



# QUISENBERRY ARCARI ARCHITECTS, LLC

318 Main Street, Farmington, CT 06032    www.qa-architects.com    t (860) 677 - 4594    f (860) 677 - 8534

REHABILITATION / RECONSTRUCTION WORK FOR:

## ANNE SWEENEY

APPLICANT # 1479

ISSUE DATE: MAY 1, 2015

94 LONGDEAN RD

FAIRFIELD, CT

COMMUNITY DEVELOPMENT BLOCK GRANT  
DISASTER RECOVERY PROGRAM (CDBG-DR)

LOCATION MAP

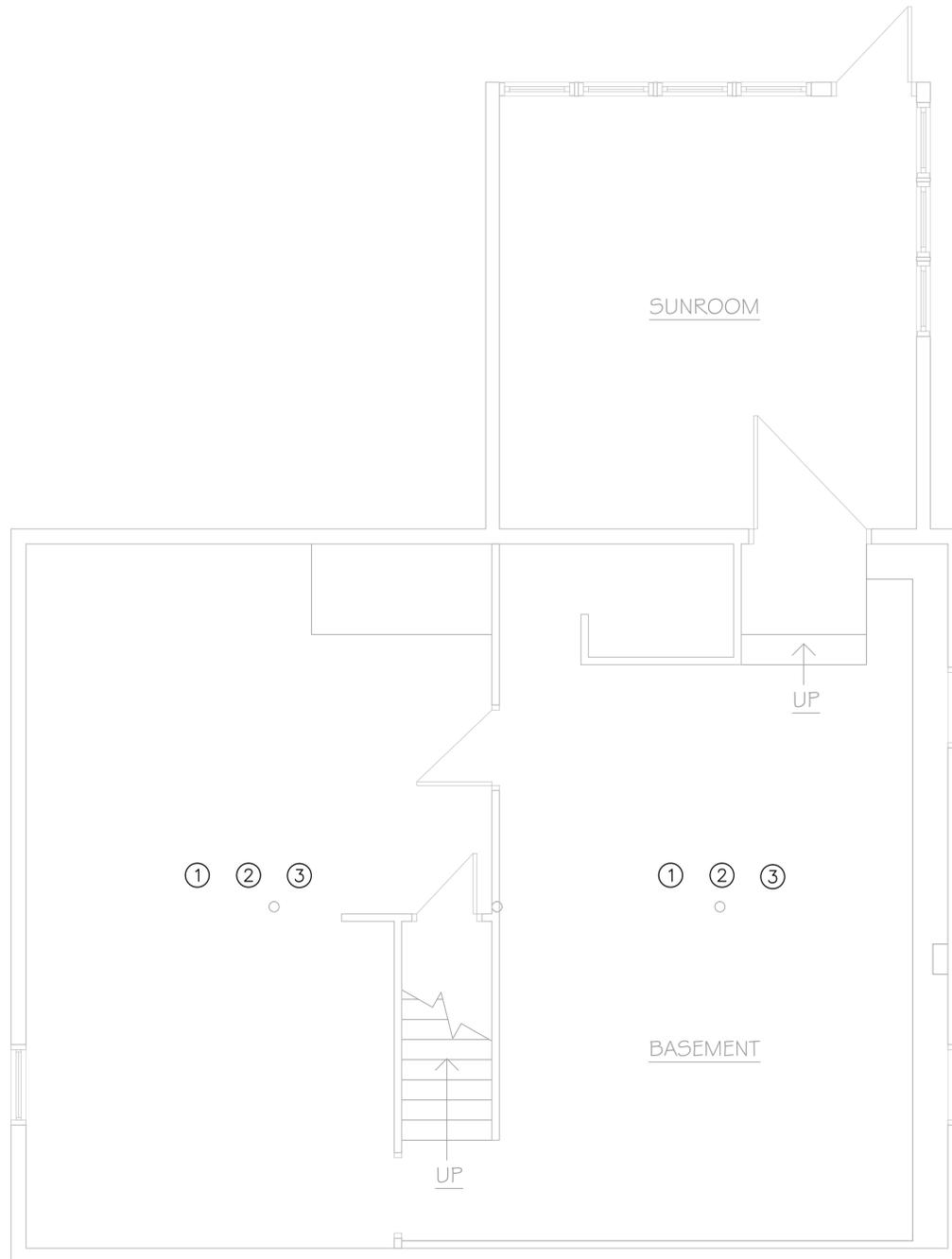


OWNER OCCUPIED REHABILITATION  
& REBUILDING PROGRAM (OORR)

SPONSORED IN CONJUNCTION WITH FUNDING FROM  
THE CONNECTICUT DEPARTMENT OF HOUSING







**HAZARDOUS MATERIALS ABATEMENT NOTES:**

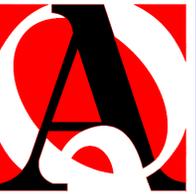
- ① THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE AND DISPOSE OF ASBESTOS CONTAINING BLACK FLOOR MASTIC AS ACM.
- ② THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE AND DISPOSE OF ASBESTOS CONTAINING CHIMNEY FLUE CEMENT AS ACM.
- ③ THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE AND DISPOSE OF 1% ASBESTOS CONTAINING SHEETROCK AND JOINT COMPOUND IN ACCORDANCE WITH OSHA REGULATIONS. DISPOSE OF MATERIALS AS ACM. SEE ARCHITECT SPECIFICATIONS AND DRAWINGS FOR LOCATIONS AND EXTENT OF ABATEMENT REQUIRED.
- ④ THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE AND DISPOSE OF ASBESTOS CONTAINING ROOF FLASHING AS ACM.

**GENERAL PROJECT NOTES:**

THIS PROJECT MAY REQUIRE MULTIPLE MOBILIZATIONS. WORK IS TO BE COORDINATED WITH BUILDING OWNER AND OTHER TRADES.

THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING CONSTRUCTION AND FOR TEMPORARY PROTECTION.

THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF ALL EXISTING CONDITIONS AND QUANTITIES, AND FOR NOTIFYING THE CONSULTANT OF ANY DISCREPANCIES PRIOR TO FINALIZING BID.



**QUISENBERRY ARCARI  
ARCHITECTS, LLC**  
www.qa-architects.com  
T (860) 677-4594  
F (860) 677-8534  
318 Main Street  
Farmington, CT 06032

**FUSS & O'NEILL**  
EnviroScience, LLC  
56 QUARRY ROAD  
TRUMBULL, CONNECTICUT 06611  
203.753.9388  
www.fussandoneill.com



**REHABILITATION/RECONSTRUCTION WORK FOR:**

**ANNE SWEENEY**

APPLICANT # 1479

94 LONGDEAN ROAD FAIRFIELD, CT

**Sheet Description:**

HAZARDOUS  
MATERIALS  
ABATEMENT  
—  
BASEMENT

**Issue Dates:**

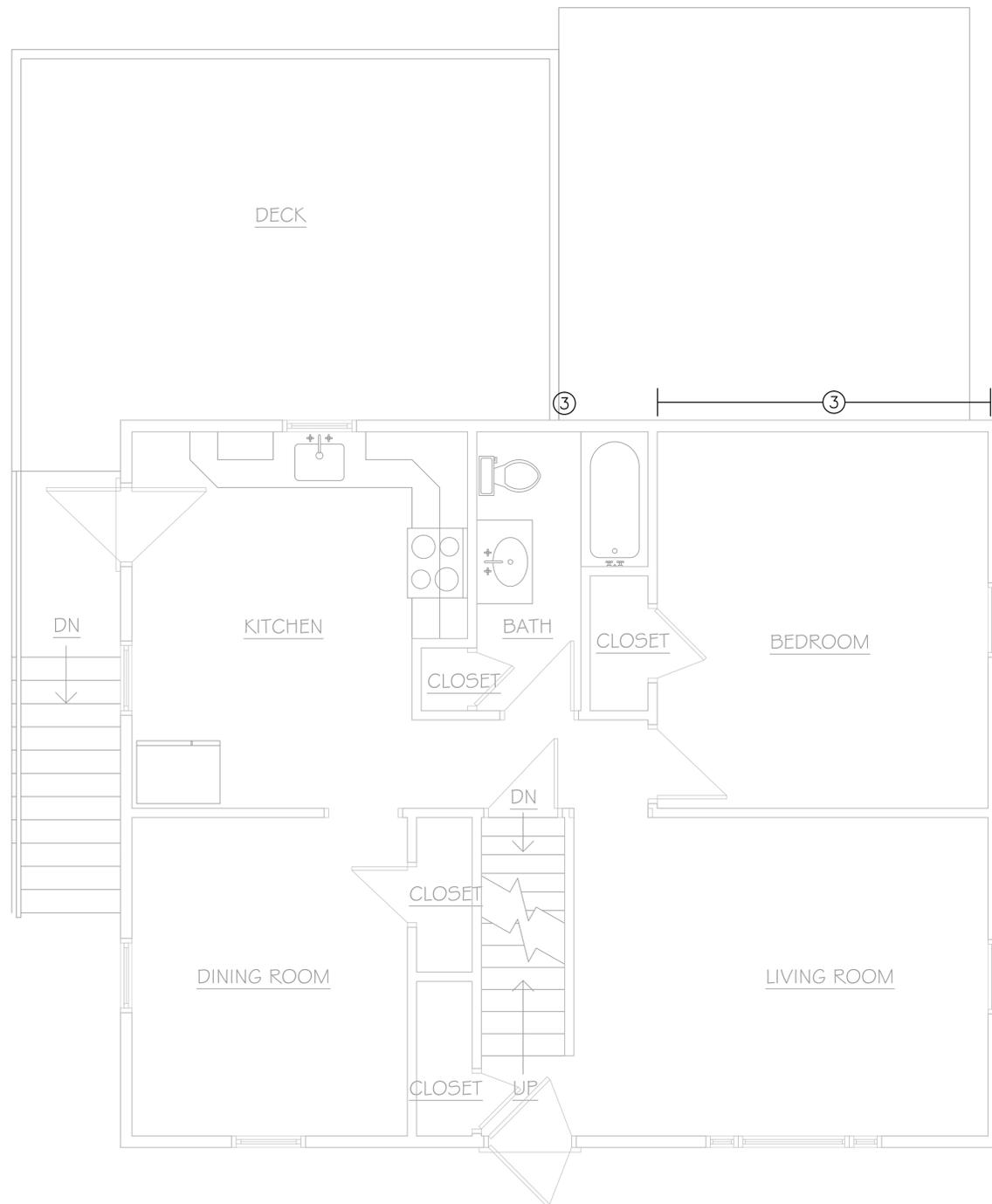
MAY 1, 2015

Project #:  
QA 1346-17

Drawn By:  
AAT

**Sheet #:**

HM-01



**HAZARDOUS MATERIALS ABATEMENT NOTES:**

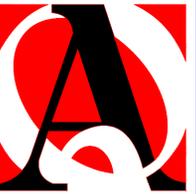
- ① THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE AND DISPOSE OF ASBESTOS CONTAINING BLACK FLOOR MASTIC AS ACM.
- ② THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE AND DISPOSE OF ASBESTOS CONTAINING CHIMNEY FLUE CEMENT AS ACM.
- ③ THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE AND DISPOSE OF 1% ASBESTOS CONTAINING SHEETROCK AND JOINT COMPOUND IN ACCORDANCE WITH OSHA REGULATIONS. DISPOSE OF MATERIALS AS ACM. SEE ARCHITECT SPECIFICATIONS AND DRAWINGS FOR LOCATIONS AND EXTENT OF ABATEMENT REQUIRED.
- ④ THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE AND DISPOSE OF ASBESTOS CONTAINING ROOF FLASHING AS ACM.

**GENERAL PROJECT NOTES:**

THIS PROJECT MAY REQUIRE MULTIPLE MOBILIZATIONS. WORK IS TO BE COORDINATED WITH BUILDING OWNER AND OTHER TRADES.

THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING CONSTRUCTION AND FOR TEMPORARY PROTECTION.

THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF ALL EXISTING CONDITIONS AND QUANTITIES, AND FOR NOTIFYING THE CONSULTANT OF ANY DISCREPANCIES PRIOR TO FINALIZING BID.



**QUISENBERRY ARCARI  
ARCHITECTS, LLC**  
www.qa-architects.com  
T (860) 677-4594  
F (860) 677-8534  
318 Main Street  
Farmington, CT 06032

**FUSS & O'NEILL**  
EnviroScience, LLC  
56 QUARRY ROAD  
TRUMBULL, CONNECTICUT 06611  
203.753.3838  
www.fussandoneill.com



**REHABILITATION/RECONSTRUCTION WORK FOR:**

**ANNE SWEENEY**

APPLICANT # 1479

94 LONGDEAN ROAD FAIRFIELD, CT

**Sheet Description:**

**HAZARDOUS  
MATERIALS  
ABATEMENT  
—  
FIRST  
FLOOR**

**Issue Dates:**

MAY 1, 2015

**Project #:** QA 1346-17 **Drawn By:** AAT

**Sheet #:**

HM-02



**HAZARDOUS MATERIALS ABATEMENT NOTES:**

- ① THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE AND DISPOSE OF ASBESTOS CONTAINING BLACK FLOOR MASTIC AS ACM.
- ② THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE AND DISPOSE OF ASBESTOS CONTAINING CHIMNEY FLUE CEMENT AS ACM.
- ③ THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE AND DISPOSE OF 1% ASBESTOS CONTAINING SHEETROCK AND JOINT COMPOUND IN ACCORDANCE WITH OSHA REGULATIONS. DISPOSE OF MATERIALS AS ACM. SEE ARCHITECT SPECIFICATIONS AND DRAWINGS FOR LOCATIONS AND EXTENT OF ABATEMENT REQUIRED.
- ④ THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE AND DISPOSE OF ASBESTOS CONTAINING ROOF FLASHING AS ACM.

**GENERAL PROJECT NOTES:**

THIS PROJECT MAY REQUIRE MULTIPLE MOBILIZATIONS. WORK IS TO BE COORDINATED WITH BUILDING OWNER AND OTHER TRADES.

THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING CONSTRUCTION AND FOR TEMPORARY PROTECTION.

THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF ALL EXISTING CONDITIONS AND QUANTITIES, AND FOR NOTIFYING THE CONSULTANT OF ANY DISCREPANCIES PRIOR TO FINALIZING BID.



**QUISENBERRY ARCARI  
ARCHITECTS, LLC**  
www.qa-architects.com  
T (860) 677-4594  
F (860) 677-8534  
318 Main Street  
Farmington, CT 06032



**FUSS & O'NEILL**  
EnviroScience, LLC  
56 QUARRY ROAD  
TRUMBULL, CONNECTICUT 06611  
203.753.9388  
www.fussandoneill.com

**REHABILITATION/RECONSTRUCTION WORK FOR:**

**ANNE SWEENEY**

APPLICANT # 1479

94 LONGDEAN ROAD FAIRFIELD, CT

**Sheet Description:**

HAZARDOUS  
MATERIALS  
ABATEMENT  
—  
ROOF

**Issue Dates:**

MAY 1, 2015

Project #:  
QA 1346-17

Drawn By:  
AAT

**Sheet #:**

HM-03

ZONING DATA

Zoning Information -- Zone "B" Residential

STATUS	REQUIRED	EXISTING CONDITION	PROPOSED	AS-BUILT CONDITION
MINIMUM LOT AREA	6,000 S.F.	6,000 S.F.	6,000 S.F.	
MIN. SQUARE ON LOT	60'	60'	60'	
MINIMUM LOT FRONTAGE	60'	60'	60'	
DENSITY - MIN. LOT AREA PER DWELLING UNIT				
ONE FAMILY	6,000 S.F.	6,000 S.F.	6,000 S.F.	
TWO FAMILY				
THREE FAMILY				
FOUR FAMILY				
EACH ADDITIONAL UNIT				
MINIMUM SETBACKS:				
FROM STREET LINE	20'	39.9'	39.9'	
SIDE PROPERTY LINES (MORE THAN ONE STORY)	15'	17.0'	17.0'	
ONE SIDE PROPERTY LINE	5'	10.4'	10.4' (EX.) / 10.9' (ADDITION)	
REAR PROPERTY LINE	20'	30.2'	30.2'	
ONE STREET LINE ON COR. (ONE STORY)	12'			
(MORE THAN ONE STORY)	17'			
MINIMUM FLOOR AREA:				
ONE STORY BUILDING	750 S.F.			
SPLIT LEVEL BUILDING	1,000 S.F.			
TWO OR MORE STORY BLDG TOTAL FLOOR AREA	1,000 S.F.	1,720 S.F.	2,012 S.F.	
FLOOR AREA PER APARTMENT	600 S.F.			
MAX. HEIGHT FOR BUILDING	32'	24.4'	24.4'	
MAX. NO. STORIES FOR BUILDING	2-1/2	2	2	
MAX. BLDG LOT COVERAGE (% OF LOT AREA)	20%	14.3%	19.2%	
MAX. BLDG FLOOR AREA (% OF LOT AREA)	40%	28.7%	38.5%	
MINIMUM FIRST FLOOR ELEVATION	FIRM FFE= 11'	FFE= 11.1'	FFE= 11.1'	

Average grade around residence:

Elevation= 5.5  
 Elevation of roof peak= 29.7  
 Elevation of roof eave= 17.7  
 Elevation of roof midpoint= 29.7 + 17.7 = 47.4/2 = 23.7

Height of residence:

Elevation of roof midpoint - avg. grade= 23.7 - 5.5 = 18.2  
 Finish floor elevation of elevated residence= 11.1  
 Concrete floor elevation- Basement 4.8  
 Detached garage floor elevation= n/a  
 As-built building lot coverage: n/a at this time  
 As-built building floor area: n/a at this time

SURVEY NOTES:

1. This map has been prepared pursuant to the Regulation of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.

2. Type of survey performed: Existing Conditions Survey

3. Boundary determination category: Dependent Resurvey

4. Class of accuracy:  
 Horizontal: A-2  
 Vertical: T-2

5. The intent of this map is to depict or note the position of boundaries with respect to: (A) locations of all boundary monumentation found or set; (B) Apparent improvements and features, including as a minimum: dwellings, barns, garages, sheds, driveways, roadways, surface utilities, visible bodies of water and swimming pools; (C) record easements and visible means of ingress and egress; (D) record and apparent means of ingress and egress; (E) lines of occupation, including as a minimum: fences, walls, hedges and yards; (F) deed restrictions pertaining to the location of buildings or other apparent improvements; (G) unresolved conflicts with record deed descriptions and maps; (H) all apparent boundary encroachments; and (I) monumentation required to be set at all corners created by a deflection angle of not less than 70 degrees between two consecutive courses at an intervals not to exceed 600 feet (180 meters) along the boundaries between said corners, except where natural or man-made monumentation defines or occupies the line.

6. Map References:

- a) Map of Property of Anne C. Sweeney, 94 Longdean Road, Fairfield, Connecticut, Scale: 1"=20', Dated: June 26, 2007, By Neal K. Jain L.S. #18139, Land Surveying Services LLC, 135 Fairfield Avenue, Fairfield, Connecticut.
- b) Map of Fairfield Manor, Fairfield, Conn., Layout of Longdean Road and Cummings Ave. from Longdean easterly 150' adopted by Town Plan Commission, August 1, 1939, by Frank B. Jaynes

7. Per agreement with property owner no boundary corners were set by this survey unless noted hereon. All monumentation found is depicted or noted hereon.

8. Zone: B

9. Total area: 6,000 S.F. / 0.138 Ac.

10. Anne C. Sweeney

11. Town of Fairfield Assessors Map #183 Lot #265

12. Filed in Volume 2119, Page 156 of the Town Clerk's office.

13. Contours are established from field topography.

14. Vertical Datum is NAVD 1988 and based on the CGS Mon LX 0935.

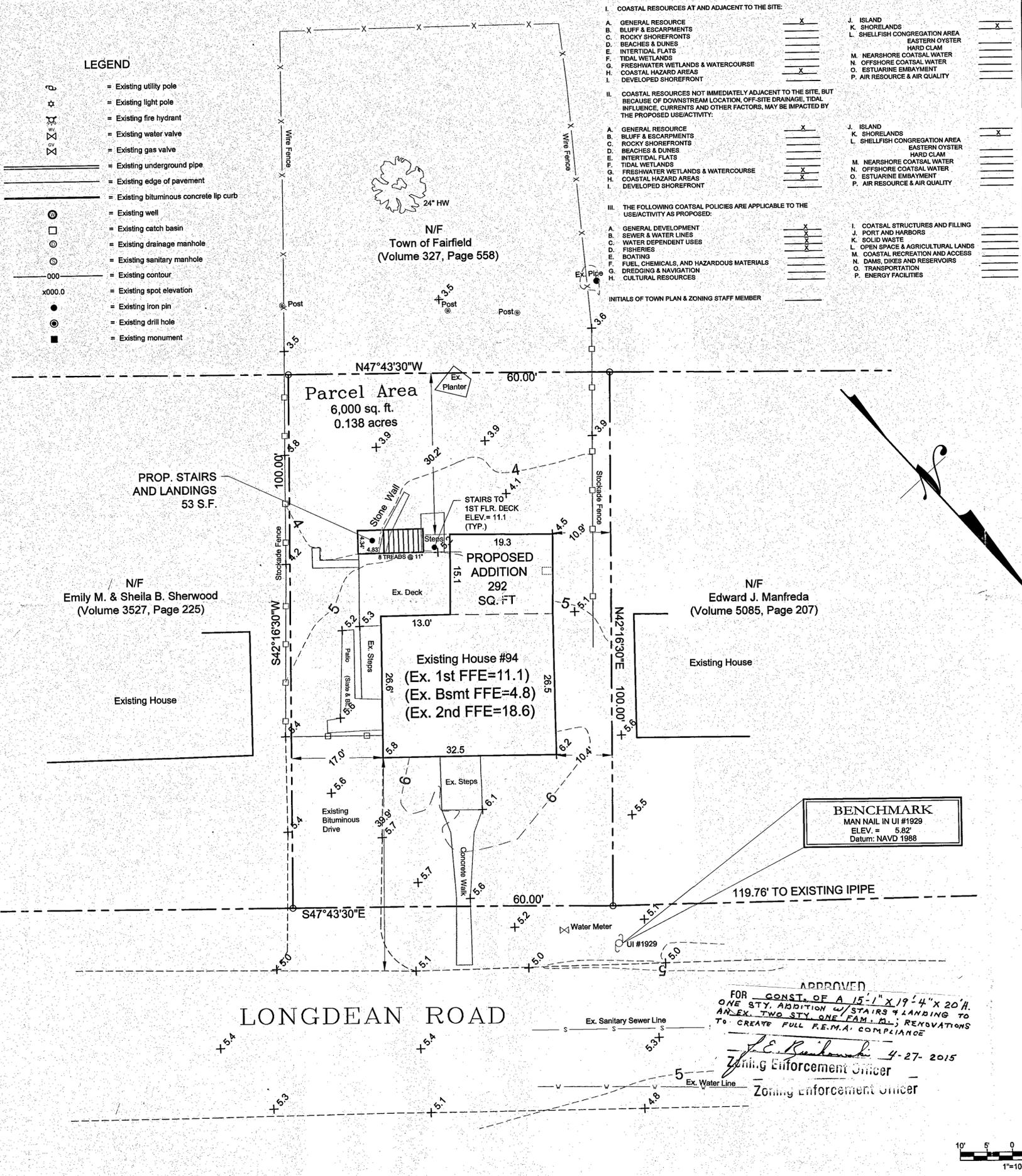
15. There are no wetlands located on the property. There is Phragmites Marsh located within 250' of the boundaries to the Southwest corner of the property.

16. The subject property is situated in Zone "AE". (Elevation 11.0') which is a "Special Flood Hazard Area" subject to inundation by 1% annual-chance flood event determined by FEMA. The 500 Year Flood Event elevation is 16.25' (Firm Map 09001C Panel 419 Suffix g/ Effective date of July 8, 2013)

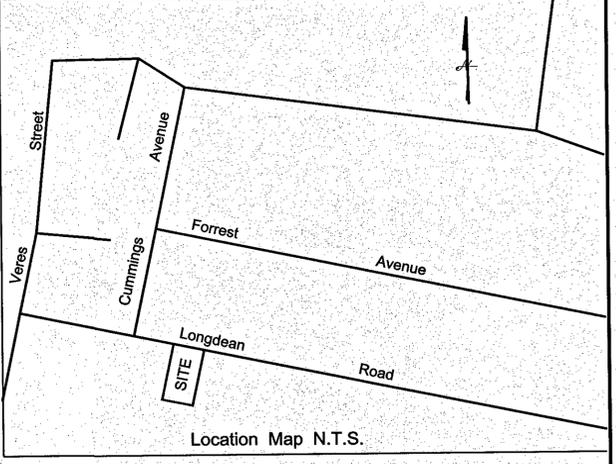
17. This survey does not include the location of any underground improvements or encroachments, subsurface utility lines or buried debris. Nor does it necessarily reflect the existence of any waste dumps or hazardous materials. The underground items depicted or noted are approximate and are not guaranteed. Notify "CALL BEFORE YOU DIG" 1-800-822-4455 prior to any excavation operations.

LEGEND

- = Existing utility pole
- = Existing light pole
- = Existing fire hydrant
- = Existing water valve
- = Existing gas valve
- = Existing underground pipe
- = Existing edge of pavement
- = Existing bituminous concrete lip curb
- = Existing well
- = Existing catch basin
- = Existing drainage manhole
- = Existing sanitary manhole
- = Existing contour
- = Existing spot elevation
- = Existing iron pin
- = Existing drill hole
- = Existing monument



- I. COASTAL RESOURCES AT AND ADJACENT TO THE SITE:
- A. GENERAL RESOURCE
  - B. BLUFF & ESCARPMENTS
  - C. ROCKY SHOREFRONTS
  - D. BEACHES & DUNES
  - E. INTERTIDAL FLATS
  - F. TIDAL WETLANDS
  - G. FRESHWATER WETLANDS & WATERCOURSE
  - H. COASTAL HAZARD AREAS
  - I. DEVELOPED SHOREFRONT
- J. ISLAND   
 K. SHORELANDS   
 L. SHELLFISH CONGREGATION AREA   
 EASTERN OYSTER  
 HARD CLAM  
 M. NEARSHORE COASTAL WATER   
 N. OFFSHORE COASTAL WATER   
 O. ESTUARINE EMBAYMENT   
 P. AIR RESOURCE & AIR QUALITY
- II. COASTAL RESOURCES NOT IMMEDIATELY ADJACENT TO THE SITE, BUT BECAUSE OF DOWNSTREAM LOCATION, OFF-SITE DRAINAGE, TIDAL INFLUENCE, CURRENTS AND OTHER FACTORS, MAY BE IMPACTED BY THE PROPOSED USE/ACTIVITY:
- A. GENERAL RESOURCE
  - B. BLUFF & ESCARPMENTS
  - C. ROCKY SHOREFRONTS
  - D. BEACHES & DUNES
  - E. INTERTIDAL FLATS
  - F. TIDAL WETLANDS
  - G. FRESHWATER WETLANDS & WATERCOURSE
  - H. COASTAL HAZARD AREAS
  - I. DEVELOPED SHOREFRONT
- J. ISLAND   
 K. SHORELANDS   
 L. SHELLFISH CONGREGATION AREA   
 EASTERN OYSTER  
 HARD CLAM  
 M. NEARSHORE COASTAL WATER   
 N. OFFSHORE COASTAL WATER   
 O. ESTUARINE EMBAYMENT   
 P. AIR RESOURCE & AIR QUALITY
- III. THE FOLLOWING COASTAL POLICIES ARE APPLICABLE TO THE USE/ACTIVITY AS PROPOSED:
- A. GENERAL DEVELOPMENT
  - B. SEWER & WATER LINES
  - C. WATER DEPENDENT USES
  - D. FISHERIES
  - E. BOATING
  - F. FUEL, CHEMICALS, AND HAZARDOUS MATERIALS
  - G. DREDGING & NAVIGATION
  - H. CULTURAL RESOURCES
- I. COASTAL STRUCTURES AND FILLING   
 J. PORT AND HARBORS   
 K. SOLID WASTE   
 L. OPEN SPACE & AGRICULTURAL LANDS   
 M. COASTAL RECREATION AND ACCESS   
 N. DAMS, DICES AND RESERVOIRS   
 O. TRANSPORTATION   
 P. ENERGY FACILITIES



TITLE BLOCK

F.E.M.A. STANDARDS - ONLY IF IN FLOOD HAZARD AREAS  
 ZONING COMPLIANCE PREDICATED ON A. B. C. # D.

A. All new construction and substantial improvements shall:

1. Be designed or modified and adequately anchored to prevent flotation, collapse, or lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including effects of buoyancy.
2. Be constructed with materials resistant to flood damage.
3. Be constructed by methods and practice that minimized flood damage.
4. Be constructed with electrical, heating, ventilation, plumbing and air-conditioning equipment and other services facilities that are designed and/or located so as to prevent water from entering or accumulating within the components during conditions of flooding.

B. New and replacement water supply systems shall be designed to minimize or eliminate infiltration of flood waters into the system.

C. New and replacement sanitary sewage systems shall be designed to minimize or eliminate infiltration of flood waters into the systems and discharges from the system into flood waters and on-site waste disposal systems shall be located and constructed to avoid impairment to them or contamination from them during flooding.

D. All new construction and substantial improvements shall have the lowest floor, including the basement elevated to or above the base flood level and if constructed with a fully enclosed area below this lowest floor shall be designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for entry and exit of flood waters.

TITLE BLOCK

1. STREET ADDRESS: #94 LONGDEAN ROAD

2. ASSESSORS MAP # 183, PARCEL # 265

3. MAP: "B" RESIDENCE DISTRICT

4. APPLICANT: ANNE SWEENEY  
 94 LONGDEAN ROAD  
 FAIRFIELD, CONNECTICUT 06824

5. OWNER: ANNE SWEENEY  
 94 LONGDEAN ROAD  
 FAIRFIELD, CONNECTICUT 06824

6. DESCRIPTIVE TITLE: RENOVATING AN EXISTING TWO STORY ONE FAMILY DWELLING WITH ASSOCIATED STAIRS

7. ORIGINAL DATE OF PLANS AND ANY SUBSEQUENT REVISION DATES LABELED FIRST, SECOND, ETC., AND NOTE THE PURPOSE AND LOCATION OF THE REVISION:  
 NOVEMBER 20, 2014  
 FIRST: FEBRUARY 24, 2015: CHECK BENCH MARK ELEVATION AND FFE. REVISE FINISH FLOOR ELEVATION.

8. PREPARED BY: JEREMY LOVATO  
 HARRY E. COLE & SON  
 876 SOUTH MAIN STREET  
 PLANTSVILLE, CONNECTICUT 06479  
 (860) 628-4484

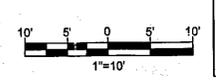
RECEIVED  
 FEB 24 2015  
 TOWN PLAN & ZONING DEPT.

9. To the best of my knowledge and belief these drawings are substantially correct as noted hereon.

Stephen M. Giudice, Reg. L.S. #70145

APPROVED  
 FOR CONST. OF A 15'-1" X 19'-4" X 20" H. ONE STY. ADDITION W/ STAIRS & LANDING TO AN EX. TWO STY. ONE FAM. RL; RENOVATIONS TO CREATE FULL F.E.M.A. COMPLIANCE

*Stephen M. Giudice* 4-27-2015  
 Zoning Enforcement Officer



# "STRUCTURAL GENERAL NOTES"

## A. CODES AND STANDARDS:

1. THE FOLLOWING CODES AND STANDARDS, INCLUDING ALL SPECIFICATIONS WITHIN, SHALL APPLY TO THE DESIGN, CONSTRUCTION, QUALITY CONTROL AND SAFETY OF ALL WORK PERFORMED ON THE PROJECT. USE THE LATEST EDITIONS UNLESS NOTED OTHERWISE.
  - a. 2005 CONNECTICUT STATE BUILDING CODE
    - (1) "2009 INTERNATIONAL RESIDENTIAL BUILDING CODE"
    - (2) 2009/2011/2013 CONNECTICUT AMENDMENTS
  - b. "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE, ACI 318", (LATEST EDITION) AMERICAN CONCRETE INSTITUTE.
  - c. HOT WEATHER CONCRETING, ACI 305R AND COLD WEATHER CONCRETING ACI 306R (LATEST EDITION).

## B. DESIGN DATA:

1. GRAVITY - FLOOR LIVE LOADS
  - a. ROOMS 40 PSF
  - b. ATTIC WITHOUT STORAGE 10 PSF
2. GRAVITY - SNOW LOADS
  - a. GROUND SNOW LOAD (Pg) 30 PSF
  - b. SNOW EXPOSURE FACTOR (Ce) 0.9
  - c. THERMAL FACTOR (Ct) 1.0
  - d. SNOW LOAD IMPORTANCE FACTOR (I) 1.0
  - e. FLAT-ROOF SNOW LOAD (Pf) 30 PSF (NON-REDUCIBLE ROOF LIVE LOAD)
3. LATERAL LOADS - WIND
  - a. MAIN WIND-FORCE RESISTING SYSTEM:
    - (1) BASIC WIND SPEED, 3 SECOND GUST (V35): 100 MPH EXPOSURE: D
4. LATERAL LOADS - SEISMIC
  - a. SEISMIC DESIGN CATEGORY: B

## C. FOUNDATIONS/GEOTECHNICAL REPORT:

1. FOUNDATIONS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE 06/02/14 GNCB CONSULTING ENGINEERS, P.C. (130 ELM STREET, OLD SAYBROOK, CT) GEOTECHNICAL ENGINEERING REPORT. SEE THAT REPORT FOR ADDITIONAL REQUIREMENTS.

## D. MATERIALS:

1. THE FOLLOWING ASTM STANDARDS AND DESIGN STRESSES SHALL BE USED FOR THE APPROPRIATE MATERIALS USED IN CONSTRUCTION OF THIS PROJECT.
2. CEMENT: ASTM C150; TYPE I OR III
3. AGGREGATES: ASTM C33 (NORMAL WEIGHT)
4. CONCRETE: ALL CONCRETE SUBJECT TO EXPOSURE SHALL BE AIR-ENTRAINED 5% +/- 1-1/2% BY VOLUME. AIR-ENTRAINING ADMIXTURE TO COMPLY WITH ASTM C-260
 

APPLICATION	f'c @ 28 DAYS	WT (PCF)
a. FOOTINGS/PIERS/FOUNDATION WALLS	3000	145
b. CONCRETE SLABS	4000	145
5. REINFORCEMENT:
  - a. DEFORMED REINFORCING BARS ASTM A615, GRADE 60
  - b. WELDED WIRE FABRIC (WWF) ASTM A185

## E. CONSTRUCTION:

1. GENERAL:
  - a. REPRODUCTION OF ANY PORTION OF THE STRUCTURAL CONTRACT DRAWINGS FOR RESUBMITTAL AS SHOP DRAWINGS IS PROHIBITED. SHOP DRAWINGS PRODUCED IN SUCH A MANNER WILL BE REJECTED AND RETURNED.
  - b. SUBMIT SHOP DRAWINGS AT LEAST 15 DAYS BEFORE DATE REVIEWED SUBMITTALS WILL BE NEEDED. SHOP DRAWINGS SHALL BEAR THE CONTRACTOR'S STAMP OF APPROVAL WHICH SHALL CONSTITUTE CERTIFICATION THAT THE CONTRACTOR HAS VERIFIED ALL FIELD MEASUREMENTS, CONSTRUCTION CRITERIA, MATERIALS AND SIMILAR DATA AND HAS CHECKED EACH DRAWING FOR COMPLETENESS, COORDINATION AND COMPLIANCE WITH THE CONTRACT DOCUMENTS.
  - c. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALLOWABLE CONSTRUCTION LOADS AND TO PROVIDE PROPERLY DESIGNED FORMWORK, STAGINGS, BRACING, SHEETING, SHORING, ETC.
  - d. IMPLEMENTING JOB SAFETY, CONSTRUCTION PROCEDURES AND TEMPORARY SHORING ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
  - e. CONTRACTOR SHALL REFER TO ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR SIZE AND LOCATIONS OF OPENINGS, SLEEVES, CONCRETE HOUSEKEEPING PADS, INSERTS, AND DEPRESSIONS.
  - f. HOUSE RAISING CONTRACTOR SHALL VERIFY ALL CONDITIONS PRIOR TO BEGINNING WORK. VERIFY EXISTING BEARING WALLS ARE PLATFORM FRAMED, NOT BALLOON FRAMED. CONTRACTOR IS SOLELY RESPONSIBLE TO SHOW ALL SHORING AND BRACING, AS REQUIRED TO STABILIZE THE HOUSE DURING THE LIFTING PROCESS (INCLUDING DURING EXISTING FOUNDATION DEMOLITION AND REMOVAL, AND DURING NEW FOUNDATION SYSTEM INSTALLATION).

- g. DISCONNECT ALL UTILITIES AND WALL SILL ANCHORAGE BEFORE LIFTING HOUSE. WORK. VERIFY EXISTING BEARING WALLS ARE PLATFORM FRAMED, NOT BALLOON FRAMED. CONTRACTOR IS SOLELY RESPONSIBLE TO SHOW ALL SHORING AND BRACING, AS REQUIRED TO STABILIZE THE HOUSE DURING THE LIFTING PROCESS.
- h. EXCAVATE AROUND FOUNDATION AND CUT HOLES IN FOUNDATION AND HOUSE WALLS ARE REQUIRED TO INSTALL LIFTING BEAMS. RAISE HOUSE WITH JACKS.
  - i. CONTRACTOR IS RESPONSIBLE FOR REPAIR ALL WALL AND FLOOR FRAMING AND FINISHES CRACKED OR DAMAGED AS A RESULT OF THE HOUSE LIFTING PROCESS.
  - j. IN CASE OF CONFLICT BETWEEN THE GENERAL NOTES, DETAILS AND SPECIFICATIONS, THE MOST RIGID REQUIREMENTS SHALL GOVERN.
  - k. CONTRACTOR SHALL FURNISH DIMENSIONED SHOP DRAWINGS AT ALL LEVELS LOCATING FLOOR AND ROOF EDGES FOR REVIEW BY THE ARCHITECT AND STRUCTURAL ENGINEER.
  - l. ONCE THE EXISTING SUPERSTRUCTURE IS DISENGAGED FROM THE FOUNDATION AND PROPERLY LIFTED AND BRACED, REMOVE EXISTING FOUNDATION.
  - m. THE EXISTING SUPERSTRUCTURE HAS NOT BEEN RETROFITTED TO MEET CURRENT CODE REQUIREMENTS.

## F. FOUNDATIONS + STRUCTURAL EARTHWORK:

1. GENERAL:
  - a. SEE THE 06/02/14 GEOTECHNICAL REPORT BY GNCB CONSULTING ENGINEERS, P.C. FOR FOUNDATION SYSTEM REQUIREMENTS. REQUIREMENTS CONTAINED IN THE GEOTECHNICAL REPORT ARE PART OF THIS WORK.
  - b. CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS THAT MAY AFFECT THE INSTALLATION OF THE FOUNDATION SYSTEM AS SHOWN PRIOR TO STARTING WORK.
  - c. EXISTING UTILITIES KNOWN TO BE IN THE CONSTRUCTION AREA HAVE BEEN INDICATED. THE SIZE, LOCATION AND DEPTH OF THE UTILITIES ARE NOT KNOWN EXACTLY AND MAY VARY SIGNIFICANTLY FROM THAT INDICATED. OTHER UNKNOWN UTILITIES NOT INDICATED MAY ALSO BE PRESENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES, WHETHER INDICATED OR NOT, WHICH MAY BE AFFECTED BY THE CONSTRUCTION PROCESS.
  - d. ALL FOUNDATION FOOTINGS SHALL BE PLACED ON UNDISTURBED SOIL, CRUSHED STONE OR COMPACTED STRUCTURAL FILL. VERIFICATION OF BEARING CONDITIONS SHALL BE MADE BY A QUALIFIED GEOTECHNICAL ENGINEER PRIOR TO CONCRETE PLACEMENT.
  - e. CONCRETE FOR FOUNDATIONS SHALL BE PLACED ON THE SAME DAY SUBGRADE APPROVAL IS GIVEN BY THE GEOTECHNICAL ENGINEER.
  - f. EXCAVATIONS SHALL BE DEWATERED TO ALLOW INSTALLATION OF FOOTINGS IN DRY ATMOSPHERE.
  - g. ALL SHORING, SHEETING, AND DEWATERING SHALL BE THE TOTAL RESPONSIBILITY OF THE CONTRACTOR. SHEETING AND SHORING SHALL BE DESIGNED BY THE CONTRACTOR'S ENGINEER REGISTERED IN THE PROJECT'S JURISDICTION. ALL SUBMITTALS SHALL BEAR CONTRACTOR'S /ENGINEERING SEAL AND SIGNATURE.
  - h. NOTIFY GEOTECHNICAL ENGINEER OF UNEXPECTED SUBSURFACE CONDITIONS AND DISCONTINUE AFFECTED WORK IN AREA UNTIL NOTIFIED TO RESUME WORK.
2. BACKFILL
  - a. ALL BACKFILL SHALL BE PER THE 06/02/14 GNCB CONSULTING ENGINEERS, P.C. GEOTECHNICAL REPORT, WITH OPTIMUM MOISTURE CONTENT FOR COMPACTING.
  - b. NO BACKFILL MATERIAL SHALL BE PLACED AGAINST FOUNDATION WALLS UNTIL THE CONCRETE/ GROUTED MASONRY WALLS HAVE REACHED DESIGN STRENGTH.
  - c. WHERE THE FINAL GRADE ELEVATIONS ARE APPROXIMATELY EQUAL ON BOTH SIDES OF A WALL, BACKFILL IN LIFTS TO MAINTAIN LEVEL ELEVATIONS WITHIN 12" ON BOTH SIDES AT ANY TIME.
3. STRUCTURAL FILL
  - a. REFER TO 06/02/14 GNCB CONSULTING ENGINEERS, P.C. GEOTECHNICAL REPORT REQUIREMENTS FOR COMPACTED STRUCTURAL FILL. REQUIREMENTS CONTAINED IN THE GEOTECHNICAL REPORT ARE PART OF THIS WORK. INSPECTION OF THE PLACEMENT OF COMPACTED STRUCTURAL FILL SHALL BE BY AN EXPERIENCED, QUALIFIED GEOTECHNICAL ENGINEER.

## G. CONCRETE:

1. CAST-IN-PLACE
  - a. REINFORCING STEEL CLEAR COVER SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE:
 

NON-POST-TENSIONED CONCRETE:	
CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH	3'
CONCRETE EXPOSED TO EARTH OR WEATHER	2'
#6 BARS AND LARGER	1-1/2'
#5 AND SMALLER	
CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND	
SLABS, WALL, JOISTS:	3/4'
#11 BARS OR SMALLER	
  - b. ALL FORMWORK, SHORING AND RESHORING SHALL BE DESIGNED BY THE CONTRACTOR'S ENGINEER REGISTERED IN THE PROJECT'S JURISDICTION. ALL SUBMISSIONS SHALL BEAR THE ENGINEER'S SEAL AND SIGNATURE.
  - c. NO SLEEVE SHALL BE PLACED THROUGH ANY CONCRETE ELEMENT UNLESS SHOWN ON THE STRUCTURAL DRAWINGS, APPROVED SLEEVING SHOP DRAWINGS OR SPECIFICALLY AUTHORIZED IN WRITING BY THE STRUCTURAL ENGINEER.
  - d. CORE DRILLING OF FOUNDATIONS AND SLABS SHALL NOT BE PERMITTED, UNLESS AUTHORIZED IN WRITING BY THE STRUCTURAL ENGINEER.

- e. NO SPLICES OF REINFORCEMENT SHALL BE PERMITTED EXCEPT AS DETAILED OR AUTHORIZED BY THE STRUCTURAL ENGINEER. MAKE BARS CONTINUOUS AROUND CORNERS.
- f. WHEN INSTALLING EXPANSION BOLTS OR ADHESIVE ANCHORS, THE CONTRACTOR SHALL TAKE MEASURES TO AVOID DRILLING OR CUTTING OF ANY EXISTING REINFORCING AND DESTRUCTION OF CONCRETE. HOLES SHALL BE BLOWN CLEAN PRIOR TO PLACING BOLTS OR ADHESIVE ANCHORS.
- g. ANY STOP IN CONCRETE MUST BE MADE WITH VERTICAL BULKHEADS AND HORIZONTAL KEYS, UNLESS OTHERWISE SHOWN. ALL REINFORCING IS TO BE CONTINUOUS THROUGH JOINTS.
- h. THE CONCRETE SLABS SHALL BE FINISHED FLAT AND LEVEL WITHIN TOLERANCE, TO THE ELEVATION INDICATED ON THE DRAWINGS.
- i. WELDED WIRE FABRIC REINFORCEMENT SHALL BE SUPPLIED IN SHEETS. LAP TWO FULL MESH LENGTHS AT SPLICES AND WIRE TOGETHER.
- j. ALL CONTINUOUS REINFORCING BARS SHALL BE LAPPED 48 BAR DIAMETERS, UNLESS NOTED OTHERWISE.
- k. WELDED WIRE FABRIC SHALL BE PLACED IN THE UPPER 1/3 OF THE SLAB ON GRADE AND SHALL CONFORM TO SECTION "MATERIALS" ITEM #5 ON THIS DRAWING.
- l. PRODUCTS: 1.) WATER SHALL BE FRESH, DRINKABLE 2.) AIR-ENTRAINING AGENT: CONFORMING TO ASTM C260 3.) WATER-REDUCING, SET-CONTROLLING ADMIXTURE CONFORMING TO ASTM C494 MANUFACTURED BY MASTER BUILDERS, SONNEBORN, EUCLID, OR W.R. GRACE COMPANIES.
- m. VAPOR RETARDER: SHALL BE INSTALLED UNDER CONCRETE SLABS ON GRADE WHERE INDICATED AND SHALL BE 10 MIL POLYETHYLENE. IT SHALL BE INSTALLED IN WIDEST PRACTICAL WIDTH. ALL JOINTS SHALL BE LAPPED A MINIMUM OF SIX (6) INCHES, AND ALL BREAKS OR HOLES SHALL BE PATCHED PRIOR TO POURING THE CONCRETE. WATER VAPOR RETARDER: ASTM E-1745 THAT MEETS OR EXCEEDS CLASS C.
- n. IMMEDIATELY FOLLOWING PLACEMENT, CONCRETE SHALL BE PROTECTED FROM PREMATURE DRYING, HOT AND COLD TEMPERATURES, RAIN, FLOWING WATER AND MECHANICAL INJURY.
- o. FORMS FOR WALLS SHALL BE LEFT IN PLACE FOR A MINIMUM OF 3 DAYS. FINAL CURING SHALL CONTINUE FOR NOT LESS THAN 7 DAYS.
- p. ALL CONCRETE FLOOR SLABS SHALL BE STEEL TROWELED TO A SMOOTH UNIFORM FINISH, FREE FROM DEFECTS AND BLEMISHES, NOTHING TO BE ADDED TO EITHER WET OR DRY FINISH. STEEL TROWELING SHALL NOT BE DONE UNTIL CONCRETE HAS HARDENED SUFFICIENTLY TO PREVENT FINE MATERIAL FROM WORKING TO THE SURFACE. ALL EXTERIOR CONCRETE FLOOR SLABS SHALL HAVE A BROOM FINISH.



**QUISENBERRY ARCARI ARCHITECTS, LLC**  
 www.qa-architects.com  
 T (860) 677-4594  
 F (860) 677-8534  
 318 Main Street  
 Farmington, CT 06032

REHABILITATION/RECONSTRUCTION WORK FOR:

**ANNE SWEENEY**

APPLICANT #1479

FAIRFIELD, CT

94 LONGDEAN RD

Sheet Description:

**STRUCTURAL GENERAL NOTES**

Issue Dates:

**MAY 1, 2015**

Project #: QAI346/17

Drawn By: S.A.L.

Sheet #:

**S-01**



**PERRONE & ZAJDA ENGINEERS LLC**  
 SOUTHWAY EXECUTIVE PARK, UNIT #511  
 35 COLD SPRING ROAD, ROCKY HILL, CT, 06067  
 Phone (860) 513-1156 Fax (860) 436-3362

# "STRUCTURAL GENERAL NOTES"

## H. CONCRETE MASONRY:

- ALL MASONRY SHALL CONFORM TO AND BE ERECTED IN ACCORDANCE WITH THE AMERICAN STANDARD BUILDING CODE REQUIREMENTS FOR MASONRY AND THE NATIONAL CONCRETE MASONRY ASSOCIATION FOR THE DESIGN AND CONSTRUCTION OF LOAD BEARING MASONRY.
- ALL MASONRY WALLS ARE TO BE CONSTRUCTED OF CONCRETE MASONRY WITH COMPRESSIVE STRENGTH  $f'_m = 1900$  PSI. THE GENERAL CONTRACTOR IS RESPONSIBLE TO ASSURE MASONRY STRENGTH AS SPECIFIED.
- TYPE "S" MORTAR SHALL BE USED IN ALL CMU MASONRY.
- DUR-D-WALL TYPE JOINT REINFORCING SHALL BE INSTALLED IN ALTERNATE COURSES OF MASONRY.
- PROVIDE REINFORCED BOND BEAMS AND VERTICAL REINFORCING AS CALLED FOR ON THE DRAWINGS.
- GROUT FOR BOND BEAMS AND CORE FILL AT VERTICAL REINFORCING BARS SHALL DEVELOP A MIN. COMPRESSIVE STRENGTH OF 3000 psi AT 28 DAYS.
- ALL REINFORCING BARS USED IN MASONRY SHALL BE GRADE 60 CONFORMING TO ASTM A-615. ALL LAP SPLICES SHALL BE A MIN. 48 BAR DIAMETERS. LOW LIFT GROUT CONSTRUCTION (5'-0" MAX. HEIGHT PER LIFT).
- MASONRY CONSTRUCTION AND MATERIALS SHALL CONFORM TO ALL REQUIREMENTS OF "SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530.1/ASCE 6-95)" PUBLISHED BY THE AMERICAN CONCRETE INSTITUTE, EXCEPT AS MODIFIED BY THE REQUIREMENTS OF THE CONTRACT DRAWINGS.
- ALL REINFORCEMENT SHALL BE CONTINUOUS UNLESS OTHERWISE NOTED. PROVIDE LONGEST PRACTICAL LENGTHS TO MINIMIZE SPLICES.
- ALL BLOCK CORES CONTAINING REINFORCEMENT SHALL BE GROUTED SOLID. ALL REINFORCEMENT, INCLUDING DOWELS SHALL BE ACCURATELY PLACED, SUPPORTED AND TIED. PLACE VERTICAL REINFORCEMENT IN MIDDLE OF CORES AND OFFSET TO CLEAR STRUCTURAL STEEL WHERE REQUIRED. MASONRY INSERTS, INSULATION INSERTS, IF USED, SHALL BE REMOVED FROM MASONRY CORES WHERE VERTICAL REINFORCING OCCURS.
- PROVIDE VERTICAL CONTROL JOINTS AT THE LESSER OF 25 FT. o/c OR 1.5 TIMES HEIGHT (LOCATE VERTICAL JOINT AT JAMB OF AN OPENING WHEN POSSIBLE). HORIZONTAL REINFORCING SHALL BE DISCONTINUOUS ACROSS JOINTS AT ALTERNATE REINFORCING COURSES. HORIZONTAL JOINT REINFORCING SHALL BE CONTINUOUS ACROSS JOINTS AT 32" o/c VERTICAL.)
- WHERE VERTICAL REINFORCING IS TO PASS THROUGH MASONRY BOND BEAMS, PROVIDE MASONRY UNITS PREFABRICATED WITH SLOTTED BOTTOM SHELLS OR PRE-DRILL BOTTOM SHELL AS REQUIRED.
- STEEL LADDER-TYPE REINFORCEMENT FOR USE IN HORIZONTAL BED JOINTS OF ALL WALL UNITS SHALL BE PREFABRICATED FROM COLD DRAWN STEEL WIRE CONFORMING TO ASTM SPECIFICATION A-82 AND SHALL CONSIST OF TWO 3/16" DIAMETER DEFORMED LONGITUDINAL SIDE RODS WELDED AT 16" INTERVALS TO A CONTINUOUS DIAGONAL CROSS ROD FORMING A TRUSS DESIGN.
- OUT TO OUT SPACING OF SIDE RODS SHALL BE APPROXIMATELY 2" LESS THAN THE NOMINAL THICKNESS OF THE WALL OR WYTHE.
- CROSS RODS SHALL NOT BE LESS THAN No. 9 GAUGE.
- PREFABRICATED OR JOB FABRICATED CORNER AND TEE SECTIONS SHALL BE USED TO FORM CONTINUOUS REINFORCEMENT AROUND CORNERS.
- HORIZONTAL LADDER-TYPE WALL REINFORCEMENT SHALL BE USED IN BED JOINTS 16" o/c VERT. IN ALL MASONRY WALLS STARTING ATOP FIRST BASE COURSE AND IN THE FIRST AND SECOND BED JOINTS ABOVE LINTELS AND BELOW SILLS IN WALL OPENINGS EXTENDING 2 FEET BEYOND JAMBS.
- PROVIDE GALVANIZED WIRE POSITIONERS SPACED AT NOT MORE THAN 10 FEET. LOCATE THE FIRST POSITIONER WITHIN 40 INCHES OF THE TOP OF THE FOUNDATION.
- GENERAL CONTRACTOR SHALL COORDINATE THE LOCATIONS OF VERTICAL REINFORCING FROM FOUNDATION, WITH VERTICAL REINFORCING OF MASONRY WALL.

## I. STRUCTURAL WOOD NOTES:

- ALL VISUALLY GRADED STRUCTURAL LUMBER AND WOOD CONSTRUCTION SHALL CONFORM TO THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" AND ITS SUPPLEMENT "DESIGN VALUES FOR WOOD CONSTRUCTION".
- PLYWOOD SHALL BE APA RATED SHEATHING WITH A MINIMUM THICKNESS OF 3/4" T&G FOR FLOORS, 15/32" FOR WALLS AND 19/32" FOR ROOF SHEATHING.
- ALL WOOD IN PERMANENT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- PLYWOOD SHEATHING SHALL BE INSTALLED WITH ITS FACE GRAIN PERPENDICULAR TO THE SUPPORTING MEMBERS AND WITH A MINIMUM TWO SPAN CONDITION.
- UNLESS OTHERWISE NOTED ON THE DRAWINGS ALL STRUCTURAL NAILING SHALL CONFORM TO APPENDIX C OF THE CBCB.
- PROVIDE A MINIMUM OF TWO STUDS AT ALL BEAMS AND HEADERS, UNLESS OTHERWISE INDICATED ON THE DRAWINGS.

### WOOD FRAMING

- STRUCTURAL LUMBER INCLUDES: ROOF JOISTS, BUILT-UP HEADERS BEAMS, SISTERED JOISTS, STUD WALLS, TIES, AND BLOCKING. USE NEW LUMBER CONFORMING TO NOMINAL SIZES INDICATED.
- ALL LUMBER SUPPORT FRAMING SHALL BE DOUGLAS FIR #2 OR BETTER, AND HAVE THE FOLLOWING MINIMUM STRENGTH PROPERTIES:
 

MODULUS OF ELASTICITY	E = 1,600,000 PSI
BENDING STRESS	F <sub>b</sub> = 875 PSI
COMPRESSION PERPENDICULAR TO GRAIN	F <sub>c1</sub> = 625 PSI
COMPRESSION PARALLEL TO GRAIN	F <sub>c1</sub> = 1,300 PSI
HORIZONTAL SHEAR	F <sub>v</sub> = 95 PSI
TENSION PARALLEL TO GRAIN	F <sub>t</sub> = 575 PSI
- PANEL SPACING: 1/16" AT ENDS- 1/8" AT EDGES U.O.N., STAGGER JOINTS.
- STRUCTURAL PLYWOOD SHALL CONFORM TO REQUIREMENTS OF THE AMERICAN PLYWOOD ASSOCIATION (APA) EXPOSURE. USE NEW LUMBER CONFORMING TO NOMINAL SIZES INDICATED.

### MICROLLAM (LVL)

- MICROLLAM LAMINATED VENEER LUMBER (LVL) SHALL BE FABRICATED OF EASTERN SPECIES (ES) OR WESTERN SPECIES (WS). THE FINISH PRODUCT SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:
 

SHEAR MODULUS OF ELASTICITY	G = 118,750 PSI
MODULUS OF ELASTICITY	E = 1,900,000 PSI
FLEXURAL STRESS	F <sub>b</sub> = 2,600 PSI
TENSION STRESS	F <sub>b</sub> = 1,555 PSI
COMPRESSION PERPENDICULAR TO GRAIN PARALLEL TO GLUE LINE	F <sub>c1</sub> = 750 PSI
COMPRESSION PARALLEL TO GRAIN	F <sub>c1</sub> = 2510 PSI
HORIZONTAL SHEAR PERPENDICULAR TO GLUE LINE	F <sub>v</sub> = 285 PSI

### PARALLAM (PSL)

- PARALLAM PARALLEL STRAND LUMBER (PSL) SHALL BE FABRICATED OF EASTERN SPECIES (ES) OR WESTERN SPECIES (WS). THE FINISH PRODUCT SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:
 

SHEAR MODULUS OF ELASTICITY	G = 125,000 PSI
MODULUS OF ELASTICITY	E = 2,000,000 PSI
FLEXURAL STRESS	F <sub>b</sub> = 2,900 PSI
TENSION STRESS	F <sub>b</sub> = 2,025 PSI
COMPRESSION PERPENDICULAR TO GRAIN PARALLEL TO GLUE LINE	F <sub>c1</sub> = 750 p.s.i.
COMPRESSION PARALLEL TO GRAIN	F <sub>c1</sub> = 2900 p.s.i.
Horizontal shear perpendicular to glue line	F <sub>v</sub> = 290 p.s.i.
- PARALLAM MANUFACTURER SHALL PROVIDE ALL METAL HANGERS FOR PARALLAM BEAMS & COLUMNS AS REQUIRED.

## J. DIMENSIONS:

- THE CONTRACTOR SHALL COORDINATE THE DIMENSIONS AND LOCATIONS OF THE ROOF, FLOOR & WALL OPENINGS SO THE FRAMING PROPERLY FITS THE REQUIREMENTS OF ALL TRADES.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, ELEVATIONS AND CONDITIONS SHOWN ON THE DRAWINGS PRIOR TO ANY FABRICATION AND INSTALLATION OF ANY NEW MATERIALS. IF ANY DISCREPANCIES ARE FOUND BETWEEN ACTUAL CONDITIONS AND THESE DRAWINGS NOTIFY ARCHITECT AND/OR ENGINEER FOR FURTHER INSTRUCTIONS.



**QUISENBERRY ARCARI  
ARCHITECTS, LLC**  
www.qa-architects.com  
T (860) 677-4594  
F (860) 677-8534  
318 Main Street  
Farmington, CT 06032

REHABILITATION/RECONSTRUCTION WORK FOR:

**ANNE SWEENEY**

APPLICANT #1479

FAIRFIELD, CT

94 LONGDEAN RD

Sheet Description:

**STRUCTURAL  
GENERAL  
NOTES**

Issue Dates:

**MAY 1, 2015**

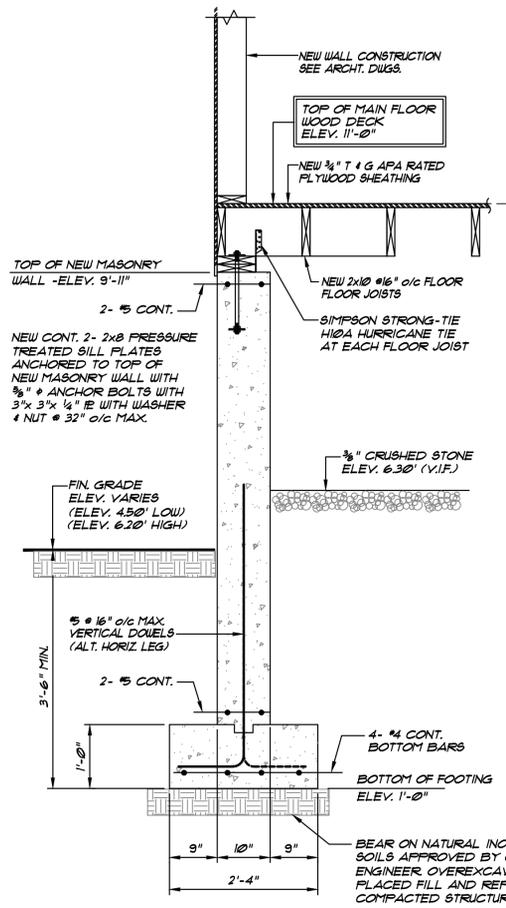
Project #:  
QA1346/17

Drawn By:  
S.A.L.

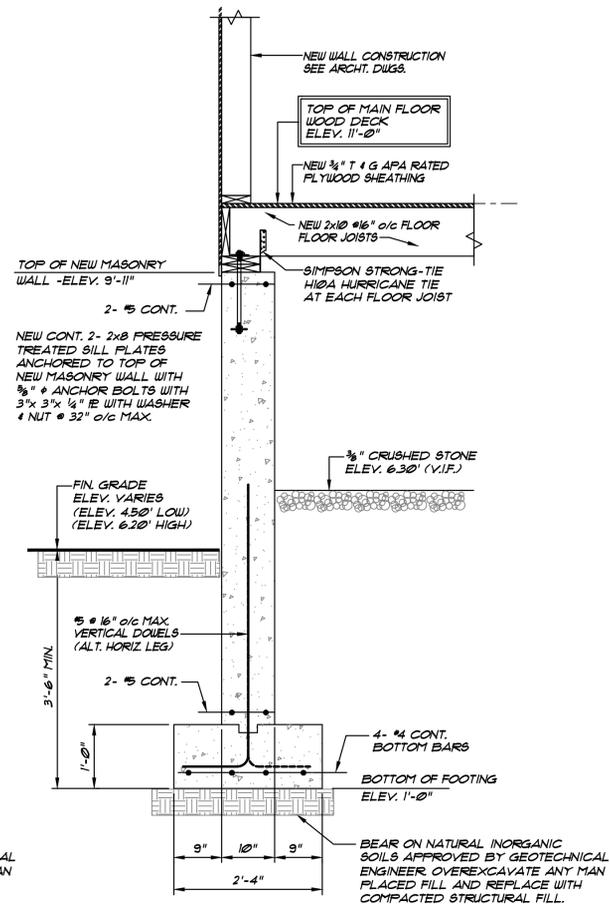
Sheet #:

**S-02**

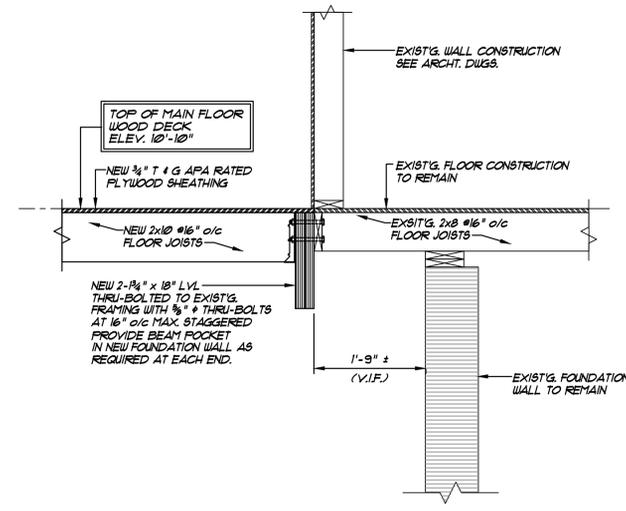




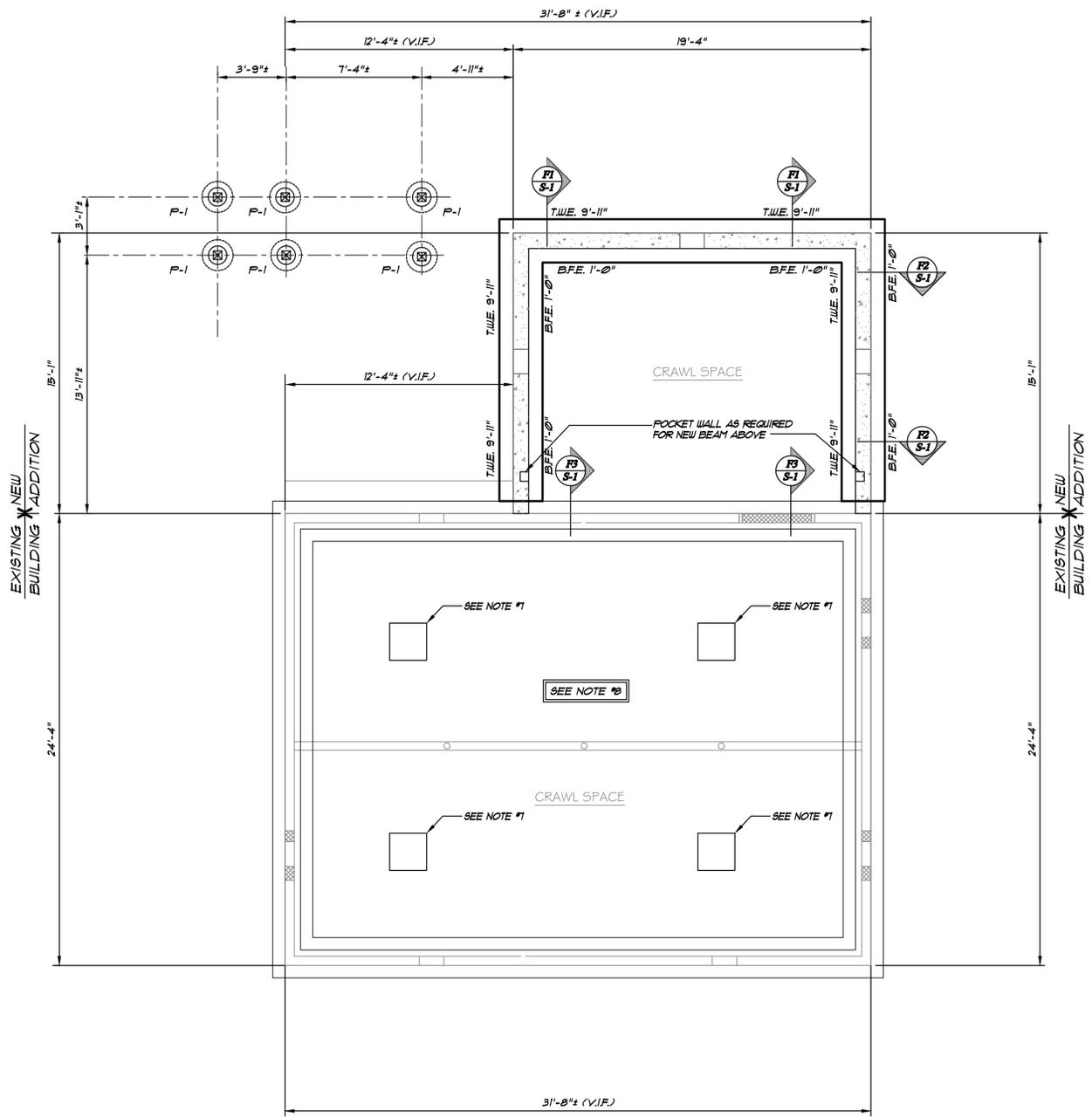
**SECTION F2**  
SCALE: 3/4" = 1'-0"  
S-1



**SECTION F1**  
SCALE: 3/4" = 1'-0"  
S-1



**SECTION F3**  
SCALE: 3/4" = 1'-0"  
S-1



**CONCRETE PIER SCHEDULE**

DESIGNATION	SIZE	REINFORCING		REMARKS
		VERTICAL	HORIZONTAL	
P-1	18" x 18"	8 - #5	#3 @ 12"	TOP 4 (2) - #5 HORIZ. TIES @ 4" O/C MAX.

- NOTES:
- ALL VERTICAL PIER REINFORCING SHALL BE DOUELED INTO FOOTING.
  - ALL PIER SIZES INDICATED ARE MINIMUM EFFECTIVE PIER SIZES REQUIRED. FOR ACTUAL PIER SIZE REQUIRED - SEE ARCHITECTURAL DRAWINGS.
  - SUFFIX "L" ON FOUNDATION PLAN INDICATES THAT PIER SHALL BE PLACED MONOLITHIC WITH FOUNDATION WALL.
  - VERTICAL PIER REINFORCING SHALL BE LAPPED MINIMUM 30 x BAR DIAMETERS.

**FOUNDATION PLAN**

- SCALE: 1/4" = 1'-0"
- NOTES:
- VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO STARTING FABRICATION AND INSTALLATION OF ANY NEW MATERIALS. NOTIFY ARCHITECT AND ENGINEER OF ANY DISCREPANCIES FOR POSSIBLE FURTHER INSTRUCTIONS AS MAY BE REQUIRED.
  - NEW SLAB SHALL BE 4" CONCRETE SLAB REINF. WITH 6 x 6 - W21 x W21 WULF. CAST ON MINIMUM 10 MIL VAPOR RETARDER OVER MINIMUM 8" LAYER OF COMPACTED PROCESSED STONE OR 3/4" CRUSHED STONE.
  - B.F.E. INDICATES BOTTOM OF FOOTING ELEVATION.
  - T.W.E. INDICATES TOP OF WALL ELEVATION.
  - ALL FOOTINGS TO BEAR ON NATURAL INORGANIC SOILS APPROVED BY GEOTECHNICAL ENGINEER. OVEREXCAVATE ANY MAN PLACED FILL AND REPLACE WITH STRUCTURAL FILL.
  - NEW FOUNDATION WALL SHALL BE 8" CMU WALL REINF. WITH #5 @ 48" O/C MAXIMUM FULL HEIGHT OF WALL WITH CONTIGOUS 8" BOND BEAM REINF. WITH CONTIGUOUS 1-#5 AT TOP OF WALL. GROUT FILL ALL CORES SOLID AT ALL REBAR. ALSO GROUT FILL ALL CORES SOLID BELOW EXTERIOR FIN. GRADE.
  - CUT AND REMOVE A MIN. 2'-0" x 2'-0" AREA OF SLAB ON GRADE IN EACH QUADRANT OF THE BASEMENT.
  - INFILL ENTIRE BASEMENT AREA WITHIN EXISTING BUILDING FOOTPRINT WITH 3/4" CRUSHED STONE UP TO ELEVATION 6.30' (V.I.F.). COAT EXISTING BASEMENT STEEL COLUMNS BELOW NEW CRUSHED STONE LEVEL WITH BITUMASTIC (2 COATS).
  - SAWCUT NEW VENT OPENINGS IN FOUNDATION WALL (MAXIMUM 16" WIDTH; MINIMUM 16" OF CONCRETE TO REMAIN OVER NEW OPENINGS). COORDINATE EXACT SIZE, ELEVATION AND LOCATIONS WITH ARCHITECTURAL DRAWINGS.



**QUISENBERRY ARCARI ARCHITECTS, LLC**  
www.qa-architects.com  
T (860) 677-4594  
F (860) 677-8534  
318 Main Street  
Farmington, CT 06032

REHABILITATION/RECONSTRUCTION WORK FOR:

**ANNE SWEENEY**  
APPLICANT #1479

94 LONGDEAN RD  
FAIRFIELD, CT

Sheet Description:

**FOUNDATION PLAN**

Issue Dates:  
MAY 1, 2015

Project #: QAI346/17  
Drawn By: S.A.L.

Sheet #:

**S-1**



**PERRONE & ZAJDA ENGINEERS LLC**  
SOUTHWAY EXECUTIVE PARK, UNIT #511  
35 COLD SPRING ROAD, ROCKY HILL, CT, 06067  
Phone (860) 513-1156 Fax (860) 436-3362



**QUISENBERRY ARCARI ARCHITECTS, LLC**  
 www.qa-architects.com  
 T (860) 677-4594  
 F (860) 677-8534  
 318 Main Street  
 Farmington, CT 06032

REHABILITATION/RECONSTRUCTION WORK FOR:

**ANNE SWEENEY**

APPLICANT #1479

FAIRFIELD, CT

94 LONGDEAN RD

Sheet Description:

**FIRST FLOOR FRAMING PLAN**

Issue Dates:

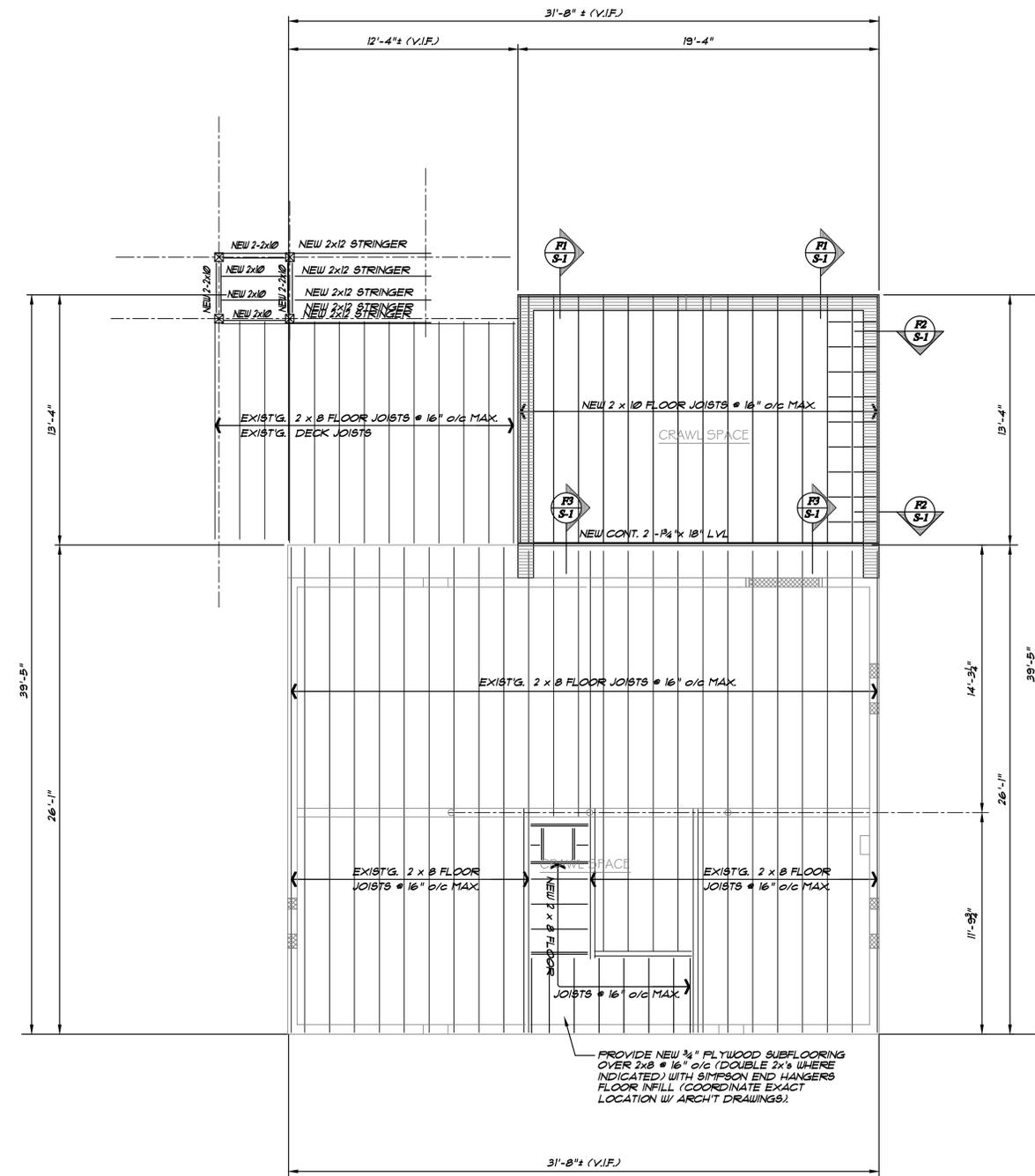
MAY 1, 2015

Project #:  
QA1346/17

Drawn By:  
S.A.L.

Sheet #:

**S-2**



**FIRST FLOOR FRAMING PLAN**

SCALE: 1/4" = 1'-0"

**NOTES:**

- FLOOR DECK SHALL BE 3/4" T & G APA RATED PLYWOOD NAILED AND GLUED TO FLOOR JOISTS WITH 8d COMMON (Ø.131" DIAMETER x 2 1/2") NAILS AT 6" o/c MAX.
- TOP OF SUB-FLOOR PLYWOOD DECK TO BE AT ELEVATION 1100' (+11'-0"), UNLESS OTHERWISE NOTED.
- COORDINATE SIZE AND LOCATIONS OF ALL FLOOR OPENINGS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS.
- ALL EXTERIOR WALLS SHALL BE FRAMED WITH 2x6 WOOD STUDS AT 16" o/c MAX. WITH 1/2" APA STRUCTURALLY RATED EXTERIOR GRADE PLYWOOD SHEATHING NAILED TO FRAMING WITH 8d COMMON (Ø.131" DIAMETER x 2 1/2") NAILS AT 6" o/c MAX. ALONG PLYWOOD PANEL EDGES AND 12" o/c MAX. IN PANEL FIELD. PROVIDE 2x6 BLOCKING FRAMED BETWEEN WALL STUDS AT UNSUPPORTED PLYWOOD PANEL EDGES AND NAIL PLYWOOD SHEATHING TO BLOCKING WITH 8d (Ø.131" DIAMETER x 2 1/2") NAILS AT 6" o/c MAX. PROVIDE MINIMUM DOUBLE-UP WALL STUDS AT EACH SIDE OF WALL OPENINGS EXCEPT AT OPENINGS 6'-0" OR GREATER. PROVIDE DOUBLE JACK STUDS PLUS ONE KING STUD AT EACH SIDE OF 6'-0" WALL OPENING. PROVIDE MINIMUM TRIFLE STUDS AT EACH CORNER. EXTERIOR PLYWOOD SHEATHING PANELS TO BE APPLIED WITH LONG DIMENSION VERTICALLY.
- PROVIDE SIMPSON STRONG-TIE TYPE 'R3P4' STUD PLATE TIES AT TOP AND BOTTOM OF EACH EXTERIOR WALL STUD. FASTEN STUD PLATE TIES TO WALL PLATES WITH 4-8d (Ø.131" DIAMETER x 1 1/2") NAILS AND TO STUDS WITH 4-8d (Ø.131" DIAMETER x 1 1/2") NAILS.
- VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO STARTING FABRICATION AND INSTALLATION OF ANY NEW MATERIALS. NOTIFY ARCHITECT AND ENGINEER OF ANY DISCREPANCIES FOR POSSIBLE FURTHER INSTRUCTIONS AS MAY BE REQUIRED.

**P&Z PERRONE & ZAJDA ENGINEERS LLC**  
 SOUTHWAY EXECUTIVE PARK, UNIT #511  
 35 COLD SPRING ROAD, ROCKY HILL, CT, 06067  
 Phone (860) 513-1156 Fax (860) 436-3362



QUISENBERRY ARCARI  
ARCHITECTS, LLC  
www.qa-architects.com  
T (860) 677-4594  
F (860) 677-8534  
318 Main Street  
Farmington, CT 06032

REHABILITATION/RECONSTRUCTION WORK FOR:

**ANNE SWEENEY**

APPLICANT #1479

FAIRFIELD, CT

94 LONGDEAN RD

Sheet Description:

**ROOF  
FRAMING  
PLAN**

Issue Dates:

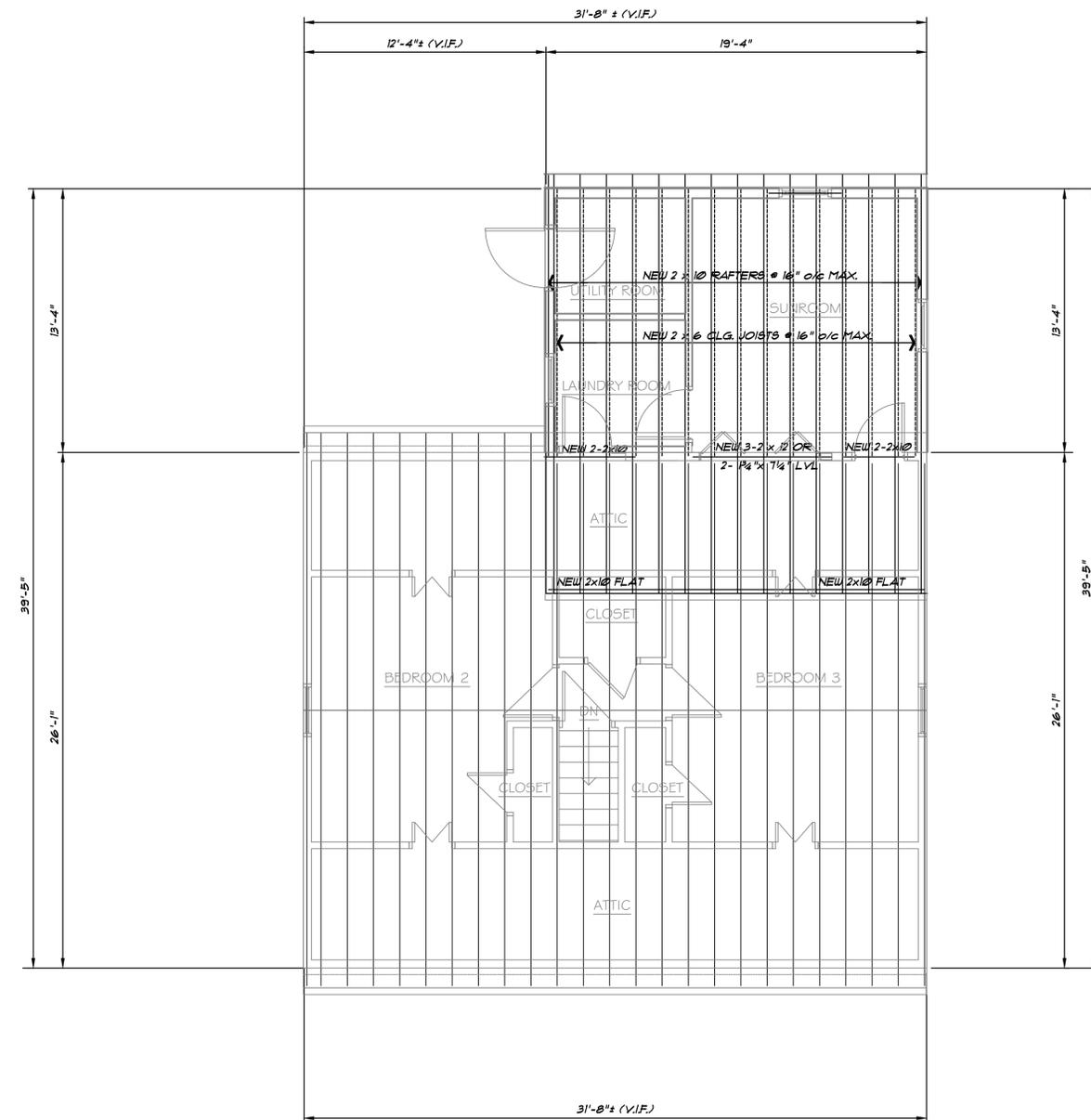
MAY 1, 2015

Project #:  
QA1346/17

Drawn By:  
S.A.L.

Sheet #:

**S-3**



**ROOF FRAMING PLAN**

SCALE: 1/4" = 1'-0"

**NOTES:**

1. ROOF DECK TO BE 5/8" APA RATED PLYWOOD SHEATHING, NAILED TO FRAMING WITH 8d COMMON (Ø.131" DIAMETER x 2 1/2") NAILS AT 6" o/c MAX. PROVIDE 2x6 WOOD BLOCKING, FRAMED BETWEEN ROOF RAFTERS AT ALL UNSUPPORTED PANEL EDGES, NAILING PLYWOOD DECK TO THE 2x6 BLOCKING WITH 8d COMMON (Ø.131" DIAMETER x 2 1/2") NAILS AT 6" o/c MAXIMUM.
2. TOP OF CONTINUOUS DOUBLE 2x6 PLATE TO BE AT ELEVATION 10'-11 1/4" ± (TO MATCH EXISTING UNLESS OTHERWISE NOTED ON PLAN, COORDINATE WITH ARCH'T. DIGGS).
3. PROVIDE SIMPSON STRONG-TIE TYPE 'H2B', 1Ø GAGE, GALVANIZED TIE AT EACH ROOF RAFTERS TO EXTERIOR WALL PLATE. FASTEN TO RAFTER WITH 5-Ød (Ø.131" DIAMETER x 1 1/2") NAILS AND TO WALL PLATE WITH 5-Ød (Ø.131" DIAMETER x 1 1/2") NAILS.
4. ALL EXTERIOR WALLS SHALL BE FRAMED WITH 2x6 WOOD STUDS AT 16" o/c MAX. WITH 1/2" APA STRUCTURALLY RATED EXTERIOR GRADE PLYWOOD SHEATHING NAILED TO FRAMING WITH 8d COMMON (Ø.131" DIAMETER x 2 1/2") NAILS AT 6" o/c MAX. ALONG PLYWOOD PANEL EDGES AND 12" o/c MAX. IN PANEL FIELD. PROVIDE 2x6 BLOCKING FRAMED BETWEEN WALL STUDS AT UNSUPPORTED PLYWOOD PANEL EDGES AND NAIL PLYWOOD SHEATHING TO BLOCKING WITH 8d (Ø.131" DIAMETER x 2 1/2") NAILS AT 6" o/c MAX. PROVIDE MINIMUM DOUBLE-UP WALL STUDS AT EACH SIDE OF WALL OPENINGS. EXCEPT AT OPENINGS 6'-0" OR GREATER PROVIDE DOUBLE JACK STUDS PLUS ONE KING STUD AT EACH SIDE OF 6'-0" WALL OPENING. PROVIDE MINIMUM TRIPLE STUDS AT EACH CORNER EXTERIOR PLYWOOD SHEATHING PANELS TO BE APPLIED WITH LONG DIMENSION VERTICALLY.
5. PROVIDE SIMPSON STRONG-TIE TYPE 'R8FP4' STUD PLATE TIES AT TOP AND BOTTOM OF EACH EXTERIOR WALL STUD. FASTEN STUD PLATE TIES TO WALL PLATES WITH 4-Ød (Ø.131" DIAMETER x 1 1/2") NAILS AND TO STUDS WITH 4-Ød (Ø.131" DIAMETER x 1 1/2") NAILS.
6. COORDINATE SIZE AND LOCATIONS OF ALL ROOF OPENINGS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS.
7. PROVIDE ADDITIONAL 2 - 2x10 FRAMED BETWEEN ROOF RAFTERS AT EACH SIDE OF ROOF OPENINGS.
8. VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO STARTING FABRICATION AND INSTALLATION OF ANY NEW MATERIALS. NOTIFY ARCHITECT AND ENGINEER OF ANY DISCREPANCIES FOR POSSIBLE FURTHER INSTRUCTIONS AS MAY BE REQUIRED.

**P & Z** **PERRONE & ZAJDA ENGINEERS LLC**  
SOUTHWAY EXECUTIVE PARK, UNIT #511  
35 COLD SPRING ROAD, ROCKY HILL, CT, 06067  
Phone (860) 513-1156 Fax (860) 436-3362

**DEMO NOTES**

A NEW ADDITION IS TO BE ADDED TO THE BACK PORTION OF THE EXISTING HOUSE. THE CONTRACTOR WILL TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE PRIOR TO THE START OF WORK.

ALL SITE MATERIALS INCLUDING BUT NOT LIMITED TO THE LANDSCAPE, FENCING, AND FENCE POSTS DAMAGED OR REMOVED DURING THE DEMOLITION AND REMODEL OF THE HOUSE WILL BE REINSTALLED, REPAIRED AND REPLACED BY THE GC AT NO EXPENSE TO THE OWNER.

CONTRACTOR SHALL DOCUMENT THE CONDITION OF ALL EXISTING ITEMS INDICATED TO BE REMOVED & REINSTALLED ELSEWHERE OR TO REMAIN. ANY ITEMS DAMAGED DURING REINSTALLATION OR BY WORK CONDUCTED BY ANY CONTRACTOR, SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

ABATE AND PROPERLY DISPOSE OF ALL EXISTING ASBESTOS CONTAINING ITEMS. SEE HAZMAT REPORT FOR LOCATION, PROPER REMOVAL AND DISPOSAL PROCEDURES.

REMOVE AND DISPOSE OF EXISTING GYPSUM BOARD CEILING AND INSULATION THROUGHOUT BASEMENT

REFER TO MEP DRAWINGS FOR ALL ADDITIONAL DEMOLITION

REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL DEMOLITIONS NOTES.



**QUISENBERRY ARCARI ARCHITECTS, LLC**  
www.qa-architects.com  
T (860) 677-4594  
F (860) 677-8534  
318 Main Street  
Farmington, CT 06032

NOT FOR CONSTRUCTION  
ISSUED FOR REVIEW ONLY

REHABILITATION/RECONSTRUCTION WORK FOR:

**ANNE SWEENEY**

APPLICANT #1479

FAIRFIELD, CT

94 LONGDEAN RD

Sheet Description:

**BASEMENT AND FIRST FLOOR DEMOLITION PLANS**

Issue Dates:

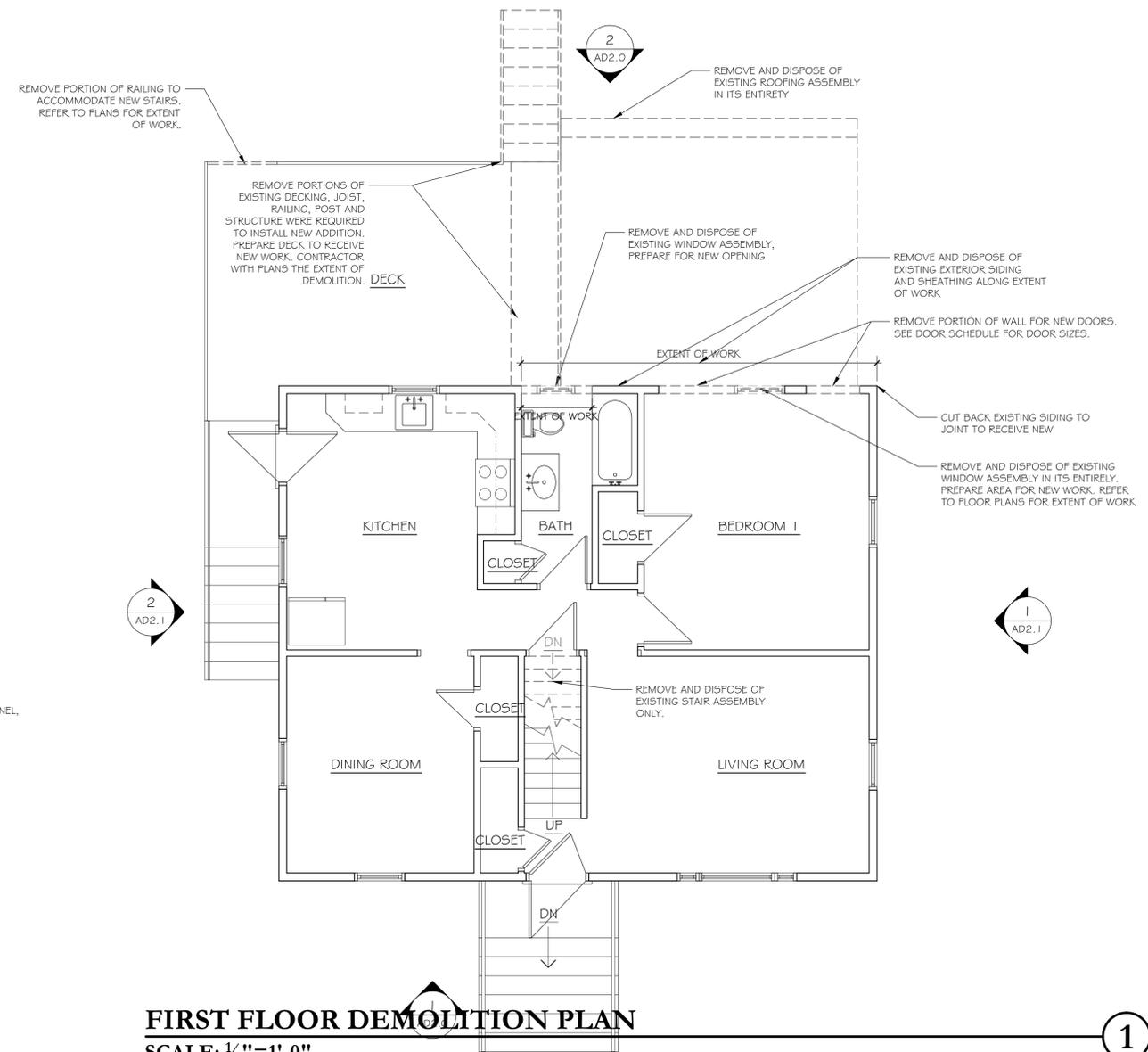
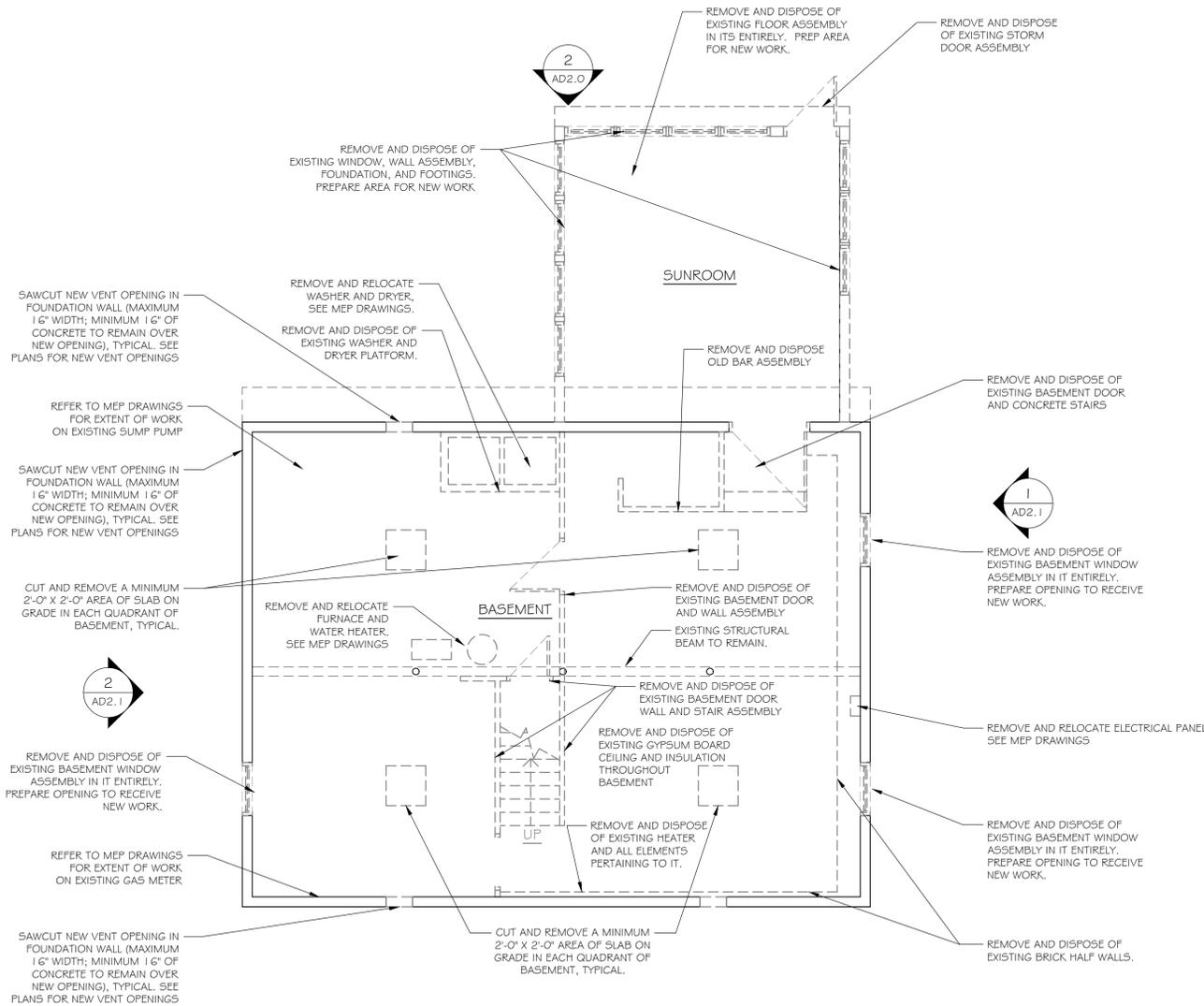
MAY 1, 2015

Project #:  
QA 1346-17

Drawn By:  
MPM

Sheet #:

**AD1.0**



2

1

**DEMO NOTES**

A NEW ADDICTION IS TO BE ADDED TO THE BACK PORTION OF THE EXISTING HOUSE. THE CONTRACTOR WILL TAKES AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE PRIOR TO THE START OF WORK.

ALL SITE MATERIALS INCLUDING BUT NOT LIMITED TO THE LANDSCAPE, FENCING, AND FENCE POSTS DAMAGED OR REMOVED DURING THE DEMOLITION AND REMODEL OF THE HOUSE WILL REINSTALLED, REPAIRED AND REPLACED BY THE GC AT NO EXPENSE TO THE OWNER.

CONTRACTOR SHALL DOCUMENT THE CONDITION OF ALL EXISTING ITEMS INDICATED TO BE REMOVED & REINSTALLED ELSEWHERE OR TO REMAIN. ANY ITEMS DAMAGED DURING REINSTALLATION OR BY WORK CONDUCTED BY ANY CONTRACTOR, SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

ABATE AND PROPERLY DISPOSE OF ALL EXISTING ASBESTOS CONTAINING ITEMS. SEE HAZMAT REPORT FOR LOCATION, PROPER REMOVAL AND DISPOSAL PROCEDURES.

REMOVE AND DISPOSE OF EXISTING GYPSUM BOARD CEILING AND INSULATION THROUGHOUT BASEMENT

REFER TO MEP DRAWINGS FOR ALL ADDITIONAL DEMOLITION

REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL DEMOLITIONS NOTES.



**QUISENBERRY ARCARI ARCHITECTS, LLC**  
www.qa-architects.com  
T (860) 677-4594  
F (860) 677-8534  
318 Main Street  
Farmington, CT 06032

NOT FOR CONSTRUCTION  
ISSUED FOR REVIEW ONLY

REHABILITATION/RECONSTRUCTION WORK FOR:

**ANNE SWEENEY**

APPLICANT #1479

FAIRFIELD, CT

94 LONGDEAN RD

Sheet Description:

**SECOND FLOOR AND ROOF DEMOLITION PLAN**

Issue Dates:

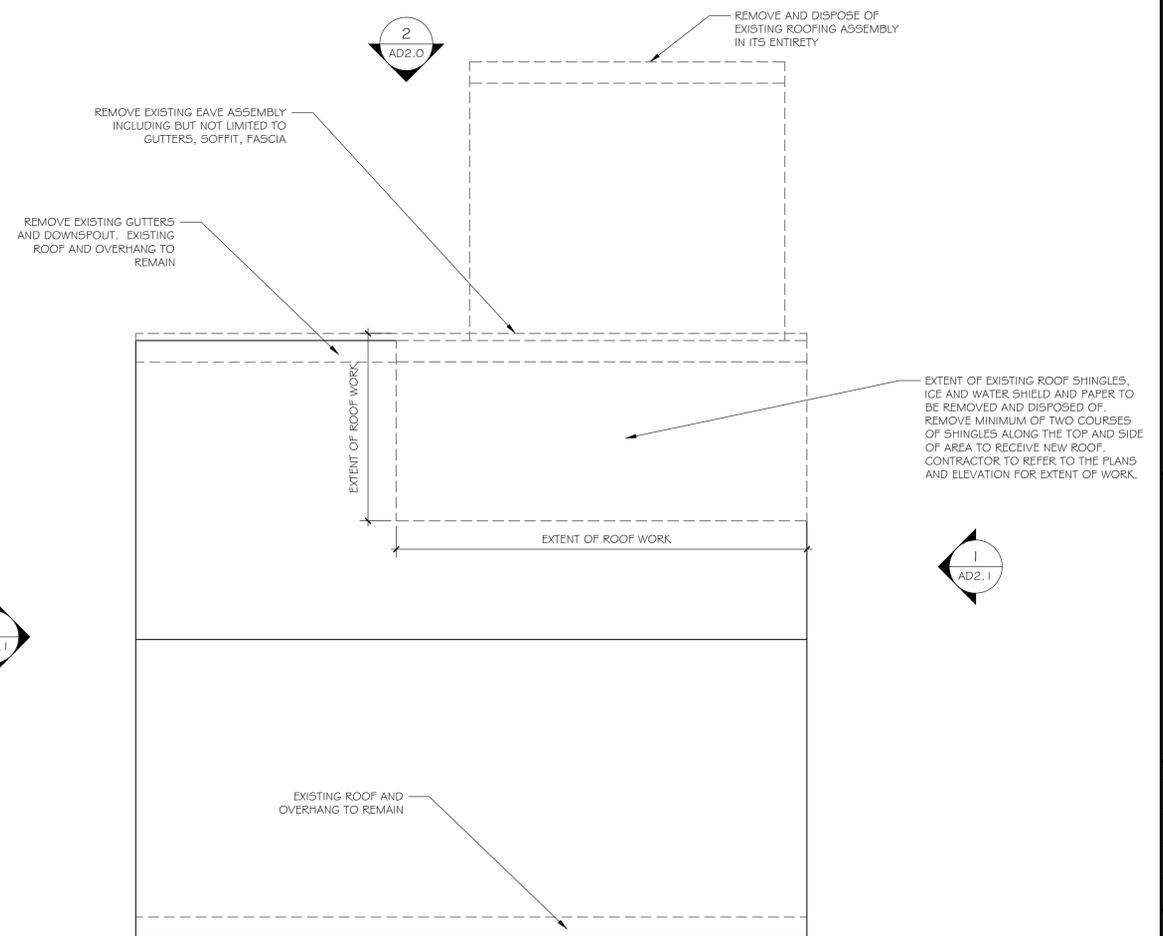
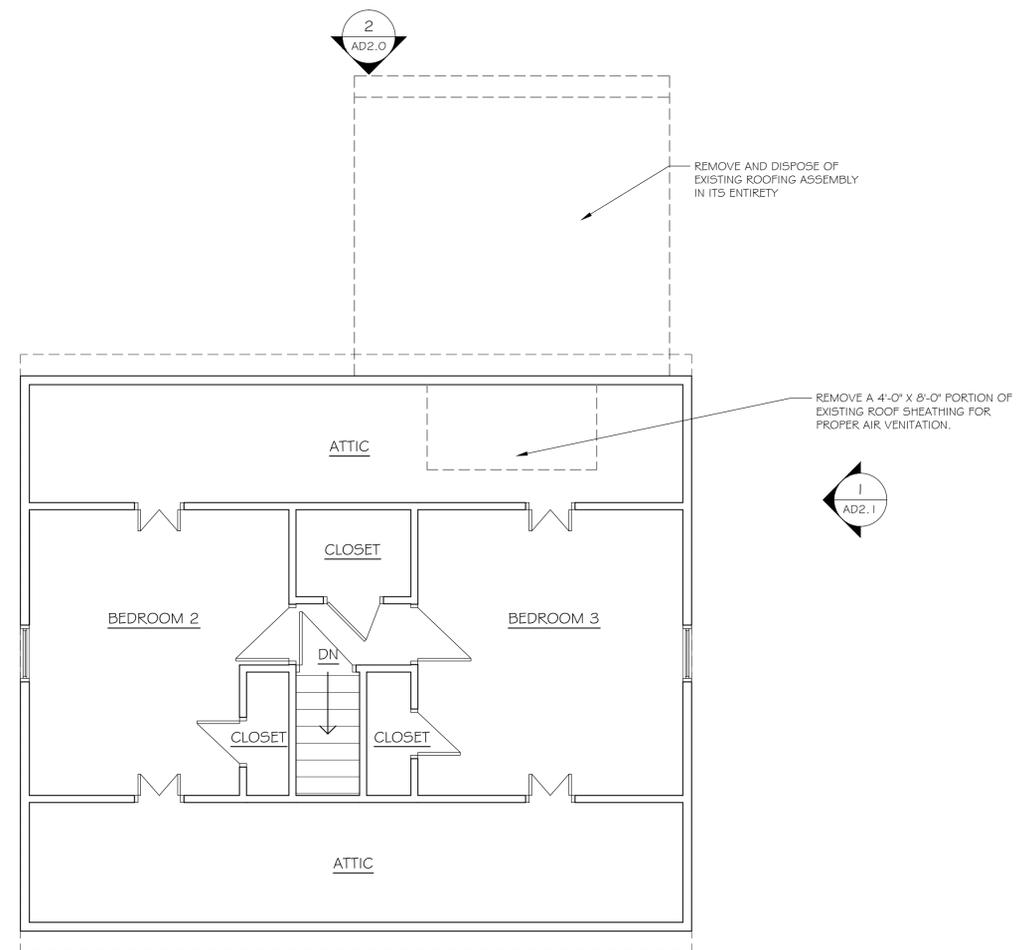
MAY 1, 2015

Project #:  
QA 1346-17

Drawn By:  
MPM

Sheet #:

**AD1.1**



**ROOF DEMOLITION PLAN**

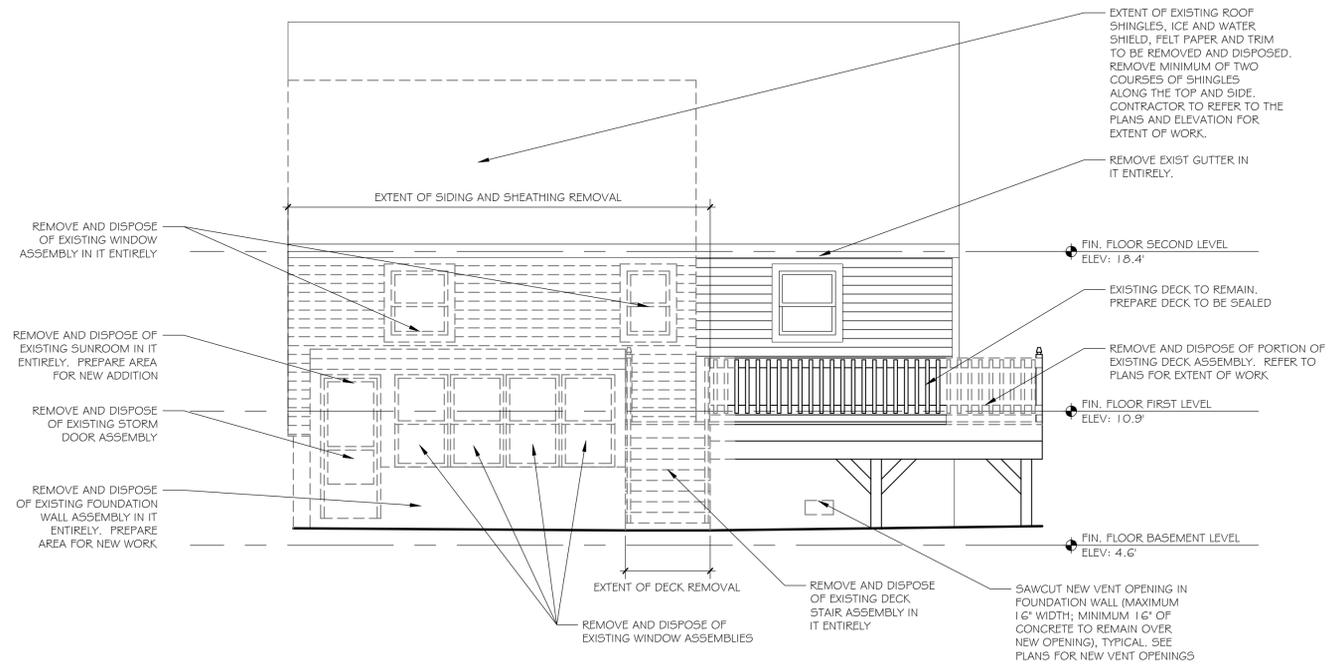
SCALE: 1/4"=1'-0"



**SECOND FLOOR DEMOLITION PLAN**

SCALE: 1/4"=1'-0"

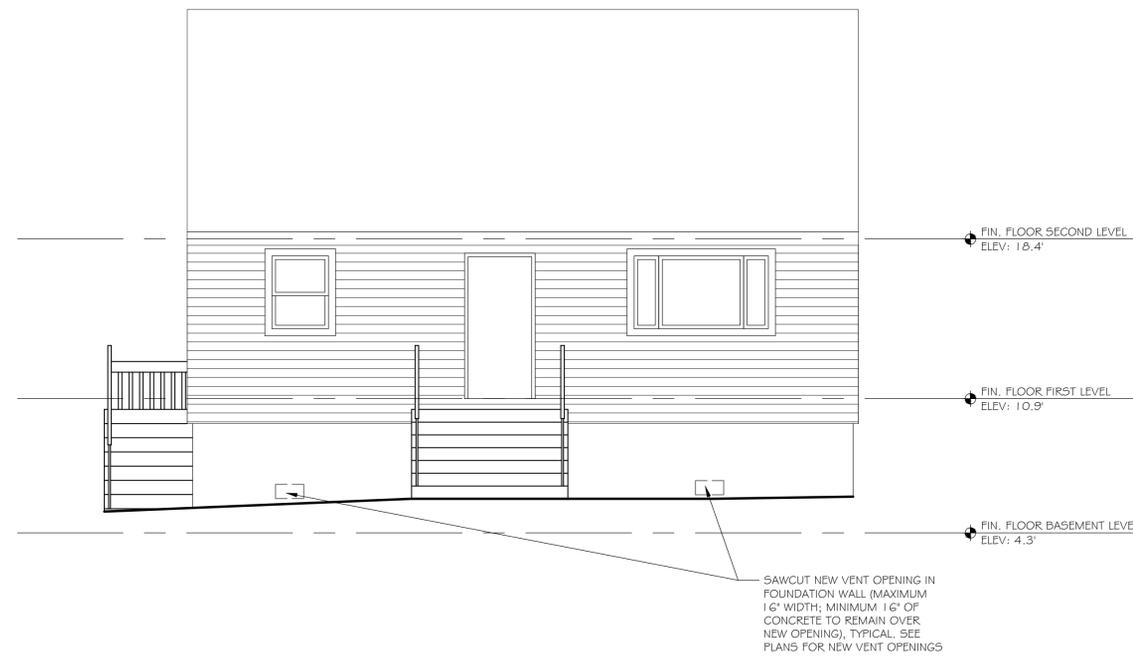




## WEST ELEVATION

SCALE: 1/4" = 1'-0"

2



## EAST ELEVATION

SCALE: 1/4" = 1'-0"

1

### DEMO NOTES

A NEW ADDITION IS TO BE ADDED TO THE BACK PORTION OF THE EXISTING HOUSE. THE CONTRACTOR WILL TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE PRIOR TO THE START OF WORK.

ALL SITE MATERIALS INCLUDING BUT NOT LIMITED TO THE LANDSCAPE, FENCING, AND FENCE POSTS DAMAGED OR REMOVED DURING THE DEMOLITION AND REMODEL OF THE HOUSE WILL BE REINSTALLED, REPAIRED AND REPLACED BY THE GC AT NO EXPENSE TO THE OWNER.

CONTRACTOR SHALL DOCUMENT THE CONDITION OF ALL EXISTING ITEMS INDICATED TO BE REMOVED & REINSTALLED ELSEWHERE OR TO REMAIN. ANY ITEMS DAMAGED DURING REINSTALLATION OR BY WORK CONDUCTED BY ANY CONTRACTOR, SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

ABATE AND PROPERLY DISPOSE OF ALL EXISTING ASBESTOS CONTAINING ITEMS. SEE HAZMAT REPORT FOR LOCATION, PROPER REMOVAL AND DISPOSAL PROCEDURES.

REMOVE AND DISPOSE OF EXISTING GYPSUM BOARD CEILING AND INSULATION THROUGHOUT BASEMENT

REFER TO MEP DRAWINGS FOR ALL ADDITIONAL DEMOLITION

REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL DEMOLITIONS NOTES.



**QUISENBERRY ARCARI ARCHITECTS, LLC**

www.qa-architects.com  
T (860) 677-4594  
F (860) 677-8534  
318 Main Street  
Farmington, CT 06032

NOT FOR CONSTRUCTION  
ISSUED FOR REVIEW ONLY

REHABILITATION/RECONSTRUCTION WORK FOR:

**ANNE SWEENEY**

APPLICANT #1479

94 LONGDEAN RD FAIRFIELD, CT

Sheet Description:

**EAST AND WEST DEMOLITION ELEVATIONS**

Issue Dates:

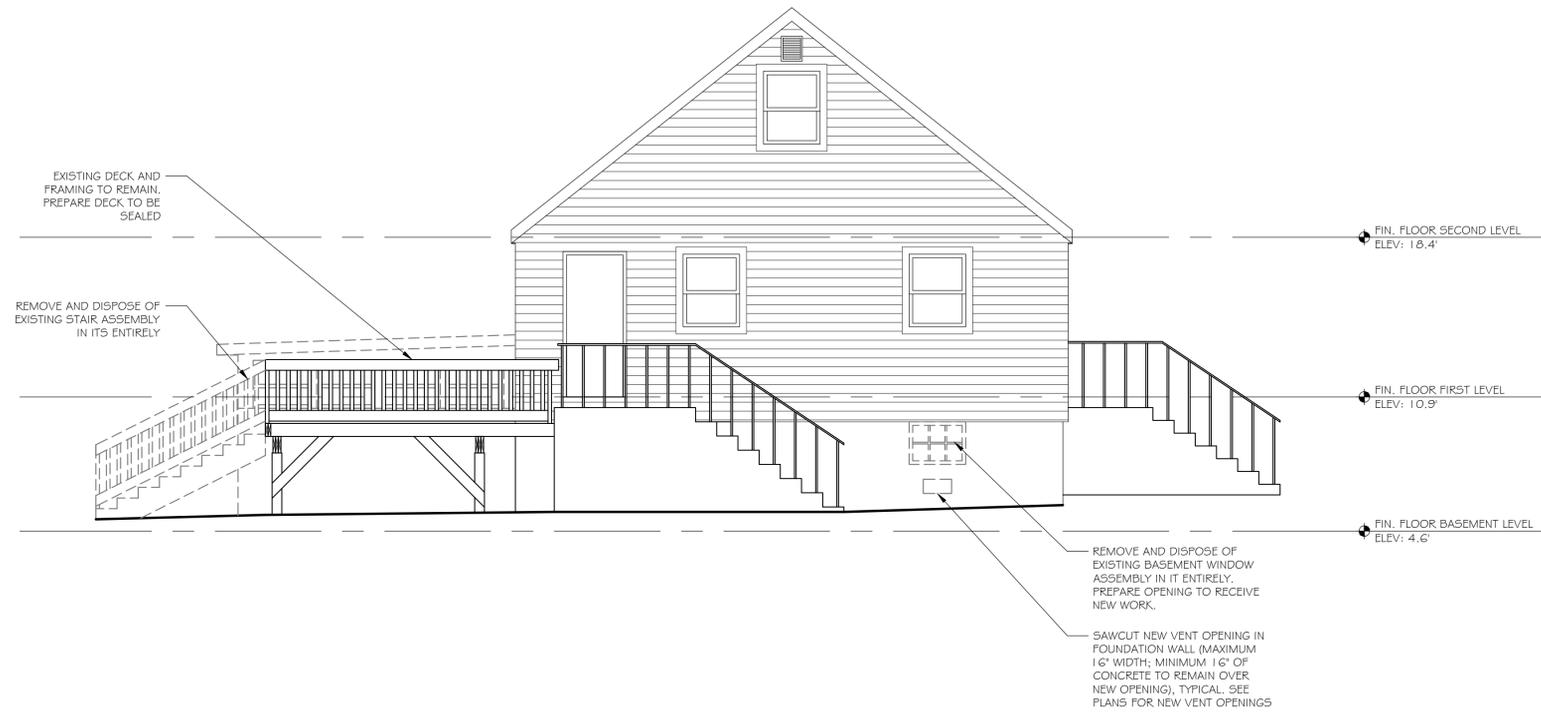
MAY 1, 2015

Project #:  
QA 1346-17

Drawn By:  
MPM

Sheet #:

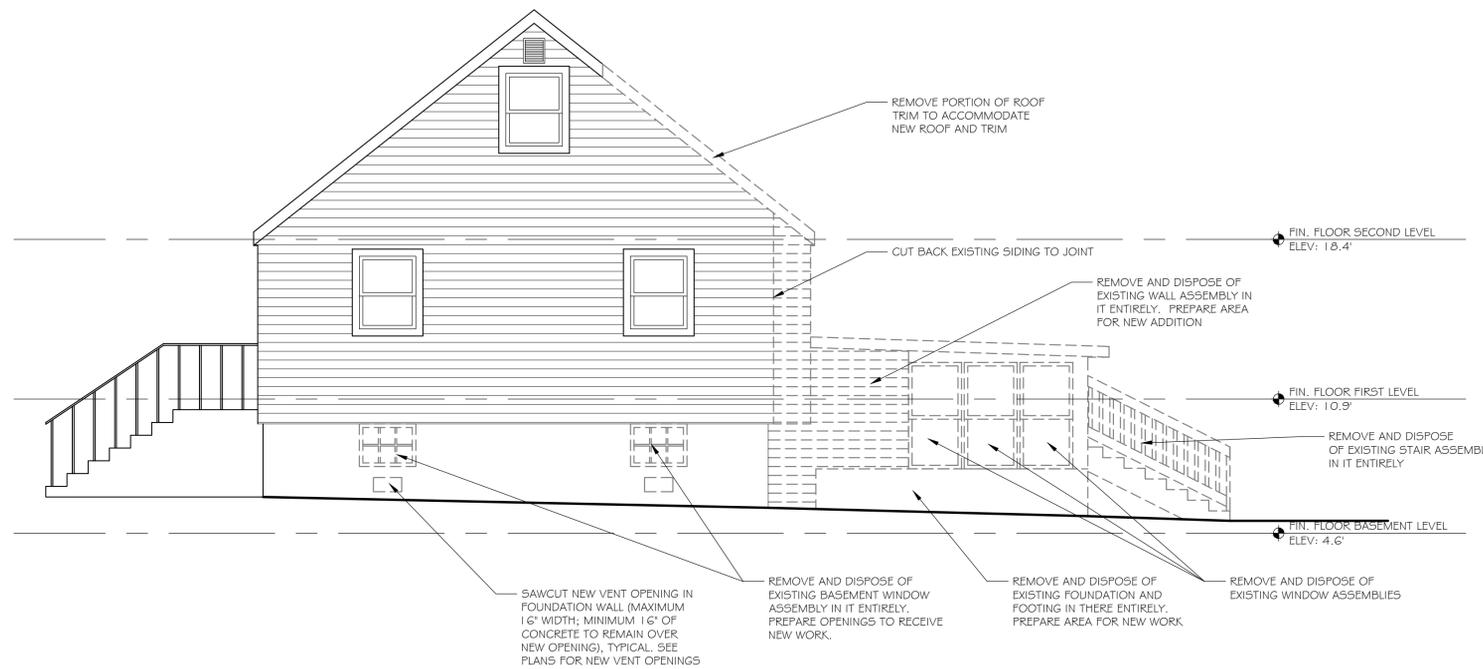
**AD2.0**



### SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

2



### NORTH ELEVATION

SCALE: 1/4" = 1'-0"

1

#### DEMO NOTES

A NEW ADDITION IS TO BE ADDED TO THE BACK PORTION OF THE EXISTING HOUSE. THE CONTRACTOR WILL TAKES AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE PRIOR TO THE START OF WORK.

ALL SITE MATERIALS INCLUDING BUT NOT LIMITED TO THE LANDSCAPE, FENCING, AND FENCE POSTS DAMAGED OR REMOVED DURING THE DEMOLITION AND REMODEL OF THE HOUSE WILL REINSTALLED, REPAIRED AND REPLACED BY THE GC AT NO EXPENSE TO THE OWNER.

CONTRACTOR SHALL DOCUMENT THE CONDITION OF ALL EXISTING ITEMS INDICATED TO BE REMOVED & REINSTALLED ELSEWHERE OR TO REMAIN. ANY ITEMS DAMAGED DURING REINSTALLATION OR BY WORK CONDUCTED BY ANY CONTRACTOR, SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

ABATE AND PROPERLY DISPOSE OF ALL EXISTING ASBESTOS CONTAINING ITEMS. SEE HAZMAT REPORT FOR LOCATION, PROPER REMOVAL AND DISPOSAL PROCEDURES.

REMOVE AND DISPOSE OF EXISTING GYPSUM BOARD CEILING AND INSULATION THROUGHOUT BASEMENT

REFER TO MEP DRAWINGS FOR ALL ADDITIONAL DEMOLITION

REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL DEMOLITIONS NOTES.



**QUISENBERRY ARCARI ARCHITECTS, LLC**  
 www.qa-architects.com  
 T (860) 677-4594  
 F (860) 677-8534  
 318 Main Street  
 Farmington, CT 06032

NOT FOR CONSTRUCTION  
 ISSUED FOR REVIEW ONLY

REHABILITATION/RECONSTRUCTION WORK FOR:

**ANNE SWEENEY**

APPLICANT #1479

94 LONGDEAN RD FAIRFIELD, CT

Sheet Description:

**NORTH AND SOUTH DEMOLITION ELEVATIONS**

Issue Dates:

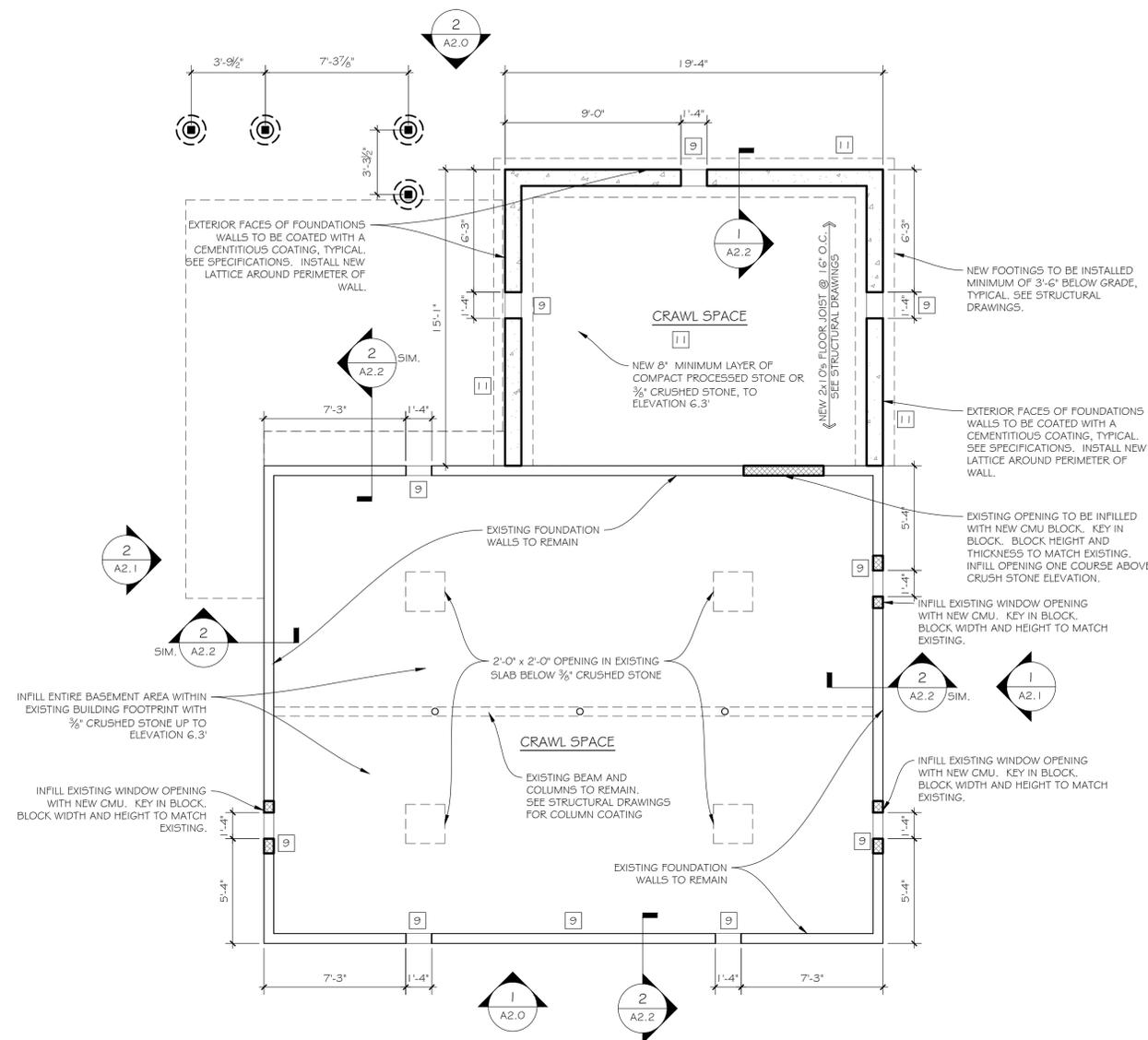
MAY 1, 2015

Project #:  
QA 1346-17

Drawn By:  
MPM

Sheet #:

**AD2.1**



# BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"

1

## PLAN KEY

- 12 PROVIDE # INSTALL NEW PAINTED FLOOR BASE WOOD TRIM IN THE NEW SUNROOM, CLOSET, UTILITY ROOM, LAUNDRY ROOM, # BATHROOM. TO MATCH EXISTING PROFILE & COLOR. NEW TRIM IN EXISTING BATHROOM AT NEW CLOSET TO MATCH EXISTING TRIM AND TRIM COLOR.
- 13 BATH TO BE PAINTED P.1. UTILITY ROOM # LAUNDRY ROOM TO BE PAINTED P.2. SUNROOM # CLOSET TO BE PAINTED P.3. CEILINGS TO BE PAINTED P.4. PAINT BACK OF CLOSET ON EXISTING BEDROOM SIDE SAME COLOR AS EXISTING WALLS. ALL WALLS TO RECEIVE (1) COAT PRIMER, (2) COATS PAINT. PAINT COLORS TO BE CHOSEN BY OWNER, REFER TO SPECS.
- 1 PROVIDE # INSTALL NEW 1/2" DRYWALL AND R-24 BATT INSULATION ALONG OLD EXTERIOR WALL IN BEDROOM. NEW DRYWALLS TO RECEIVE (1) COAT OF PRIMER # THE WHOLE ROOM TO RECEIVE (2) COATS OF PAINT, PAINT COLOR TO BE CHOSEN BY OWNER. REFER TO SPECS.
- 2 PROVIDE # INSTALL NEW HARDWOOD FLOORING IN THE NEW SUNROOM AND CLOSET. FLOOR THICKNESS AND COLOR TO MATCH EXISTING.
- 3 PROVIDE # INSTALL NEW PORCELAIN TILE FLOORING IN THE LAUNDRY ROOM, UTILITY ROOM, # BATHROOM AS NEEDED. REFER TO SPECS FOR COLOR # FINISH.
- 4 PROVIDE # INSTALL NEW STORM DOOR PER MANUFACTURERS REQUIREMENTS, SEE DOOR SCHEDULE # ELEVATIONS FOR MORE INFORMATION. ROUGH OPENING SIZE IS TO BE VERIFIED IN THE FIELD, BY THE CONTRACTOR.
- 5 PROVIDE # INSTALL NEW FIBERGLASS ENTRY DOOR SYSTEM PER MANUFACTURERS REQUIREMENTS. PROVIDE AND INSTALL NEW 3/4" x 4" PVC TRIM WITH RABBETED EDGE. PROVIDE # INSTALL 2 1/2" INTERIOR DOOR TRIM # EXTENSION JAMBS. SEE DOOR SCHEDULE # ELEVATIONS FOR MORE INFORMATION. ROUGH OPENING SIZE IS TO BE VERIFIED IN THE FIELD, BY THE CONTRACTOR.
- 6 PROVIDE # INSTALL NEW VINYL WINDOW SYSTEM PER MANUFACTURERS REQUIREMENTS. PROVIDE # INSTALL NEW 3/4" x 4" PVC TRIM WITH RABBETED EDGE. PROVIDE # INSTALL NEW INTERIOR WINDOW TRIM WITH STOOL, AFRON # EXTENSION JAMBS. MATCH EXISTING. SEE WINDOW SCHEDULE # SPECIFICATIONS FOR MORE INFORMATION. SIZE TO MATCH WINDOW SIZE, STYLE, TYPE, AND ROUGH OPENING SIZE IS TO BE VERIFIED IN THE FIELD, BY THE CONTRACTOR.
- 7 PROVIDE # INSTALL NEW VINYL SIDING AND TRIM ASSEMBLIES. KEY IN NEW SIDING WITH EXISTING. PROFILE AND COLOR TO MATCH EXISTING SIDING AND TRIM ASSEMBLIES.
- 8 PROVIDE # INSTALL NEW LANDING AND STAIRS, FOOTINGS AND PIERS. FOOTING TO MIN. 3'-6" BELOW GRADE. ALL EXISTING GRADES TO BE VERIFIED IN THE FIELD, BY THE CONTRACTOR. REFER TO DRAWING A4.0 FOR DETAILS
- 9 PROVIDE AND INSTALL NEW NEW OR REINSTALL DECKING, JOIST, POST, RAILINGS AND STRUCTURE REMOVED DURING CONSTRUCTION OF NEW ADDITION.
- 10 PROVIDE # INSTALL SMART VENT DUAL FUNCTION FLOOD AND VENTILATION VENT MODEL 1540-510, TYPICAL. REFER TO A5.0 FOR DETAILS AND SPECIFICATIONS. INSTALL PER MANUFACTURERS WRITTEN INSTRUCTION.
- 11 REFER TO MEP DRAWINGS FOR ALL INFORMATION PERTAINING TO THE CONNECTING OF POWER, STORM, SANITARY LINES, ETC..

## PLAN NOTES

A NEW ADDITION IS TO BE ADDED TO THE BACK PORTION OF THE EXISTING HOUSE. THE CONTRACTOR WILL TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE PRIOR TO THE START OF WORK.

REFER TO HAZARDOUS MATERIAL ABATEMENT DRAWINGS AND SPECIFICATION FOR EXTENT OF ALL ABATEMENT INFORMATION.

ALL SITE MATERIALS INCLUDING BUT NOT LIMITED TO THE LANDSCAPE, FENCING, AND FENCE POSTS DAMAGED OR REMOVED DURING THE DEMOLITION AND REMODEL OF THE HOUSE WILL BE REINSTALLED, REPAIRED AND REPLACED BY THE GC AT NO EXPENSE TO THE OWNER.

REFER TO A3.0 FOR ROOF INFORMATION

REFER TO A4.0 FOR DECK INFORMATION

REFER TO A5.0 FOR MISCELLANEOUS DETAILS AND WALL DETAILS

REFER TO A6.0 FOR DOOR INFORMATION.

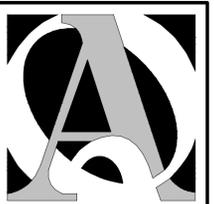
REFER TO A7.0 FOR WINDOW INFORMATION.

FLOOD VENTS BASEMENT
(2009 INTERNATIONAL BUILDING CODE W/ 2013 CONNECTICUT AMENDMENT TO THE STATE BUILDING CODE.)
R322.2.2 ENCLOSED AREA BELOW DESIGN FLOOD ELEVATION
R322.2.2 - 2.1 - MIN. REQUIRED FLOOD VENTS = 2. PROPOSED NUMBER OF FLOOD VENTS = 6
R322.2.2 - 2.2 - TOTAL NET AREA OF FLOOD VENTS MIN. = 1 SQ INCH FOR EACH SQUARE FOOT OF ENCLOSED SPACE. ENCLOSED SPACE = 753 SQ FT. MIN FLOOD VENT NET AREA REQUIRED = 753 SQ. INCHES PROPOSED FLOOD VENTS = (6) AT 128 SQ. INCHES EA. TOTAL FLOOD VENTILATION = 768 SQ. INCHES.
R322.2.2 - 2.3 - GRADE ELEVATION MAX. HEIGHT ABOVE GRADE = 1'-0" PROPOSED FLOOD VENT HEIGHT - 8"
R322.2.2 - 2.4 - OPENING SIZE MIN. FLOOD VENT OPENING SIZE = 3" IN ANY DIRECTION IN THE PLANE OF THE WALL. PROPOSED FLOOD VENT SIZE = 8" X 16"
R322.2.2 - 2.5 - OPENING COVERS OPENING COVERS SHALL ALLOW THE AUTOMATIC FLOW OF FLOODWATERS. (SCREENS, LOUVERS ETC) PROPOSED OPENING COVERS - NONE

FLOOD VENTS CRAWL SPACE
(2009 INTERNATIONAL BUILDING CODE W/ 2013 CONNECTICUT AMENDMENT TO THE STATE BUILDING CODE.)
R322.2.2 ENCLOSED AREA BELOW DESIGN FLOOD ELEVATION
R322.2.2 - 2.1 - MIN. REQUIRED FLOOD VENTS = 2. PROPOSED NUMBER OF FLOOD VENTS = 3
R322.2.2 - 2.2 - TOTAL NET AREA OF FLOOD VENTS MIN. = 1 SQ INCH FOR EACH SQUARE FOOT OF ENCLOSED SPACE. ENCLOSED SPACE = 252 SQ FT. MIN FLOOD VENT NET AREA REQUIRED = 252 SQ. INCHES PROPOSED FLOOD VENTS = (3) AT 128 SQ. INCHES EA. TOTAL FLOOD VENTILATION = 384 SQ. INCHES.
R322.2.2 - 2.3 - GRADE ELEVATION MAX. HEIGHT ABOVE GRADE = 1'-0" PROPOSED FLOOD VENT HEIGHT - 6"
R322.2.2 - 2.4 - OPENING SIZE MIN. FLOOD VENT OPENING SIZE = 3" IN ANY DIRECTION IN THE PLANE OF THE WALL. PROPOSED FLOOD VENT SIZE = 8" X 16"
R322.2.2 - 2.5 - OPENING COVERS OPENING COVERS SHALL ALLOW THE AUTOMATIC FLOW OF FLOODWATERS. (SCREENS, LOUVERS ETC) PROPOSED OPENING COVERS - NONE

TITLE BLOCK
F.E.M.A. STANDARDS - ONLY IF IN FLOOD HAZARD AREAS ZONING COMPLIANCE PREDICATED ON A. B. C. # D.
A. All new construction and substantial improvements shall:
1. Be designed or modified and adequately anchored to prevent flotation, collapse, or lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including effects of buoyancy.
2. Be constructed with materials resistant to flood damage.
3. Be constructed by methods and practice that minimized flood damage.
4. Be constructed with electrical, heating, ventilation, plumbing and air-conditioning equipment and other services facilities that are designed and/or located so as to prevent water from entering or accumulating within the components during conditions of flooding.
B. New and replacement water supply systems shall be designed to minimize or eliminate infiltration of flood waters into the system.
C. New and replacement sanitary sewage systems shall be designed to minimize or eliminate infiltration of flood waters into the systems and discharges from the system into flood waters and on-site waste disposal systems shall be located and constructed to avoid impairment to them or contamination from them during flooding.
D. All new construction and substantial improvements shall have the lowest floor, including the basement elevated to or above the base flood level and if constructed with a fully enclosed area below this lowest floor shall be designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for entry and exit of flood waters.

TITLE BLOCK
1. STREET ADDRESS: #94 LONGDEAN ROAD
2. ASSESSORS MAP # 183, PARCEL # 265
3. MAP: "B" RESIDENCE DISTRICT
4. APPLICANT: ANNE SWEENEY 94 LONGDEAN ROAD FAIRFIELD, CONNECTICUT 06824
5. OWNER: ANNE SWEENEY 94 LONGDEAN ROAD FAIRFIELD, CONNECTICUT 06824
6. DESCRIPTIVE TITLE: RENOVATING AN EXISTING TWO STORY ONE FAMILY DWELLING WITH ASSOCIATED STAIRS
7. ORIGINAL DATE OF PLANS AND ANY SUBSEQUENT REVISION DATES LABELED FIRST, SECOND, ETC., AND NOTE THE PURPOSE AND LOCATION OF THE REVISION: November 20, 2014, Revision #1 February 24, 2015.
8. PREPARED BY: MICHAEL MEMMOTT - PROJECT MANAGER QUISENBERRY ARCARI ARCHITECTS 318 MAIN STREET FARMINGTON, CONNECTICUT 06032 (860) 677-4594 EX 15
9. To the best of my knowledge and belief these drawings are substantially correct as noted hereon.
<i>Michael Memmott</i> Michael Memmott



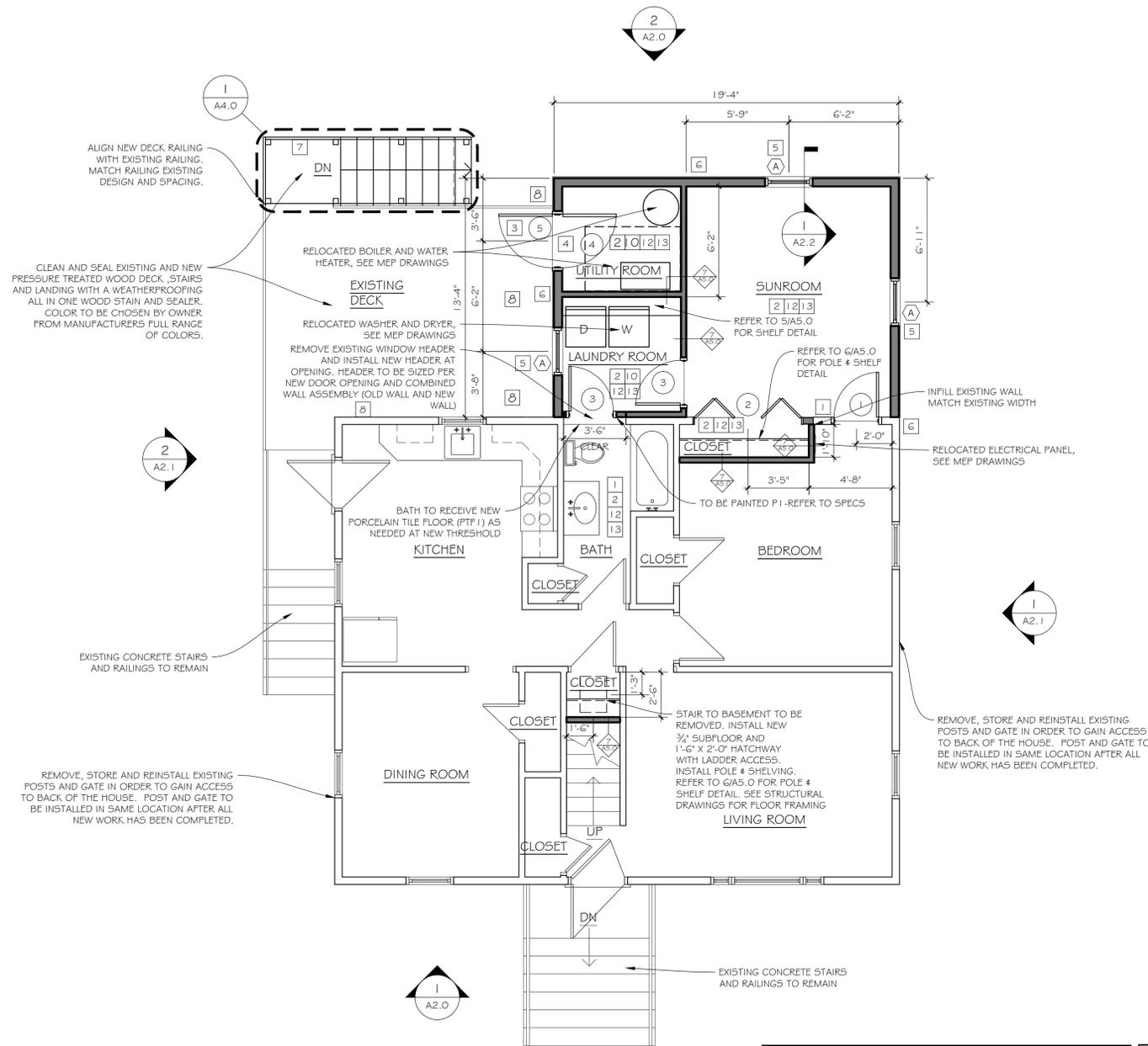
**QUISENBERRY ARCARI ARCHITECTS, LLC**  
www.qa-architects.com  
T (860) 677-4594  
F (860) 677-8534  
318 Main Street  
Farmington, CT 06032

NOT FOR CONSTRUCTION  
ISSUED FOR REVIEW ONLY

REHABILITATION/RECONSTRUCTION WORK FOR:  
**ANNE SWEENEY**  
APPLICANT #1479  
94 LONGDEAN RD  
FAIRFIELD, CT

Sheet Description:	<b>BASEMENT FLOOR PLAN</b>
Issue Dates:	MAY 1, 2015

Project #:	QA 1346-17	Drawn By:	MPM
Sheet #:	<b>A1.0</b>		



# FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

1

## PLAN KEY

- 12 PROVIDE & INSTALL NEW PAINTED FLOOR BASE WOOD TRIM IN THE NEW SUNROOM, CLOSET, UTILITY ROOM, LAUNDRY ROOM, & BATHROOM. TO MATCH EXISTING PROFILE & COLOR. NEW TRIM IN EXISTING BATHROOM AT NEW CLOSET TO MATCH EXISTING TRIM AND TRIM COLOR.
- 13 BATH TO BE PAINTED P1. UTILITY ROOM & LAUNDRY ROOM TO BE PAINTED P2. SUNROOM & CLOSET TO BE PAINTED P3. CEILINGS TO BE PAINTED P4. PAINT BACK OF CLOSET ON EXISTING BEDROOM SIDE SAME COLOR AS EXISTING WALLS. ALL WALLS TO RECEIVE (1) COAT PRIMER, (2) COATS PAINT. PAINT COLORS TO BE CHOSEN BY OWNER, REFER TO SPECS.
- 1 PROVIDE & INSTALL NEW 1/2" DRYWALL AND R-24 BATT INSULATION ALONG OLD EXTERIOR WALL IN BEDROOM. NEW DRYWALLS TO RECEIVE (1) COAT OF PRIMER & THE WHOLE ROOM TO RECEIVE (2) COATS OF PAINT, PAINT COLOR TO BE CHOSEN BY OWNER. REFER TO SPECS.
- 2 PROVIDE & INSTALL NEW HARDWOOD FLOORING IN THE NEW SUNROOM AND CLOSET. FLOOR THICKNESS AND COLOR TO MATCH EXISTING.
- 3 PROVIDE & INSTALL NEW PORCELAIN TILE FLOORING IN THE LAUNDRY ROOM, UTILITY ROOM, & BATHROOM AS NEEDED. REFER TO SPECS FOR COLOR & FINISH.
- 4 PROVIDE & INSTALL NEW STORM DOOR PER MANUFACTURERS REQUIREMENTS. SEE DOOR SCHEDULE & ELEVATIONS FOR MORE INFORMATION. ROUGH OPENING SIZE IS TO BE VERIFIED IN THE FIELD, BY THE CONTRACTOR.
- 5 PROVIDE & INSTALL NEW FIBERGLASS ENTRY DOOR SYSTEM PER MANUFACTURERS REQUIREMENTS. PROVIDE AND INSTALL NEW 3/4" x 4" PVC TRIM WITH RABBETED EDGE. PROVIDE & INSTALL 2 1/2" INTERIOR DOOR TRIM & EXTENSION JAMBS. SEE DOOR SCHEDULE & ELEVATIONS FOR MORE INFORMATION. ROUGH OPENING SIZE IS TO BE VERIFIED IN THE FIELD, BY THE CONTRACTOR.
- 6 PROVIDE & INSTALL NEW VINYL WINDOW SYSTEM PER MANUFACTURERS REQUIREMENTS. PROVIDE & INSTALL NEW 3/4" x 4" PVC TRIM WITH RABBETED EDGE. PROVIDE & INSTALL NEW INTERIOR WINDOW TRIM WITH STOOL, APRON & EXTENSION JAMBS. MATCH EXISTING. SEE WINDOW SCHEDULE & SPECIFICATIONS FOR MORE INFORMATION. SIZE TO MATCH WINDOW SIZE, STYLE, TYPE, AND ROUGH OPENING SIZE IS TO BE VERIFIED IN THE FIELD, BY THE CONTRACTOR.
- 7 PROVIDE & INSTALL NEW VINYL SIDING AND TRIM ASSEMBLIES. KEY IN NEW SIDING WITH EXISTING. PROFILE AND COLOR TO MATCH EXISTING SIDING AND TRIM ASSEMBLIES.
- 8 PROVIDE & INSTALL NEW LANDING AND STAIRS, FOOTINGS AND PIERS. FOOTING TO MIN. 3'-6" BELOW GRADE. ALL EXISTING GRADES TO BE VERIFIED IN THE FIELD, BY THE CONTRACTOR. REFER TO DRAWING A4.0 FOR DETAILS
- 9 PROVIDE AND INSTALL NEW NEW OR REINSTALL DECKING, JOIST, POST, RAILINGS AND STRUCTURE REMOVED DURING CONSTRUCTION OF NEW ADDITION.
- 10 PROVIDE & INSTALL SMART VENT DUAL FUNCTION FLOOD AND VENTILATION VENT MODEL 1540-510, TYPICAL. REFER TO A5.0 FOR DETAILS AND SPECIFICATIONS. INSTALL PER MANUFACTURERS WRITTEN INSTRUCTION.
- 11 REFER TO MEP DRAWINGS FOR ALL INFORMATION PERTAINING TO THE NEW FOUNDATION, FLOOR FRAMING AND OTHER ADDITIONAL DETAILS.

## PLAN NOTES

A NEW ADDITION IS TO BE ADDED TO THE BACK PORTION OF THE EXISTING HOUSE. THE CONTRACTOR WILL TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE PRIOR TO THE START OF WORK.

REFER TO HAZARDOUS MATERIAL ABATEMENT DRAWINGS AND SPECIFICATION FOR EXTENT OF ALL ABATEMENT INFORMATION.

ALL SITE MATERIALS INCLUDING BUT NOT LIMITED TO THE LANDSCAPE, FENCING, AND FENCE POSTS DAMAGED OR REMOVED DURING THE DEMOLITION AND REMODEL OF THE HOUSE WILL BE REINSTALLED, REPAIRED AND REPLACED BY THE GC AT NO EXPENSE TO THE OWNER.

REFER TO A3.0 FOR ROOF INFORMATION

REFER TO A4.0 FOR DECK INFORMATION

REFER TO A5.0 FOR MISCELLANEOUS DETAILS AND WALL DETAILS

REFER TO A6.0 FOR DOOR INFORMATION.

REFER TO A7.0 FOR WINDOW INFORMATION.

## TITLE BLOCK

F.I.E.M.A. STANDARDS - ONLY IF IN FLOOD HAZARD AREAS  
 ZONING COMPLIANCE PREDICATED ON A, B, C, & D.

A. All new construction and substantial improvements shall:

1. Be designed or modified and adequately anchored to prevent flotation, collapse, or lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including effects of buoyancy.
2. Be constructed with materials resistant to flood damage.
3. Be constructed by methods and practice that minimized flood damage.
4. Be constructed with electrical, heating, ventilation, plumbing and air-conditioning equipment and other services facilities that are designed and/or located so as to prevent water from entering or accumulating within the components during conditions of flooding.

B. New and replacement water supply systems shall be designed to minimize or eliminate infiltration of flood waters into the system.

C. New and replacement sanitary sewage systems shall be designed to minimize or eliminate infiltration of flood waters into the systems and discharges from the system into flood waters and on-site waste disposal systems shall be located and constructed to avoid impairment to them or contamination from them during flooding.

D. All new construction and substantial improvements shall have the lowest floor, including the basement elevated to or above the base flood level and if constructed with a fully enclosed area below this lowest floor shall be designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for entry and exit of flood waters.

## TITLE BLOCK

1. STREET ADDRESS: #94 LONGDEAN ROAD

2. ASSESSORS MAP # 183, PARCEL # 265

3. MAP: "B" RESIDENCE DISTRICT

4. APPLICANT: ANNE SWEENEY  
 94 LONGDEAN ROAD  
 FAIRFIELD, CONNECTICUT 06824

5. OWNER: ANNE SWEENEY  
 94 LONGDEAN ROAD  
 FAIRFIELD, CONNECTICUT 06824

6. DESCRIPTIVE TITLE: RENOVATING AN EXISTING TWO STORY ONE FAMILY DWELLING WITH ASSOCIATED STAIRS

7. ORIGINAL DATE OF PLANS AND ANY SUBSEQUENT REVISION DATES LABELED FIRST, SECOND, ETC., AND NOTE THE PURPOSE AND LOCATION OF THE REVISION:  
 November 20, 2014, Revision #1 February 24, 2015.

8. PREPARED BY: MICHAEL MEMMOTT - PROJECT MANAGER  
 QUISENBERRY ARCARI ARCHITECTS  
 318 MAIN STREET  
 FARMINGTON, CONNECTICUT 06032  
 (860) 677-4594 EX 15

9. To the best of my knowledge and belief these drawings are substantially correct as noted hereon.

Michael Memmott



**QUISENBERRY ARCARI ARCHITECTS, LLC**  
 www.qa-architects.com  
 T (860) 677-4594  
 F (860) 677-8534  
 318 Main Street  
 Farmington, CT 06032

NOT FOR CONSTRUCTION  
 ISSUED FOR REVIEW ONLY

REHABILITATION/RECONSTRUCTION WORK FOR:  
**ANNE SWEENEY**  
 APPLICANT #1479  
 94 LONGDEAN RD  
 FAIRFIELD, CT

Sheet Description:

**FIRST FLOOR PLAN**

Issue Dates:

MAY 1, 2015

Project #: **QA 1346-17** Drawn By: **MPM**

Sheet #:

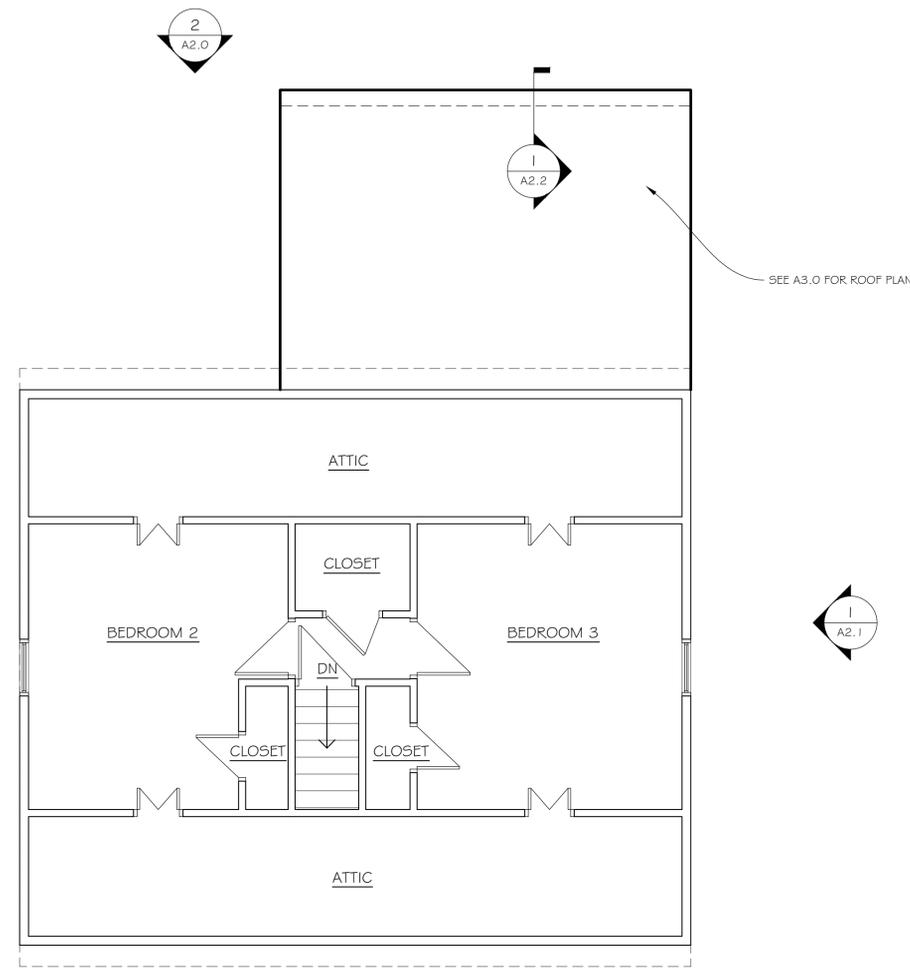
**A1.1**



**QUISENBERRY ARCARI ARCHITECTS, LLC**  
 www.qa-architects.com  
 T (860) 677-4594  
 F (860) 677-8534  
 318 Main Street  
 Farmington, CT 06032

NOT FOR CONSTRUCTION  
 ISSUED FOR REVIEW ONLY

REHABILITATION/RECONSTRUCTION WORK FOR:  
**ANNE SWEENEY**  
 APPLICANT #1479  
 94 LONGDEAN RD  
 FAIRFIELD, CT



**SECOND LEVEL FLOOR PLAN**

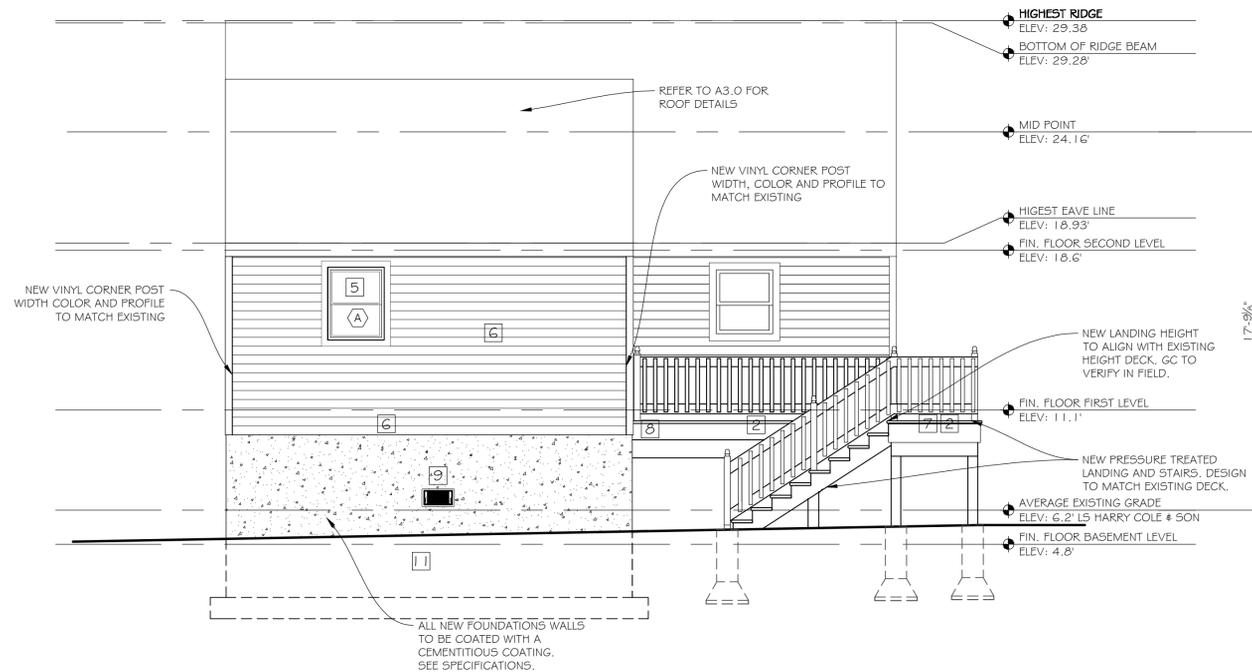
SCALE: 1/4" = 1'-0"

1

TITLE BLOCK
F.E.M.A. STANDARDS - ONLY IF IN FLOOD HAZARD AREAS ZONING COMPLIANCE PREDICATED ON A, B, C, & D.
A. All new construction and substantial improvements shall:
1. Be designed or modified and adequately anchored to prevent flotation, collapse, or lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including effects of buoyancy.
2. Be constructed with materials resistant to flood damage.
3. Be constructed by methods and practice that minimized flood damage.
4. Be constructed with electrical, heating, ventilation, plumbing and air-conditioning equipment and other services facilities that are designed and/or located so as to prevent water from entering or accumulating within the components during conditions of flooding.
B. New and replacement water supply systems shall be designed to minimize or eliminate infiltration of flood waters into the system.
C. New and replacement sanitary sewage systems shall be designed to minimize or eliminate infiltration of flood waters into the systems and discharges from the system into flood waters and on-site waste disposal systems shall be located and constructed to avoid impairment to them or contamination from them during flooding.
D. All new construction and substantial improvements shall have the lowest floor, including the basement elevated to or above the base flood level and if constructed with a fully enclosed area below this lowest floor shall be designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for entry and exit of flood waters.

TITLE BLOCK
1. STREET ADDRESS: #94 LONGDEAN ROAD
2. ASSESSORS MAP # 183, PARCEL # 265
3. MAP: "B" RESIDENCE DISTRICT
4. APPLICANT: ANNE SWEENEY 94 LONGDEAN ROAD FAIRFIELD, CONNECTICUT 06824
5. OWNER: ANNE SWEENEY 94 LONGDEAN ROAD FAIRFIELD, CONNECTICUT 06824
6. DESCRIPTIVE TITLE: RENOVATING AN EXISTING TWO STORY ONE FAMILY DWELLING WITH ASSOCIATED STAIRS
7. ORIGINAL DATE OF PLANS AND ANY SUBSEQUENT REVISION DATES LABELED FIRST, SECOND, ETC., AND NOTE THE PURPOSE AND LOCATION OF THE REVISION:  November 20, 2014, Revision #1 February 24, 2015.
8. PREPARED BY: MICHAEL MEMMOTT - PROJECT MANAGER QUISENBERRY ARCARI ARCHITECTS  318 MAIN STREET FARMINGTON, CONNECTICUT 06032 (860) 677-4594 EX 15
9. To the best of my knowledge and belief these drawings are substantially correct as noted hereon.  <i>Michael Memmott</i> Michael Memmott

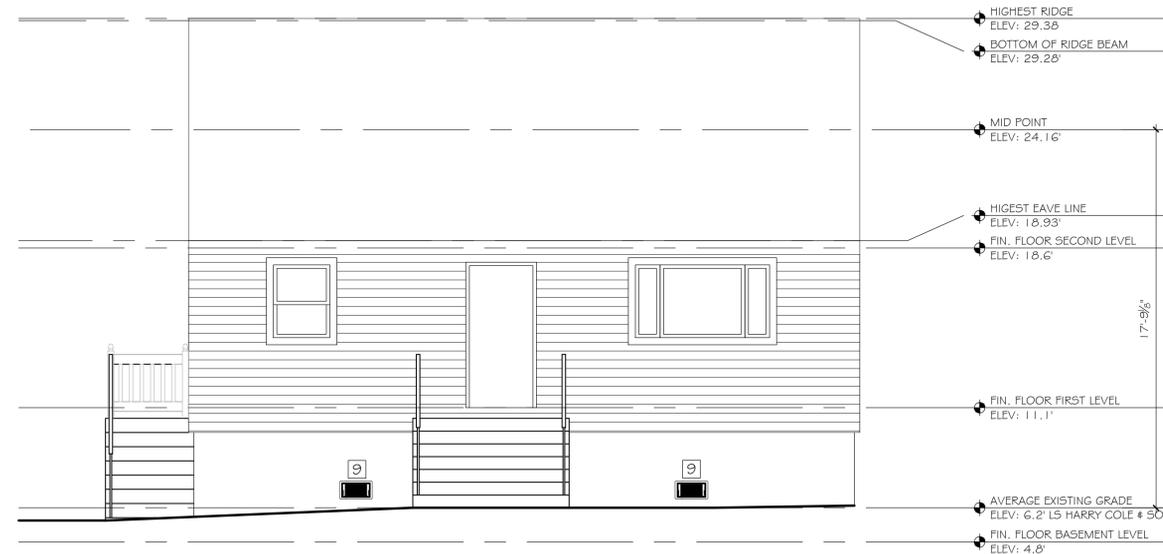
Sheet Description:	
<b>SECOND FLOOR PLAN</b>	
Issue Dates:	
MAY 1, 2015	
Project #:	Drawn By:
QA 1346-17	MPM
Sheet #:	
<b>A1.2</b>	



## WEST ELEVATION

SCALE: 1/4" = 1'-0"

2



## EAST ELEVATION

SCALE: 1/4" = 1'-0"

1

### PLAN NOTES

A NEW ADDITION IS TO BE ADDED TO THE BACK PORTION OF THE EXISTING HOUSE. THE CONTRACTOR WILL TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE PRIOR TO THE START OF WORK.

REFER TO HAZARDOUS MATERIAL ABATEMENT DRAWINGS AND SPECIFICATION FOR ALL ABATEMENT INFORMATION.

ALL SITE MATERIALS INCLUDING BUT NOT LIMITED TO THE LANDSCAPE, FENCING, AND FENCE POSTS DAMAGED OR REMOVED DURING THE DEMOLITION AND REMODEL OF THE HOUSE WILL BE REINSTALLED, REPAIRED AND REPLACED BY THE GC AT NO EXPENSE TO THE OWNER.

REFER TO A3.0 FOR ROOF INFORMATION

REFER TO A4.0 FOR DECK INFORMATION

REFER TO A5.0 FOR MISCELLANEOUS DETAILS

REFER TO A6.0 FOR DOOR INFORMATION.

REFER TO A7.0 FOR WINDOW INFORMATION.

### TITLE BLOCK

F.E.M.A. STANDARDS - ONLY IF IN FLOOD HAZARD AREAS  
ZONING COMPLIANCE PREDICATED ON A, B, C, & D.

- A. All new construction and substantial improvements shall:
1. Be designed or modified and adequately anchored to prevent flotation, collapse, or lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including effects of buoyancy.
  2. Be constructed with materials resistant to flood damage.
  3. Be constructed by methods and practice that minimized flood damage.
  4. Be constructed with electrical, heating, ventilation, plumbing and air-conditioning equipment and other services facilities that are designed and/or located so as to prevent water from entering or accumulating within the components during conditions of flooding.
- B. New and replacement water supply systems shall be designed to minimize or eliminate infiltration of flood waters into the system.
- C. New and replacement sanitary sewage systems shall be designed to minimize or eliminate infiltration of flood waters into the systems and discharges from the system into flood waters and on-site waste disposal systems shall be located and constructed to avoid impairment to them or contamination from them during flooding.
- D. All new construction and substantial improvements shall have the lowest floor, including the basement elevated to or above the base flood level and if constructed with a fully enclosed area below the lowest floor shall be designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for entry and exit of flood waters.

### TITLE BLOCK

1. STREET ADDRESS: #94 LONGDEAN ROAD
2. ASSESSORS MAP # 183, PARCEL # 265
3. MAP: "B" RESIDENCE DISTRICT
4. APPLICANT: ANNE SWEENEY  
94 LONGDEAN ROAD  
FAIRFIELD, CONNECTICUT 06824
5. OWNER: ANNE SWEENEY  
94 LONGDEAN ROAD  
FAIRFIELD, CONNECTICUT 06824
6. DESCRIPTIVE TITLE: RENOVATING AN EXISTING TWO STORY ONE FAMILY DWELLING WITH ASSOCIATED STAIRS
7. ORIGINAL DATE OF PLANS AND ANY SUBSEQUENT REVISION DATES LABELED FIRST, SECOND, ETC., AND NOTE THE PURPOSE AND LOCATION OF THE REVISION:  
November 20, 2014, Revision #1 February 24, 2015.
8. PREPARED BY: MICHAEL MEMMOTT - PROJECT MANAGER  
QUISENBERRY ARCARI ARCHITECTS  
318 MAIN STREET  
FARMINGTON, CONNECTICUT 06032  
(860) 677-4594 EX 15
9. To the best of my knowledge and belief these drawings are substantially correct as noted herein.

Michael Memmott

### PLAN KEY

1 NEW CONCRETE PERIMETER FOUNDATION WALL. NEW FOUNDATION FOOTPRINT TO MATCH EXISTING. CONTRACTOR TO VERIFY IN FIELD EXACT FOUNDATION SIZE PRIOR TO INSTALLATION. SEE STRUCTURAL DRAWINGS.

2 CLEAN AND SEAL EXISTING AND NEW WOOD DECK AND STAIRS WITH A WEATHERPROOFING ALL IN ONE WOOD STAIN AND SEALER. COLOR TO BE CHOSEN BY OWNER FROM MANUFACTURE WIDE RANGE OF COLORS.

3 PROVIDE & INSTALL NEW STORM DOOR PER MANUFACTURERS REQUIREMENTS, SEE DOOR SCHEDULE & ELEVATIONS FOR MORE INFORMATION. ROUGH OPENING SIZE IS TO BE VERIFIED IN THE FIELD, BY THE CONTRACTOR.

4 PROVIDE & INSTALL NEW FIBERGLASS ENTRY DOOR SYSTEM PER MANUFACTURERS REQUIREMENTS, CUT BACK SIDING AS REQUIRED TO ACCEPT NEW 1x4x3/4 PVC TRIM WITH CONCEALED EDGE. PROVIDE & INSTALL 2 1/2" INTERIOR DOOR TRIM & EXTENSION JAMBS. SEE DOOR SCHEDULE & ELEVATIONS FOR MORE INFORMATION. ROUGH OPENING SIZE IS TO BE VERIFIED IN THE FIELD, BY THE CONTRACTOR.

5 PROVIDE & INSTALL NEW VINYL WINDOW SYSTEM PER MANUFACTURERS REQUIREMENTS. PROVIDE & INSTALL NEW VINYL WINDOW TRIM MATCH EXISTING. PROVIDE & INSTALL NEW INTERIOR WINDOW TRIM WITH STOOL, APRON & EXTENSION JAMBS. MATCH EXISTING. SEE WINDOW SCHEDULE & SPECIFICATIONS FOR MORE INFORMATION. SIZE TO MATCH WINDOW SIZE, STYLE, TYPE, AND ROUGH OPENING SIZE IS TO BE VERIFIED IN THE FIELD, BY THE CONTRACTOR.

6 PROVIDE & INSTALL NEW VINYL SIDING AND TRIM ASSEMBLIES. KEY IN NEW SIDING WITH EXISTING. PROFILE AND COLOR TO MATCH EXISTING

7 PROVIDE & INSTALL NEW LANDING AND STAIRS, FOOTINGS AND PIERS. FOOTING TO MIN. 3'-6" BELOW GRADE. ALL EXISTING GRADES TO BE VERIFIED IN THE FIELD, BY THE CONTRACTOR.

8 PROVIDE AND INSTALL NEW OR REINSTALL DECKING, JOIST, POST, RAILINGS AND STRUCTURE REMOVED DURING CONSTRUCTION OF NEW ADDITION.

9 PROVIDE & INSTALL SMART VENT DUAL FUNCTION FLOOD AND VENTILATION VENT MODEL 1540-510. REFER TO FLOOR PLANS FOR VENT LOCATIONS. CONTRACTOR TO COORDINATE EXACT COURSING LOCATIONS WITH MASONRY CONTRACTOR. REFER TO A5.0 FOR DETAILS AND SPECIFICATIONS. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

10 REFER TO MEP DRAWINGS FOR ALL INFORMATION PERTAINING TO THE CONNECTING OF POWER, STORM, SANITARY LINES, ETC..

11 REFER TO STRUCTURAL DRAWINGS FOR ALL INFORMATION PERTAINING TO THE NEW FOUNDATION, FLOOR FRAMING AND OTHER ADDITIONAL DETAILS.



**QUISENBERRY ARCARI ARCHITECTS, LLC**  
www.qa-architects.com  
T (860) 677-4594  
F (860) 677-8534  
318 Main Street  
Farmington, CT 06032

NOT FOR CONSTRUCTION  
ISSUED FOR REVIEW ONLY

REHABILITATION/RECONSTRUCTION WORK FOR:

**ANNE SWEENEY**

APPLICANT #1479

94 LONGDEAN RD FAIRFIELD, CT

Sheet Description:

**EAST AND WEST ELEVATIONS**

Issue Dates:  
MAY 1, 2015

Project #: QA 1346-17  
Drawn By: MPM

Sheet #:

**A2.0**

**PLAN NOTES**

A NEW ADDITION IS TO BE ADDED TO THE BACK PORTION OF THE EXISTING HOUSE. THE CONTRACTOR WILL TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE PRIOR TO THE START OF WORK.

REFER TO HAZARDOUS MATERIAL ABATEMENT DRAWINGS AND SPECIFICATION FOR ALL ABATEMENT INFORMATION.

ALL SITE MATERIALS INCLUDING BUT NOT LIMITED TO THE LANDSCAPE, FENCING, AND FENCE POSTS DAMAGED OR REMOVED DURING THE DEMOLITION AND REMODEL OF THE HOUSE WILL BE REINSTALLED, REPAIRED AND REPLACED BY THE GC AT NO EXPENSE TO THE OWNER.

REFER TO A3.0 FOR ROOF INFORMATION

REFER TO A4.0 FOR DECK INFORMATION

REFER TO A5.0 FOR MISCELLANEOUS DETAILS

REFER TO A6.0 FOR DOOR INFORMATION.

REFER TO A7.0 FOR WINDOW INFORMATION.

**PLAN KEY**

**1** NEW CONCRETE PERIMETER FOUNDATION WALL. NEW FOUNDATION FOOTPRINT TO MATCH EXISTING. CONTRACTOR TO VERIFY IN FIELD EXACT FOUNDATION SIZE PRIOR TO INSTALLATION. SEE STRUCTURAL DRAWINGS.

**2** CLEAN AND SEAL EXISTING AND NEW WOOD DECK AND STAIRS WITH A WEATHERPROOFING ALL IN ONE WOOD STAIN AND SEALER. COLOR TO BE CHOSEN BY OWNER FROM MANUFACTURE WIDE RANGE OF COLORS.

**3** PROVIDE & INSTALL NEW STORM DOOR PER MANUFACTURERS REQUIREMENTS, SEE DOOR SCHEDULE & ELEVATIONS FOR MORE INFORMATION. ROUGH OPENING SIZE IS TO BE VERIFIED IN THE FIELD, BY THE CONTRACTOR.

**4** PROVIDE & INSTALL NEW FIBERGLASS ENTRY DOOR SYSTEM PER MANUFACTURERS REQUIREMENTS, CUT BACK SIDING AS REQUIRED TO ACCEPT NEW 1x4x3/4 PVC TRIM WITH CONCEALED EDGE. PROVIDE & INSTALL 2 1/2" INTERIOR DOOR TRIM & EXTENSION JAMBS. SEE DOOR SCHEDULE & ELEVATIONS FOR MORE INFORMATION. ROUGH OPENING SIZE IS TO BE VERIFIED IN THE FIELD, BY THE CONTRACTOR.

**5** PROVIDE & INSTALL NEW VINYL WINDOW SYSTEM PER MANUFACTURERS REQUIREMENTS. PROVIDE & INSTALL NEW VINYL WINDOW TRIM MATCH EXISTING. PROVIDE & INSTALL NEW INTERIOR WINDOW TRIM WITH STOOL, APRON & EXTENSION JAMBS. MATCH EXISTING. SEE WINDOW SCHEDULE & SPECIFICATIONS FOR MORE INFORMATION. SIZE TO MATCH WINDOW SIZE, STYLE, TYPE, AND ROUGH OPENING SIZE IS TO BE VERIFIED IN THE FIELD, BY THE CONTRACTOR.

**6** PROVIDE & INSTALL NEW VINYL SIDING AND TRIM ASSEMBLIES. KEY IN NEW SIDING WITH EXISTING. PROFILE AND COLOR TO MATCH EXISTING

**7** PROVIDE & INSTALL NEW LANDING AND STAIRS, FOOTINGS AND PIERS. FOOTING TO MIN. 3'-6" BELOW GRADE. ALL EXISTING GRADES TO BE VERIFIED IN THE FIELD, BY THE CONTRACTOR.

**8** PROVIDE AND INSTALL NEW NEW OR REINSTALL DECKING, JOIST, POST, RAILINGS AND STRUCTURE REMOVED DURING CONSTRUCTION OF NEW ADDITION.

**9** PROVIDE & INSTALL SMART VENT DUAL FUNCTION FLOOD AND VENTILATION VENT MODEL 1540-510. REFER TO FLOOR PLANS FOR VENT LOCATIONS. CONTRACTOR TO COORDINATE EXACT COURSING LOCATIONS WITH MASONRY CONTRACTOR. REFER TO A5.0 FOR DETAILS AND SPECIFICATIONS. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

**10** REFER TO MEP DRAWINGS FOR ALL INFORMATION PERTAINING TO THE CONNECTING OF POWER, STORM, SANITARY LINES, ETC..

**11** REFER TO STRUCTURAL DRAWINGS FOR ALL INFORMATION PERTAINING TO THE NEW FOUNDATION, FLOOR FRAMING AND OTHER ADDITIONAL DETAILS.



**QUISENBERRY ARCARI ARCHITECTS, LLC**  
www.qa-architects.com  
T (860) 677-4594  
F (860) 677-8534  
318 Main Street  
Farmington, CT 06032

NOT FOR CONSTRUCTION  
ISSUED FOR REVIEW ONLY

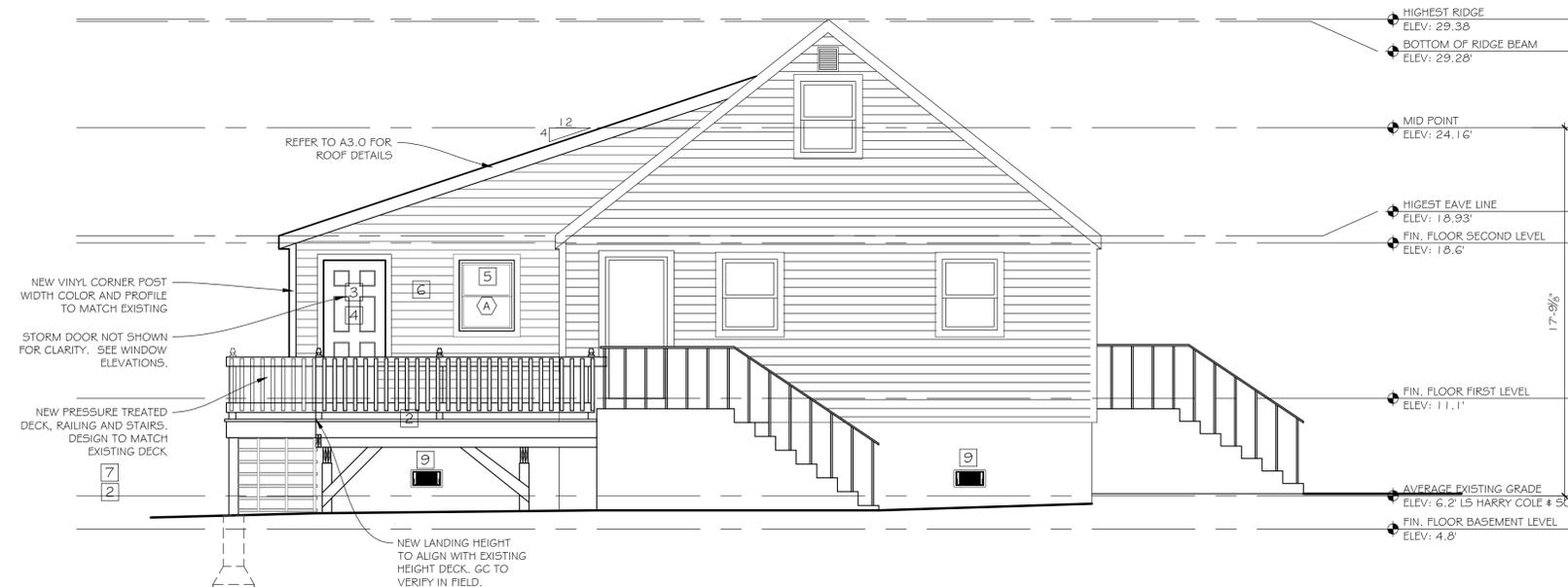
REHABILITATION/RECONSTRUCTION WORK FOR:  
**ANNE SWEENEY**  
APPLICANT #1479  
94 LONGDEAN RD  
FAIRFIELD, CT

Sheet Description:  
**NORTH AND SOUTH ELEVATIONS**

Issue Dates:  
MAY 1, 2015

Project #: QA 1346-17  
Drawn By: MPM

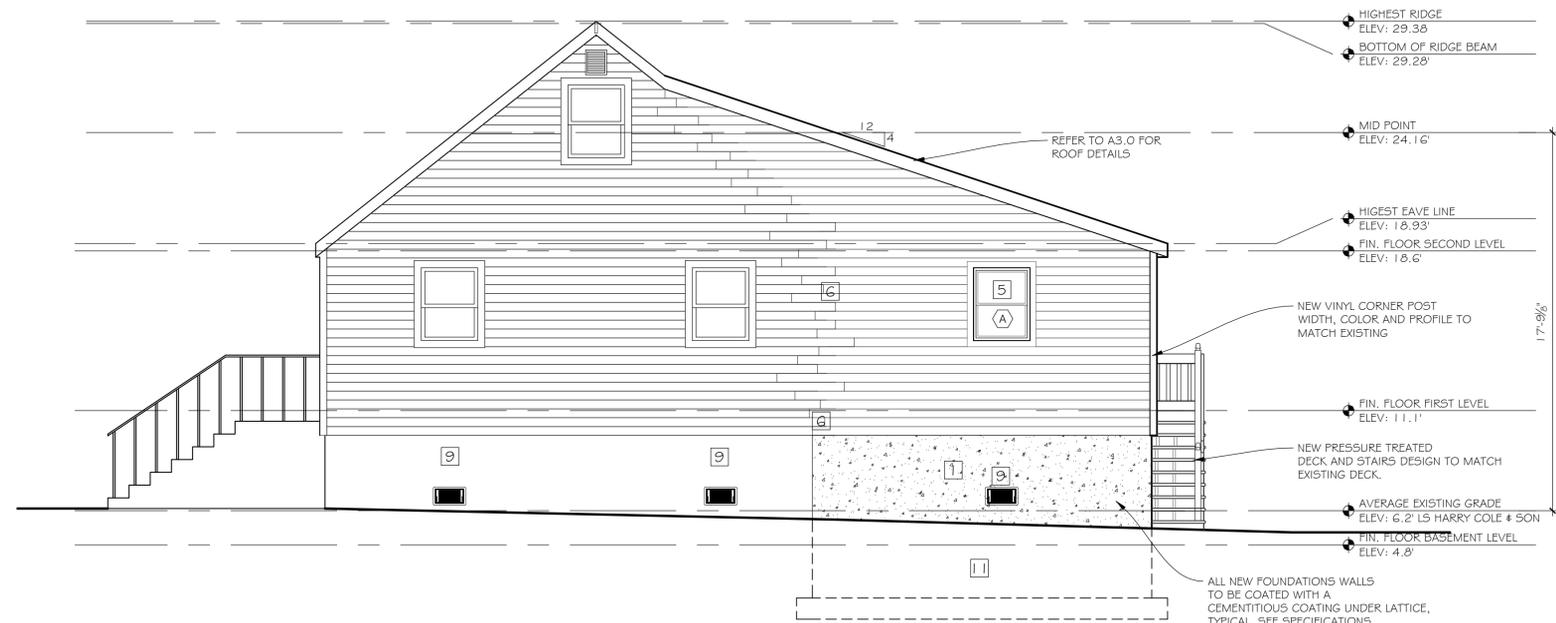
Sheet #:  
**A2.1**



**SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"

2



**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"

1

**TITLE BLOCK**

F.E.M.A. STANDARDS - ONLY IF IN FLOOD HAZARD AREAS  
ZONING COMPLIANCE PREDICATED ON A, B, C, & D.

- A. All new construction and substantial improvements shall:
1. Be designed or modified and adequately anchored to prevent flotation, collapse, or lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including effects of buoyancy.
  2. Be constructed with materials resistant to flood damage.
  3. Be constructed by methods and practice that minimized flood damage.
  4. Be constructed with electrical, heating, ventilation, plumbing and air-conditioning equipment and other services facilities that are designed and/or located so as to prevent water from entering or accumulating within the components during conditions of flooding.
- B. New and replacement water supply systems shall be designed to minimize or eliminate infiltration of flood waters into the system.
- C. New and replacement sanitary sewage systems shall be designed to minimize or eliminate infiltration of flood waters into the systems and discharges from the system into flood waters and on-site waste disposal systems shall be located and constructed to avoid impairment to them or contamination from them during flooding.
- D. All new construction and substantial improvements shall have the lowest floor, including the basement elevated to or above the base flood level and if constructed with a fully enclosed area below this lowest floor shall be designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for entry and exit of flood waters.

**TITLE BLOCK**

1. STREET ADDRESS: #94 LONGDEAN ROAD
2. ASSESSORS MAP # 183, PARCEL # 265
3. MAP: 'B' RESIDENCE DISTRICT
4. APPLICANT: ANNE SWEENEY  
94 LONGDEAN ROAD  
FAIRFIELD, CONNECTICUT 06824
5. OWNER: ANNE SWEENEY  
94 LONGDEAN ROAD  
FAIRFIELD, CONNECTICUT 06824
6. DESCRIPTIVE TITLE: RENOVATING AN EXISTING TWO STORY ONE FAMILY DWELLING WITH ASSOCIATED STAIRS
7. ORIGINAL DATE OF PLANS AND ANY SUBSEQUENT REVISION DATES LABELED FIRST, SECOND, ETC., AND NOTE THE PURPOSE AND LOCATION OF THE REVISION:  
November 20, 2014, Revision # 1 February 24, 2015.
8. PREPARED BY: MICHAEL MEMMOTT - PROJECT MANAGER  
QUISENBERRY ARCARI ARCHITECTS  
318 MAIN STREET  
FARMINGTON, CONNECTICUT 06032  
(860) 677-4594 EX 15

9. To the best of my knowledge and belief these drawings are substantially correct as noted herein.

*Michael Memmott*  
Michael Memmott



**QUISENBERRY ARCARI ARCHITECTS, LLC**  
 www.qa-architects.com  
 T (860) 677-4594  
 F (860) 677-8534  
 318 Main Street  
 Farmington, CT 06032

NOT FOR CONSTRUCTION  
 ISSUED FOR REVIEW ONLY

REHABILITATION/RECONSTRUCTION WORK FOR:  
**ANNE SWEENEY**  
 APPLICANT #1479  
 94 LONGDEAN RD  
 FAIRFIELD, CT

Sheet Description:

**WALL SECTION**

Issue Dates:

MAY 1, 2015

Project #: **QA 1346-17**  
 Drawn By: **MPM**

Sheet #:

**A2.2**

**TITLE BLOCK**

F.E.M.A. STANDARDS - ONLY IF IN FLOOD HAZARD AREAS  
 ZONING COMPLIANCE PREDICATED ON A, B, C, # D.

A. All new construction and substantial improvements shall:

1. Be designed or modified and adequately anchored to prevent flotation, collapse, or lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including effects of buoyancy.
2. Be constructed with materials resistant to flood damage.
3. Be constructed by methods and practice that minimized flood damage.
4. Be constructed with electrical, heating, ventilation, plumbing and air-conditioning equipment and other services facilities that are designed and/or located so as to prevent water from entering or accumulating within the components during conditions of flooding.

B. New and replacement water supply systems shall be designed to minimize or eliminate infiltration of flood waters into the system.

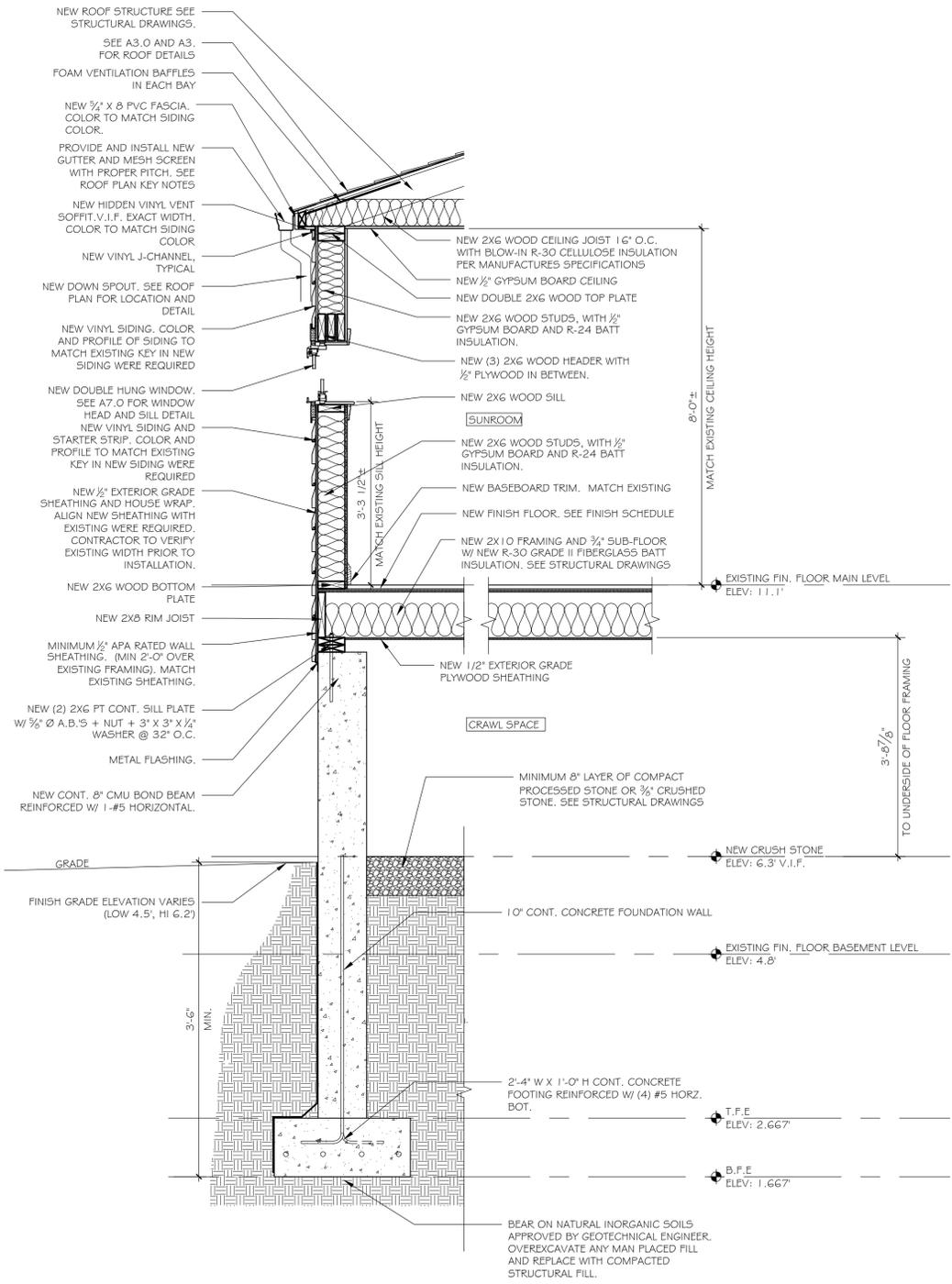
C. New and replacement sanitary sewage systems shall be designed to minimize or eliminate infiltration of flood waters into the systems and discharges from the system into flood waters and on-site waste disposal systems shall be located and constructed to avoid impairment to them or contamination from them during flooding.

D. All new construction and substantial improvements shall have the lowest floor, including the basement elevated to or above the base flood level and if constructed with a fully enclosed area below this lowest floor shall be designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for entry and exit of flood waters.

**TITLE BLOCK**

1. STREET ADDRESS: #94 LONGDEAN ROAD  
 2. ASSESSORS MAP # 183, PARCEL # 265  
 3. MAP: "B" RESIDENCE DISTRICT  
 4. APPLICANT: ANNE SWEENEY  
 94 LONGDEAN ROAD  
 FAIRFIELD, CONNECTICUT 06824  
 5. OWNER: ANNE SWEENEY  
 94 LONGDEAN ROAD  
 FAIRFIELD, CONNECTICUT 06824  
 6. DESCRIPTIVE TITLE: RENOVATING AN EXISTING TWO STORY ONE FAMILY DWELLING WITH ASSOCIATED STAIRS  
 7. ORIGINAL DATE OF PLANS AND ANY SUBSEQUENT REVISION DATES LABELED FIRST, SECOND, ETC., AND NOTE THE PURPOSE AND LOCATION OF THE REVISION:  
 November 20, 2014, Revision #1 February 24, 2015.  
 8. PREPARED BY: MICHAEL MEMMOTT - PROJECT MANAGER  
 QUISENBERRY ARCARI ARCHITECTS  
 318 MAIN STREET  
 FARMINGTON, CONNECTICUT 06032  
 (860) 677-4594 EX 15  
 9. To the best of my knowledge and belief these drawings are substantially correct as noted hereon.

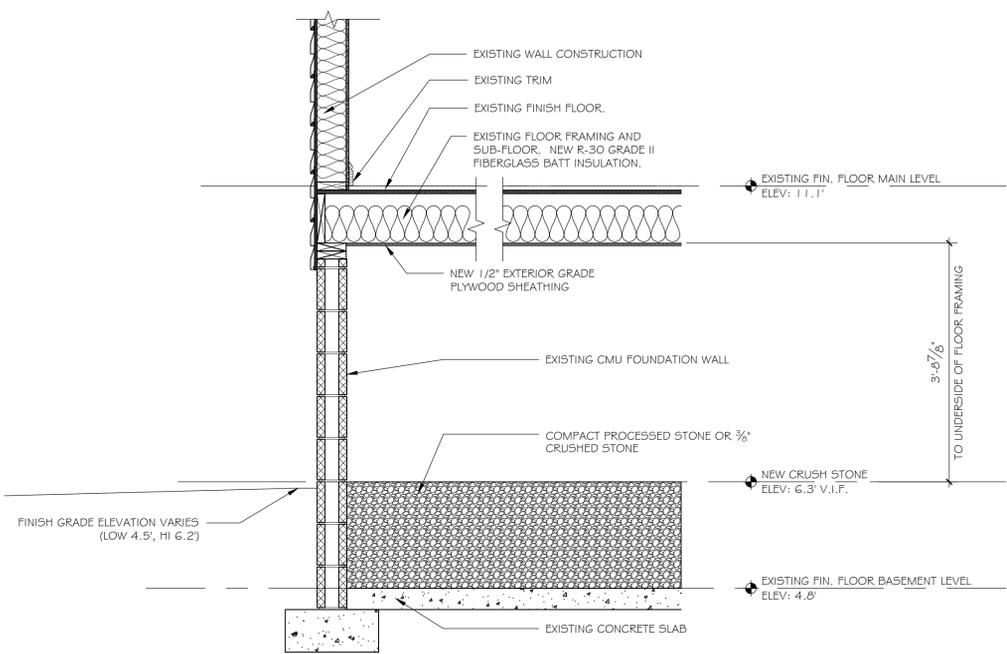
*Michael Memmott*  
 Michael Memmott



**WALL SECTION AT NEW ADDITION**

SCALE: 3/4" = 1'-0"

1



**WALL SECTION AT EXISTING BASEMENT**

SCALE: 3/4" = 1'-0"

2



**QUISENBERRY ARCARI ARCHITECTS, LLC**  
 www.qa-architects.com  
 T (860) 677-4594  
 F (860) 677-8534  
 318 Main Street  
 Farmington, CT 06032

NOT FOR CONSTRUCTION  
 ISSUED FOR REVIEW ONLY

REHABILITATION/RECONSTRUCTION WORK FOR:

**ANNE SWEENEY**  
 APPLICANT #1479

94 LONGDEAN RD  
 FAIRFIELD, CT

Sheet Description:

**ROOF PLAN**

Issue Dates:

MAY 1, 2015

1/4" = 1'-0"

Project #: QA 1346-17

Drawn By: MPM

Sheet #:

**A3.0**

**ROOF PLAN KEY**

**A** 30 YEAR ARCHITECTURAL SHINGLES ON 15# BUILDING PAPER AND/OR ICE AND WATER SHIELD, ON NEW 5/8" PLYWOOD ON NEW ROOF FRAMING, STYLE AND COLOR TO MATCH EXISTING

 ICE & WATER SHIELD, SEE PLANS FOR EXTENTS, SEE ALSO ROOF DETAILS

**GENERAL ROOFING NOTES:**

REMOVE ALL EXISTING ROOF SHINGLES & BUILDING PAPER DOWN TO EXISTING PLYWOOD SHEATHING WERE REQUIRED, PREPARE ROOF SHEATHING TO RECEIVE NEW WORK

REMOVE PORTION OF PLYWOOD SHEATHING OVER EXISTING ATTIC SPACE DOOR APPROXIMATELY 36 SQFT.

ALL EXISTING PLUMBING VENTS ARE TO REMAIN. PROVIDE NEW ROOF VENT PIPE FLASHING, FOR NEW VENT, SEE MEP DRAWINGS FOR LOCATIONS & DETAILS FOR MORE INFORMATION

REMOVE ALL EXISTING BATHROOM FAN ROOF JACKS (VENT CAPS), DISCONNECT EXISTING DUCTWORK, PREPARE ROOF SURFACE TO RECEIVE NEW. PROVIDE & INSTALL NEW BATHROOM ROOF JACKS (VENT CAPS), RECONNECT EXISTING DUCTWORK TO ROOF JACK (VENT CAP). NEW ROOF JACKS (VENT CAPS) ARE TO MATCH EXISTING IN SIZE & APPEARANCE, FIELD VERIFY

PATCH & REPAIR ALL GRASS & BITUMINOUS AREAS DISTURBED BY THE ROOF CONSTRUCTION TO MATCH EXISTING ADJACENT AREAS

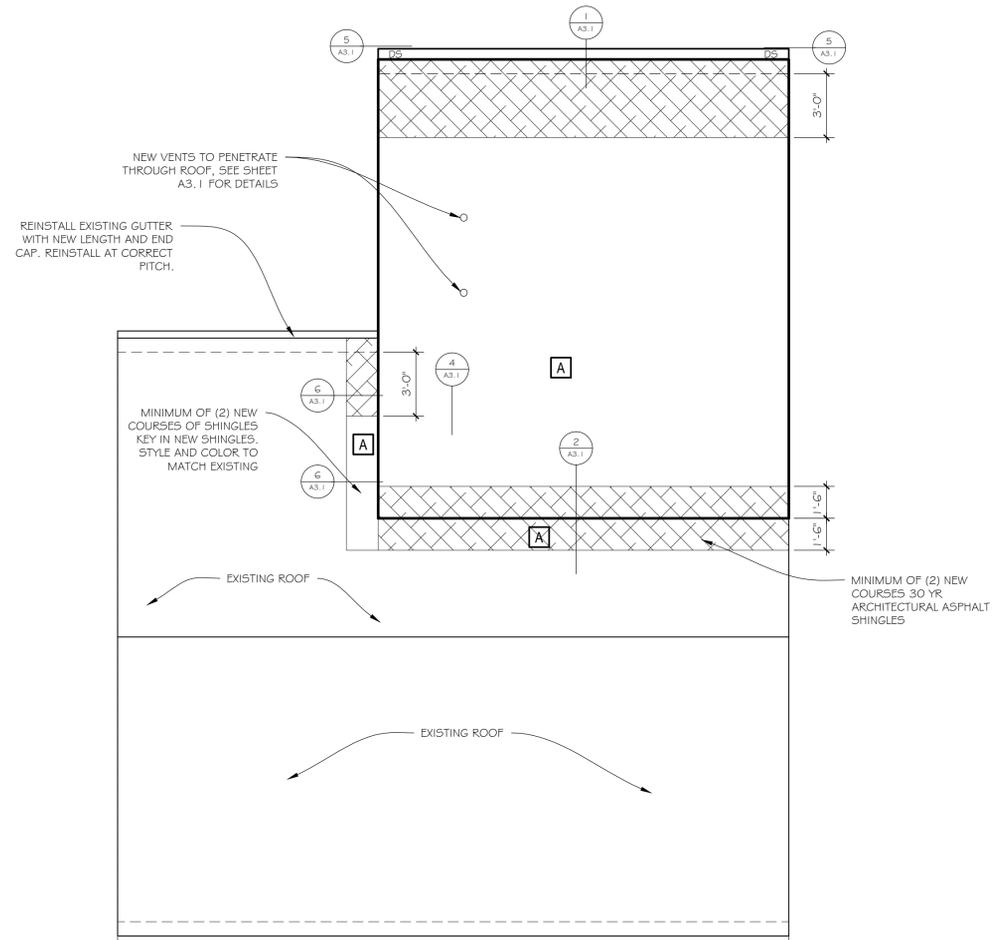
REMOVE & DISPOSE OF ALL VEGETATION GROWING ON ALL EXISTING GUTTERS & DOWNSPOUTS

REMOVE ALL EXISTING GUTTERS, DOWNSPOUTS & ASSOCIATED MOUNTING HARDWARE WERE REQUIRED. PROVIDE ALL NEW ALUMINUM GUTTERS, DOWNSPOUTS & ASSOCIATED MOUNTING HARDWARE. NEW GUTTERS TO BE MATCH EXISTING WITH 3" x 4" (.024) DOWNSPOUTS. COLOR TO MATCH EXISTING. SEE SPECIFICATIONS FOR MORE INFORMATION, PROVIDE SPLASH BLOCKS AT ALL DOWNSPOUT OUTLETS AT GRADE, TYPICAL, SEE DETAIL

SEE PLANS & DETAILS FOR ICE & WATER SHIELD LOCATIONS & EXTENTS

ALL OVERALL DIMENSIONS ARE TO BE VERIFIED IN FIELD PRIOR TO BIDDING

EXISTING ROOF PITCHES ARE TO BE VERIFIED IN FIELD PRIOR TO BIDDING



**ROOF PLAN**

SCALE: 1/4" = 1'-0"

1

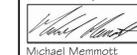
**TITLE BLOCK**

F.E.M.A. STANDARDS - ONLY IF IN FLOOD HAZARD AREAS  
 ZONING COMPLIANCE PREDICATED ON A, B, C, & D.

- A. All new construction and substantial improvements shall:
1. Be designed or modified and adequately anchored to prevent flotation, collapse, or lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including effects of buoyancy.
  2. Be constructed with materials resistant to flood damage.
  3. Be constructed by methods and practice that minimized flood damage.
  4. Be constructed with electrical, heating, ventilation, plumbing and air-conditioning equipment and other services facilities that are designed and/or located so as to prevent water from entering or accumulating within the components during conditions of flooding.
- B. New and replacement water supply systems shall be designed to minimize or eliminate infiltration of flood waters into the system.
- C. New and replacement sanitary sewage systems shall be designed to minimize or eliminate infiltration of flood waters into the systems and discharges from the system into flood waters and on-site waste disposal systems shall be located and constructed to avoid impairment to them or contamination from them during flooding.
- D. All new construction and substantial improvements shall have the lowest floor, including the basement elevated to or above the base flood level and if constructed with a fully enclosed area below the lowest floor shall be designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for entry and exit of flood waters.

**TITLE BLOCK**

1. STREET ADDRESS: #94 LONGDEAN ROAD
2. ASSESSORS MAP # 183, PARCEL # 265
3. MAP: "B" RESIDENCE DISTRICT
4. APPLICANT: ANNE SWEENEY  
94 LONGDEAN ROAD  
FAIRFIELD, CONNECTICUT 06824
5. OWNER: ANNE SWEENEY  
94 LONGDEAN ROAD  
FAIRFIELD, CONNECTICUT 06824
6. DESCRIPTIVE TITLE: RENOVATING AN EXISTING TWO STORY ONE FAMILY DWELLING WITH ASSOCIATED STAIRS
7. ORIGINAL DATE OF PLANS AND ANY SUBSEQUENT REVISION DATES LABELED FIRST, SECOND, ETC., AND NOTE THE PURPOSE AND LOCATION OF THE REVISION:  
November 20, 2014, Revision #1 February 24, 2015.
8. PREPARED BY: MICHAEL MEMMOTT - PROJECT MANAGER  
QUISENBERRY ARCARI ARCHITECTS  
318 MAIN STREET  
FARMINGTON, CONNECTICUT 06032  
(860) 677-4594 EX 15
9. To the best of my knowledge and belief these drawings are substantially correct as noted hereon.

  
 Michael Memmott



**QUISENBERRY ARCARI ARCHITECTS, LLC**  
 www.qa-architects.com  
 T (860) 677-4594  
 F (860) 677-8534  
 318 Main Street  
 Farmington, CT 06032

NOT FOR CONSTRUCTION  
 ISSUED FOR REVIEW ONLY

REHABILITATION/RECONSTRUCTION WORK FOR:  
**ANNE SWEENEY**  
 APPLICANT #1479  
 94 LONGDEAN RD  
 FAIRFIELD, CT

Sheet Description:  
**ROOF DETAILS**

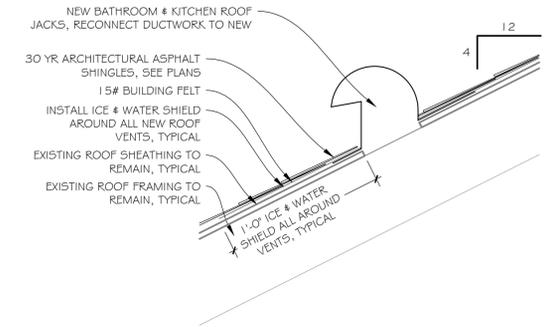
Issue Dates:  
 MAY 1, 2015

N.T.S.

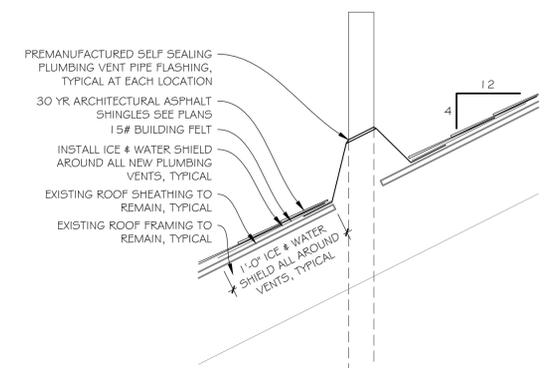
Project #: QA 1346-17  
 Drawn By: MPM

Sheet #:

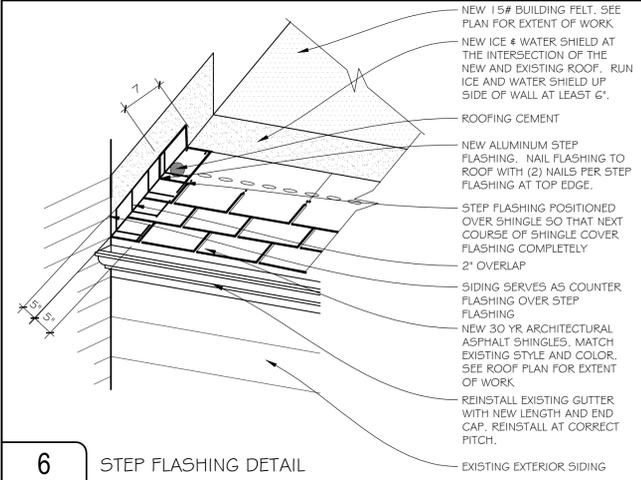
**A3.1**



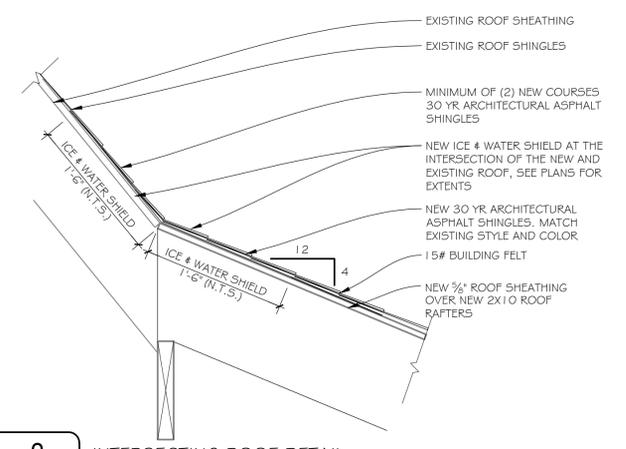
4 BATHROOM ROOF VENT DETAIL



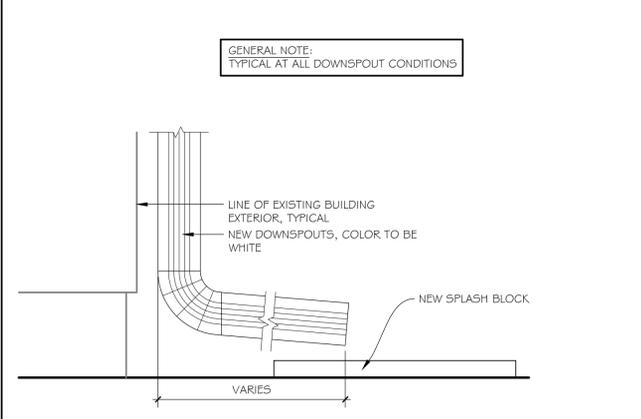
3 TYPICAL PLUMBING VENT DETAIL



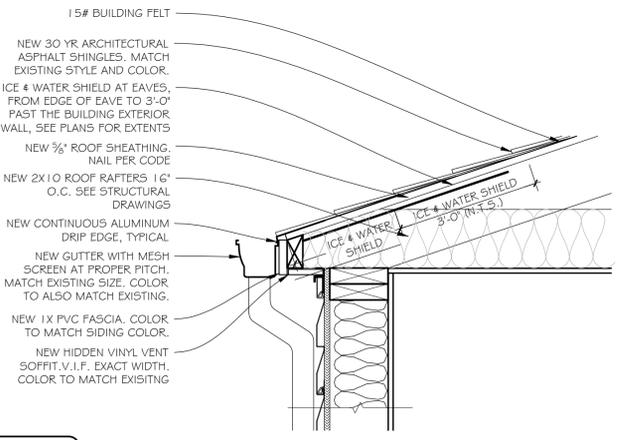
6 STEP FLASHING DETAIL



2 INTERSECTING ROOF DETAIL



5 TYPICAL DOWNSPOUT & SPLASH PAD



1 EAVE DETAIL



**QUISENBERRY ARCARI ARCHITECTS, LLC**  
 www.qa-architects.com  
 T (860) 677-4594  
 F (860) 677-8534  
 318 Main Street  
 Farmington, CT 06032

NOT FOR CONSTRUCTION  
 ISSUED FOR REVIEW ONLY

REHABILITATION/RECONSTRUCTION WORK FOR:

**ANNE SWEENEY**  
 APPLICANT #1479

94 LONGDEAN RD  
 FAIRFIELD, CT

**TITLE BLOCK**

F.E.M.A. STANDARDS - ONLY IF IN FLOOD HAZARD AREAS  
 ZONING COMPLIANCE PREDICATED ON A, B, C, & D.

A. All new construction and substantial improvements shall:

1. Be designed or modified and adequately anchored to prevent flotation, collapse, or lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including effects of buoyancy.
2. Be constructed with materials resistant to flood damage.
3. Be constructed by methods and practice that minimized flood damage.
4. Be constructed with electrical, heating, ventilation, plumbing and air-conditioning equipment and other services facilities that are designed and/or located so as to prevent water from entering or accumulating within the components during conditions of flooding.

B. New and replacement water supply systems shall be designed to minimize or eliminate infiltration of flood waters into the system.

C. New and replacement sanitary sewage systems shall be designed to minimize or eliminate infiltration of flood waters into the systems and discharges from the system into flood waters and on-site waste disposal systems shall be located and constructed to avoid impairment to them or contamination from them during flooding.

D. All new construction and substantial improvements shall have the lowest floor, including the basement elevated to or above the base flood level and if constructed with a fully enclosed area below this lowest floor shall be designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for entry and exit of flood waters.

**TITLE BLOCK**

1. STREET ADDRESS: #94 LONGDEAN ROAD  
 2. ASSESSORS MAP # 183, PARCEL # 265  
 3. MAP: "B" RESIDENCE DISTRICT  
 4. APPLICANT: ANNE SWEENEY  
 94 LONGDEAN ROAD  
 FAIRFIELD, CONNECTICUT 06824  
 5. OWNER: ANNE SWEENEY  
 94 LONGDEAN ROAD  
 FAIRFIELD, CONNECTICUT 06824  
 6. DESCRIPTIVE TITLE: RENOVATING AN EXISTING TWO STORY ONE FAMILY DWELLING WITH ASSOCIATED STAIRS  
 7. ORIGINAL DATE OF PLANS AND ANY SUBSEQUENT REVISION DATES LABELED FIRST, SECOND, ETC., AND NOTE THE PURPOSE AND LOCATION OF THE REVISION:  
 November 20, 2014, Revision #1 February 24, 2015.  
 8. PREPARED BY: MICHAEL MEMMOTT - PROJECT MANAGER  
 QUISENBERRY ARCARI ARCHITECTS  
 318 MAIN STREET  
 FARMINGTON, CONNECTICUT 06032  
 (860) 677-4594 EX 15  
 9. To the best of my knowledge and belief these drawings are substantially correct as noted hereon.

*Michael Memmott*  
 Michael Memmott

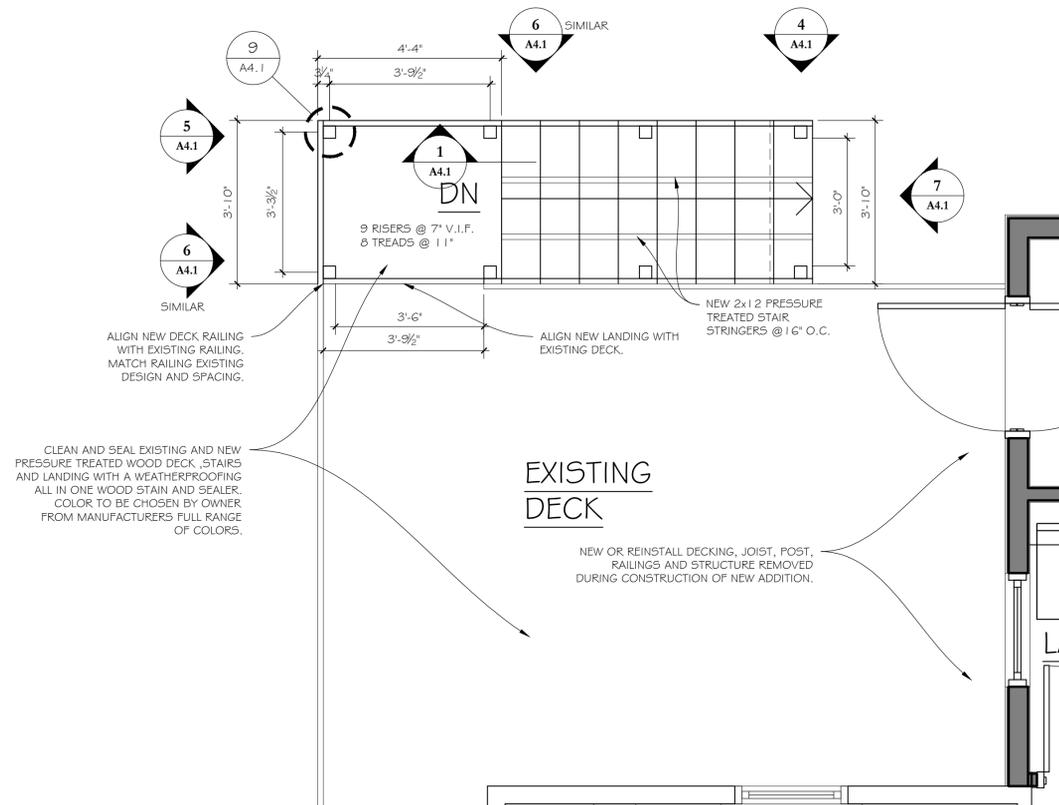
**DECK PLAN**

Issue Dates:  
 MAY 1, 2015

Project #: QA 1346-17  
 Drawn By: MPM

Sheet #:

**A4.0**



**NEW STAIR AND LANDING PLAN**

SCALE: 1/4" = 1'-0"

1



**QUISENBERRY ARCARI ARCHITECTS, LLC**  
 www.qa-architects.com  
 T (860) 677-4594  
 F (860) 677-8534  
 318 Main Street  
 Farmington, CT 06032

**NOT FOR CONSTRUCTION  
 ISSUED FOR REVIEW ONLY**

**REHABILITATION/RECONSTRUCTION WORK FOR:**  
**ANNE SWEENEY**  
 APPLICANT #1479  
 94 LONGDEAN RD  
 FAIRFIELD, CT

Sheet Description:

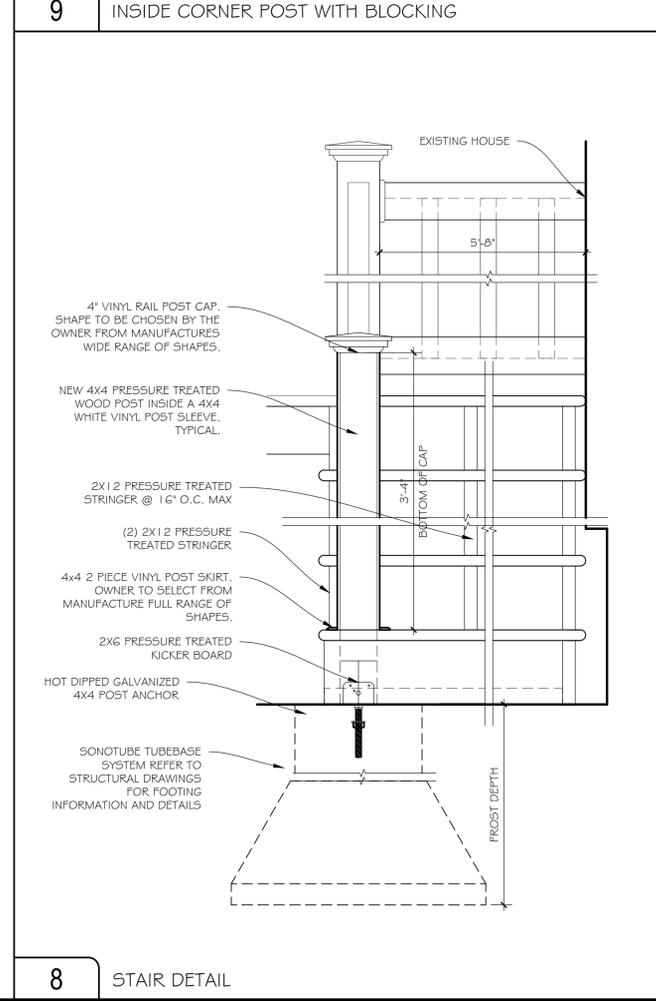
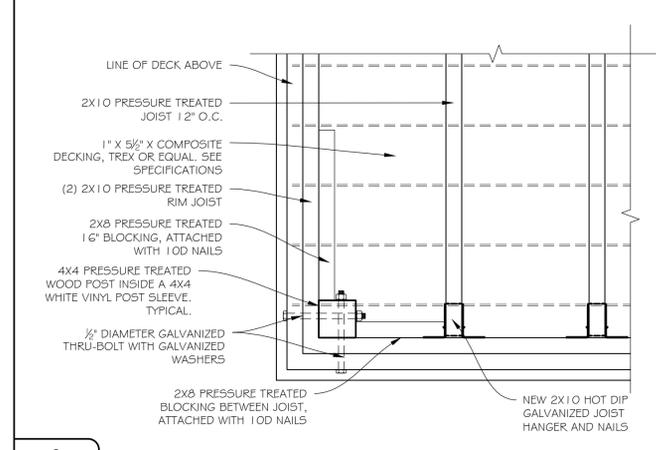
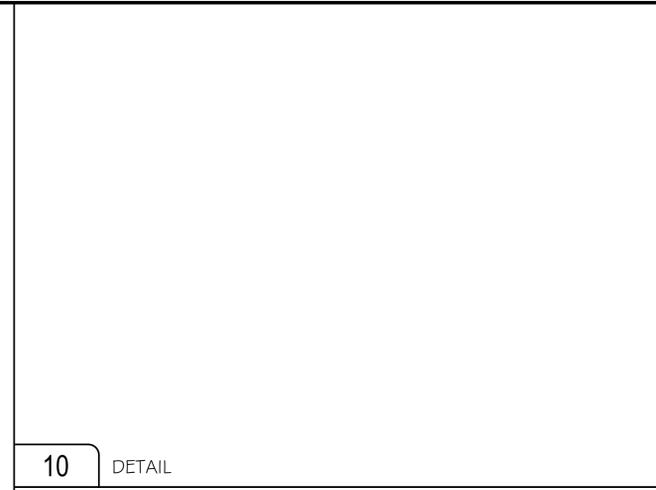
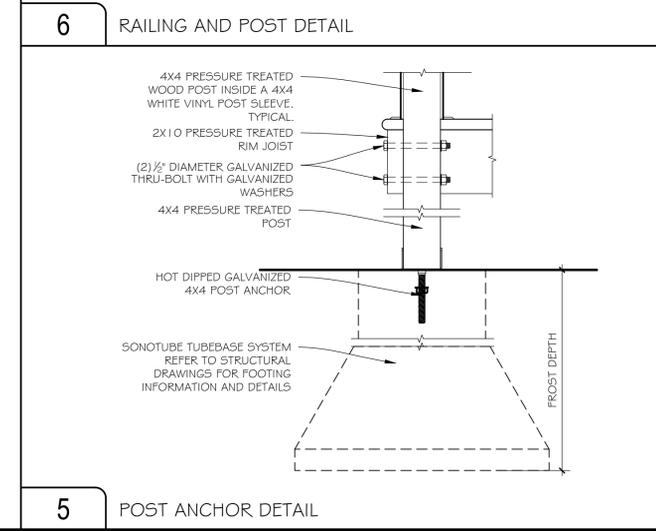
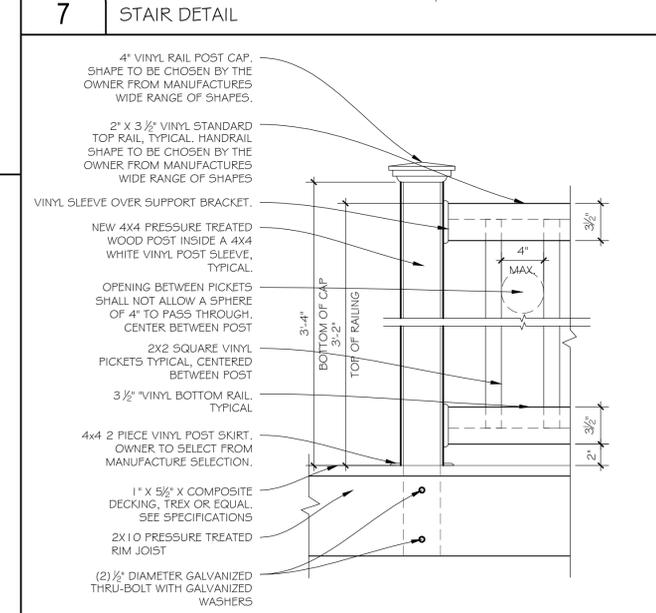
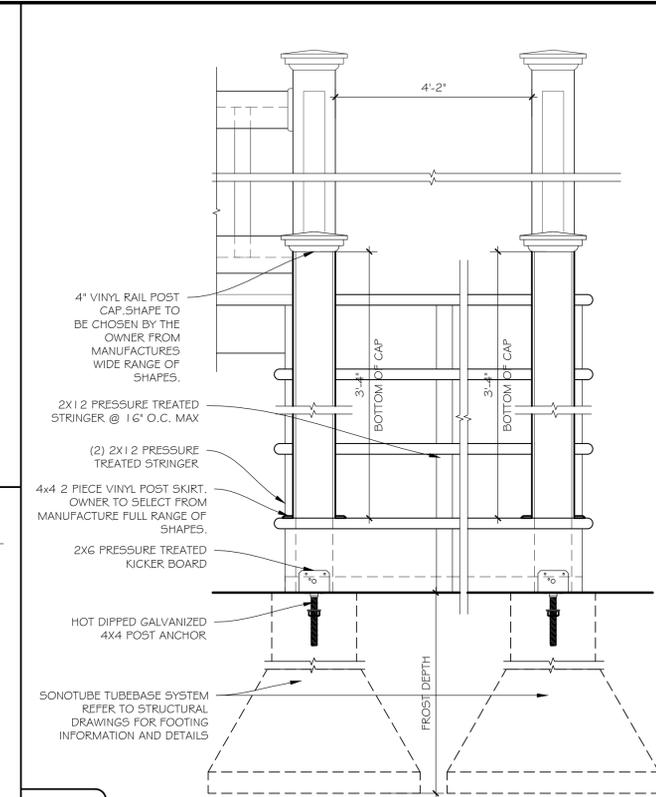
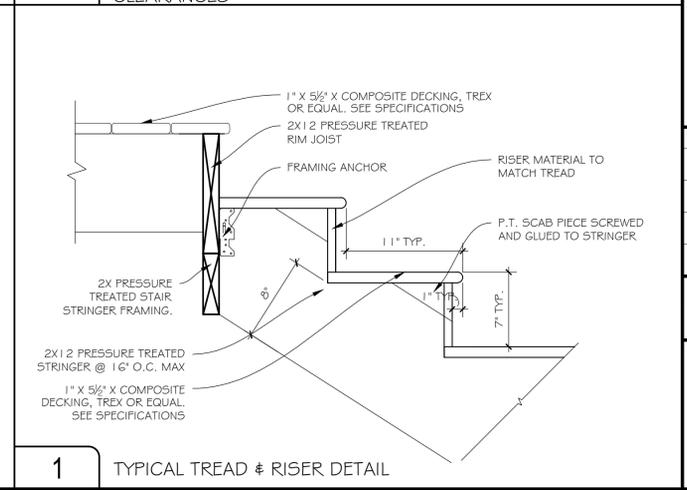
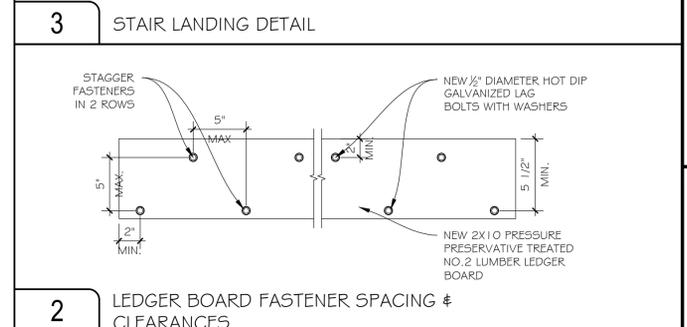
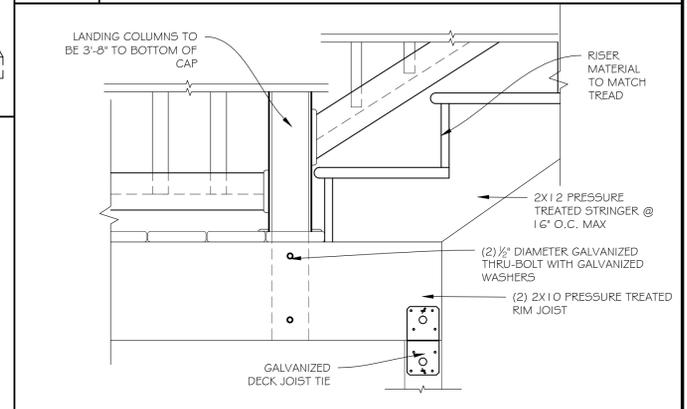
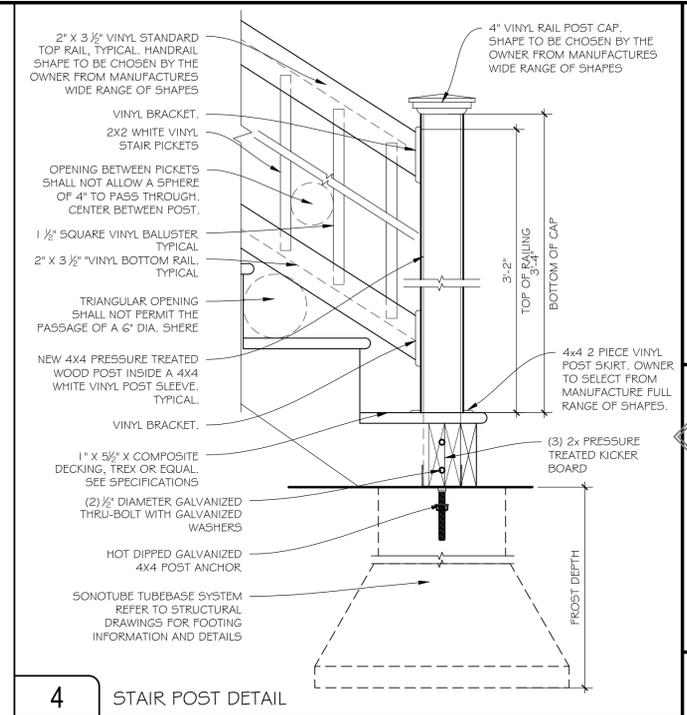
**DECEK  
 DETAILS**

Issue Dates:  
 MAY 1, 2015

Project #: QA 1346-17  
 Drawn By: MPM

Sheet #:

**A4.1**





**QUISENBERRY ARCARI ARCHITECTS, LLC**  
 www.qa-architects.com  
 T (860) 677-4594  
 F (860) 677-8534  
 318 Main Street  
 Farmington, CT 06032

NOT FOR CONSTRUCTION  
ISSUED FOR REVIEW ONLY

REHABILITATION/RECONSTRUCTION WORK FOR:  
**ANNE SWEENEY**  
APPLICANT #1479  
94 LONGDEAN RD  
FAIRFIELD, CT

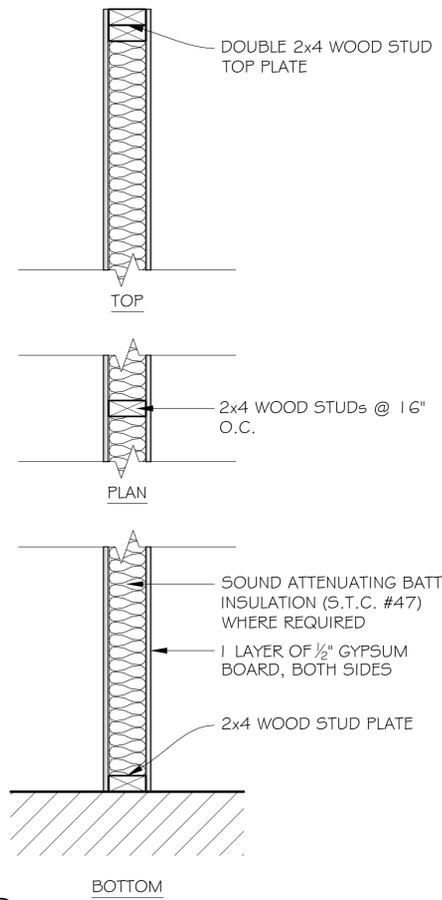
Sheet Description:  
**MISCELLANEOUS DETAILS**

Issue Dates:  
MAY 1, 2015

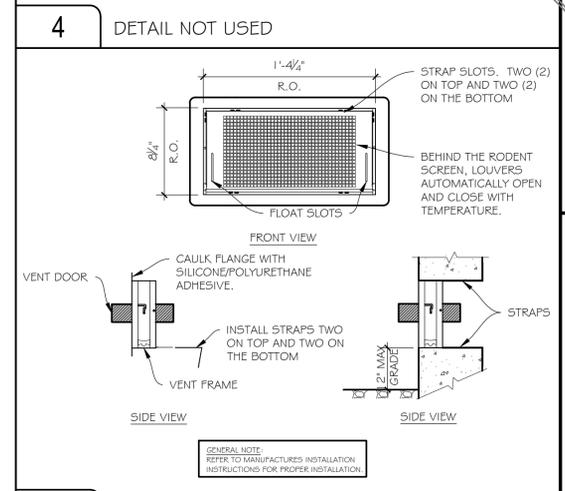
Project #: **QA 1346-17**  
Drawn By: **MPM**

Sheet #:

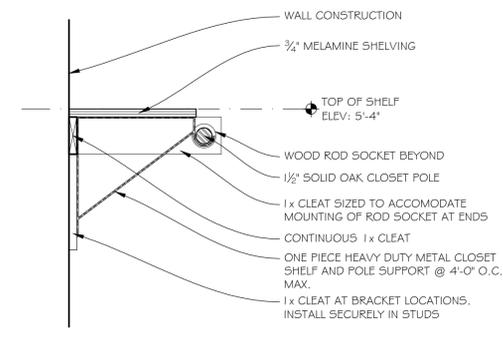
**A5.0**



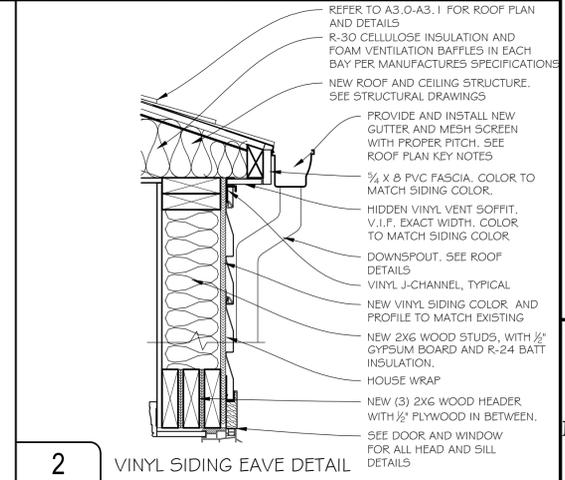
**7** INTERIOR WALL DETAIL



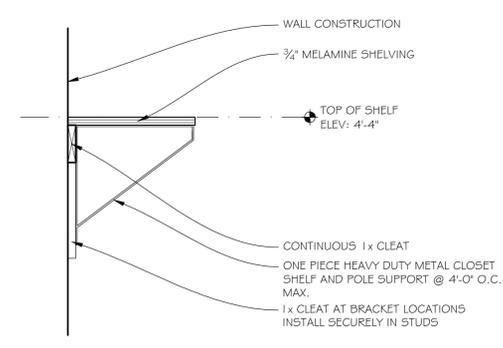
**3** DUAL FUNCTION FLOOD AND VENTILATION VENT



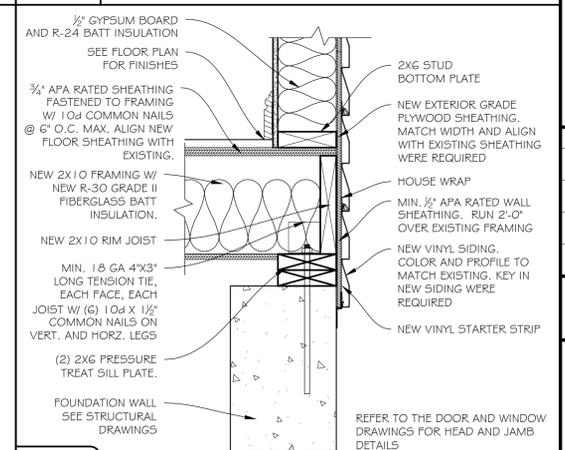
**6** CLOSET ROD AND SHELF DETAIL



**2** VINYL SIDING EAVE DETAIL



**5** SHELF DETAIL



**1** VINYL SIDING DETAIL

WD-X	WOOD (DOOR MATERIAL)
FRP-1	FIBERGLASS (DOOR MATERIAL)
AL-1	ALUMINUM (DOOR MATERIAL)
WDF-1	PRE-HUNG WOOD (FRAME MATERIAL)
WDF-2	WOOD (FRAME MATERIAL)
ALF-1	ALUMINUM (FRAME MATERIAL)

DOOR ID	LOCATION	DOOR	DOOR MATERIAL-TYPE (SEE DOOR ELEVATIONS)	FRAME MATERIAL-TYPE (SEE FRAME ELEVATIONS)	FRAME			HARDWARE-SEE SPECIFICATIONS											REMARKS				
					HEAD DETAIL	JAMB DETAIL	SADDLE DETAIL	POSITIVE LATCHING	DELAY ACTION CLOSER	180° SWING	LEVER HANDLES (ADA COMPLIANT)	KNOB HANDLES	THRESHOLD	KICK PLATES	ENTRY LOCKSET	PRIVACY LOCKSET	DEADBOLTS	FULL PERIMETER WEATHERSTRIPPING		STRIKE	BUTTS HINGES	HINGE STOP	FLOOR STOP
1	BEDROOM	2'-6" x 6'-8"	WD-1	WDF-1	H-2	J-2	--																SOLID CORE, PRE-HUNG WOOD DOOR
2	CLOSET	6'-0" x 6'-8"	WD-2	WDF-2	--	--	--																WOOD BIFOLD DOOR
3	LAUNDRY ROOM	2'-6" x 6'-8"	WD-1	WDF-1	H-3	J-3	S-2																SOLID CORE, PRE-HUNG WOOD DOOR
4	UTILITY ROOM	3'-0" x 6'-8"	FRP-1	ROT RESISTANT	H-1	J-1	S-1																PROVIDE NEW FIBERGLASS ENTRY DOOR WITH LOCKSET AND DEADBOLT. SEE NOTES BELOW
5	STORM DOOR	3'-0" x 6'-8"	AL-1	ALF-1	--	--	--																STORM DOOR W/ SELF STORING WINDOW & SCREEN, SEE ON DOOR ELEVATIONS

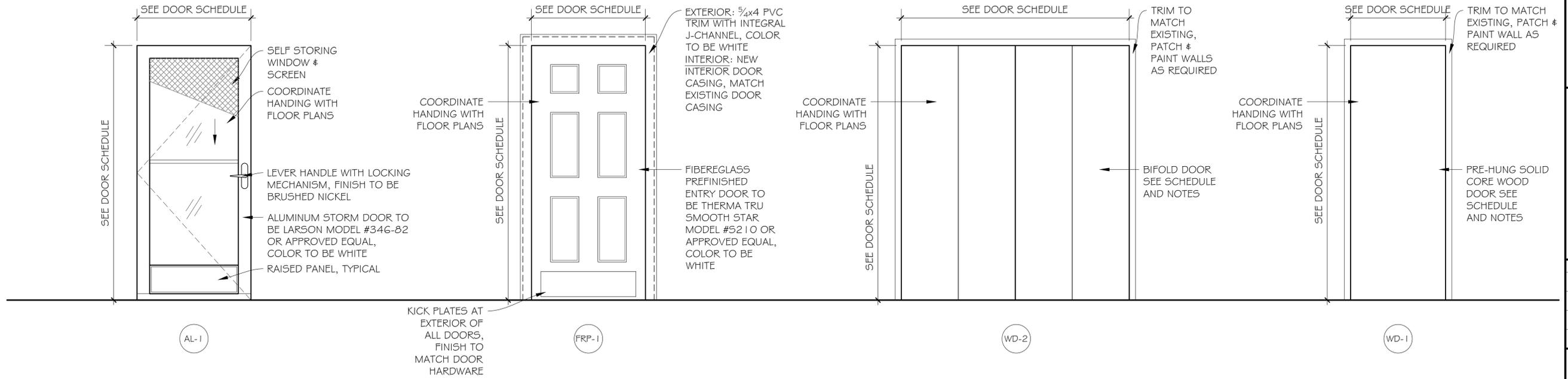
**GENERAL NOTES:**

- FACTORY PREFINISHED FIBERGLASS ENTRY DOOR SHALL BE THERMA-TRU: SMOOTH STAR SERIES OR APPROVED EQUAL, SEE DOOR ELEVATION, COLOR TO BE WHITE
- UTILITY ROOM ENTRY DOOR SHALL BE PREHUNG ON ROT RESISTANT FRAMES WITH HINGES (SATIN CHROMIUM PLATED), MILL COMPOSITE ADJUSTABLE SILL, SWEEPS & FULL WEATHER STRIPPING
- INTERIOR DOORS SHALL BE PREHUNG ON WOOD FRAMES. COLOR TO MATCH EXISTING DOORS.
- INTERIOR CLOSET BIFOLD DOOR SHALL BE COMPLETE KIT AND INSTALLED PER MANUFACTURERS INSTALLATION INSTRUCTIONS. COLOR AND HARDWARE TO MATCH EXISTING INTERIOR DOORS
- PROVIDE A THRESHOLD AT UTILITY ROOM DOOR
- PROVIDE (2) KEYS FOR UTILITY ROOM ENTRY DOOR.
- ENTRY LOCKSET & DEADBOLT SHALL BE KEYED TO MATCH EXISTING EXTERIOR DOORS.
- UTILITY ROOM ENTRY DOOR TO HAVE 3/4 x 4 FLAT PVC TRIM WITH INTEGRAL J CHANNEL, COLOR TO BE WHITE, FASTEN WITH CORTEX CONCEALED FASTENING SYSTEM
- ALL INTERIOR DOOR TRIM TO MATCH EXISTING DOOR TRIM.
- STORM DOOR SHALL BE BY LARSON MANUFACTURING OR APPROVED EQUAL, COLOR TO BE WHITE
- ALL DOOR HARDWARE AND COLOR TO MATCH EXISTING.
- DOOR SIZES ARE APPOINTED FOR PURPOSES OF BIDDING AND ARE FOR REFERENCE ONLY. CONTRACTOR SHALL FIELD VERIFY ALL OPENINGS PRIOR TO BIDDING, ORDERING & CONSTRUCTION

### DOOR SCHEDULE & NOTES

SCALE: N.T.S.

2



### DOOR ELEVATIONS

SCALE: 3/8" = 1'-0"

1

**QUISENBERRY ARCARI ARCHITECTS, LLC**  
 www.qa-architects.com  
 T (860) 677-4594  
 F (860) 677-8534  
 318 Main Street  
 Farmington, CT 06032

NOT FOR CONSTRUCTION  
 ISSUED FOR REVIEW ONLY

REHABILITATION/RECONSTRUCTION WORK FOR:

**ANNE SWEENEY**  
 APPLICANT #1479

94 LONGDEAN RD  
 FAIRFIELD, CT

Sheet Description:

**DOOR ELEVATIONS, SCHEDULE & NOTES**

Issue Dates:

MAY 1, 2015

as noted

Project #: QA 1346-17  
 Drawn By: MPM

Sheet #:

**A6.0**



**QUISENBERRY ARCARI ARCHITECTS, LLC**  
 www.qa-architects.com  
 T (860) 677-4594  
 F (860) 677-8534  
 318 Main Street  
 Farmington, CT 06032

NOT FOR CONSTRUCTION  
 ISSUED FOR REVIEW ONLY

REHABILITATION/RECONSTRUCTION WORK FOR:

**ANNE SWEENEY**

APPLICANT #1479

94 LONGDEAN RD FAIRFIELD, CT

Sheet Description:

**DOOR DETAILS**

Issue Dates:

MAY 1, 2015

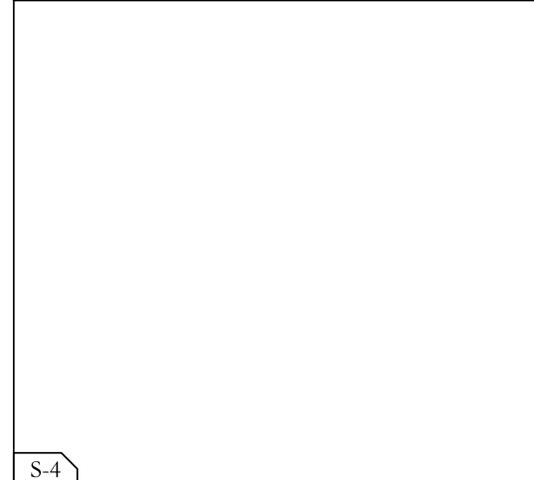
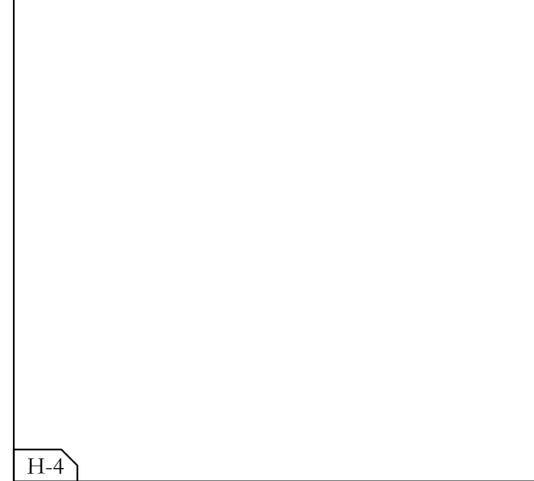
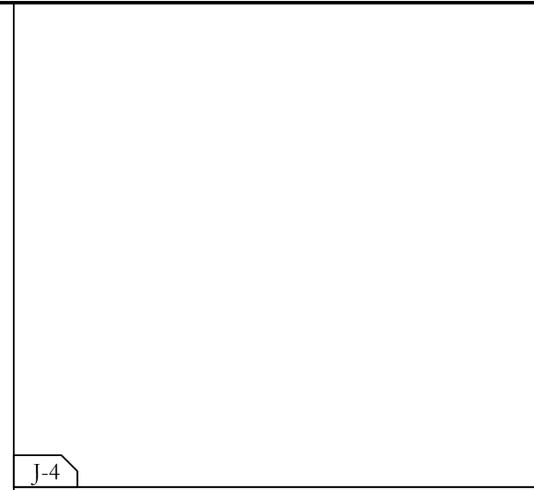
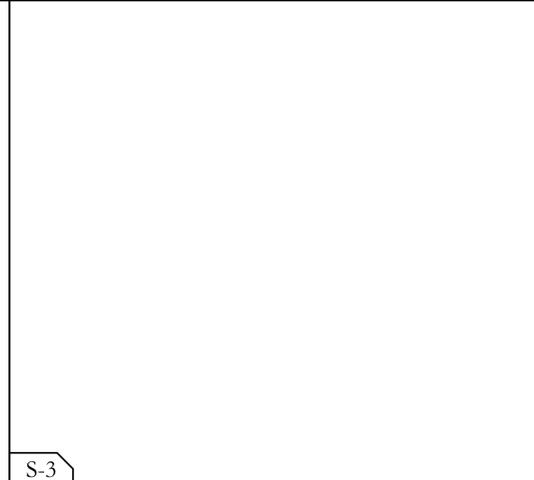
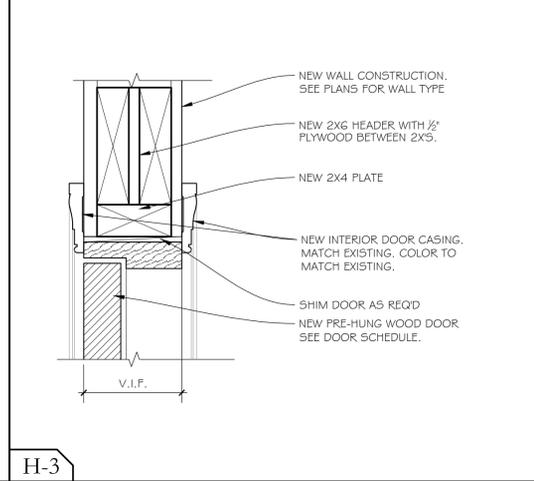
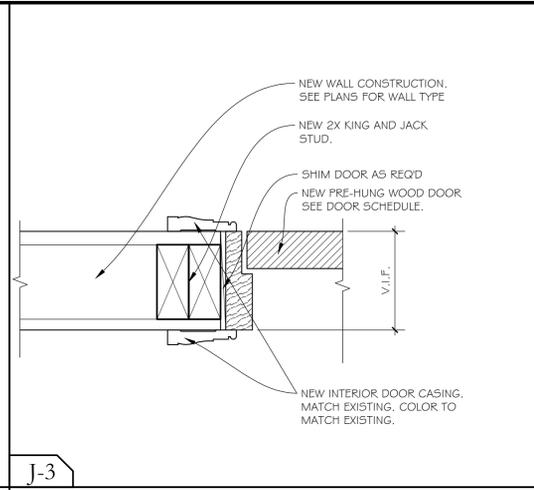
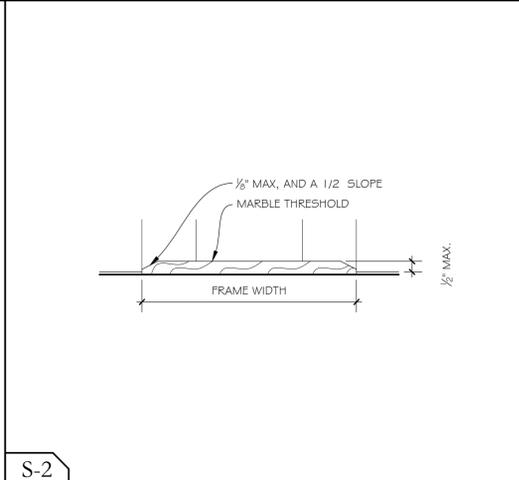
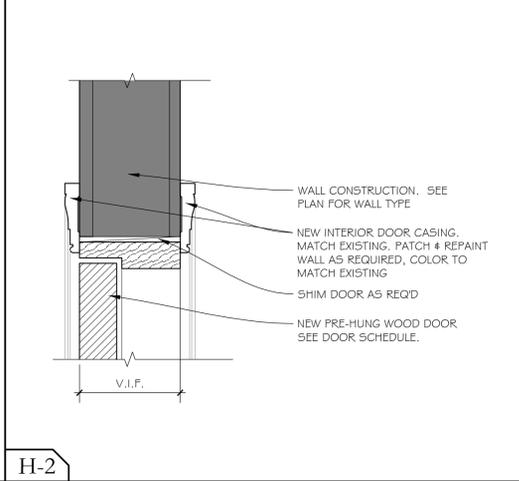
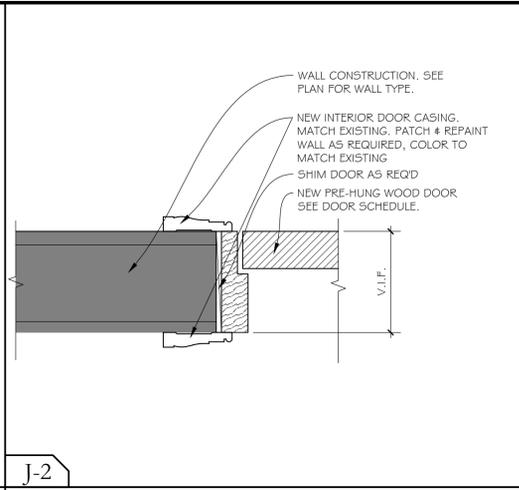
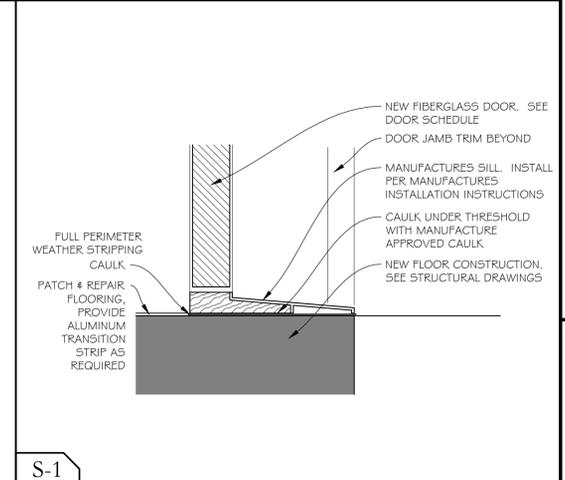
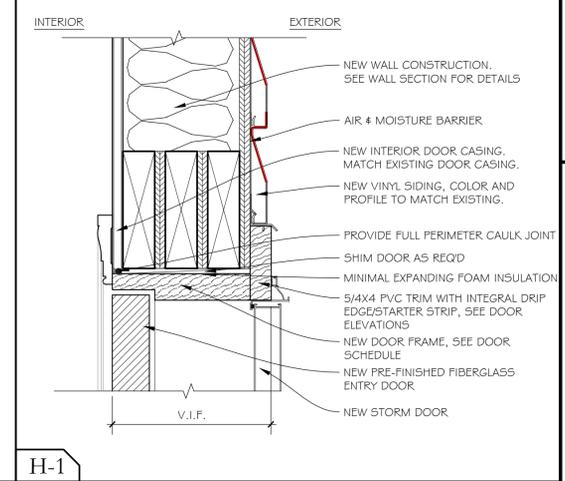
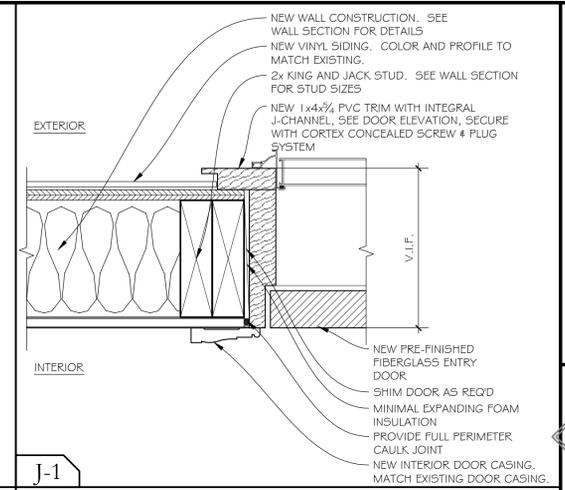
N.T.S.

Project #:  
QA 1346-17

Drawn By:  
MPM

Sheet #:

**A6.1**



**DOOR DETAILS**

SCALE: N.T.S.



**QUISENBERRY ARCARI ARCHITECTS, LLC**  
 www.qa-architects.com  
 T (860) 677-4594  
 F (860) 677-8534  
 318 Main Street  
 Farmington, CT 06032

NOT FOR CONSTRUCTION  
ISSUED FOR REVIEW ONLY

REHABILITATION/RECONSTRUCTION WORK FOR:  
**ANNE SWEENEY**  
 APPLICANT #1479  
 94 LONGDEAN RD  
 FAIRFIELD, CT

Sheet Description:  
**WINDOW ELEVATIONS, SCHEDULE & DETAILS**

Issue Dates:  
 MAY 1, 2015

as noted

Project #: QA 1346-17  
 Drawn By: MPM

Sheet #:

**A7.0**

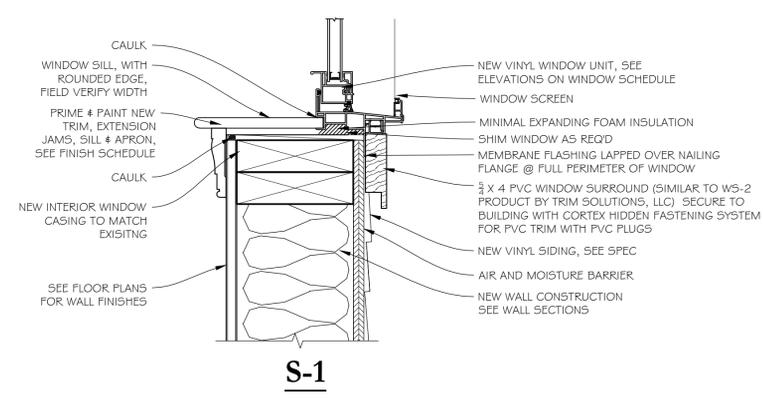
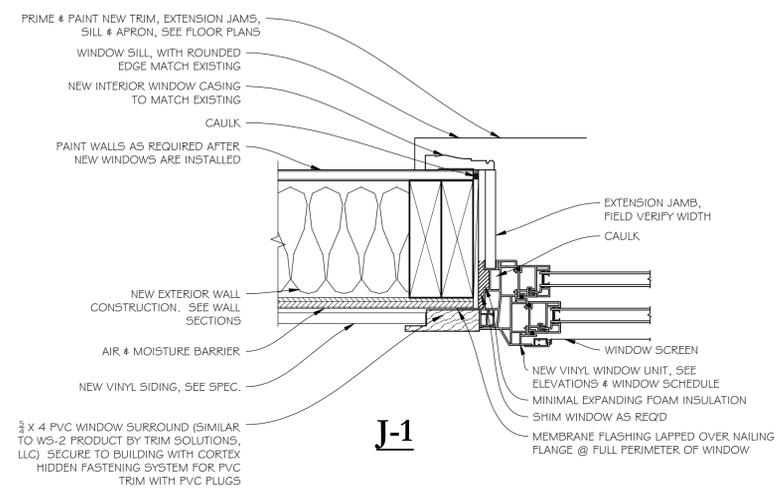
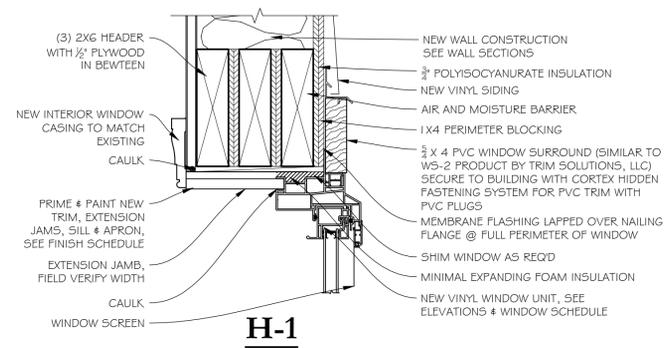
- GENERAL NOTES:**
1. GENERAL CONTRACTOR IS TO PROVIDE A CONSTRUCTION SCHEDULE & COORDINATE WITH THE OWNER
  2. ALL WINDOWS MUST BE REMOVED & NEW UNITS INSTALLED WITHIN THE SAME DAY
  3. CONTRACTOR TO EXECUTE COMPLETE WINDOW REPLACEMENT AS A MOCK UP FOR FORMAL REVIEW PRIOR TO DIRECTIVE TO EXECUTE ALL THE WORK. UPON REVIEW ACCEPTANCE FROM THE OWNER.
  4. WINDOW SIZES ARE APPOINTED FOR PURPOSES OF BIDDING AND ARE FOR REFERENCE ONLY. CONTRACTOR SHALL FIELD VERIFY ALL OPENINGS PRIOR TO BIDDING, ORDERING & CONSTRUCTION
  5. GENERAL CONTRACTOR & WINDOW MANUFACTURER'S REPRESENTATIVE TO FIELD VERIFY ALL CONDITIONS & SIZES PRIOR TO BIDDING AND CONSTRUCTION
  6. SEE BELOW FOR WINDOW ASSEMBLY ELEVATIONS
  7. REMOVE EXISTING WINDOW UNIT AS REQUIRED, PREPARE OPENING TO RECEIVE NEW CONSTRUCTION WINDOW UNIT, SEE DETAILS
  8. GENERAL CONTRACTOR TO PATCH, REPAIR & REPAINT ADJACENT FINISHES DISTURBED BY WINDOW INSTALLATION AS REQUIRED & REPAIR DRYWALL OR PLASTER AS REQUIRED TO MATCH EXISTING ADJACENT FINISH
  9. REMOVE AND REINSTALL EXISTING INTERIOR WINDOW ACCESSORIES TO INCLUDE BUT ARE NOT LIMITED TO CURTAIN RODS, CURTAIN HOLD BACKS, ETC... PROVIDE ALL NECESSARY HARDWARE FOR REINSTALLATION, FIELD VERIFY PRIOR TO BIDDING
  10. SEE SPECIFICATIONS FOR NEW VINYL WINDOWS, COLOR TO BE WHITE.
  11. INTERIOR TRIM IS TO BE PREMANUFACTURED TRIM WITH EXTENSION JAMBS AS ONE PIECE FROM CLEAR PINE. PRE-PRIMED ON ALL SIDES & PAINTED, COLOR TO BE WHITE (SEMI GLOSS) TOUCH UP IN FIELD AFTER INSTALLATION
  12. WINDOWS ARE TO BE DOUBLE GLAZED WITH LOW-E & ARGON (U VALUE OF 0.30 MINIMUM TO MEET ENERGY STAR REQUIREMENTS)
  13. WINDOWS ARE TO BE GRIDS BETWEEN THE GLASS (5/8") COLOR TO BE WHITE
  14. WINDOWS ARE TO HAVE HALF SCREENS (FIBERGLASS)
  15. WINDOW HARDWARE TO BE WHITE
  16. INSULATE AROUND FULL PERIMETER OF WINDOW UNIT WITH MINIMAL EXPANDING FOAM INSULATION

WINDOW ID	STATIONARY	OPERABLE	TYPE	WINDOW SIZE (WxH)	DETAIL NUMBER			NOTES
					HEAD DETAIL	SILL DETAIL	JAMB DETAIL	
A		●	DOUBLE HUNG WINDOW	2'-8" x 3'-5"	H-1	S-1	J-1	

**WINDOW SCHEDULE & NOTES**

SCALE: N.T.S.

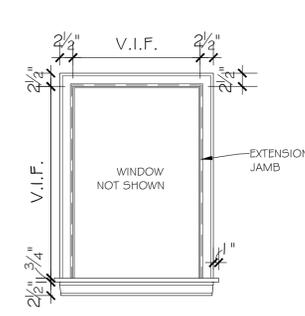
4



**WINDOW DETAILS**

SCALE: 3" = 1'-0"

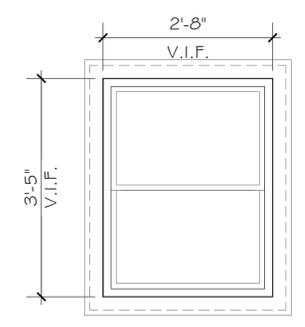
3



**INTERIOR WINDOW CASING**

SCALE: 3/4" = 1'-0"

2



**WINDOW ELEVATIONS**

SCALE: 3/4" = 1'-0"

1



**QUISENBERRY ARCARI ARCHITECTS, LLC**  
 www.qa-architects.com  
 T (860) 677-4594  
 F (860) 677-8534  
 318 Main Street  
 Farmington, CT 06032



**RZ Design Associates, Inc.**  
 MECHANICAL AND ELECTRICAL ENGINEERING  
 750 OLD MAIN STREET  
 ROCKY HILL, CT 06067  
 P: (860) 436-4330  
 F: (860) 436-4430  
 www.rzdesignassociates.com

REHABILITATION/RECONSTRUCTION WORK FOR:  
**ANNE SWEENEY**  
 APPLICANT #1479  
 94 LONGDEAN RD  
 FAIRFIELD, CT

Sheet Description:  
**MECHANICAL DEMOLITION PLAN**

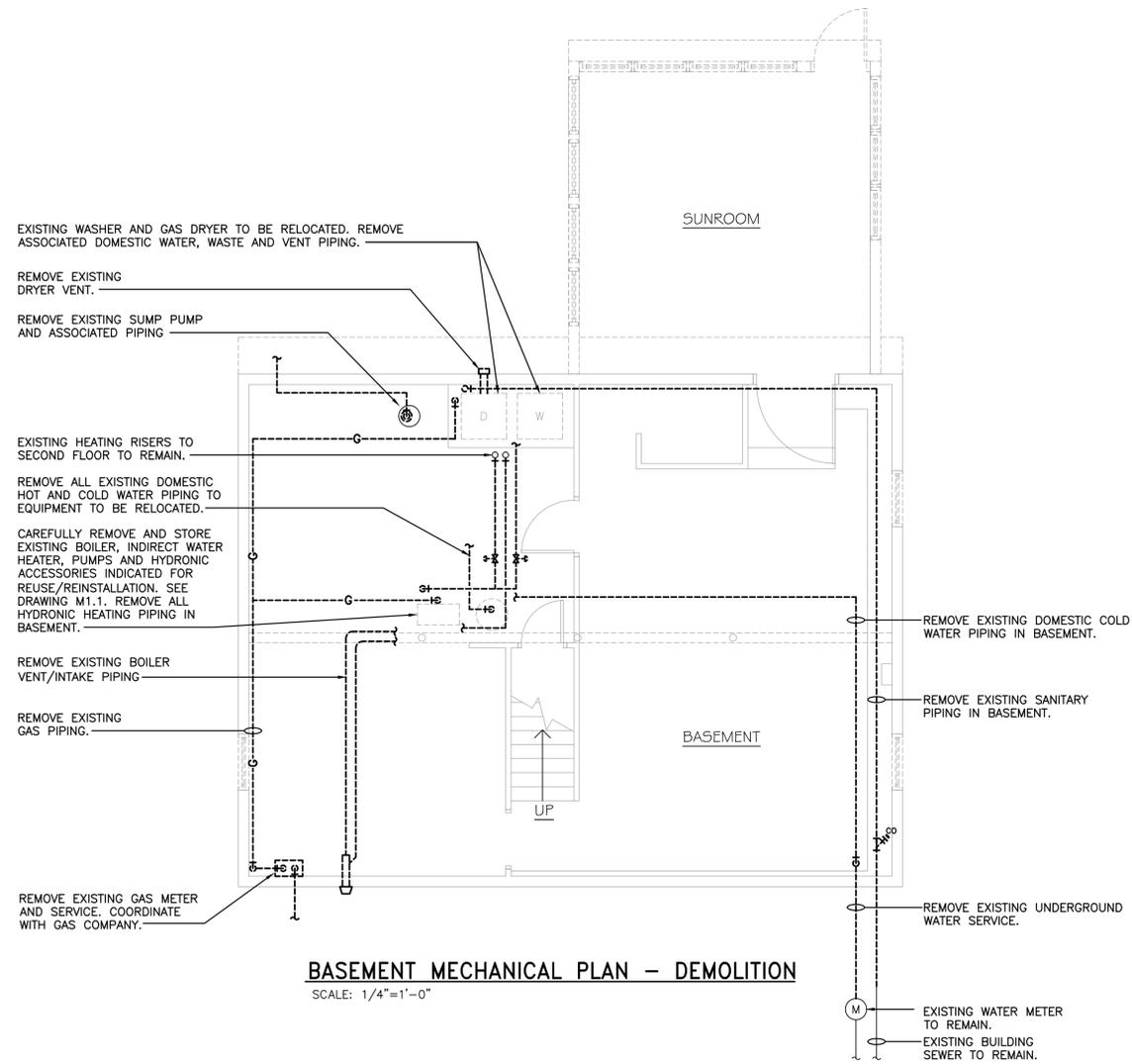
Issue Dates:  
 May 1, 2015

SCALE: AS NOTED

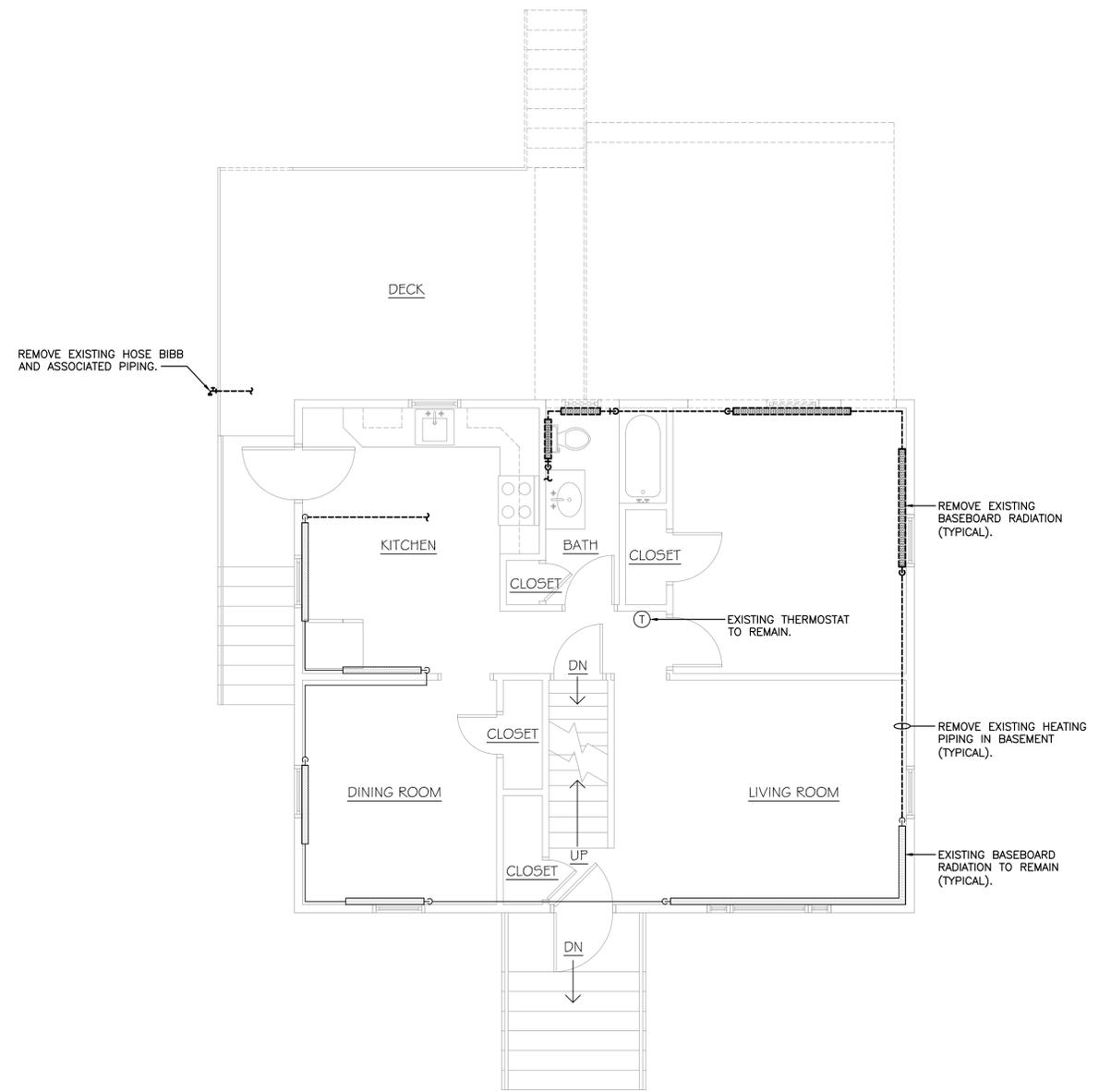
Project #: QA 1346-17  
 Drawn By: KAH

Sheet #:

**MD1.1**



LEGEND	
—	EXISTING TO REMAIN
- - - - -	EXISTING TO BE REMOVED







**QUISENBERRY ARCARI ARCHITECTS, LLC**  
 www.qa-architects.com  
 T (860) 677-4594  
 F (860) 677-8534  
 318 Main Street  
 Farmington, CT 06032



**RZ Design Associates, Inc.**  
 MECHANICAL AND ELECTRICAL ENGINEERING  
 750 OLD MAN STREET  
 ROCKY HILL, CT 06067  
 P: (860) 436-4330  
 F: (860) 436-9430  
 www.rzdesignassociates.com

REHABILITATION/RECONSTRUCTION WORK FOR:

**ANNE SWEENEY**

APPLICANT #1479

FAIRFIELD, CT

94 LONGDEAN RD

Sheet Description:

**ELECTRICAL DEMOLITION PLANS**

Issue Dates:

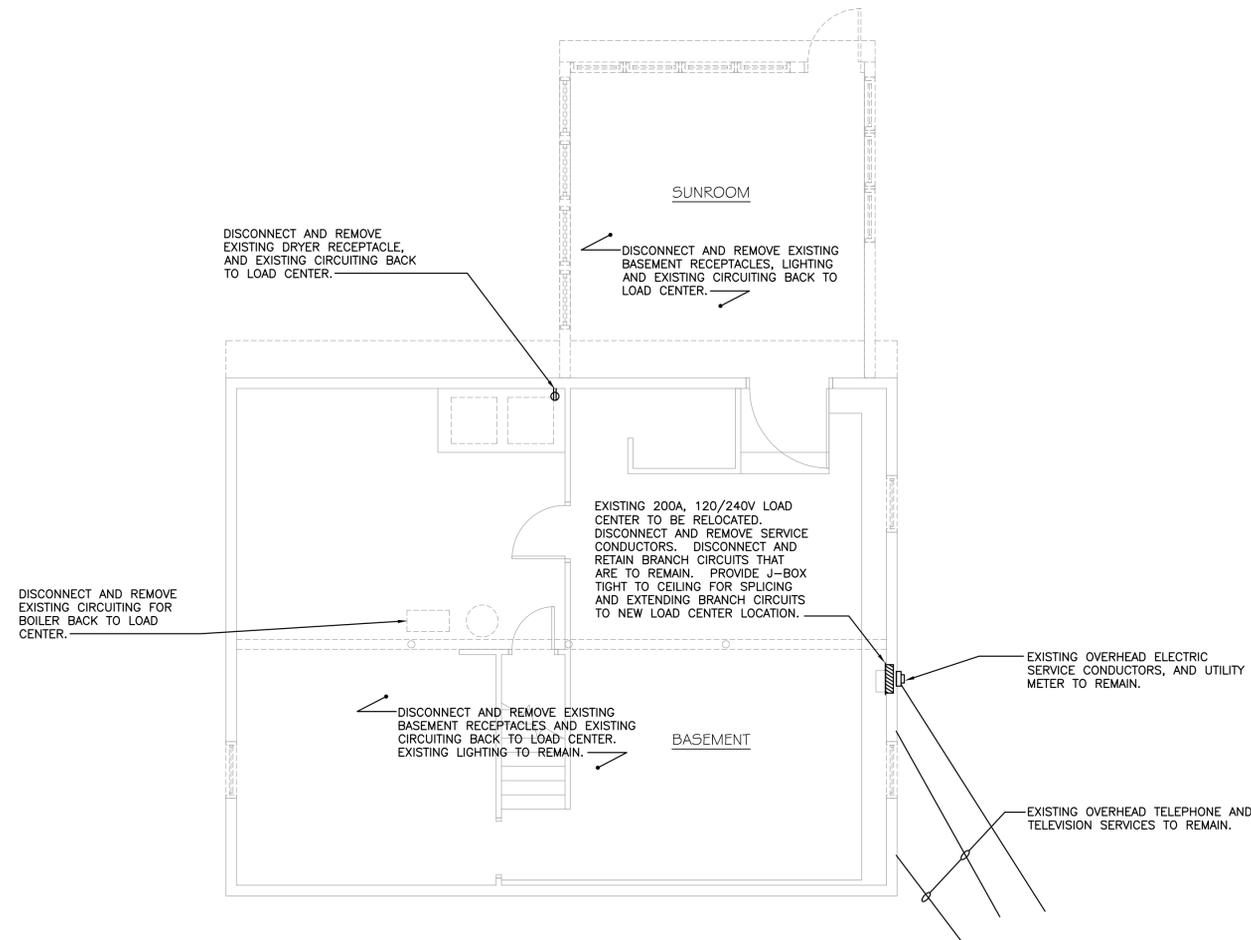
May 1, 2015

SCALE: AS NOTED

Project #: QA 1346-17  
 Drawn By: DSL

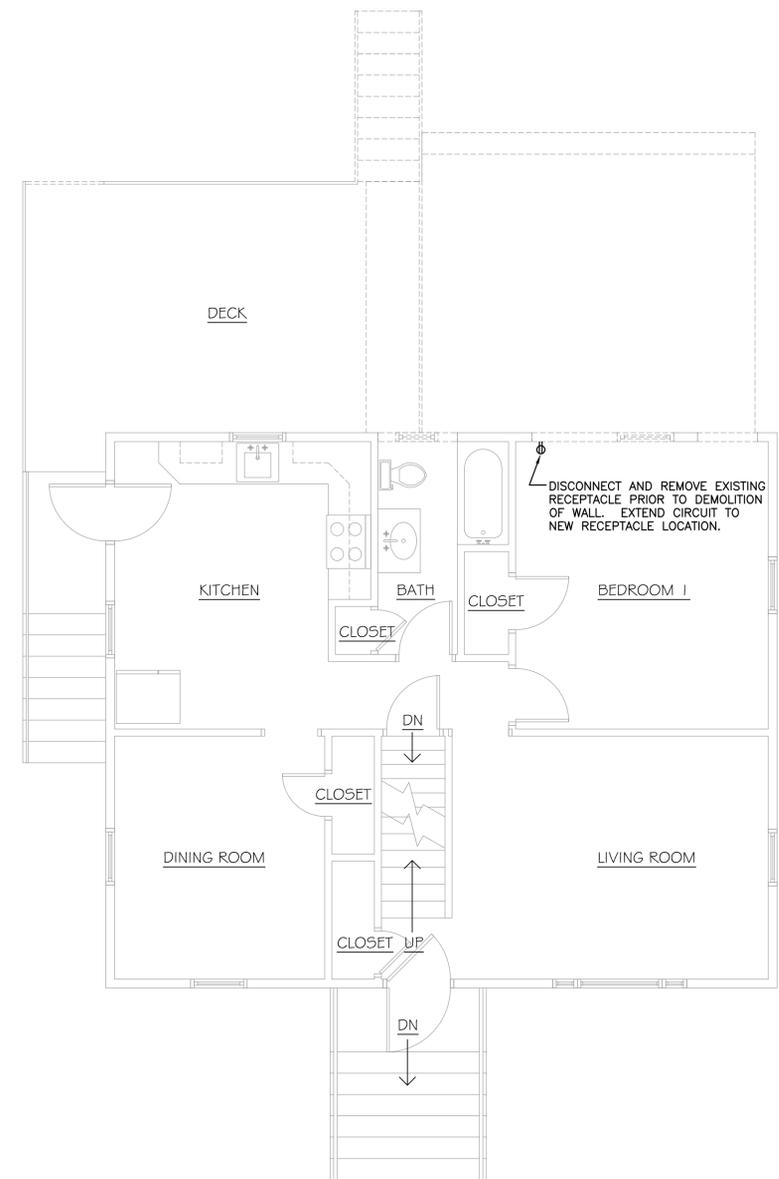
Sheet #:

**ED1.1**



**BASEMENT ELECTRICAL PLAN - DEMOLITION**

SCALE: 1/4"=1'-0"



**FIRST FLOOR ELECTRICAL PLAN - DEMOLITION**

SCALE: 1/4"=1'-0"



**QUISENBERRY ARCARI ARCHITECTS, LLC**  
 www.qa-architects.com  
 T (860) 677-4594  
 F (860) 677-8534  
 318 Main Street  
 Farmington, CT 06032



**RZ Design Associates, Inc.**  
 MECHANICAL AND ELECTRICAL ENGINEERING  
 750 OLD MAIN STREET  
 FAIRFIELD, CT 06424  
 P (860) 436-4330  
 F (860) 436-4430  
 www.rzdesignassociates.com

REHABILITATION/RECONSTRUCTION WORK FOR:  
**ANNE SWEENEY**  
 APPLICANT #1479  
 94 LONGDEAN RD  
 FAIRFIELD, CT

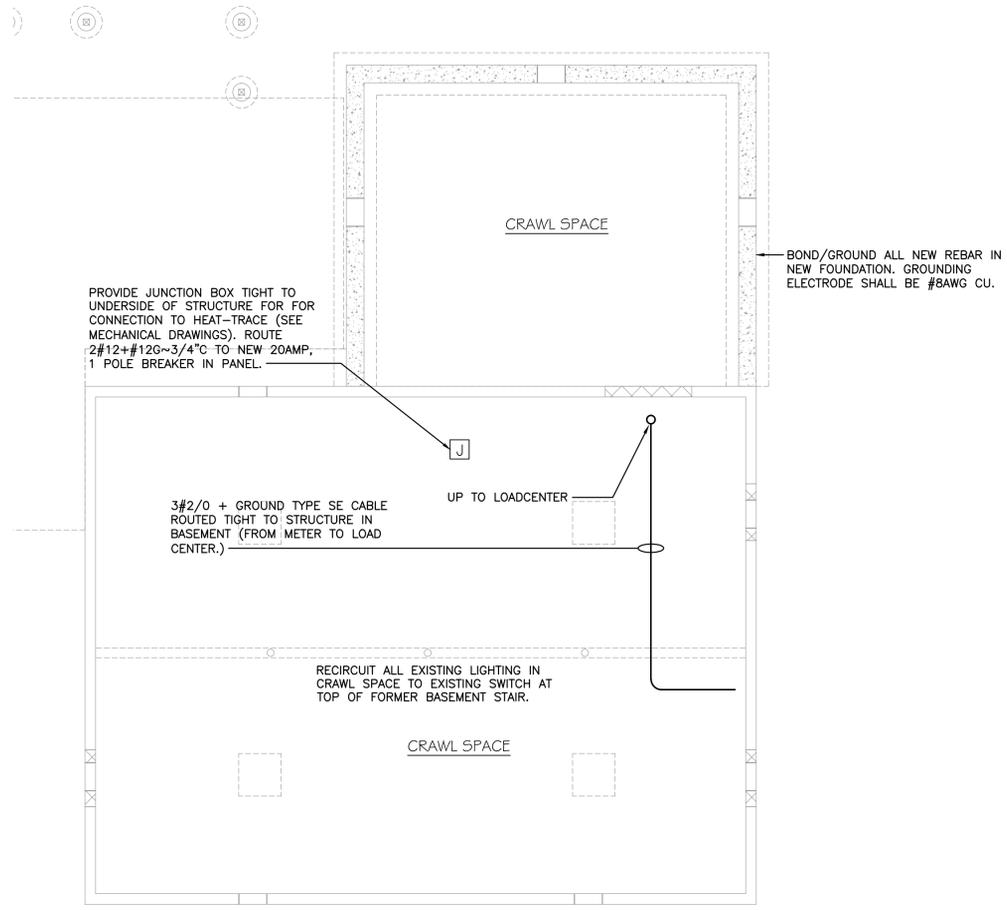
Sheet Description:  
**ELECTRICAL PLANS**

Issue Dates:  
 May 1, 2015

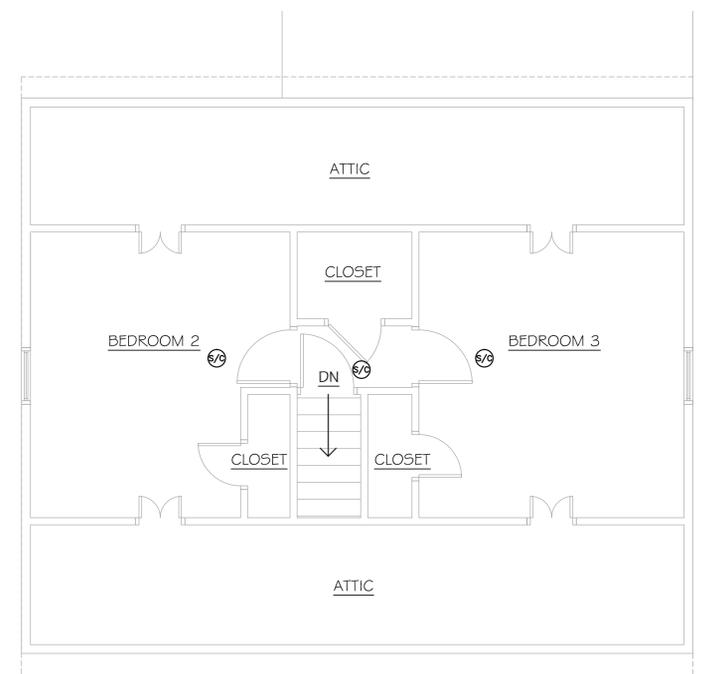
SCALE: AS NOTED

Project #: QA 1346-17  
 Drawn By: DSL

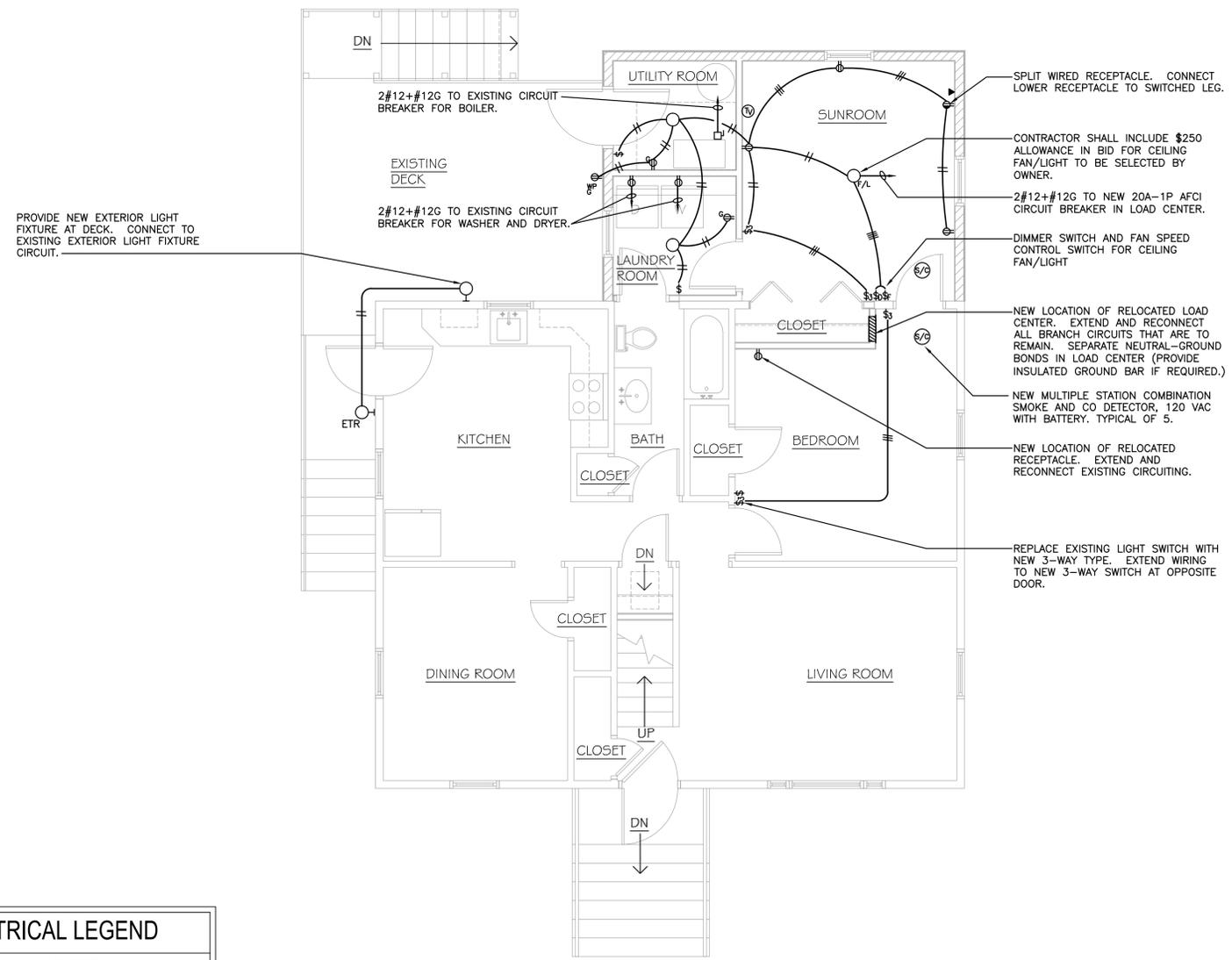
Sheet #:  
**E1.1**



**BASEMENT ELECTRICAL PLAN**  
 SCALE: 1/4"=1'-0"



**SECOND FLOOR ELECTRICAL PLAN**  
 SCALE: 1/4"=1'-0"



**FIRST FLOOR ELECTRICAL PLAN**  
 SCALE: 1/4"=1'-0"

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
○	SURFACE MOUNTED LIGHTING FIXTURE
○	WALL MOUNTED LIGHTING FIXTURE
⊕	DUPLEX RECEPTACLE
⊕ <sup>G</sup>	GROUND FAULT INTERRUPTER DUPLEX RECEPTACLE
⊕ <sup>GF</sup>	GROUND FAULT INTERRUPTER DUPLEX RECEPTACLE WITH IN-USE COVER
\$	SINGLE POLE SWITCH
\$ <sub>3</sub>	THREE-WAY SWITCH
—	BRANCH CIRCUIT WIRING
	ELECTRICAL LOAD CENTER
□	DISCONNECT SWITCH
⊕ <sup>S</sup>	SMOKE/CARBON MONOXIDE DETECTOR
▶	TELEPHONE OUTLET
⊕ <sup>T</sup>	TELEVISION OUTLET

**GENERAL NOTES:**

- ALL NEW RECEPTACLES SHALL BE TAMPER RESISTANT TYPE.
- LAUNDRY AND UTILITY ROOM LIGHT FIXTURE SHALL BE PROGRESS #P3408-30 OR EQUAL. PROVIDE WITH 14W, A-19 SCREW-IN COMPACT FLUORESCENT LAMP.
- DECK LIGHT FIXTURE SHALL BE PROGRESS #P5683-31 OR EQUAL. PROVIDE WITH 20W, A-21 SCREW-IN COMPACT FLUORESCENT LAMP.
- ALL WIRING SHALL BE COPPER CONDUCTORS.