owners of record:
Emily & Sheila Sherwood
108 Longdean Road
Fairfield, CT 06824
(203) 858-8723

Project Description: One Story Residential Addition & FEMA Compliance

CT Department of Housing Community Development
Block Grant
Disaster Recovery Applicant #1526

NOT FOR CONSTRUCTION

Revisions	Date
BID SET	04/01/16
ZONING APPROVAL	05/16/16

CONSULTANT:
SALAMONE & ASSOCIATES, P.C.
CONSULTING ENGINEERS
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Phone: (860) 267-9728
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Aris Crist Architects
34 East Putnam Avenue
Greenwich, Connecticut 06830
203 661 0661

RESIDENCE No. 1526
108 LONGDEAN ROAD
FAIRFIELD CT, 06824
FIRST FLOOR ELECTRICAL PLAN

Drawn	JB
Checked	JAS
Date	04.01.16
Scale	AS NOTED
Job Number	
Sheet	E-1.0