

# PROJECT 1402 - 80 MELBA STREET, MILFORD, CT

## COMMUNITY DEVELOPMENT BLOCK GRANT DISASTER RECOVERY PROGRAM OWNER OCCUPIED REHABILITATION AND REBUILDING CONNECTICUT DEPARTMENT OF HOUSING HARTFORD, CONNECTICUT 06118

### GENERAL NOTES:

- WHERE REFERENCED IN THIS PLAN SET, MARTINEZ COUCH & ASSOCIATES, LLC SHALL HEREIN BE REFERRED TO AS "MCA."
- THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS.
- THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE, AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT MCA IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS, SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH MCA PRIOR TO BIDDING.
- REFER TO OTHER PLANS, DETAILS, AND PROJECT MANUAL FOR ADDITIONAL INFORMATION.

### DRAWING INDEX

SHEET TITLE	SHEET NUMBER
TITLE SHEET	T-0.0
TOPOGRAPHIC AND BOUNDARY SURVEY	1 OF 1
IMPROVEMENT LOCATION PLAN	C-1.0
SOIL EROSION AND SEDIMENT CONTROL/DEMOLITION PLAN	C-1.1
SITE PLAN	C-1.2
SOIL EROSION AND SEDIMENT CONTROL DETAILS	C-2.0
MISCELLANEOUS DETAILS	C-2.1
BUILDING UTILITY DETAILS	C-2.2
FLOOR PLANS - EXISTING	A-1.0
FLOOR PLANS - PROPOSED	A-1.1
EXISTING BUILDING ELEVATIONS	A-2.0
PROPOSED BUILDING ELEVATIONS	A-2.1
DECK AND STAIR DETAILS	A-3.0
COMPOSITE DECK AND STAIR DETAILS	A-3.1
PLUMBING PLANS	P-1
MECHANICAL PLANS	M-1
ELECTRICAL PLANS	E-1
FOUNDATION DESIGN - EXISTING CONDITIONS PLAN & STRUCTURAL NOTES	S1
FOUNDATION DESIGN - FOUNDATION PLAN	S2
FOUNDATION DESIGN - FIRST FLOOR FRAMING SUPPORT PLAN	S3
FOUNDATION DESIGN - SECTIONS	S4



STREET VIEW

(N.T.S.)

THIS MAP IS A COPYRIGHTED WORK OF MARTINEZ COUCH AND ASSOCIATES, LLC. ALL RIGHTS RESERVED.



1084 Cromwell Avenue, Suite A-2  
Rocky Hill, CT 06067  
Telephone: (860) 436-4364  
Fax: (860) 436-4626  
www.martinezcouch.com

PROJECT 1402  
80 MELBA STREET  
MILFORD, CONNECTICUT 06460

**ISSUED FOR BID  
NOT FOR CONSTRUCTION**

NO.	DATE	REVISIONS	BY	CHK	APPV
3	2/19/2016	ISSUED FOR BIDDING	MBR	MBR	REC
2	2/9/2016	RE-ISSUED FOR CT DOH REVIEW AND APPROVAL	MBR	MBR	REC
1	12/3/2015	ISSUED FOR CT DOH REVIEW AND APPROVAL	MBR	MBR	REC
DRAWN: DL		CHECKED: MBR	APPROVED: REC	SCALE: N.T.S.	DATE:

TITLE SHEET

JOB NO.	DRAWING NUMBER	SHEET
33-262-1402	BASEMAP 33-262-1402.DWG	T-0.0

**SURVEY NOTES**

NORTH ORIENTATION AND COORDINATES REFER TO NAD 83.  
ELEVATIONS BASED ON NAVD 1988.

PARCEL OWNER OF RECORD: ELLENOR OLSON  
80 MELBA STREET,  
MILFORD, CT 06460

PARCEL AREA = 4000 SQ. FT., 0.091± ACRES.

PARCEL IS IN THE R 5 ZONING DISTRICT.

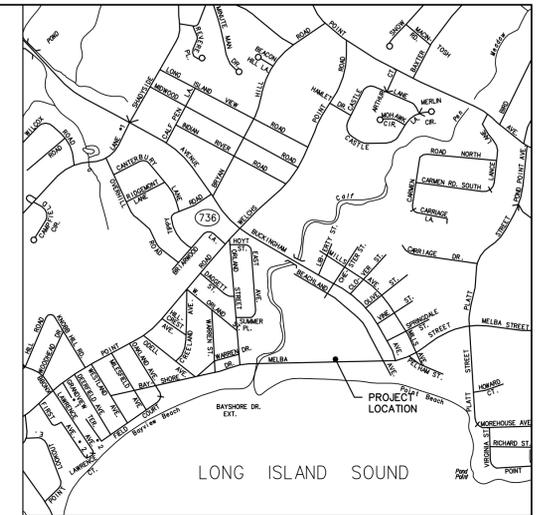
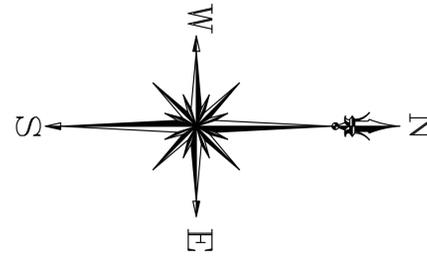
PARCEL ID: MAP 29, BLOCK 558, LOT 37 MILFORD ASSESSOR'S MAPPING.

ENTIRE SUBJECT PARCEL IS IN ZONE AE(EL 11) FLOOD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP, NEW HAVEN COUNTY, CONNECTICUT PANEL 534 OF 635, MAP NUMBER 09009C0534J, REVISED JULY 8, 2013 BY FEDERAL EMERGENCY MANAGEMENT AGENCY.

**REFERENCE MAPS:**

1. "MAP OF BUILDING LOTS AT POND POINT BEACH, MILFORD, CT. SCALE 1"=100'. DATED FEBRUARY 26, 1912. PREPARED BY V. B. CLARKE

2. "TOPOGRAPHIC & BOUNDARY SURVEY" FOR CTDOH AT 80 MELBA STREET, MILFORD, CONNECTICUT; DATE 5-6-2015; SCALE: 1"=10'; PREPARED BY MARTINEZ COUCH & ASSOCIATES LLC



**LOCATION MAP**  
1" = 1000'

ZONING REGULATIONS (R-5)			
	REQUIRED	EXISTING	PROPOSED
LOT AREA (SQ.FT.)	5,000	4,000***	4,000***
MIN. LOT WIDTH (FT.)	50	40***	40***
MIN. LOT DEPTH (FT.)	70	100.0	100.0
MIN. FRONT YARD (FT.)	*	24.8 <sup>A</sup>	24.8 <sup>A</sup>
MIN. SIDE YARDS (FT.)	5/10**	9.5 <sup>B</sup> /8.6 <sup>C</sup> /13.7 <sup>D</sup>	9.5 <sup>B</sup> /8.6 <sup>C</sup> /13.7 <sup>D</sup>
MIN. REAR YARD (FT.)	20	24.9 <sup>E</sup>	24.9 <sup>E</sup>
MAX BLDG. COVERAGE	45%	21.1%	21.1%
MAX. BLDG. HGT. (FT.)	35	23.0	27.4
LOT COVERAGE	65%	27%	28%

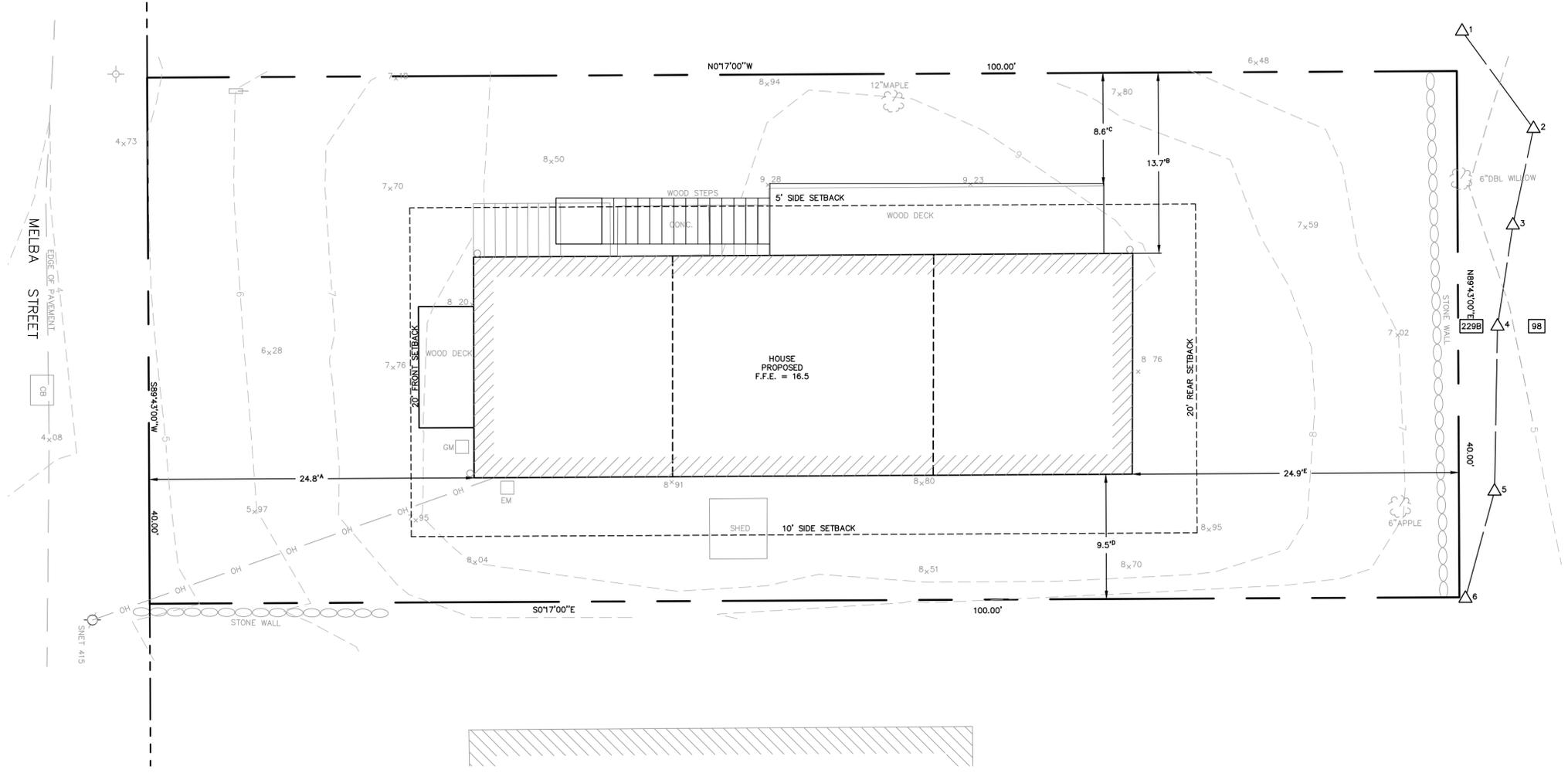
\* TEN FEET OR THE ACTUAL FRONT YARD SETBACK, WHICHEVER IS GREATER; EXCEPT THAT THE MINIMUM REQUIRED FRONT YARD SHALL NOT BE REQUIRED TO EXCEED 20 FEET.  
\*\* ONE SIDE TEN (10) FEET; OTHER SIDE FIVE (5) FEET.  
\*\*\* PREEXISTING NONCONFORMITY

- A: SETBACK FROM PRINCIPAL BUILDING TO STREET LINE
- B: SETBACK FROM PRINCIPAL BUILDING TO WEST SIDE LOT LINE
- C: SETBACK FROM PROJECTING DECK TO WEST SIDE LOT LINE
- D: SETBACK FROM PRINCIPAL BUILDING TO EAST SIDE LOT LINE
- E: SETBACK FROM PRINCIPAL BUILD TO REAR LOT LINE

**AVERAGE GRADE CALCULATION**  
 AVERAGE GRADE ELEVATION = (Σ POINT ELEVATIONS)/(NUMBER OF POINTS)  
 = (8.76+8.77+8.8+8.91+8.04+8.2+8.5) / 9  
 = 8.874(9.23)/(9 POINTS)  
 AVERAGE GRADE ELEVATION = 8.66

SOIL TYPE LEGEND	
98	WESTBROOK, MUCKY PEAT, FREQUENTLY FLOODED, VERY POORLY DRAINED, WETLAND SOIL
229B	AGAWAM-URBAN LAND COMPLEX, WELL DRAINED, UPLAND SOIL

SYMBOLS LEGEND			
⊙	Utility Pole	—	Property Line
°WV	Water Valve	---4.7(C.H.)	Coastal Jurisdiction line
MP	Metal Post	---2.9(MHW)	Mean High Water
⊙IP(FD)	Iron Pin Found	-5-	Contour Line
		🌳	Deciduous Tree
		167x32	Spot Grade
△#	WETLAND FLAG LABEL	###	SOIL TYPE LABEL
—	LIMIT OF WETLANDS		



**REFERENCE MAP:**  
1. "TOPOGRAPHIC & BOUNDARY SURVEY" FOR CT DOH AT 80 MELBA STREET, MILFORD, CONNECTICUT; DATE: 01-30-2015; SCALE: 1"=10'; PREPARED BY MARTINEZ COUCH & ASSOCIATES, LLC

THIS MAP IS A COPYRIGHTED WORK OF MARTINEZ COUCH AND ASSOCIATES, LLC. ALL RIGHTS RESERVED.



1084 Cromwell Avenue, Suite A-2  
Rocky Hill, CT 06067  
Telephone: (860) 436-4364  
Fax: (860) 436-4626  
www.martinezcouch.com

**PROJECT 1402**  
**80 MELBA STREET**  
**MILFORD, CONNECTICUT 06460**

**ISSUED FOR BID**  
**NOT FOR CONSTRUCTION**

NO.	DATE	REVISIONS	BY	CHK	APPV
3	2/19/2016	ISSUED FOR BIDDING	MBR	MBR	REC
2	2/9/2016	RE-ISSUED FOR CT DOH REVIEW AND APPROVAL	MBR	MBR	REC
1	12/3/2015	ISSUED FOR CT DOH REVIEW AND APPROVAL	MBR	MBR	REC

DRAWN: CMP    CHECKED: MBR    APPROVED: REC    SCALE: 1" = 10'    DATE:

**IMPROVEMENT LOCATION PLAN**

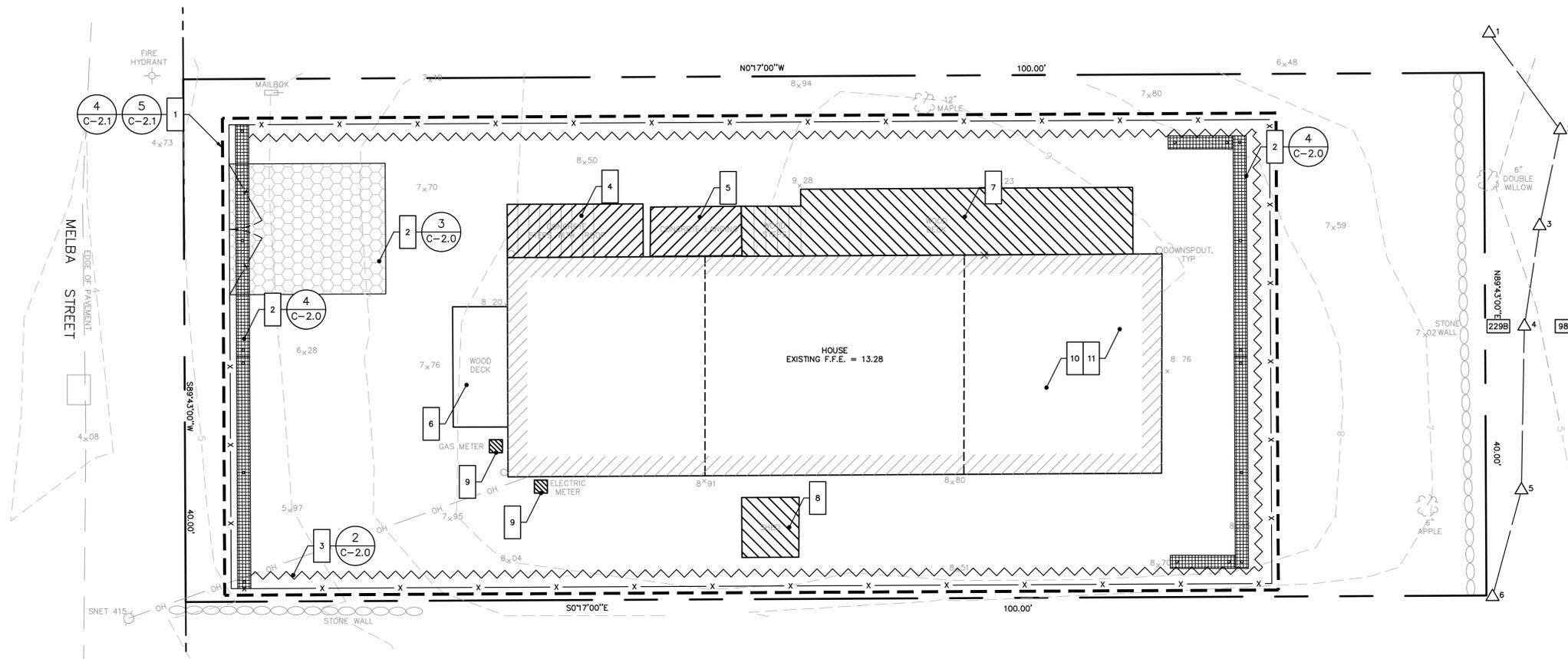
JOB NO.	DRAWING NUMBER	SHEET
33-262-1402	BASEMAP 33-262-1402.DWG	C-1.0

**GENERAL NOTES**

1. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL MEASUREMENTS. ANY VARIATIONS FROM CONDITIONS SHOWN ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL AND/OR MARTINEZ COUCH AND ASSOCIATES PRIOR TO BIDDING FOR RESOLUTION IN ACCORDANCE WITH CONTRACT DOCUMENT REQUIREMENTS.
2. ALL REQUIRED PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
3. REFERENCE IS HEREBY MADE TO THE FOLLOWING MAP: TOPOGRAPHIC & BOUNDARY SURVEY, 80 MELBA ST, MILFORD, CONNECTICUT. SCALE 1" = 10'. DATED 05-06-2015. PREPARED BY MARTINEZ COUCH & ASSOCIATES, LLC.
4. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF THE NOTED ITEM.
5. WORK LIMITS SHALL BE AS NOTED. ALL ITEMS DISTURBED BY ANY AND ALL CONSTRUCTION ACTIVITIES SHALL BE RESTORED SUBSTANTIALLY TO THE CONDITION THEY EXISTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, AND TO THE PROPERTY OWNER'S SATISFACTION.
6. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
8. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

**WORK NOTES**

1. INSTALL 8' HIGH CHAIN LINK FENCE (WITH DOUBLE GATE) AROUND PERIMETER OF PROPERTY, AS SHOWN ON PLAN
2. INSTALL SILT SOCK AND CONSTRUCTION TRACKPAD AT ENTRANCE TO PROPERTY, AS SHOWN ON PLAN
3. INSTALL SILT FENCE AROUND PERIMETER OF PROPERTY, AS SHOWN ON PLAN
4. DEMOLISH AND DISPOSE OFFSITE CONCRETE STEPS AND WOOD PORCH COVERING STAIRS
5. DEMOLISH AND DISPOSE OFFSITE CONCRETE LANDING
6. SUPPORT WOOD DECK TO BE LIFTED WITH HOUSE
7. DEMOLISH AND DISPOSE OFF SITE EXISTING DECK AND STAIRS AT WEST SIDE OF HOUSE
8. RELOCATE EXISTING SHED TO REAR OF PROPERTY
9. COORDINATE ALL UTILITY DISCONNECTS, INCLUDING WATER, ELECTRIC, GAS, AND TELECOMMUNICATIONS; SEE MECHANICAL, ELECTRICAL, AND PLUMBING PLANS
10. SUPPORT HOUSE AND LIFT TO PROPOSED ELEVATION
11. DEMOLISH EXISTING FOUNDATION AND ALL SUBSURFACE ELEMENTS; REMOVE AND DISPOSE ALL MATERIALS OFF SITE. BACKFILL TO MAINTAIN EXISTING AVERAGE GRADE. DO NOT STOCKPILE SOIL ON SITE.
12. REMOVE TEMPORARY FENCING UPON COMPLETION OF CONSTRUCTION, AND REMOVE EROSION AND SEDIMENT CONTROLS AFTER STABILIZATION IS COMPLETE (NOT SHOWN)



**LEGEND**

- 1 WORK NOTE
- LIMIT OF WORK
- # C-2.X DETAIL REFERENCE  
# = DETAIL NUMBER  
X = DETAIL SHEET NUMBER
- OH EXISTING OVERHEAD POWER LINE
- 6" APPLE EXISTING TREE
- 8 EXISTING CONTOUR WITH ELEVATION LABEL
- 7.29 EXISTING SPOT GRADE
- 7.5 PROPOSED SPOT GRADE
- PROPERTY LINE
- △# WETLAND FLAG LABEL
- LIMIT OF WETLANDS
- ### SOIL TYPE LABEL

**SOIL TYPE LEGEND**

98	WESTBROOK MUCKY PEAT, FREQUENTLY FLOODED, VERY POORLY DRAINED, WETLAND SOIL
229B	AGAWAM-URBAN LAND COMPLEX, WELL DRAINED, UPLAND SOIL

THIS MAP IS A COPYRIGHTED WORK OF MARTINEZ COUCH AND ASSOCIATES, LLC. ALL RIGHTS RESERVED.



1084 Cromwell Avenue, Suite A-2  
Rocky Hill, CT 06067  
Telephone: (860) 436-4364  
Fax: (860) 436-4626  
www.martinezcouch.com

**PROJECT 1402**  
**80 MELBA STREET**  
**MILFORD, CONNECTICUT 06460**

**ISSUED FOR BID**  
**NOT FOR CONSTRUCTION**

NO.	DATE	REVISIONS	BY	CHK	APPV
3	2/19/2016	ISSUED FOR BIDDING		MBR	MBR REC
2	2/9/2016	RE-ISSUED FOR CT DOH REVIEW AND APPROVAL		MBR	MBR REC
1	12/3/2015	ISSUED FOR CT DOH REVIEW AND APPROVAL		MBR	MBR REC

DRAWN: CMP    CHECKED: MBR    APPROVED: REC    SCALE: 1" = 5'    DATE:

**SOIL EROSION AND SEDIMENT CONTROL/DEMOLITION PLAN**

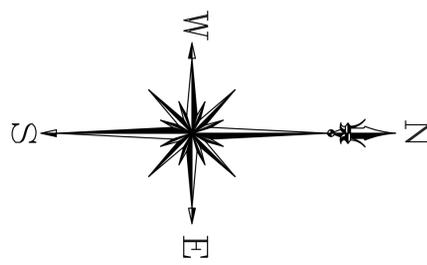
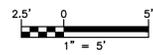
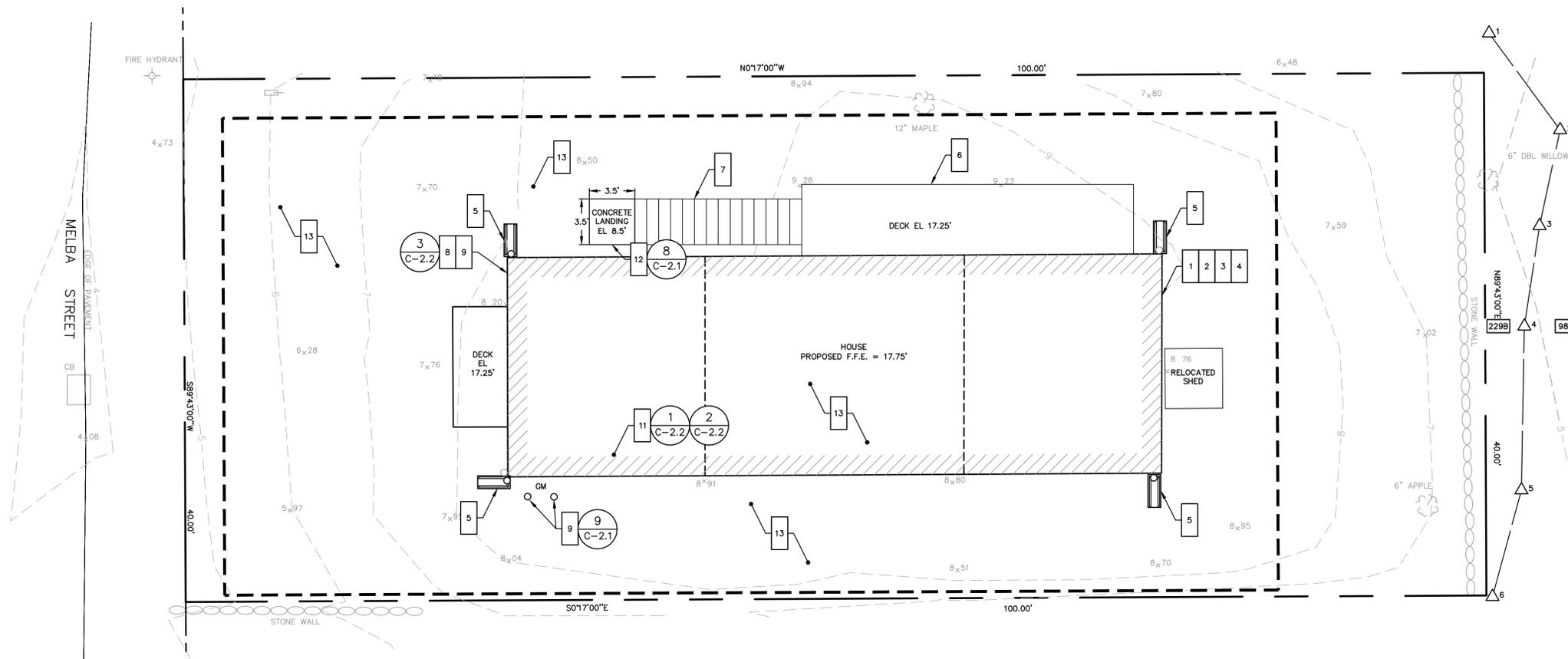
JOB NO.	DRAWING NUMBER	SHEET
33-262-1402	BASEMAP 33-262-1402.DWG	C-1.1

### GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL MEASUREMENTS. ANY VARIATIONS FROM CONDITIONS SHOWN ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL AND/OR MARTINEZ COUCH AND ASSOCIATES PRIOR TO BIDDING FOR RESOLUTION IN ACCORDANCE WITH CONTRACT DOCUMENT REQUIREMENTS.
2. ALL REQUIRED PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
3. REFERENCE IS HEREBY MADE TO THE FOLLOWING MAP: TOPOGRAPHIC & BOUNDARY SURVEY, 80 MELBA ST, MILFORD, CONNECTICUT. SCALE 1" = 10'. DATED 05-06-2015. PREPARED BY MARTINEZ COUCH & ASSOCIATES, LLC.
4. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF THE NOTED ITEM.
5. WORK LIMITS SHALL BE AS NOTED. ALL ITEMS DISTURBED BY ANY AND ALL CONSTRUCTION ACTIVITIES SHALL BE RESTORED SUBSTANTIALLY TO THE CONDITION THEY EXISTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, AND TO THE PROPERTY OWNER'S SATISFACTION.
6. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
8. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

### WORK NOTES

- 1 SUPPORT HOUSE AND LIFT TO PROPOSED ELEVATION; FRONT DECK TO BE SUPPORTED AND LIFTED WITH HOUSE
- 2 INSTALL NEW FOUNDATION ON PILES UPON COMPLETION OF FOUNDATION DEMOLITION; SEE STRUCTURAL DRAWINGS
- 3 INSTALL FIRST FLOOR FRAMING AND SUPPORTS; SEE STRUCTURAL DRAWINGS
- 4 LOWER HOUSE ONTO SUPPORTS AT PROPOSED ELEVATIONS; SEE STRUCTURAL DRAWINGS
- 5 EXTEND EXISTING ROOF DOWNSPOUTS TO GRADE; FURNISH AND INSTALL CONCRETE SPLASH BLOCKS AT ALL DOWNSPOUT LOCATIONS
- 6 FURNISH AND INSTALL ALL MATERIALS FOR DECK AT WEST SIDE OF HOUSE; SEE STRUCTURAL DRAWINGS
- 7 CONSTRUCT NEW STAIRS TO DECK AT WEST SIDE OF HOUSE; SEE STRUCTURAL DRAWINGS. STAIR RISER HEIGHT TO BE 7" AND TREAD DEPTH 11".
- 8 COORDINATE RECONNECTION OF OVERHEAD ELECTRICAL SERVICE TO EXISTING SERVICE MAST AT SOUTHWEST SIDE OF HOUSE; SEE ELECTRICAL PLANS
- 9 COORDINATE OTHER UTILITY CONNECTIONS, INCLUDING TELECOMMUNICATIONS; RESTORE ALL SERVICES TO FUNCTIONAL SERVICE STATES (NOT SHOWN). EXTEND WATER, GAS, AND SANITARY SERVICES TO ELEVATED HOUSE; INSULATE, PROTECT, AND MOUNT ALL SERVICES PER CONTRACT SPECIFICATIONS. SEE MECHANICAL, ELECTRICAL, AND PLUMBING PLANS.
- 10 FURNISH AND INSTALL 2 BOLLARDS FOR NATURAL GAS METER. SEE MECHANICAL AND PLUMBING PLANS FOR GAS METER LOCATION AND INSTALLATION.
- 11 REPLACE SANITARY SEWER LINE AS DISTURBED BY CONSTRUCTION BUT NOT BEYOND PROPERTY LINE. FURNISH AND INSTALL ALL MATERIALS FOR FUNCTIONING SANITARY SERVICE WITH BACKFLOW PREVENTER, INSPECTION RISER, AND ABOVE-GRADE CLEANOUT. SEE PLUMBING PLANS.
- 12 INSTALL CONCRETE PAD FOR LANDING AT BOTTOM OF STAIRS AT WEST SIDE OF HOUSE
- 13 FURNISH AND INSTALL ALL MATERIALS TO LOAM AND SEED ANY BARE AREAS. FURNISH AND INSTALL 12" THICK LAYER OF 3/4" CRUSHED STONE BENEATH HOUSE; TOP OF 12" LAYER OF CRUSHED STONE TO BE AT ELEVATION 8.5' (NAVD 88). RESTORE GRAVEL DRIVEWAY AT SOUTHERN SIDE OF LOT.



### LEGEND

- 1 WORK NOTE
- LIMIT OF WORK
- #/C-2.X DETAIL REFERENCE  
# = DETAIL NUMBER  
X = DETAIL SHEET NUMBER
- OH EXISTING OVERHEAD POWER LINE
- 6" APPLE EXISTING TREE
- EXISTING CONTOUR WITH ELEVATION LABEL
- 7.29 EXISTING SPOT GRADE
- 7.5 PROPOSED SPOT GRADE
- PROPERTY LINE
- △# WETLAND FLAG LABEL
- LIMIT OF WETLANDS
- ### SOIL TYPE LABEL

SOIL TYPE LEGEND	
98	WESTBROOK MUCKY PEAT, FREQUENTLY FLOODED, VERY POORLY DRAINED, WETLAND SOIL
229B	AGAWAM-URBAN LAND COMPLEX, WELL DRAINED, UPLAND SOIL

THIS MAP IS A COPYRIGHTED WORK OF MARTINEZ COUCH AND ASSOCIATES, LLC. ALL RIGHTS RESERVED.



1084 Cromwell Avenue, Suite A-2  
Rocky Hill, CT 06067  
Telephone: (860) 436-4364  
Fax: (860) 436-4626  
www.martinezcouch.com

PROJECT 1402  
80 MELBA STREET  
MILFORD, CONNECTICUT 06460

**ISSUED FOR BID  
NOT FOR CONSTRUCTION**

NO.	DATE	REVISIONS	BY	CHK	APPV
3	2/19/2016	ISSUED FOR BIDDING		MBR	MBR REC
2	2/9/2016	RE-ISSUED FOR CT DOH REVIEW AND APPROVAL		MBR	MBR REC
1	12/3/2015	ISSUED FOR CT DOH REVIEW AND APPROVAL		MBR	MBR REC

DRAWN: CMP    CHECKED: MBR    APPROVED: REC    SCALE: 1" = 5'    DATE:

### SITE PLAN

JOB NO.	DRAWING NUMBER	SHEET
33-262-1402	BASEMAP 33-262-1402.DWG	C-1.2

**SEEDING SCHEDULE**

**PERMANENT SEEDING**

PERMANENT SEEDING SHALL BE ACCOMPLISHED WITH ONE OF THE FOLLOWING SEEDING MIXTURES:

SEED MIXTURE	KIND OF AREA:	
	LBS./ACRE	LBS./1,000 SQ.FT.
KENTUCKY BLUEGRASS	20	0.45
CREeping RED FESCUE	20	0.45
PERENNIAL RYEGRASS	5	0.1
<b>TOTAL</b>	<b>45</b>	<b>1.0</b>

**TEMPORARY SEEDING RATES AND DATES**

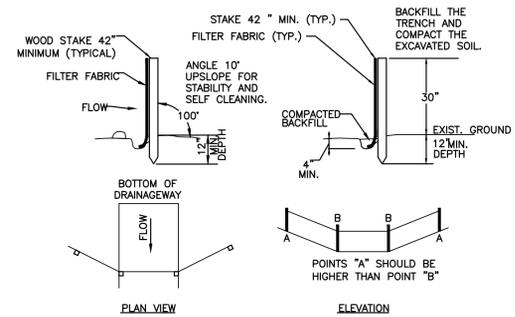
SEED MIXTURE	LBS./ACRE	LBS./1,000 SQ.FT.	DATE (1)(3)	DEPTH (2)
ANNUAL RYEGRASS	40	1.0	8/1-10/1 3/1-6/15	0.5 INCHES

SEEDING NOTES:  
 (1) MAY BE PLANTED THROUGHOUT SUMMER IF SOIL IS ADEQUATE OR CAN BE IRRIGATED.  
 (2) SEED AT TWICE THE INDICATED DEPTH FOR SANDY SOILS.  
 SOURCE: U.S. DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE, STORRS, CT

**ORGANIC MULCH MATERIALS AND APPLICATION RATES**

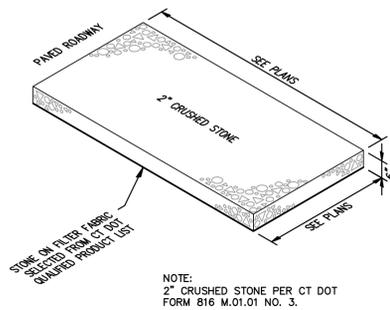
MULCHES	PER ACRE	PER 1,000 SQ.FT.	NOTES
STRAW OR HAY	1/2-2 TONS	70-90 LBS	FREE FROM MATTER AND COARSE MATTER. MUST BE ANCHORED. SPREAD WITH MULCH BLOWER OR BY HAND.

1 TYPICAL SEEDING SCHEDULE  
C-2.0 N.T.S.

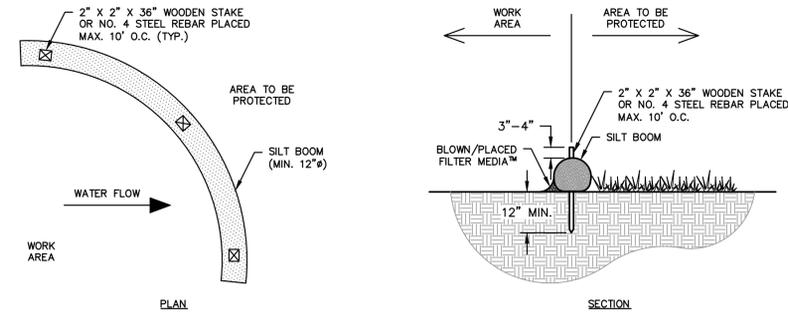


- A) MINIMUM LENGTH OF SILT FENCE IS 15 L.F.
- B) MAXIMUM POST SPACING IS 10 L.F.
- C) JOINTS ONLY AT SUPPORT POST WITH MINIMUM 6" OVERLAP, SECURELY SEALED.
- D) SEDIMENTATION DEPOSITS SHALL BE REMOVED WHEN THEY REACH 1/2 THE HEIGHT OF THE SILT FENCE.
- E) SILT FENCE SHALL NOT BE USED IN A WATER COURSE.
- F) UPON ESTABLISHMENT OF GROUND COVER ON DISTURBED AREAS, AND WHEN DIRECTED BY THE ENGINEER, FENCE WILL BE REMOVED AND ANY SEDIMENTATION WILL BE THINLY SPREAD UPON EXISTING GROUND COVER.

2 TYPICAL SILTATION FENCE  
C-2.0 N.T.S.



3 TYPICAL CONSTRUCTION TRACKPAD  
C-2.0 N.T.S.



- NOTES:
- CONTRACTOR SHALL MAINTAIN SILT SOCK IN A FUNCTIONAL CONDITION AT ALL TIMES. SILT SOCK SHALL BE ROUTINELY INSPECTED.
  - IF DAMAGED, SILT SOCK SHALL BE REPAIRED OR REPLACED.
  - CONTRACTOR SHALL REMOVE SEDIMENT IN THE BASE OF THE UPSLOPE SIDE OF THE SILT SOCK WHEN ACCUMULATION HAS REACHED 1/2 OF EFFECTIVE HEIGHT, WHICH SHALL BE DETERMINED BASED ON TABLE 1 OR AS DIRECTED BY TOWN OR ENGINEER.
  - SILT SOCK SHALL BE MAINTAINED UNTIL DISTURBED AREA HAS BEEN PERMANENTLY STABILIZED AND CONSTRUCTION ACTIVITY HAS CEASED.

TABLE 1

SILT BOOM DIAMETER	EFFECTIVE HEIGHT	HALF OF EFFECTIVE HEIGHT
12 INCHES	9.5 INCHES	4.8 INCHES
18 INCHES	14.5 INCHES	7.3 INCHES
24 INCHES	19 INCHES	9.5 INCHES

4 TYPICAL SILT SOCK  
C-2.0 N.T.S.

THIS MAP IS A COPYRIGHTED WORK OF MARTINEZ COUCH AND ASSOCIATES, LLC. ALL RIGHTS RESERVED.



1084 Cromwell Avenue, Suite A-2  
 Rocky Hill, CT 06067  
 Telephone: (860) 436-4364  
 Fax: (860) 436-4626  
 www.martinezcouch.com

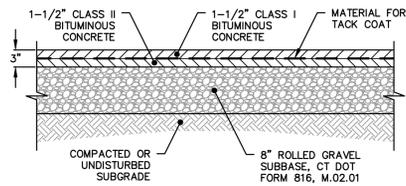
PROJECT 1402  
 80 MELBA STREET  
 MILFORD, CONNECTICUT 06460

**ISSUED FOR BID  
 NOT FOR CONSTRUCTION**

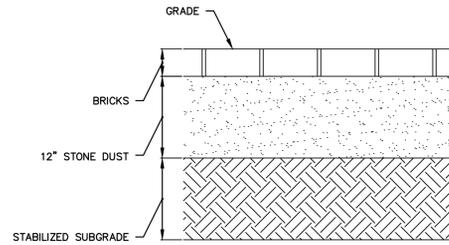
NO.	DATE	REVISIONS	BY	CHK	APPV
3	2/19/2016	ISSUED FOR BIDDING	MBR	MBR	REC
2	2/9/2016	RE-ISSUED FOR CT DOH REVIEW AND APPROVAL	MBR	MBR	REC
1	12/3/2015	ISSUED FOR CT DOH REVIEW AND APPROVAL	MBR	MBR	REC
NO.	DATE	REVISIONS	BY	CHK	APPV
DRAWN: DL	CHECKED: MBR	APPROVED: REC	SCALE: N.T.S.	DATE:	

**SOIL EROSION AND  
 SEDIMENT CONTROL DETAILS**

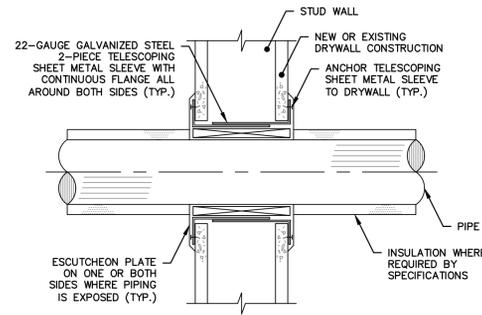
JOB NO.	DRAWING NUMBER	SHEET
33-262-1402	BASEMAP 33-262-1402.DWG	C-2.0



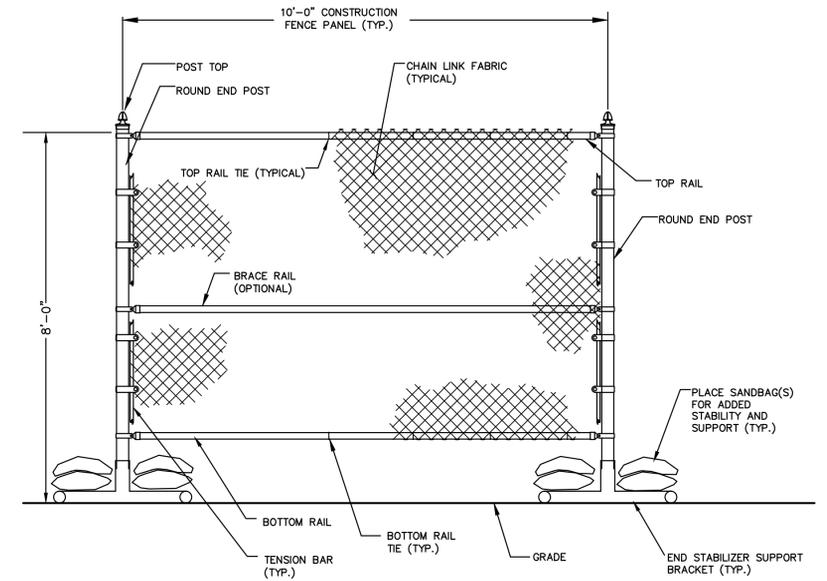
1 TYPICAL BITUMINOUS DRIVEWAY  
C-2.1 N.T.S.



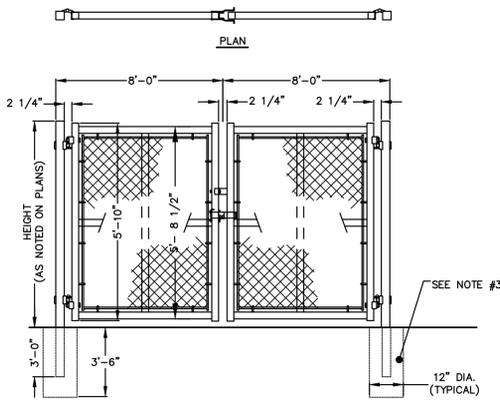
2 TYPICAL BRICK WALKWAY  
C-2.1 N.T.S.



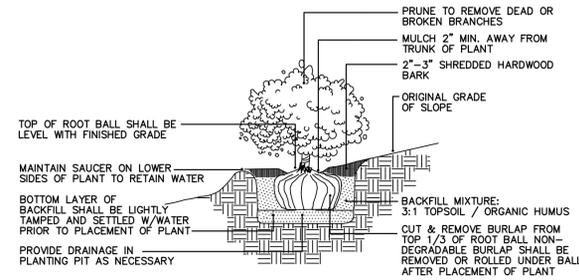
3 TYPICAL WALL/FLOOR PENETRATION  
C-2.1 N.T.S.



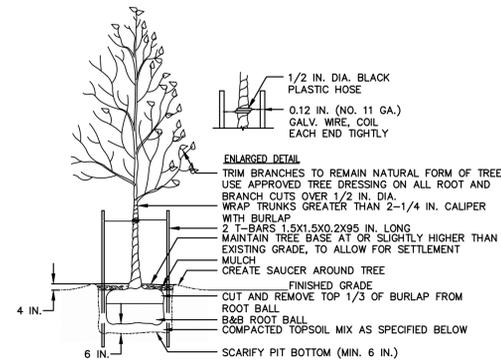
4 TYPICAL PORTABLE CONSTRUCTION CHAIN LINK FENCE  
C-2.1 N.T.S.



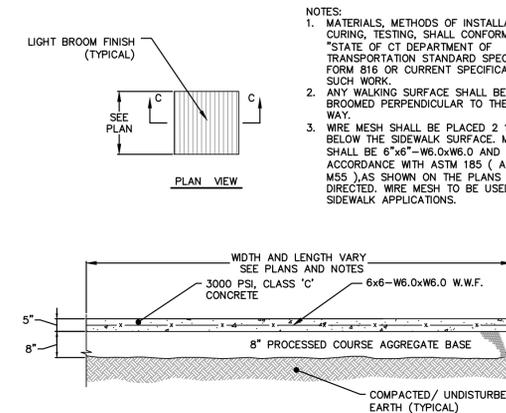
5 TYPICAL DOUBLE LEAF CHAIN LINK FENCE GATE  
C-2.1 N.T.S.



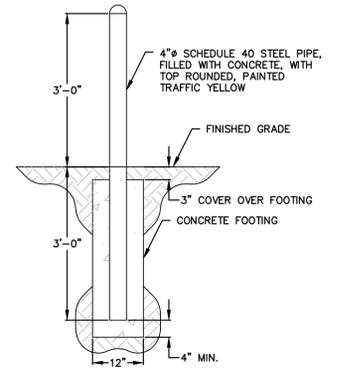
6 TYPICAL SHRUB  
C-2.1 N.T.S.



7 TYPICAL DECIDUOUS TREE  
C-2.1 N.T.S.



8 TYPICAL CONCRETE STAIR LANDING  
C-2.1 N.T.S.



9 TYPICAL BOLLARD  
C-2.1 N.T.S.

THIS MAP IS A COPYRIGHTED WORK OF MARTINEZ COUCH AND ASSOCIATES, LLC. ALL RIGHTS RESERVED.



1084 Cromwell Avenue, Suite A-2  
Rocky Hill, CT 06067  
Telephone: (860) 436-4364  
Fax: (860) 436-4626  
www.martinezcouch.com

PROJECT 1402  
80 MELBA STREET  
MILFORD, CONNECTICUT 06460

**ISSUED FOR BID  
NOT FOR CONSTRUCTION**

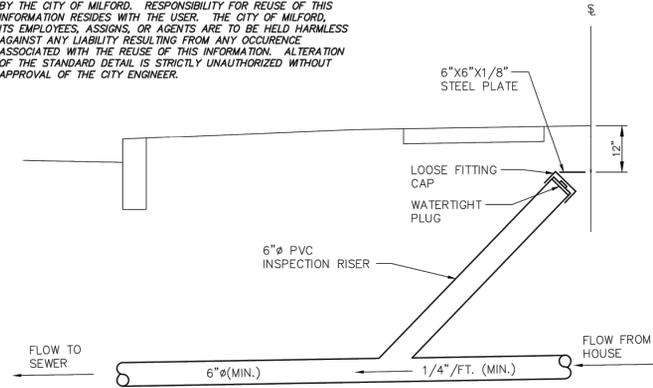
NO.	DATE	REVISIONS	BY	CHK	APPV
3	2/19/2016	ISSUED FOR BIDDING	MBR	MBR	REC
2	2/9/2016	RE-ISSUED FOR CT DOH REVIEW AND APPROVAL	MBR	MBR	REC
1	12/3/2015	ISSUED FOR CT DOH REVIEW AND APPROVAL	MBR	MBR	REC

DRAWN: KNL    CHECKED: MBR    APPROVED: REC    SCALE: N.T.S.    DATE:

MISCELLANEOUS DETAILS

JOB NO.	DRAWING NUMBER	SHEET
33-262-1402	BASEMAP 33-262-1402.DWG	C-2.1

INFORMATION SHOWN ON THIS DETAIL WAS PREPARED FOR USE BY THE CITY OF MILFORD. RESPONSIBILITY FOR REUSE OF THIS INFORMATION RESIDES WITH THE USER. THE CITY OF MILFORD, ITS EMPLOYEES, ASSIGNS, OR AGENTS ARE TO BE HELD HARMLESS AGAINST ANY LIABILITY RESULTING FROM ANY OCCURENCE ASSOCIATED WITH THE REUSE OF THIS INFORMATION. ALTERATION OF THE STANDARD DETAIL IS STRICTLY UNAUTHORIZED WITHOUT APPROVAL OF THE CITY ENGINEER.

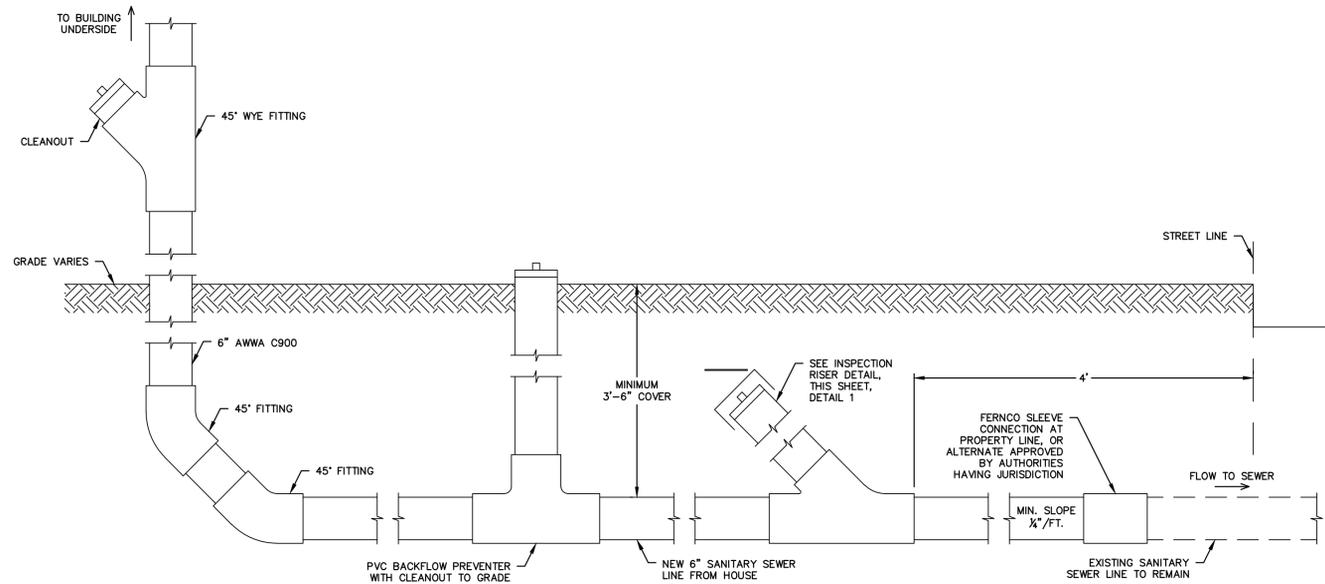


A CONDITION OF ALL SEWER PERMITS FOR INSTALLING RESIDENTIAL SEWER CONNECTIONS IS THE REQUIREMENT TO FURNISH AND INSTALL A SEWER INSPECTION RISER IN THAT AREA OF THE STREET RIGHT-OF-WAY BETWEEN THE CURB AND THE STREETLINE (FRONT PROPERTY LINE). THE INSPECTION RISER IS TO CONSIST OF A 45° WYE FITTING INSTALLED ON THE HOUSE CONNECTION SEWER APPROXIMATELY 4 FEET BEHIND THE STANDARD CURB LOCATION\*. A 6" PVC INSPECTION RISER PIPE IS TO BE INSTALLED TO WITHIN 12" OF THE FINISHED GROUND SURFACE AND FITTED WITH A WATERTIGHT PLUG. A 6"x6"x1/8" STEEL PLATE IS TO BE PLACED ABOVE THE END OF THE INSPECTION RISER WHEN BACKFILLING THE AREA TO GRADE TO ASSIST WITH FUTURE RECOVERY OF THE INSPECTION RISER BY MEANS OF A MAGNETIC DETECTOR.

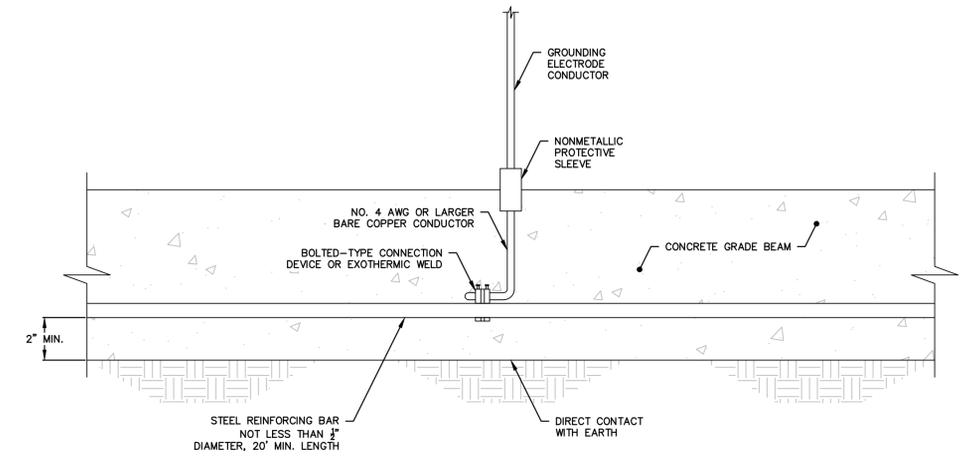
\*IN A SEWER EASEMENT THE INSPECTION RISER IS TO BE AT THE EDGE OF THE EASEMENT.

\*IN LOCATIONS WHERE AN EXISTING LATERAL EXTENDS TO THE STREET LINE, THE "Y" CONNECTION SHALL BE PLACED AS CLOSE TO THE STREET LINE AS POSSIBLE, WITH THE INSPECTION RISER EXTENDING TO WITHIN 12" OF GRADE AND LOCATED ON PRIVATE PROPERTY.

1 INSPECTION RISER  
C-2.2 N.T.S.



2 SANITARY DRAIN SCHEMATIC  
C-2.2 1" = 1'



3 CONCRETE-ENCASED ELECTRODE  
C-2.2 N.T.S.

NOTE:  
1. ALL WORK FOR SANITARY SEWER LATERAL TO BE PER SPECIFICATION SECTION 221313.

THIS MAP IS A COPYRIGHTED WORK OF MARTINEZ COUCH AND ASSOCIATES, LLC. ALL RIGHTS RESERVED.



1084 Cromwell Avenue, Suite A-2  
Rocky Hill, CT 06067  
Telephone: (860) 436-4364  
Fax: (860) 436-4626  
www.martinezcouch.com

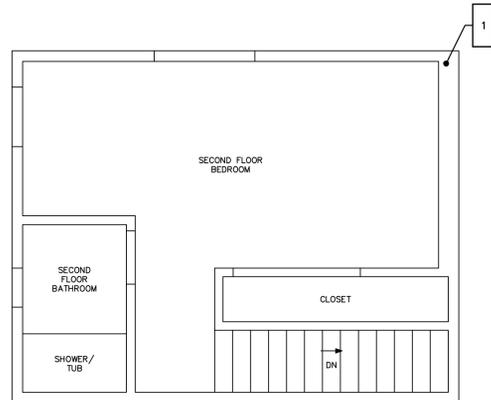
PROJECT 1402  
80 MELBA STREET  
MILFORD, CONNECTICUT 06460

**ISSUED FOR BID  
NOT FOR CONSTRUCTION**

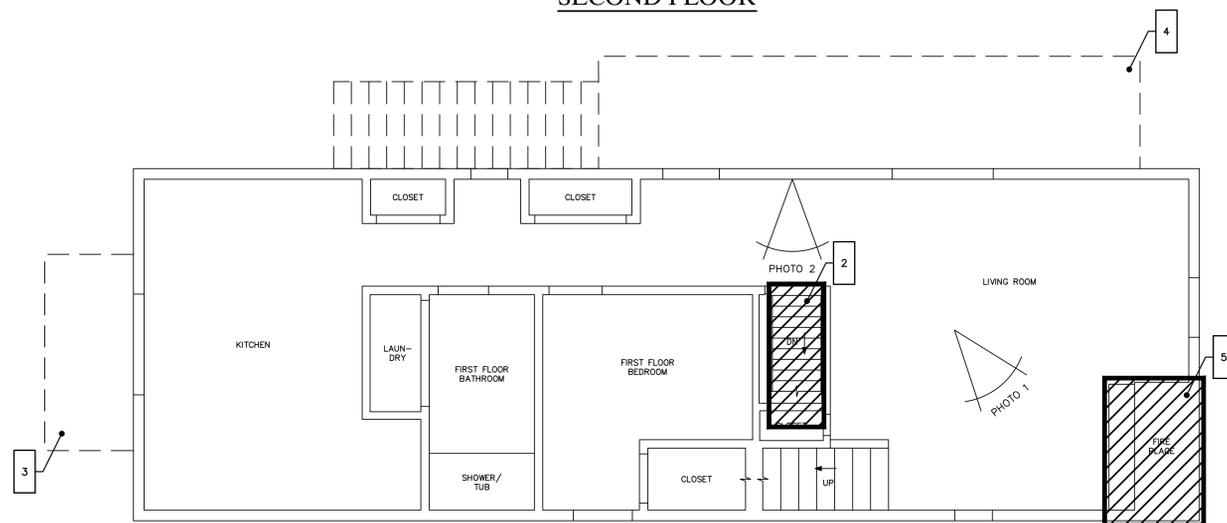
NO.	DATE	REVISIONS	BY	CHK	APPV
3	2/19/2016	ISSUED FOR BIDDING	MBR	MBR	REC
2	2/9/2016	RE-ISSUED FOR CT DOH REVIEW AND APPROVAL	MBR	MBR	REC
1	12/3/2015	ISSUED FOR CT DOH REVIEW AND APPROVAL	MBR	MBR	REC
DRAWN: KNL		CHECKED: MBR	APPROVED: REC	SCALE: N.T.S.	DATE:

BUILDING UTILITY DETAILS

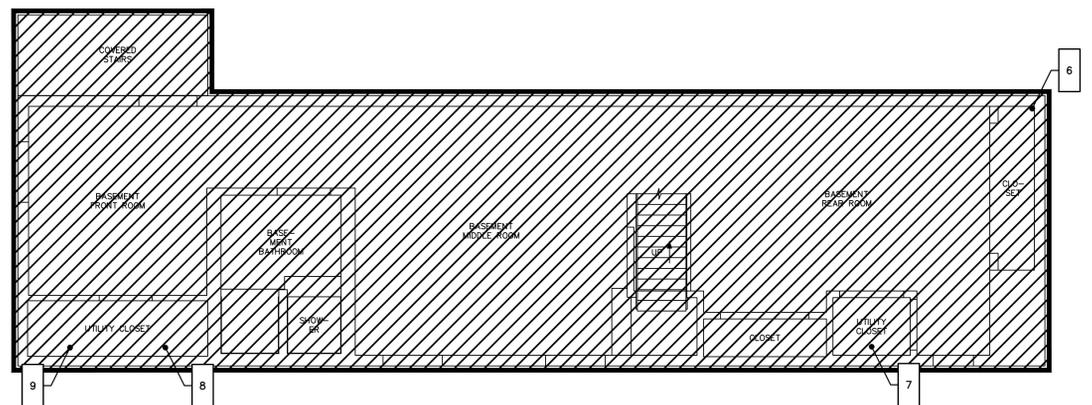
JOB NO.	DRAWING NUMBER	SHEET
33-262-1402	BASEMAP 33-262-1402.DWG	C-2.2



**SECOND FLOOR**



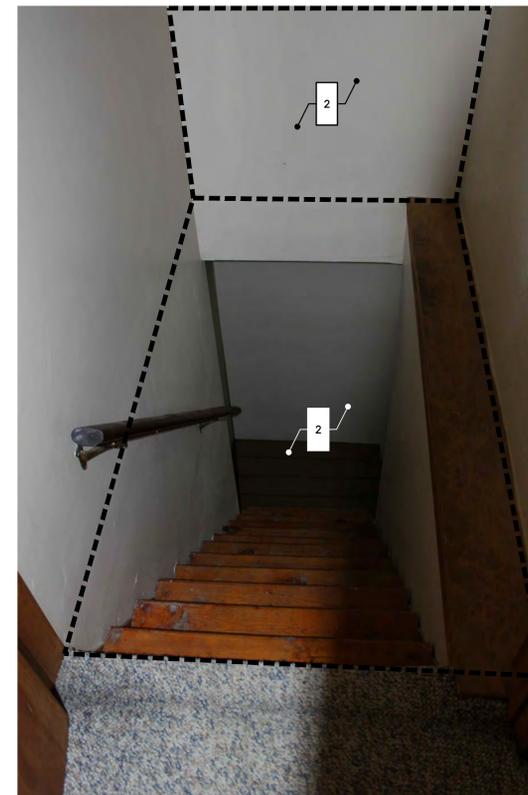
**FIRST FLOOR**



**FINISHED BASEMENT**



**PHOTO 1**  
FIRST FLOOR FIRE PLACE



**PHOTO 2**  
STAIRS TO FINISHED BASEMENT

**GENERAL NOTES**

1. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL MEASUREMENTS. ANY VARIATIONS FROM CONDITIONS SHOWN ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL AND/OR MARTINEZ COUCH AND ASSOCIATES PRIOR TO BIDDING FOR RESOLUTION IN ACCORDANCE WITH CONTRACT DOCUMENT REQUIREMENTS.
2. ALL REQUIRED PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
3. REFERENCE IS HEREBY MADE TO THE FOLLOWING MAP: TOPOGRAPHIC & BOUNDARY SURVEY, 80 MELBA ST, MILFORD, CONNECTICUT. SCALE 1" = 10'. DATED 05-06-2015. PREPARED BY MARTINEZ COUCH & ASSOCIATES, LLC.
4. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF THE NOTED ITEM.
5. WORK LIMITS SHALL BE AS NOTED. ALL ITEMS DISTURBED BY ANY AND ALL CONSTRUCTION ACTIVITIES SHALL BE RESTORED SUBSTANTIALLY TO THE CONDITION THEY EXISTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, AND TO THE PROPERTY OWNER'S SATISFACTION.
6. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
8. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

**WORK NOTES**

1. NO WORK TO BE DONE ON SECOND FLOOR
2. EXISTING STAIR FROM FIRST FLOOR TO FINISHED BASEMENT TO BE CONVERTED TO CLOSET FOR STORAGE SPACE. SEE STRUCTURAL DRAWINGS FOR FRAMING INFILL. CUT AND PATCH INTERIOR FINISHES AS REQUIRED. REMOVE PARTITION AT WEST-FACING WALL TO CONNECT TO EXISTING LIVING ROOM CLOSET.
3. EXISTING CANTILEVERED DECK TO BE ELEVATED WITH HOUSE
4. EXISTING FIRST-FLOOR DECK TO BE DEMOLISHED AND REMOVED OFF SITE
5. EXISTING FIREPLACE HEARTH TO REMAIN. MASONRY CHIMNEY TO BE DEMOLISHED AND REMOVED OFF SITE, FROM ABOVE FIREBOX TO CHIMNEY PEAK. DEMOLISH AND REMOVE OFFSITE EXISTING NOT OPERATIONAL DAMPER. CUT AND PATCH INTERIOR FINISHES AS REQUIRED. PROTECT BUILDING ENVELOPE FROM THE ELEMENTS UNTIL PERMANENT ROOF PATCH IS IN PLACE.
6. EXISTING FINISHED BASEMENT LEVEL TO BE COMPLETELY DEMOLISHED, REMOVED, AND DISPOSED OF OFF SITE
7. EXISTING FURNACE TO BE RELOCATED TO NEW MECHANICAL ROOM; SEE MECHANICAL AND PLUMBING PLANS
8. EXISTING DOMESTIC HOT WATER HEATER TO BE RELOCATED TO NEW MECHANICAL ROOM; SEE MECHANICAL AND PLUMBING PLANS
9. EXISTING ELECTRICAL PANEL TO BE REPLACED; SEE ELECTRICAL PLANS

THIS MAP IS A COPYRIGHTED WORK OF MARTINEZ COUCH AND ASSOCIATES, LLC. ALL RIGHTS RESERVED.



1084 Cromwell Avenue, Suite A-2  
Rocky Hill, CT 06067  
Telephone: (860) 436-4364  
Fax: (860) 436-4626  
www.martinezcouch.com

**PROJECT 1402**  
**80 MELBA STREET**  
**MILFORD, CONNECTICUT 06460**

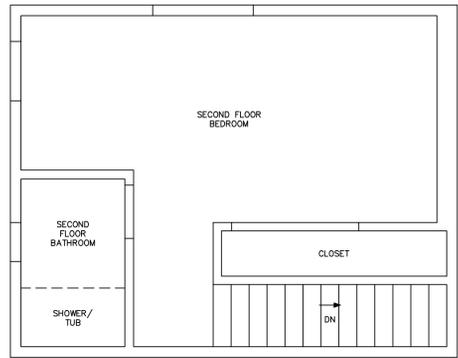
**ISSUED FOR BID**  
**NOT FOR CONSTRUCTION**

NO.	DATE	REVISIONS	BY	CHK	APPV
3	2/19/2016	ISSUED FOR BIDDING	MBR	MBR	REC
2	2/9/2016	RE-ISSUED FOR CT DOH REVIEW AND APPROVAL	MBR	MBR	REC
1	12/3/2015	ISSUED FOR CT DOH REVIEW AND APPROVAL	MBR	MBR	REC

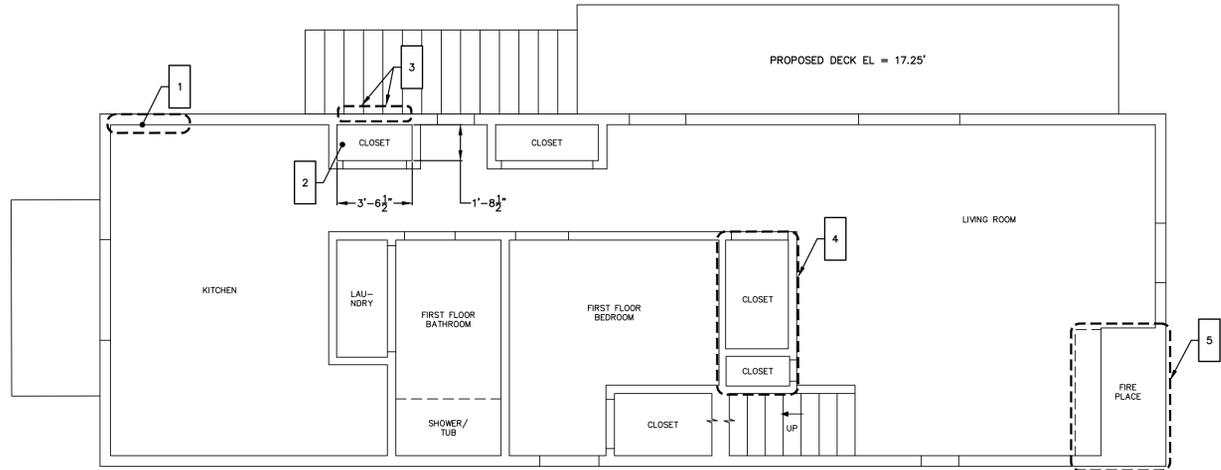
DRAWN: KNL    CHECKED: MBR    APPROVED: REC    SCALE: 1/4"=1'    DATE:

**FLOOR PLANS-EXISTING**

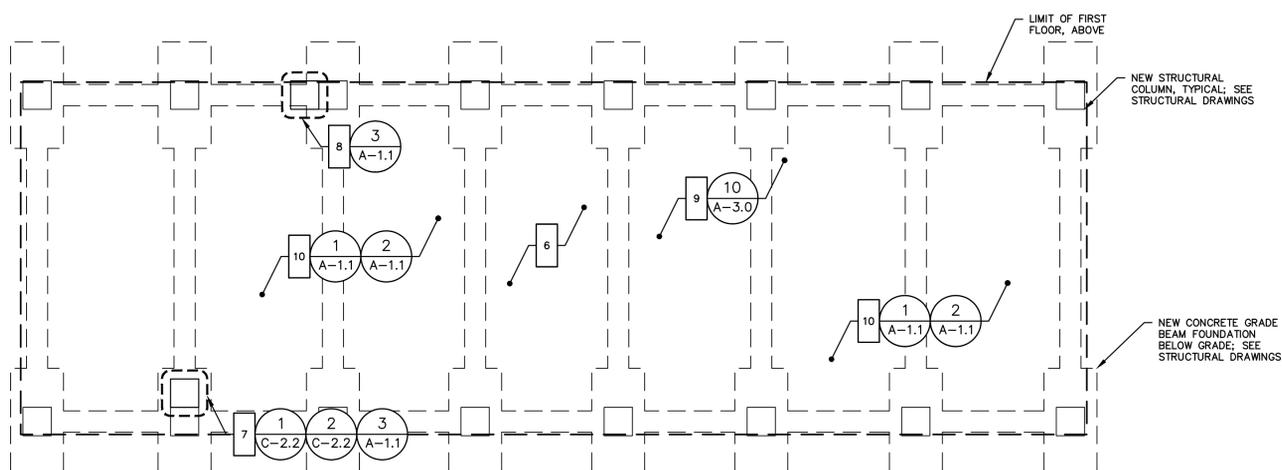
JOB NO.	DRAWING NUMBER	SHEET
33-262-1402	BASEMAP 33-262-1402.DWG	A-1.0



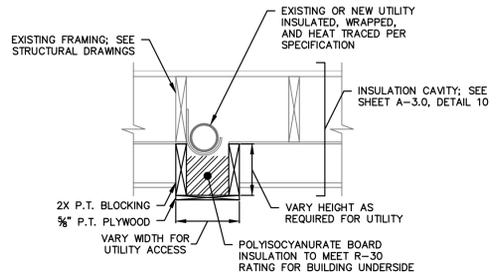
SECOND FLOOR



FIRST FLOOR PLAN

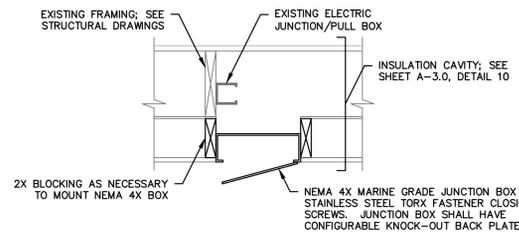


GRADE LEVEL PLAN



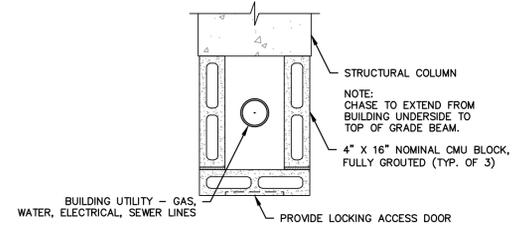
1. ALL FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE STAINLESS STEEL.
2. WIDTH OF UTILITY CHASE SHALL BE FIELD VERIFIED WITH CONTRACTOR AND ENGINEER FOR PROPER ACCESS TO REPLACE, REPAIR, OR MAINTAIN SUBJECT UTILITY.
3. UTILITY CHASE SHALL BE CONSTRUCTED FOR NATURAL GAS SERVICE, SANITARY SEWER DRAIN, AND DOMESTIC WATER SERVICE PIPING.

1 UTILITY ACCESS CHASE  
A-1.1 1" = 1'



1. ALL FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE STAINLESS STEEL.
2. CONTRACTOR SHALL VERIFY IN FIELD AND REVIEW WITH ENGINEER LOCATIONS OF EXISTING JUNCTION/PULL BOXES FOR NEW ACCESS BOX INSTALLATION.
3. NEMA JUNCTION BOX SHALL BE INSTALLED PER MANUFACTURER INSTRUCTIONS, FLUSH WITH SURROUNDING GYPSUM BOARD, WITH WEATHER TIGHT SEAL.

2 ELECTRICAL JUNCTION BOX ACCESS  
A-1.1 1" = 1'



3 COLUMN UTILITY CHASE  
A-1.3 1" = 1'-0"

GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL MEASUREMENTS. ANY VARIATIONS FROM CONDITIONS SHOWN ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL AND/OR MARTINEZ COUCH AND ASSOCIATES PRIOR TO BIDDING FOR RESOLUTION IN ACCORDANCE WITH CONTRACT DOCUMENT REQUIREMENTS.
2. ALL REQUIRED PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
3. REFERENCE IS HEREBY MADE TO THE FOLLOWING MAP: TOPOGRAPHIC & BOUNDARY SURVEY, 80 MELBA ST, MILFORD, CONNECTICUT. SCALE 1" = 10'. DATED 05-06-2015. PREPARED BY MARTINEZ COUCH & ASSOCIATES, LLC.
4. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF THE NOTED ITEM.
5. WORK LIMITS SHALL BE AS NOTED. ALL ITEMS DISTURBED BY ANY AND ALL CONSTRUCTION ACTIVITIES SHALL BE RESTORED SUBSTANTIALLY TO THE CONDITION THEY EXISTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, AND TO THE PROPERTY OWNER'S SATISFACTION.
6. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
8. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

WORK NOTES

- 1 CUT AND PATCH AS REQUIRED FOR NEW PANEL BOARD INSTALLATION. SEE ELECTRICAL DRAWINGS. PRIME AND PAINT ALL DISTURBED SURFACES TO MATCH ADJACENT CONDITIONS.
- 2 CLOSET FOR LOCATION OF NEW COMBINATION BOILER WATER METER; SEE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS. OWNER TO REMOVE ALL POSSESSION IN CLOSET PRIOR TO START OF PROJECT WORK.
- 3 CUT, PATCH, AND SEAL EXTERIOR WALL FOR COMBINATION BOILER VENTING; SEE MECHANICAL DRAWINGS.
- 4 FURNISH AND INSTALL ALL MATERIALS TO INFILL FLOOR FRAMING FOR CLOSET SPACE; MATCH ADJACENT EXISTING FINISHES. SEE STRUCTURAL DRAWINGS FOR FRAMING AND SUBFLOORING INFILL. PRIME AND PAINT ALL WALLS.
- 5 FURNISH AND INSTALL ALL MATERIALS TO PATCH GYPSUM BOARD IN LOCATION OF REMOVED MASONRY CHIMNEY. FRAME IN CHASE FOR NEW DOUBLE WALL INSULATED METAL FLUE, AND INSTALL GYPSUM BOARD ON ALL DISTURBED AREAS. FURNISH AND INSTALL NEW DAMPER, TAPE, PRIME, AND PAINT ALL GYPSUM BOARD. LOCATION OF CHASE TO BE DETERMINED IN FIELD. CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING ALL SERVICE CLEARANCES AND INSTALLATION OF FLUE PER MANUFACTURER AND CODE REQUIREMENTS.
- 6 FURNISH AND INSTALL 12" THICK LAYER OF 3/4" CRUSHED STONE BENEATH ENTIRE HOUSE. FURNISH AND INSTALL ALL MATERIALS FOR NEW LIGHTING BENEATH HOUSE; SEE ELECTRICAL PLANS.
- 7 FURNISH AND INSTALL ALL MATERIALS TO CONSTRUCT COLUMN UTILITY CHASE FOR SANITARY SEWER RISER ADJACENT TO STRUCTURAL COLUMN.
- 8 FURNISH AND INSTALL ALL MATERIALS TO CONSTRUCT COLUMN UTILITY CHASE FOR DOMESTIC WATER SERVICE RISER TO BUILDING ADJACENT TO NEW STRUCTURAL COLUMN.
- 9 FURNISH AND INSTALL MATERIALS FOR BUILDING INSULATION CAVITY AT UNDERSIDE OF FIRST FLOOR.
- 10 FURNISH AND INSTALL ALL MATERIALS TO CONSTRUCT UTILITY ACCESS CHASE FOR SANITARY DRAIN PIPING, DOMESTIC WATER SERVICE, AND ACCESS DOORS FOR SANITARY DRAIN PIPING CLEANOUTS; LOCATIONS TO BE DETERMINED IN FIELD.

THIS MAP IS A COPYRIGHTED WORK OF MARTINEZ COUCH AND ASSOCIATES, LLC. ALL RIGHTS RESERVED.



1084 Cromwell Avenue, Suite A-2  
Rocky Hill, CT 06067  
Telephone: (860) 436-4364  
Fax: (860) 436-4626  
www.martinezcouch.com

PROJECT 1402  
80 MELBA STREET  
MILFORD, CONNECTICUT 06460

**ISSUED FOR BID  
NOT FOR CONSTRUCTION**

NO.	DATE	REVISIONS	BY	CHK	APPV
3	2/19/2016	ISSUED FOR BIDDING	MBR	MBR	REC
2	2/9/2016	RE-ISSUED FOR CT DOH REVIEW AND APPROVAL	MBR	MBR	REC
1	12/3/2015	ISSUED FOR CT DOH REVIEW AND APPROVAL	MBR	MBR	REC

DRAWN: KNL/CMP    CHECKED: MBR    APPROVED: REC    SCALE: AS NOTED    DATE:

FLOOR PLANS-  
PROPOSED

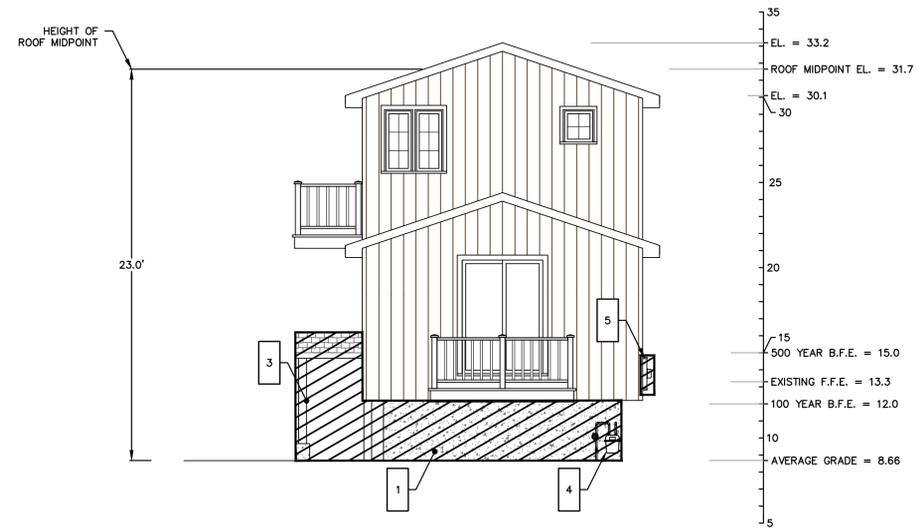
JOB NO.	DRAWING NUMBER	SHEET
33-262-1402	BASEMAP 33-262-1402.DWG	A-1.1

**GENERAL NOTES**

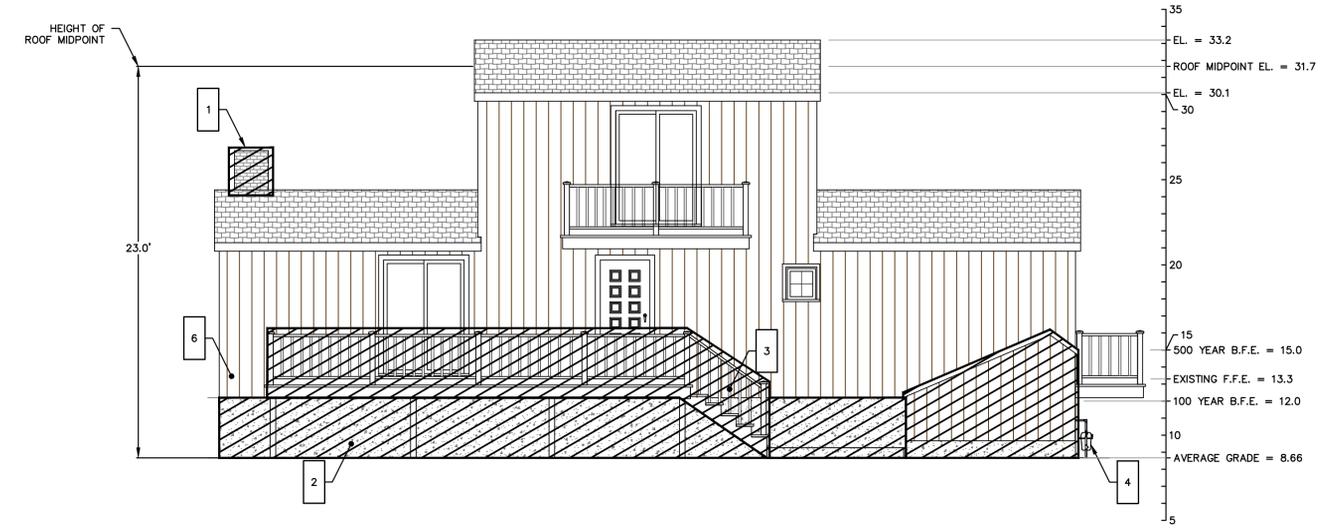
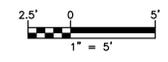
1. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL MEASUREMENTS. ANY VARIATIONS FROM CONDITIONS SHOWN ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL AND/OR MARTINEZ COUCH AND ASSOCIATES PRIOR TO BIDDING FOR RESOLUTION IN ACCORDANCE WITH CONTRACT DOCUMENT REQUIREMENTS.
2. ALL REQUIRED PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
3. REFERENCE IS HEREBY MADE TO THE FOLLOWING MAP: TOPOGRAPHIC & BOUNDARY SURVEY, 80 MELBA ST, MILFORD, CONNECTICUT. SCALE 1" = 10'. DATED 05-06-2015. PREPARED BY MARTINEZ COUCH & ASSOCIATES, LLC.
4. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF THE NOTED ITEM.
5. WORK LIMITS SHALL BE AS NOTED. ALL ITEMS DISTURBED BY ANY AND ALL CONSTRUCTION ACTIVITIES SHALL BE RESTORED SUBSTANTIALLY TO THE CONDITION THEY EXISTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, AND TO THE PROPERTY OWNER'S SATISFACTION.
6. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
8. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

**WORK NOTES**

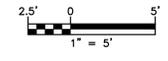
- 1 DEMOLISH EXISTING MASONRY CHIMNEY. PATCH ROOF TO MATCH ADJACENT EXISTING CONSTRUCTION. PROTECT BUILDING ENVELOPE FROM THE ELEMENTS UNTIL PERMANENT PATCH IS IN PLACE.
- 2 DEMOLISH AND REMOVE OFF SITE EXISTING FOUNDATION AND ALL SUPPORTS BELOW GRADE
- 3 DEMOLISH AND REMOVE OFF SITE STAIRS, RAILING, AND ALL SUPPORTS BELOW GRADE
- 4 COORDINATE DISCONNECT OF GAS METER AND GAS SERVICE. STORE METER ON SITE FOR REINSTALLATION OR REPLACEMENT AS REQUIRED BY LOCAL UTILITY COMPANY.
- 5 COORDINATE DISCONNECT OF ELECTRIC METER AND ELECTRIC SERVICE. STORE METER ON SITE FOR REINSTALLATION OR REPLACEMENT AS REQUIRED BY LOCAL UTILITY COMPANY; SEE ELECTRICAL PLANS.
- 6 REMOVE SIDING AS REQUIRED TO ELEVATE STRUCTURE AND FOR INSTALLATION OF HURRICANE STRAPS; SEE STRUCTURAL DRAWINGS



**EXISTING FRONT ELEVATION**



**EXISTING LEFT ELEVATION**



THIS MAP IS A COPYRIGHTED WORK OF MARTINEZ COUCH AND ASSOCIATES, LLC. ALL RIGHTS RESERVED.



1084 Cromwell Avenue, Suite A-2  
Rocky Hill, CT 06067  
Telephone: (860) 436-4364  
Fax: (860) 436-4626  
www.martinezcouch.com

PROJECT 1402  
80 MELBA STREET  
MILFORD, CONNECTICUT 06460

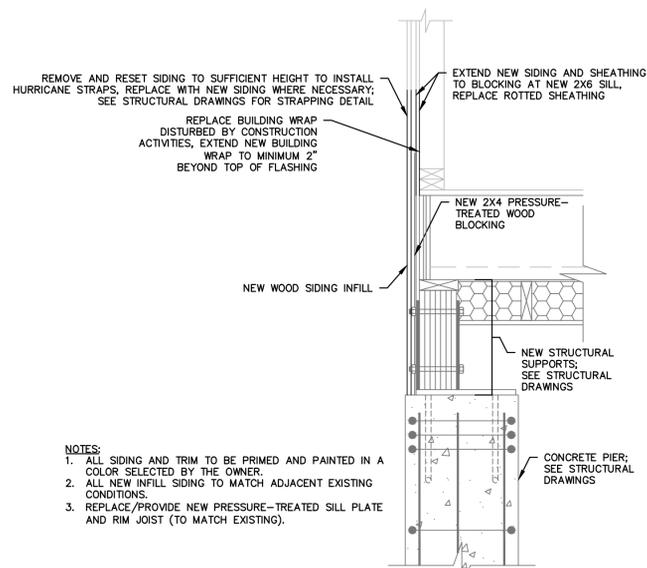
**ISSUED FOR BID  
NOT FOR CONSTRUCTION**

NO.	DATE	REVISIONS	BY	CHK	APPV
3	2/19/2016	ISSUED FOR BIDDING	MBR	MBR	REC
2	2/9/2016	RE-ISSUED FOR CT DOH REVIEW AND APPROVAL	MBR	MBR	REC
1	12/3/2015	ISSUED FOR CT DOH REVIEW AND APPROVAL	MBR	MBR	REC

DRAWN: KNL    CHECKED: MBR    APPROVED: REC    SCALE: 1" = 5'    DATE:

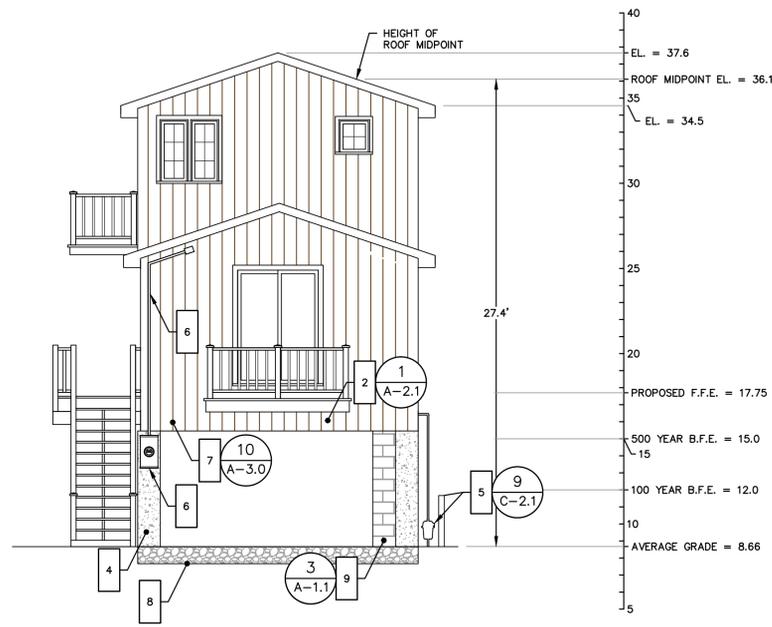
**EXISTING BUILDING ELEVATIONS**

JOB NO.	DRAWING NUMBER	SHEET
33-262-1402	BASEMAP 33-262-1402.DWG	A-2.0

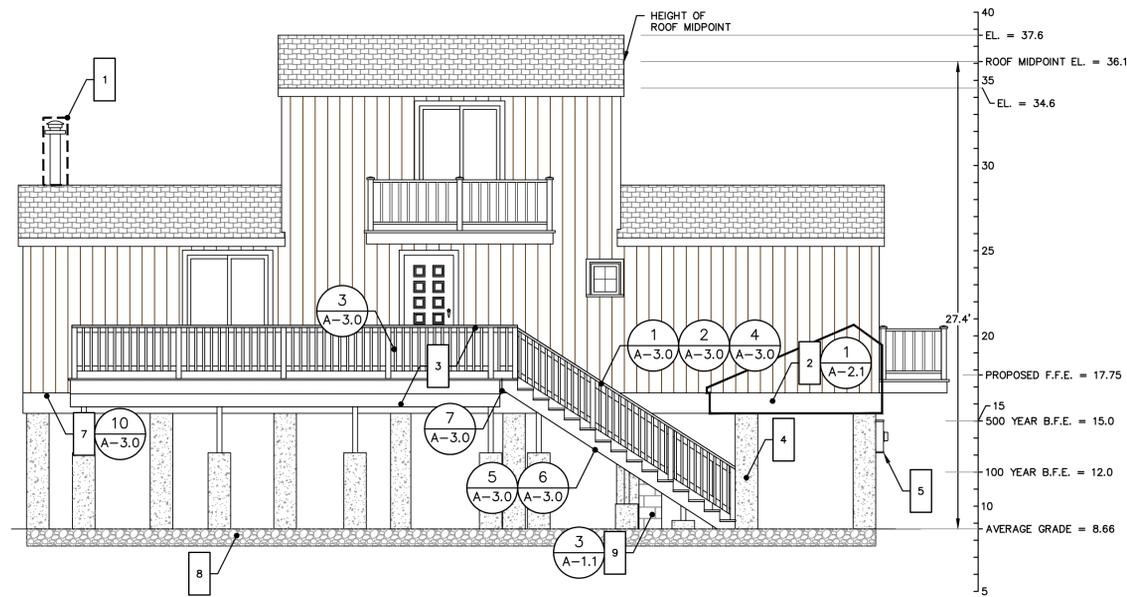
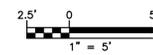


- NOTES:
1. ALL SIDING AND TRIM TO BE PRIMED AND PAINTED IN A COLOR SELECTED BY THE OWNER.
  2. ALL NEW INFILL SIDING TO MATCH ADJACENT EXISTING CONDITIONS.
  3. REPLACE/PROVIDE NEW PRESSURE-TREATED SILL PLATE AND RIM JOIST (TO MATCH EXISTING).

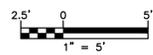
1 BUILDING SILL SECTION  
A-2.1 1" = 1'-0"



FRONT ELEVATION



LEFT ELEVATION



GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL MEASUREMENTS. ANY VARIATIONS FROM CONDITIONS SHOWN ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL AND/OR MARTINEZ COUCH AND ASSOCIATES PRIOR TO BIDDING FOR RESOLUTION IN ACCORDANCE WITH CONTRACT DOCUMENT REQUIREMENTS.
2. ALL REQUIRED PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
3. REFERENCE IS HEREBY MADE TO THE FOLLOWING MAP: TOPOGRAPHIC & BOUNDARY SURVEY, 80 MELBA ST, MILFORD, CONNECTICUT. SCALE 1" = 10'. DATED 05-06-2015. PREPARED BY MARTINEZ COUCH & ASSOCIATES, LLC.
4. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF THE NOTED ITEM.
5. WORK LIMITS SHALL BE AS NOTED. ALL ITEMS DISTURBED BY ANY AND ALL CONSTRUCTION ACTIVITIES SHALL BE RESTORED SUBSTANTIALLY TO THE CONDITION THEY EXISTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, AND TO THE PROPERTY OWNER'S SATISFACTION.
6. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
8. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

WORK NOTES

1. FURNISH AND INSTALL ALL MATERIALS FOR NEW METAL FLUE IN LOCATION OF FORMER CHIMNEY. TOP OF FLUE TO EXTEND 3' ABOVE ROOF PEAK. PATCH AND PROPERLY FLASH ROOF PENETRATION FOR NEW FLUE INSTALLATION. NEW FLUE TO BE INSULATED WITH FULL-HEIGHT DOUBLE WALL.
2. FURNISH AND INSTALL ALL MATERIALS FOR SIDING AROUND ENTIRE STRUCTURE. FURNISH AND INSTALL INFILL SIDING AS REQUIRED. INFILL SIDING AS REQUIRED AT AREA OF FORMER STAIR TO BASEMENT. SEE DETAIL 1 ON SHEET A-2.1.
3. FURNISH AND INSTALL ALL MATERIALS FOR NEW STAIRS, LANDINGS, AND FOUNDATION SUPPORTS; SEE STRUCTURAL DRAWINGS
4. FURNISH AND INSTALL ALL MATERIALS FOR NEW FOUNDATION; SEE STRUCTURAL DRAWINGS FOR DETAILS AND SUBSURFACE ELEMENTS
5. FURNISH AND INSTALL ALL MATERIALS TO RELOCATE GAS METER OR INSTALL NEW GAS METER ADJACENT TO NEW STRUCTURAL COLUMN, AS REQUIRED BY LOCAL UTILITY PROVIDER. FURNISH AND INSTALL ALL MATERIALS FOR PIPE BOLLARD SUPPORTS. EXTEND GAS SERVICE PIPE TO BUILDING ENVELOPE. SEE MECHANICAL, ELECTRICAL, AND PLUMBING PLANS.
6. FURNISH AND INSTALL ALL MATERIALS TO RELOCATE ELECTRIC METER AND SERVICE MAST FOR CONNECTION AT UTILITY PROVIDER APPROVED LOCATION ABOVE FEMA 100-YEAR BASE FLOOD ELEVATION OF 13'; SEE ELECTRICAL PLANS
7. FURNISH AND INSTALL ALL MATERIALS TO INSULATE AND FINISH BUILDING UNDERSIDE. FURNISH AND INSTALL ALL MATERIALS FOR NEW LIGHTING BENEATH HOUSE; SEE ELECTRICAL PLANS.
8. FURNISH AND INSTALL 12" THICK LAYER OF 3/4" CRUSHED STONE BENEATH ENTIRE HOUSE
9. FURNISH AND INSTALL ALL MATERIALS TO CONSTRUCT COLUMN UTILITY CHASE FOR SANITARY SEWER PIPING AND DOMESTIC WATER SERVICE PIPING

THIS MAP IS A COPYRIGHTED WORK OF MARTINEZ COUCH AND ASSOCIATES, LLC. ALL RIGHTS RESERVED.



1084 Cromwell Avenue, Suite A-2  
Rocky Hill, CT 06067  
Telephone: (860) 436-4364  
Fax: (860) 436-4626  
www.martinezcouch.com

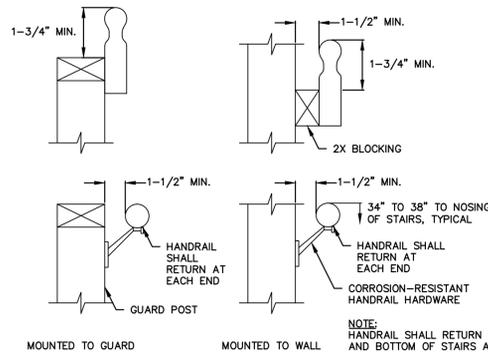
PROJECT 1402  
80 MELBA STREET  
MILFORD, CONNECTICUT 06460

**ISSUED FOR BID  
NOT FOR CONSTRUCTION**

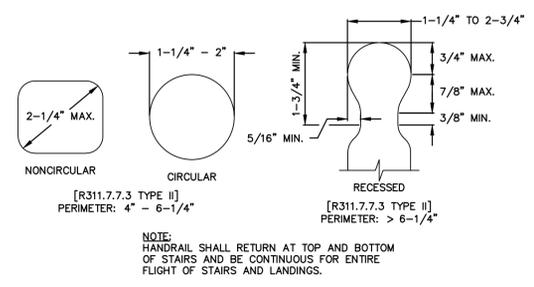
NO.	DATE	REVISIONS	BY	CHK	APPV
3	2/19/2016	ISSUED FOR BIDDING	MBR	MBR	REC
2	2/9/2016	RE-ISSUED FOR CT DOH REVIEW AND APPROVAL	MBR	MBR	REC
1	12/3/2015	ISSUED FOR CT DOH REVIEW AND APPROVAL	MBR	MBR	REC
DRAWN: KNL		CHECKED: MBR	APPROVED: REC	SCALE: AS NOTED	DATE:

PROPOSED BUILDING ELEVATIONS

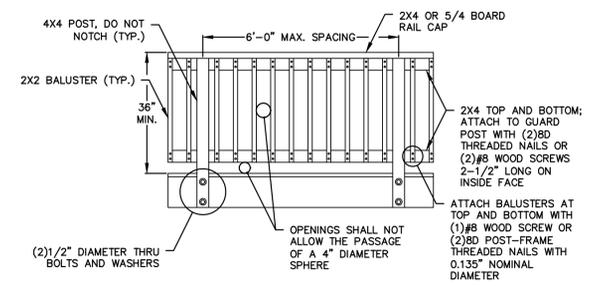
JOB NO.	DRAWING NUMBER	SHEET
33-262-1402	BASEMAP 33-262-1402.DWG	A-2.1



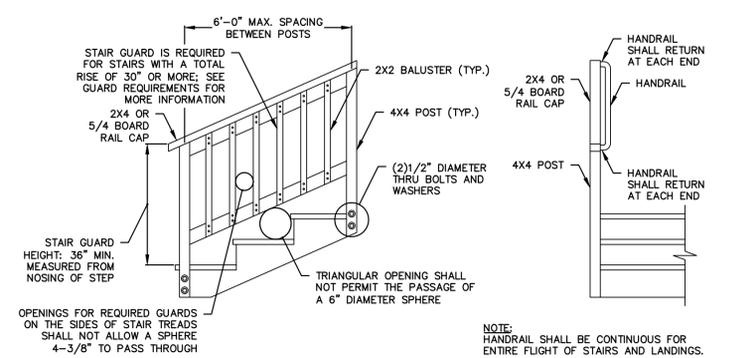
1 TYPICAL HANDRAIL MOUNTING  
A-3.0 N.T.S.



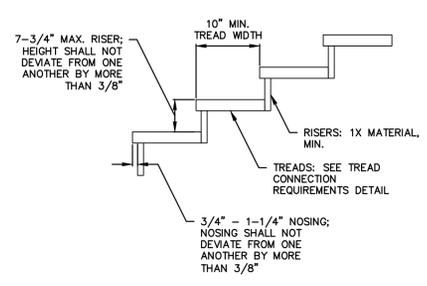
2 TYPICAL HANDRAIL GRIP SIZE  
A-3.0 N.T.S.



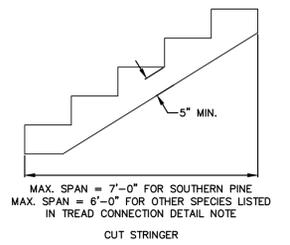
3 TYPICAL DECK RAILING GUARD  
A-3.0 N.T.S.



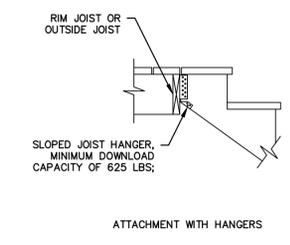
4 TYPICAL STAIR GUARD REQUIREMENTS  
A-3.0 N.T.S.



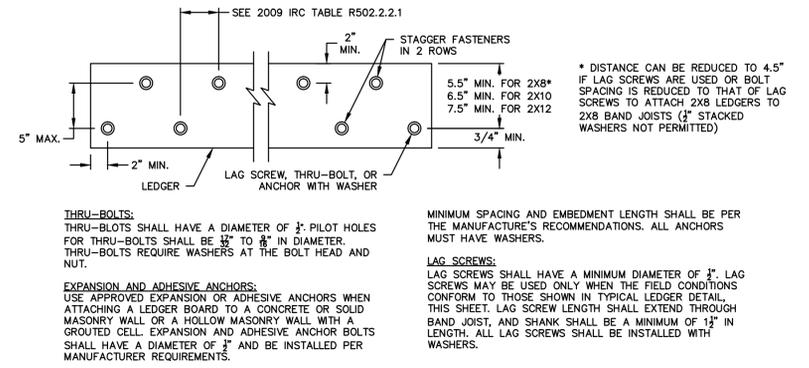
5 TYPICAL TREAD AND RISER  
A-3.0 N.T.S.



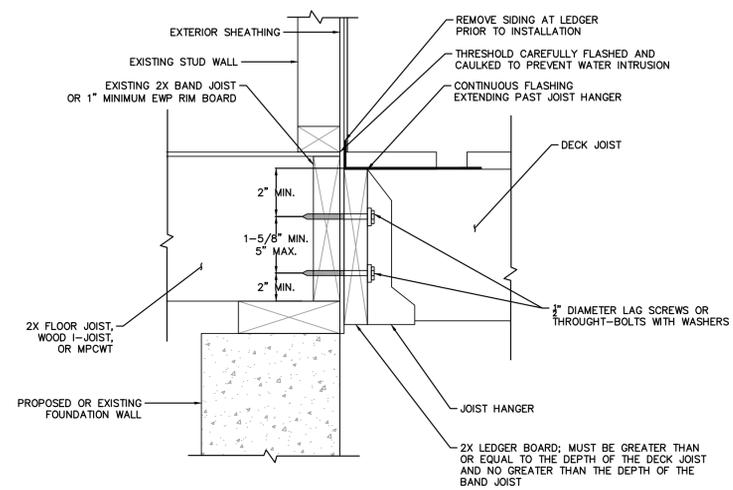
6 TYPICAL STAIR STRINGER REQUIREMENTS  
A-3.0 N.T.S.



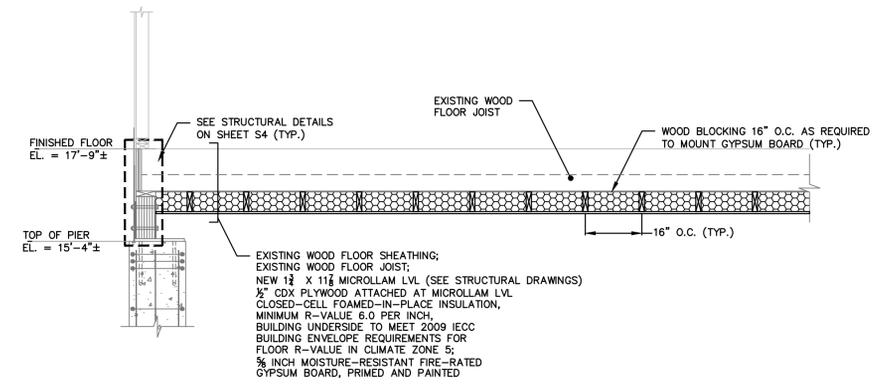
7 TYPICAL STAIR STRINGER ATTACHMENT  
A-3.0 N.T.S.



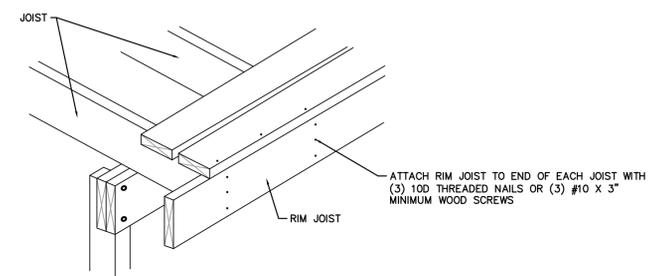
8 TYPICAL LEDGER BOARD FASTENER SPACING AND CLEARANCE  
A-3.0 N.T.S.



9 TYPICAL GENERAL ATTACHMENT OF LEDGER  
A-3.0 N.T.S.



10 TYPICAL FLOOR CAVITY INSULATION DETAIL  
A-3.0 1/2\"/>



11 TYPICAL RIM JOIST CONNECTION  
A-3.0 N.T.S.

THIS MAP IS A COPYRIGHTED WORK OF MARTINEZ COUCH AND ASSOCIATES, LLC. ALL RIGHTS RESERVED.



1084 Cromwell Avenue, Suite A-2  
Rocky Hill, CT 06067  
Telephone: (860) 436-4364  
Fax: (860) 436-4626  
www.martinezcouch.com

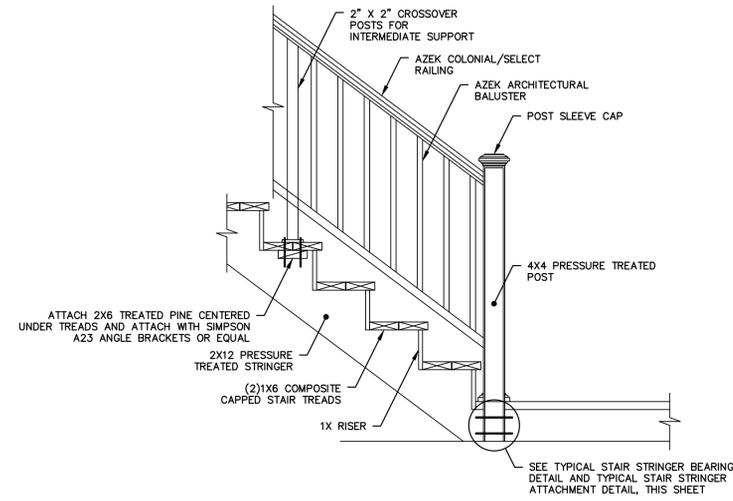
PROJECT 1402  
80 MELBA STREET  
MILFORD, CONNECTICUT 06460

**ISSUED FOR BID  
NOT FOR CONSTRUCTION**

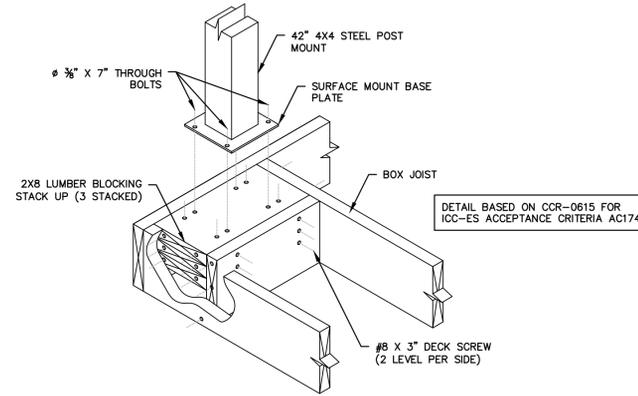
NO.	DATE	REVISIONS	BY	CHK	APPV
3	2/19/2016	ISSUED FOR BIDDING		MBR	MBR
2	2/9/2016	RE-ISSUED FOR CT DOH REVIEW AND APPROVAL		MBR	MBR
1	12/3/2015	ISSUED FOR CT DOH REVIEW AND APPROVAL		MBR	MBR
NO.	DATE	REVISIONS	BY	CHK	APPV
DRAWN: KNL		CHECKED: MBR	APPROVED: REC	SCALE: AS NOTED	DATE:

DECK AND STAIR DETAILS

JOB NO.	DRAWING NUMBER	SHEET
33-262-1402	BASEMAP 33-262-1402.DWG	A-3.0



1 TYPICAL STAIR AND RAIL – ADD ALTERNATE 1  
A-3.1 N.T.S.



2 TYPICAL POST-MOUNT INSTALLATION ON WOOD DECK – ADD ALTERNATE 1  
A-3.1 N.T.S.

THIS MAP IS A COPYRIGHTED WORK OF MARTINEZ COUCH AND ASSOCIATES, LLC. ALL RIGHTS RESERVED.



1084 Cromwell Avenue, Suite A-2  
Rocky Hill, CT 06067  
Telephone: (860) 436-4364  
Fax: (860) 436-4626  
www.martinezcouch.com

PROJECT 1402  
80 MELBA STREET  
MILFORD, CONNECTICUT 06460

**ISSUED FOR BID  
NOT FOR CONSTRUCTION**

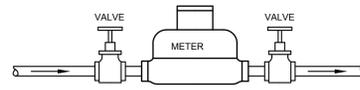
NO.	DATE	REVISIONS	BY	CHK	APPV
3	2/19/2016	ISSUED FOR BIDDING	MBR	MBR	REC
2	2/9/2016	RE-ISSUED FOR CT DOH REVIEW AND APPROVAL	MBR	MBR	REC
1	12/3/2015	ISSUED FOR CT DOH REVIEW AND APPROVAL	MBR	MBR	REC

DRAWN: KNL    CHECKED: MBR    APPROVED: REC    SCALE: AS NOTED    DATE:

**COMPOSITE DECK  
AND STAIR DETAILS**

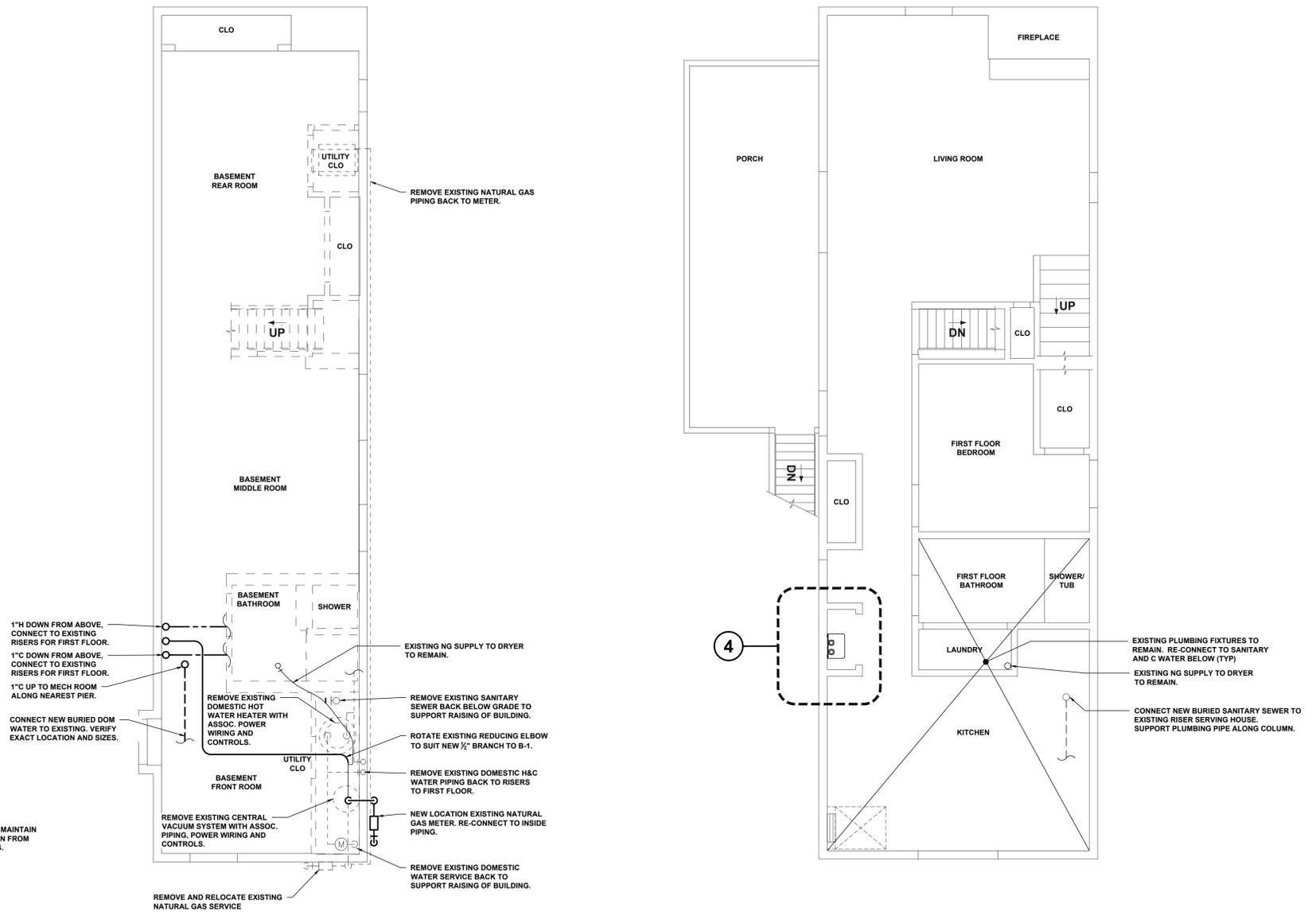
JOB NO.	DRAWING NUMBER	SHEET
33-262-1402	BASEMAP 33-262-1402.DWG	A-3.1

LEGEND	
SYMBOL	DESCRIPTION
(M)	METER
⌋	PIPE ELBOW TURNED DOWN
⌋	PIPE ELBOW TURNED UP
⊥	PIPE TEE TURNED DOWN
⊥	VALVE ON PIPE RISE
⊥	BALL ISOLATION VALVE
⊥	GAS COCK



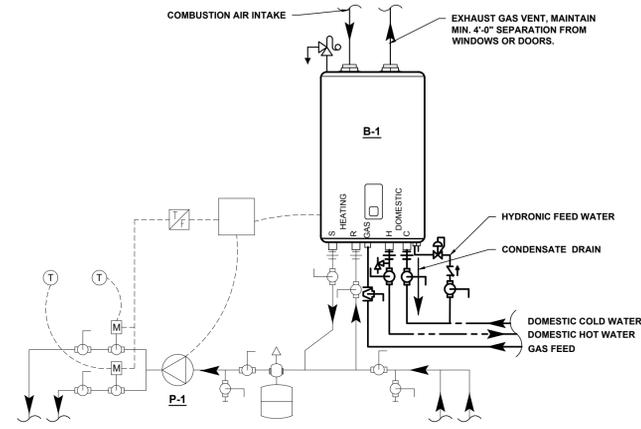
ALL PIPING AND FITTINGS BY CONTRACTOR.  
METER SUPPLIED BY UTILITY.

3 TYPICAL WATER METER PIPING DETAIL  
NTS

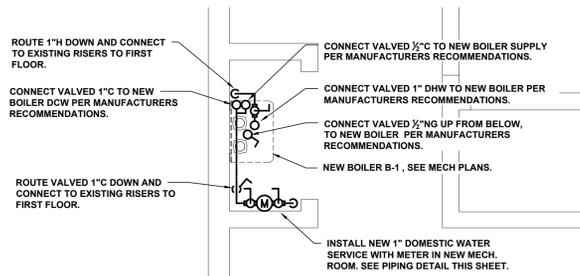


1 BASEMENT FLOOR PLAN  
1/4"=1'-0"

2 FIRST FLOOR PLAN  
1/4"=1'-0"



5 DOMESTIC WATER HEATING PIPING SCHEMATIC  
NTS



4 MECHANICAL ROOM PLUMBING PLAN  
1/2"=1'-0"

- NOTE:**
1. INFORMATION SHOWN IS BASED UPON CASUAL FIELD OBSERVATIONS. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE START OF WORK.
  2. PIPE ROUTING SHOWN IS SCHEMATIC IN NATURE, ACTUAL ROUTING SHALL BE COORDINATED WITH EXISTING UTILITIES AND OTHER TRADES PRIOR TO THE START OF WORK.
  3. DOMESTIC COLD WATER, SANITARY AND NATURAL GAS SERVICES TO BE ELEVATED ABOVE FLOOD LEVEL AND INSTALLED PER UTILITY REQUIREMENTS.
  4. INSTALL ALL EQUIPMENT PER MANUFACTURERS RECOMMENDATIONS.
  5. ROUTE ALL PIPING UP OUT OF THE FLOOD PLAIN.
  6. HEAT TRACE ALL WATER PIPING EXPOSED TO EXTERIOR AT COMPLETION OF PROJECT, SEE ELECTRICAL DWGS.



THIS MAP IS A COPYRIGHTED WORK OF MARTINEZ COUCH & ASSOCIATES, LLC. ALL RIGHTS RESERVED.



1084 Cromwell Avenue, Suite A-2  
Rocky Hill, CT 06067  
Telephone: (860) 436-4364  
Fax: (860) 436-4626  
www.martinezcouch.com

PROJECT 1402  
80 MELBA STREET,  
MILFORD, CT 06406

SMEP Consultant:



Loureiro Engineering Associates, Inc.  
100 Northwest Drive  
Plainville, Connecticut 06062  
Phone: 860-747-6181 / Fax: 860-747-8822  
An Employee Owned Company  
email: info@loureiro.com  
Conn No. 544C301

NO.	DATE	REVISIONS	BY	CHK	APPV
3	2/18/16	ISSUED FOR BIDDING	JTF	RJS	RJS
2	2/3/16	RE-ISSUED FOR CT DOH REVIEW AND APPROVAL	JTF	RJS	RJS
1	12/3/15	ISSUED FOR CT DOH REVIEW AND APPROVAL	JTF	RJS	RJS
0	10/23/15	ISSUED FOR BID	JTF	RJS	RJS

DRAWN: JTF CHECKED: RJS APPROVED: RJS SCALE: NOTED DATE: 10/23/15

PLUMBING PLANS

JOB NO.	DRAWING NUMBER	SHEET
33-262-1402	544C501 P-1.dwg	P-1

G:\AUTOCAD\PROJECTS\344501-1402-80 MELBA ST\DWG\344501 P-1.dwg Job: P-1 Sheet: 2/18/2016 11:55 AM Plotdate: 2/18/2016 11:57 AM

DIVISIONS 220000 PLUMBING AND 230000 HVAC

PART 1 - GENERAL

- 1.1 PIPE HANGERS AND SUPPORTS SHALL MEET THE REQUIREMENTS OF MSS SP-89 AND SP-89 DEVELOPED BY THE MANUFACTURERS STANDARDIZATION SOCIETY OF THE VALVES AND FITTINGS INDUSTRY INC.
- 1.2 SEISMIC SUPPORTS AND RESTRAINTS FOR EQUIPMENT, DUCTWORK AND PIPING SHALL MEET STATE BUILDING CODE REQUIREMENTS AND SMACNA SEISMIC RESTRAINT MANUAL GUIDELINES.
- 1.3 GENERAL PIPING REQUIREMENTS:
  - A. ALL PIPING SHALL BE RUN PARALLEL TO THE LINE OF THE BUILDING.
  - B. PITCH OF LINES SHALL BE UNIFORM AND TRUE WITH NO SAGS, POCKETS OR TRAPS. ECCENTRIC FITTINGS SHALL BE USED WHERE NECESSARY TO PROVIDE COMPLETE DRAINAGE.
  - C. PROVIDE ISOLATION VALVES AT ALL CONNECTIONS TO FIXTURES AND ALL BRANCH TAKE-OFFS.
  - D. PROVIDE MANUAL VENT VALVES AT ALL HIGH POINTS AND DRAIN VALVES AT ALL LOW POINTS.
  - E. SCREWED PIPE JOINTS SHALL BE MADE WITH TEFLON PIPE THREAD TAPE OR APPROVED PIPE JOINT COMPOUND.

1.4 TESTING:

- A. ALL PIPING SYSTEMS INSTALLED UNDER THIS CONTRACT SHALL BE PRESSURE TESTED WITH CLEAN WATER, UNLESS NOTED OTHERWISE, TO INSURE TIGHTNESS.
  1. HOT AND COLD WATER SUPPLY PIPING SHALL BE TESTED TO 150 PSIG.
  2. HEATING HOT WATER SUPPLY AND RETURN PIPING SHALL BE TESTED TO 100 PSIG.
  3. DRAINAGE AND VENT PIPING SHALL BE TESTED TO 10 FOOT HEAD OF WATER.
  4. GAS PIPING SHALL BE TESTED IN ACCORDANCE WITH NFPA 54. TEST PRESSURE SHALL BE 3 PSIG. TEST MEDIUM SHALL BE AIR, NITROGEN OR CARBON DIOXIDE.
- B. CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL PLUGS, PIPING, VALVES, HOSES, AND PUMPS NECESSARY FOR THE REQUIRED TESTS AND FOR PROPER DISPOSAL OF THE TEST MEDIUM UPON COMPLETION OF THE TESTS.

1.5 CLEANING OF THE PIPING SYSTEMS:

- A. UPON COMPLETION OF ALL WORK AND SATISFACTORY TESTING, ALL PIPING SYSTEMS (EXCEPT GAS PIPING) SHALL BE FLUSHED WITH WATER TO REMOVE DIRT, GRIT, CHIPS AND FOREIGN MATTER. GAS PIPING SHALL BE PURGED OF AIR IN ACCORDANCE WITH NFPA 54.
- B. WATER FOR FLUSHING SHALL BE USED IN SUFFICIENT QUANTITY TO PRODUCE A VELOCITY OF AT LEAST 2.5 FEET PER SECOND. FLUSHING SHALL CONTINUE UNTIL DISCHARGE WATER SHOWS NO DISCOLORATION OR EVIDENCE OF FOREIGN MATERIALS.
- C. DURING FLUSHING OPERATION, ALL VALVES SHALL BE OPERATED SEVERAL TIMES, BYPASSES OPENED AND EQUIPMENT FLUSHED.
- D. UPON COMPLETION OF FLUSHING OPERATIONS, ALL STRAINERS, FILTERS AND BLOWDOWNS SHALL BE REMOVED AND CLEANED OF ACCUMULATED WASTE.
- E. CARE SHOULD BE TAKEN TO INSURE THE COMPLETE REMOVAL OF ALL WATER FROM THE LINE OR SYSTEM AFTER TESTING. IF THERE IS ANY DANGER OF CONTAMINATION OR FREEZING, BLOW OUT THE FLUID WITH DRY, OIL-FREE AIR.

- 1.6 CLEANING AND STERILIZATION OF POTABLE WATER SYSTEM: PURGE OF DELETERIOUS MATTER AND DISINFECT PRIOR TO USE. THE METHOD TO BE FOLLOWED SHALL BE THAT PRESCRIBED BY THE HEALTH AUTHORITY HAVING JURISDICTION, OR, IN THE ABSENCE OF A PRESCRIBED METHOD, THE PROCEDURE DESCRIBED IN EITHER AWWA C652 OR AWWA C5186.

- 1.7 PIPE INSULATION SHALL BE RIGID, HEAVY DENSITY, PREFORMED GLASS FIBER, WITH ALL SERVICE JACKET. JACKET SHALL HAVE PRESSURE SENSITIVE TAPE CLOSURE. BUTT JOINTS SHALL HAVE 3" WIDE TAPE OF SAME MATERIAL. VALVES AND FITTINGS SHALL BE INSULATED WITH ZESTON, OR APPROVED EQUAL, INSULATED PVC, ONE PIECE, SNAP-TYPE COVERS AND ZESTON 1 1/2" TAPE, 10 MIL, EXTERIOR INSULATED PIPES SHALL HAVE ALUMINUM JACKET. INSULATION THICKNESS AS FOLLOWS:

SYSTEM	INSULATION THICKNESS
A. HEATING HOT WATER	1-1/2"
B. HEATING HOT WATER EXTERIOR TO BLDG ENVELOPE	2"
C. DOMESTIC COLD WATER	1"
D. DOMESTIC COLD WATER EXTERIOR TO BLDG ENVELOPE	2"
E. DOMESTIC HOT WATER	1"
F. DOMESTIC HOT WATER EXTERIOR TO BLDG ENVELOPE	2"

1.8 PIPE IDENTIFICATION:

- A. ALL PIPING SHALL BE IDENTIFIED WITH NAME AND FLOW DIRECTION ARROWS. MARKERS SHALL BE PLACED EVERY 40 LINEAL FEET ON STRAIGHT RUNS, AT CHANGES IN DIRECTION, AND AT WALL PENETRATIONS (BOTH SIDES).
- B. PIPE MARKERS SHALL BE EQUAL TO SETMARK, AS MANUFACTURED BY SETON NAMEPLATE CO.
  1. TEXT AND BACKGROUND COLORS SHALL FOLLOW ANSI A13.1.

PART 2 - PLUMBING

- 2.1 WATER PIPING: SHALL BE TYPE L HARD DRAWN COPPER TUBING CONFORMING TO ASTM B58, WITH ASME B16.22 WROUGHT COPPER FITTINGS, ASTM B32 SOLDER GRADE Joints.
- 2.2 BURIED DRAINAGE PIPING: SANITARY AND VENT PIPING SHALL BE CENTRIFUGALLY SPUN, BELL AND SPIGOT, SERVICE WEIGHT, CAST IRON PIPE, TAR COATED CONFORMING TO ASTM A74. FITTINGS SHALL BE MADE OF SAME MATERIAL AS PIPE AND SHALL BE COMPATIBLE WITH IT. JOINTS SHALL BE MADE USING NEOPRENE RUBBER GASKET FOR PUSH-ON JOINTING.
- 2.3 ABOVE GROUND DRAINAGE PIPING: SANITARY PIPING SHALL BE SOLID WALL DRAIN, WASTE AND VENT PVC WITH PVC FITTINGS AND SOLVENT WELDED JOINTS.
- 2.4 NATURAL GAS PIPING: NATURAL GAS PIPING SHALL BE SCHEDULE 40 BLACK STEEL CONFORMING TO ASTM A53. FITTINGS SHALL BE 150 LB MALLEABLE IRON SCREWED CONFORMING TO ASTM B16.3. JOINTS SHALL BE THREADED OR WELDED IN ACCORDANCE WITH ANSI B31.2 AND NFPA 54.
- 2.5 VALVES SHALL BE AS FOLLOWS:
  - A. BALL VALVES: 2" AND SMALLER - JAMESBURY CLINCHER SERIES 2000.
  - B. PLUG VALVES: 2" AND SMALLER - DEZURIK SERIES 100.

2.6 PLUMBING EQUIPMENT

- A. COMBINATION HEATING BOILER/DOMESTIC WATER HEATER SHALL BE ENERGY STAR RATED, PACKAGED, WALL MOUNTED, NATURAL GAS-FIRED, TANKLESS, ULTRA HIGH EFFICIENCY (0.95 ENERGY FACTOR), CONDENSING TYPE, NAVIEN MODEL NCB-240 OR APPROVED EQUAL. PROVIDE WITH INTEGRAL DDC CONTROLS, FULLY MODULATING BURNER WITH DIRECT SPARK IGNITION, DUAL STAINLESS STEEL HEAT EXCHANGERS, GAS VALVE WITH SAFETIES, PLUMB EASY VALVE SET, DIRECT VENT WITH OUTDOOR VENT KIT AND CONDENSATION NEUTRALIZATION KIT. HEATER SHALL BE DESIGNED FOR USE WITH 115V1-PHASE POWER. CAPACITY SHALL BE 18,000 TO 120,000 BTUH WITH AN ENERGY FACTOR OF 0.98.
- B. WATER HEATER FLUE AND COMBUSTION AIR INTAKE SHALL BE SCHEDULE 40 PVC WITH SOLVENT WELD FITTINGS.

PART 3 - HVAC

3.1 PIPING

- A. HEATING HOT WATER SUPPLY AND RETURN PIPING SHALL BE TYPE L COPPER TUBING WITH WROUGHT COPPER FITTINGS AND 955 SOLDERED JOINTS.

3.2 VALVES SHALL BE AS FOLLOWS:

- A. BALL VALVES: 2" AND SMALLER - JAMESBURY CLINCHER SERIES 2000.
- B. MOTORIZED ZONE VALVES: HONEYWELL V8943F - TWO-WAY ON-OFF LOW VOLTAGE VALVES CONSIST OF AN ACTUATOR AND VALVE ASSEMBLY FOR CONTROLLING THE FLOW OF HOT WATER WITH MANUAL OPENER FOR VALVE OPERATION ON POWER FAILURE; VALVE RETURNS TO AUTOMATIC POSITION WHEN POWER IS RESTORED. COMPLETE POWERHEAD AND ACTUATOR MOTOR MAY BE REPLACED WITHOUT REMOVING THE VALVE BODY OR DRAINING THE SYSTEM.

- 3.3 CIRCULATOR: TACO MODEL VR1616F VIRIDIAN - INFINITELY VARIABLE SPEED, HIGH-EFFICIENCY WET ROTOR CIRCULATOR WITH AN ECM PERMANENT MAGNET MOTOR, SELF-ADJUSTING CONSTANT PRESSURE AND SELF-ADJUSTING PROPORTIONAL PRESSURE.

- 3.4 AIR SEPARATOR: TACO 432 - ONE PIECE CAST IRON CONSTRUCTION, ENGINEERED Baffle TO SEPARATE AIR FROM WATER. MAXIMUM OPERATING PRESSURE: 125 PSI (862KPA) MAXIMUM OPERATING TEMPERATURE: 300°F (135°C)

- 3.5 AIR VENT: TACO MODEL 400 HY-VENT, AUTOMATIC AIR PURGER.

- 3.6 EXPANSION TANK: AMTROL XTROL MODEL EX-30 - FOR USE IN CLOSED, NON-POTABLE HYDRONIC HEATING SYSTEMS TO CONTROL PRESSURE BUILD-UP.

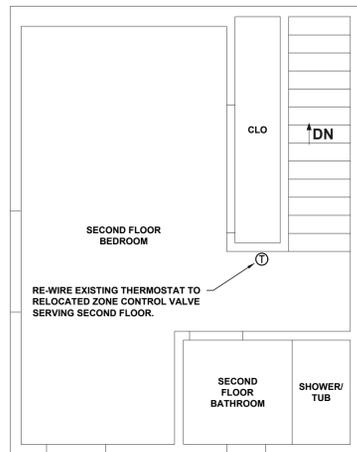
- 3.7 COMBINATION FILL VALVE AND BACKFLOW PREVENTER: WATTS SERIES 911S CONSISTS OF MODEL 9D BACKFLOW PREVENTER AND MODEL 1156F FEED WATER PRESSURE REGULATOR AS PRE-ASSEMBLED UNIT. DESIGNED FOR USE ON BOILER FEED LINES TO PROVIDE MAKE-UP WATER TO THE BOILER AND PREVENT BACKFLOW WHEN SUPPLY PRESSURE FAILS BELOW SYSTEM PRESSURE.

- 3.8 ALTERNATE FOR 3.4, 3.5, 3.6 & 3.7: AMTROL FT-110-125 COMBINATION PACKAGE - INCLUDES EXPANSION TANK MODEL EX-30, FILL-TROL MODEL 110 AUTOMATIC FILL VALVE, AIR SEPARATOR MODEL 444, AND AIR VENT MODEL 700-C.

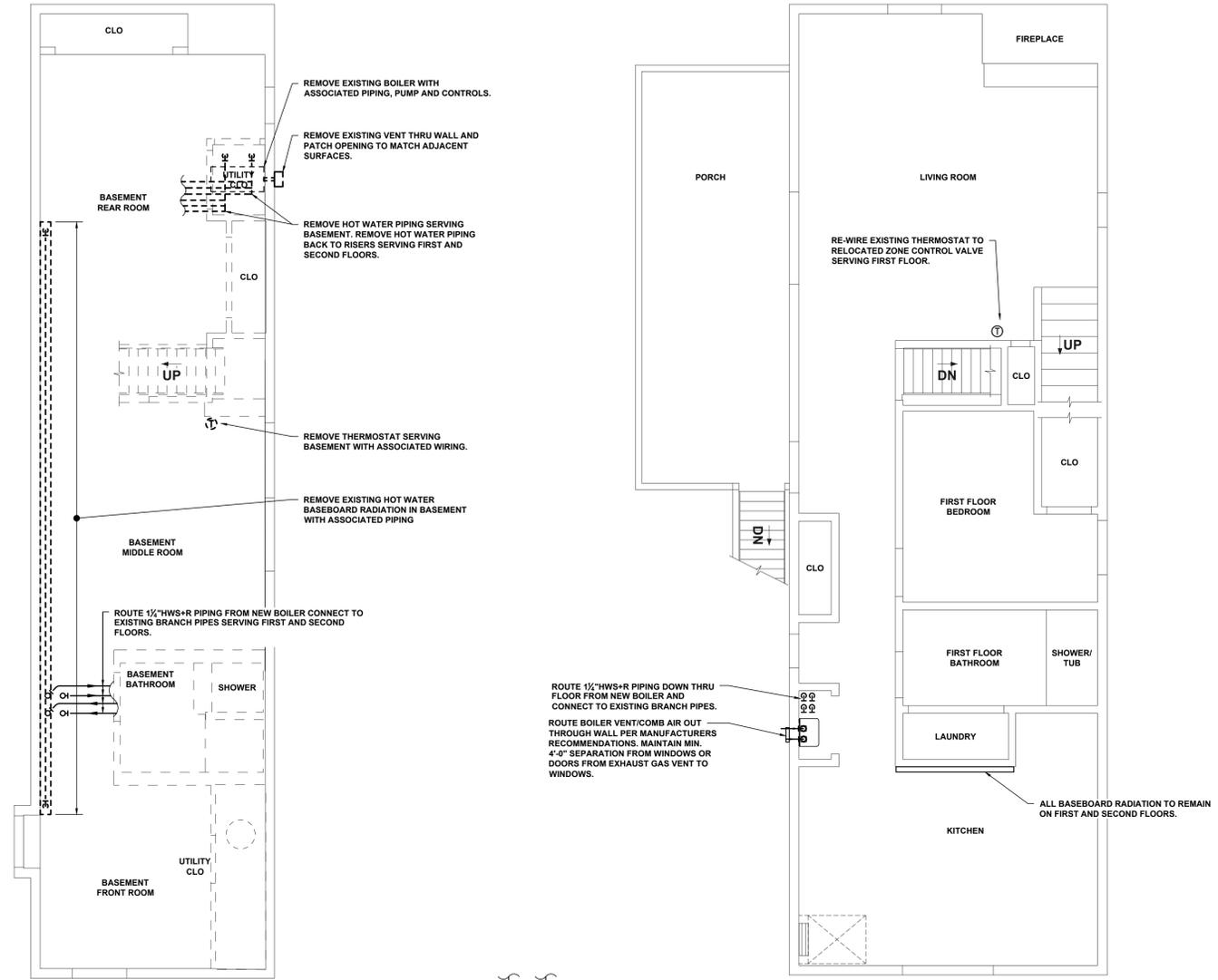
PART 4 - EXECUTION

- 4.1 CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE START OF WORK INCLUDING SIZES OF PIPING TO BE RE-USED. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DIFFERENCES FROM THE DESIGN DOCUMENTS ARE NOTED.
- 4.2 CONTRACTOR SHALL COORDINATE WITH ALL TRADES PRIOR TO THE START OF WORK.
- 4.3 ALL EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- 4.4 CONTRACTOR SHALL INSTRUCT HOMEOWNER ON THE PROPER OPERATION AND MAINTENANCE OF ALL NEW EQUIPMENT AT THE COMPLETION OF CONSTRUCTION AT A TIME CONVENIENT TO THE OWNER.
- 4.5 CONTRACTOR SHALL PROVIDE TWO COPIES OF PROJECT O&M MANUALS TO THE OWNER AT COMPLETION OF PROJECT.

LEGEND	
SYMBOL	DESCRIPTION
⊕	EXPANSION TANK
⊖	PIPE ELBOW TURNED DOWN
⊕	PIPE ELBOW TURNED UP
⊖	PIPE TEE TURNED DOWN
⊕	ZONE VALVE
⊖	BALL ISOLATION VALVE
⊕	THERMOSTAT

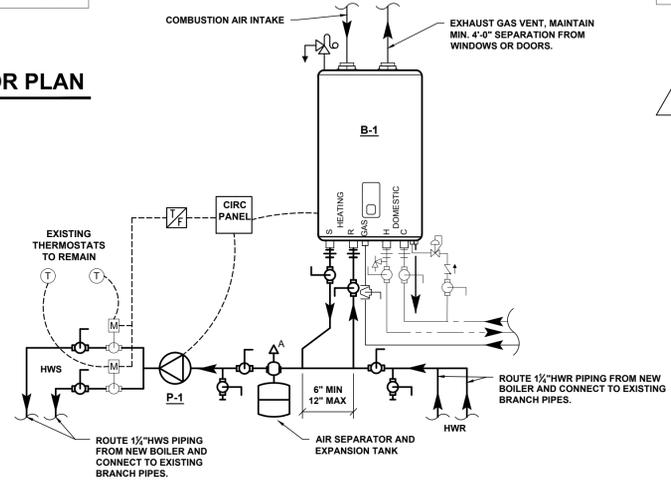


3 SECOND FLOOR PLAN  
1/4"=1'-0"



2 1 BASEMENT FLOOR PLAN  
1/4"=1'-0"

2 2 FIRST FLOOR PLAN  
1/4"=1'-0"



2 4 HEATING WATER PIPING SCHEMATIC  
NTS

- NOTES:
1. INFORMATION SHOWN IS BASED UPON CASUAL FIELD OBSERVATIONS. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE START OF WORK.
  2. CONTRACTOR TO COORDINATE WITH EXISTING UTILITIES AND OTHER TRADES PRIOR TO THE START OF WORK.
  3. HEAT TRACE ALL WATER PIPING EXPOSED TO EXTERIOR AT COMPLETION OF PROJECT, SEE ELECTRICAL DWGS.



THIS MAP IS A COPYRIGHTED WORK OF MARTINEZ COUCH & ASSOCIATES, LLC. ALL RIGHTS RESERVED.



1084 Cromwell Avenue, Suite A-2  
Rocky Hill, CT 06067  
Telephone: (860) 436-4364  
Fax: (860) 436-4626  
www.martinezcouch.com

PROJECT 1402  
80 MELBA STREET,  
MILFORD, CT 06406



Loureiro Engineering Associates, Inc.  
100 Northwest Drive  
Plainville, Connecticut 06062  
Phone: 860-747-6181 / Fax: 860-747-8822  
An Employee Owned Company  
email: info@loureiro.com  
Conn No. 5446C301

NO.	DATE	REVISIONS	BY	CHK	APPV
3	2/18/16	ISSUED FOR BIDDING	JTF	RJS	RJS
2	2/3/16	RE-ISSUED FOR CT DOH REVIEW AND APPROVAL	JTF	RJS	RJS
1	12/3/15	ISSUED FOR CT DOH REVIEW AND APPROVAL	JTF	RJS	RJS
0	10/23/15	ISSUED FOR BID	JTF	RJS	RJS

NO. DATE REVISIONS BY CHK APPV

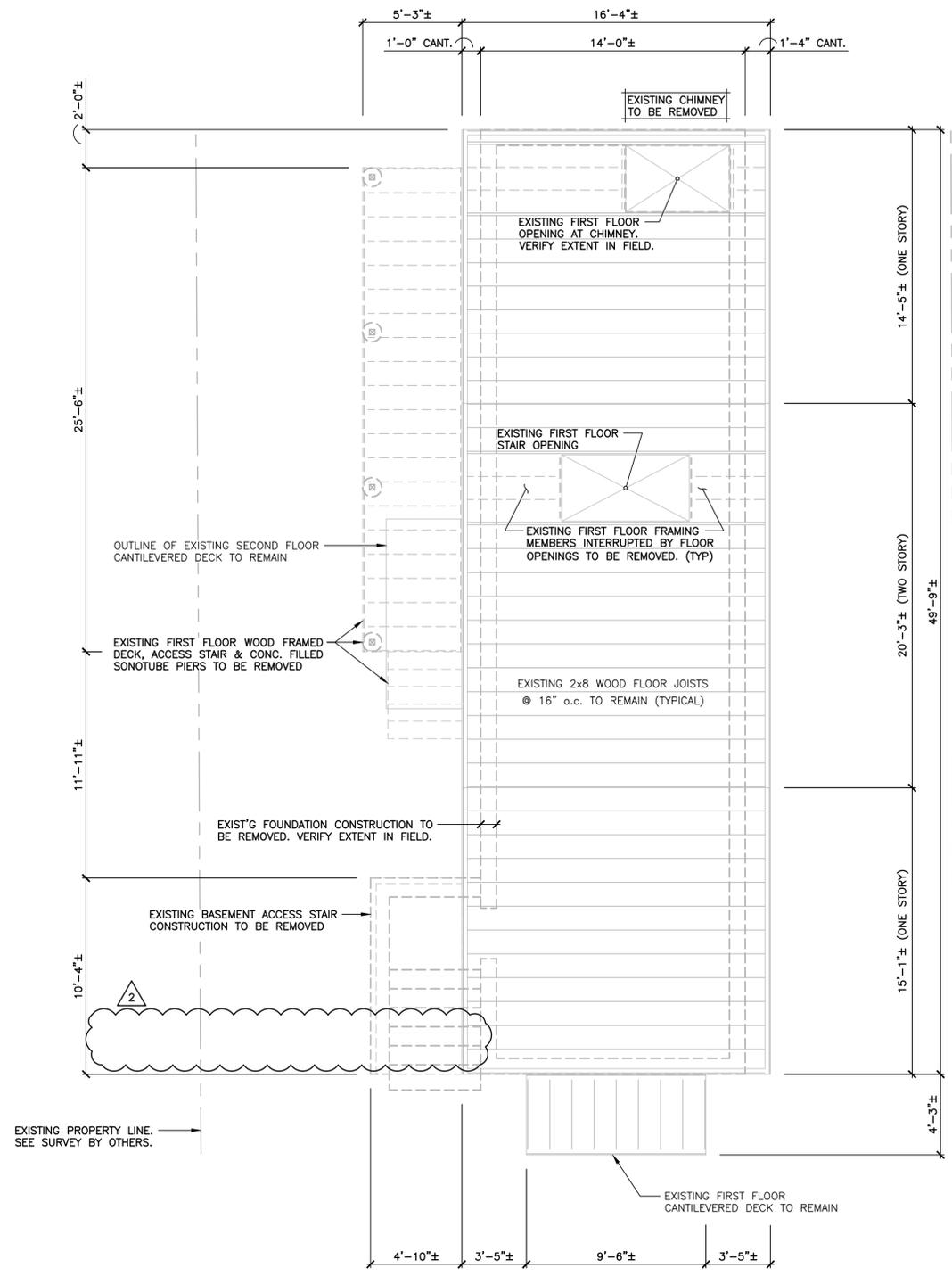
DRAWN: JTF CHECKED: RJS APPROVED: RJS SCALE: NOTED DATE: 10/23/15

MECHANICAL PLANS

JOB NO.	DRAWING NUMBER	SHEET
33-262-1402	544M501 M-1.dwg	M-1

G:\AUTOCAD PROJECTS\33-262-1402-80 MELBA ST\DWG\544M501 M-1.dwg Tab: M-1 Saved: 2/18/2016 11:54 AM Plotted: 2/18/2016 11:57 AM





**EXISTING CONDITIONS PLAN**

SCALE: 1/4" = 1'-0"



**NOTES:**

1. THE EXISTING WOOD FRAMED SUPERSTRUCTURE SHALL BE ADEQUATELY SHORED PRIOR TO DEMOLITION OF EXISTING FOUNDATION CONSTRUCTION.
2. REFER TO THE ACCOMPANYING DRAWINGS FOR PLANS, DETAILS AND ADDITIONAL REQUIREMENTS RELATED TO THE NEW FOUNDATION AND FRAMING CONSTRUCTION TO SUPPORT THE EXISTING SUPERSTRUCTURE TO BE ELEVATED.
3. CONDITIONS SHOWN ARE BASED SOLELY ON AVAILABLE INFORMATION AND HAVE NOT BEEN INDEPENDENTLY VERIFIED TO BE COMPLETELY ACCURATE.

**DESIGN BASIS**

GOVERNING CODE .....2005 STATE BUILDING CODE +  
2009 & 2013 CONNECTICUT AMENDMENTS

**GENERAL NOTES:**

SHOP DRAWINGS ARE TO BE CHECKED BY THE CONTRACTOR AND BEAR THE CHECKER'S INITIALS BEFORE BEING SUBMITTED TO THE ENGINEER.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, ANGLES, AND EXISTING CONDITIONS BEFORE PROCEEDING WITH ANY WORK.

IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.

IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE CONSTRUCTION PROCEDURE AND SEQUENCE, AND TO ENSURE THE SAFETY OF THE EXISTING BUILDING AND ITS COMPONENT PARTS DURING CONSTRUCTION. THIS INCLUDES THE ADDITION OF WHATEVER SHORING, BRACING, ETC. THAT MAY BE REQUIRED.

WORK THESE DRAWINGS WITH THOSE OF OTHER TRADES FOR LOCATIONS OF OPENINGS, RECESSES, BUILT-IN WORK, ETC.

**FOUNDATION NOTES**

REFER TO GEOTECHNICAL REPORT PREPARED BY DR. CLARENCE WELTI, P.E., P.C., DATED JUNE 16 2015 FOR SUBSURFACE PREPARATION & RELATED REQ'MENTS.

ALL NEW FOUNDATIONS SHALL BE SUPPORTED BY NEW HELICAL PULLDOWN PILES MANUFACTURED BY EARTH CONTACT PRODUCTS, LLC, OLATHE KA, OR APPROVED EQUAL.

**HELICAL PILES**

ALL HELICAL PILES SHALL DEVELOP A MINIMUM ALLOWABLE LOAD CARRYING CAPACITY OF 10 TONS (20 KIPS) UNLESS OTHERWISE NOTED.

ALL HELICAL PILES SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT. THE PROPOSED HELICAL PILE SHALL HAVE A MINIMUM SHAFT SIZE OF 3 1/2" OUTSIDE DIAMETER x 0.300" WALL THICKNESS, BE FILLED SOLID w/ GROUT AND BE HOT DIP GALVANIZED IN ACCORDANCE WITH ASTM 123 AND BE SUBMITTED FOR APPROVAL PRIOR TO COMMENCEMENT OF ANY WORK. SUBMITTAL SHALL INCLUDE SIZE, STRENGTH, GALVANIZING, DEPTH, SEAT TYPE AND SIZE.

INSTALL ONE (1) TEST PILE PRIOR TO CONSTRUCTION.

**CONCRETE**

**MATERIALS:**

ALL CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 5,000 PSI AT 28 DAYS. CONTRACTOR TO SUBMIT CONCRETE MIX DESIGN.

ALL DETAILING, FABRICATION, AND ERECTION OF REINFORCING BARS, UNLESS OTHERWISE NOTED, MUST FOLLOW THE LATEST ACI CODE AND LATEST ACI "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES".

ALL REINFORCING STEEL SHALL BE EPOXY COATED IN ACCORDANCE WITH ASTM A775.

NO CALCIUM CHLORIDE OR ADMIXTURES CONTAINING MORE THAN 1% CHLORIDE BY WEIGHT OF ADMIXTURE SHALL BE USED IN THE CONCRETE.

PROVIDE 5% TO 7% AIR ENTRAINMENT IN ALL CONCRETE.

UNLESS OTHERWISE NOTED, ALL LAP SPLICES SHALL BE CLASS B.

**STRUCTURAL STEEL**

ANGLES, MISCELLANEOUS PLATES AND BARS.....ASTM A36  
BOLTS.....ASTM A325  
WELDING ELECTRODE.....ASTM E 70

ALL PERMANENTLY EXPOSED STRUCTURAL STEEL SHALL BE HOT DIP GALVANIZED IN ACCORDANCE WITH ASTM A123. ALL OTHER STEEL SHALL BE SHOP PRIMED GRAY TO 2 MIL THICKNESS.

ALL WELDING SHALL BE DONE BY A CERTIFIED WELDER IN ACCORDANCE WITH A.W.S. STANDARDS.

ALL STRUCTURAL STEEL, FROM DELIVERY TO THE JOB SITE TO AFTER ERECTION SHALL CONFORM TO ALL REQUIREMENTS OF ASTM A6.

**STRUCTURAL LUMBER**

STRUCTURAL LUMBER USED FOR BRIDGING, BLOCKING AND OTHER MISCELLANEOUS FRAMING SHALL BE NOT LESS THAN NO. 2 GRADE DOUGLAS FIR AND SHALL HAVE THE FOLLOWING MINIMUM ALLOWABLE UNIT STRESSES:

EXTREME FIBER IN BENDING.....	F <sub>b</sub> =	875 PSI
HORIZONTAL SHEAR.....	F <sub>v</sub> =	95 PSI
TENSION PARALLEL TO GRAIN.....	F <sub>t</sub> =	825 PSI
COMPRESSION PERPENDICULAR TO GRAIN.....	F <sub>c</sub> =	385 PSI
COMPRESSION PARALLEL TO GRAIN.....	F <sub>c</sub> =	1,050 PSI
MODULUS OF ELASTICITY.....	E =	1,700,000 PSI

MOISTURE CONTENT OF ALL FRAMING LUMBER WHEN DELIVERED TO THE PROJECT SITE SHALL NOT EXCEED 19%.

NAILING AND OTHER FASTENING SHALL BE AS PER TABLE 2304.9.1, FASTENING SCHEDULE, OF THE 2005 STATE OF CONNECTICUT BUILDING CODE.

PLYWOOD WALL SHEATHING SHALL BE NOMINAL 5/8" THICK SQUARE EDGE EXTERIOR GRADE CDX AND CONTAIN (4) INNER PLYS.

PLYWOOD ROOF SHEATHING SHALL BE NOMINAL 3/4" THICK SQUARE EDGE EXTERIOR GRADE.

**ENGINEERED WOOD PRODUCTS**

ELEMENTS. FOLLOWING ERECTION, JOISTS SHALL BE SHEATHED AND PROTECTED TO MAINTAIN STRESS-GRADED MOISTURE CONTENT NOT TO EXCEED 19%.

PARALLAM PLUS PSL WOLMANIZED MEMBERS USED FOR BEAMS AND HEADERS SHALL HAVE THE FOLLOWING MINIMUM ALLOWABLE UNIT STRESSES:

EXTREME FIBER IN BENDING.....	F <sub>b</sub> =	1,827 PSI
HORIZONTAL SHEAR.....	F <sub>v</sub> =	197 PSI
TENSION PARALLEL TO GRAIN.....	F <sub>t</sub> =	1,397 PSI
COMPRESSION PERPENDICULAR TO GRAIN.....	F <sub>c</sub> =	368 PSI
COMPRESSION PARALLEL TO GRAIN.....	F <sub>c</sub> =	1,508 PSI
MODULUS OF ELASTICITY.....	E =	1,460,000 PSI

MICROLLAM GRADE 2.0E MEMBERS USED FOR BEAMS AND HEADERS SHALL HAVE THE FOLLOWING MINIMUM ALLOWABLE UNIT STRESSES:

EXTREME FIBER IN BENDING.....	F <sub>b</sub> =	2,600 PSI
HORIZONTAL SHEAR.....	F <sub>v</sub> =	285 PSI
TENSION PARALLEL TO GRAIN.....	F <sub>t</sub> =	1,555 PSI
COMPRESSION PERPENDICULAR TO GRAIN.....	F <sub>c</sub> =	750 PSI
COMPRESSION PARALLEL TO GRAIN.....	F <sub>c</sub> =	2,510 PSI
MODULUS OF ELASTICITY.....	E =	2,000,000 PSI



1084 Cromwell Avenue, Suite A-2  
Rocky Hill, CT 06067  
Telephone: (860) 436-4364  
Fax: (860) 436-4626  
www.martinezcouch.com

**PROJECT 1402**  
**80 MELBA STREET**  
**MILFORD, CONNECTICUT 06460**

**THOMAS A. TORRENTI, P.C.**  
Consulting Engineers

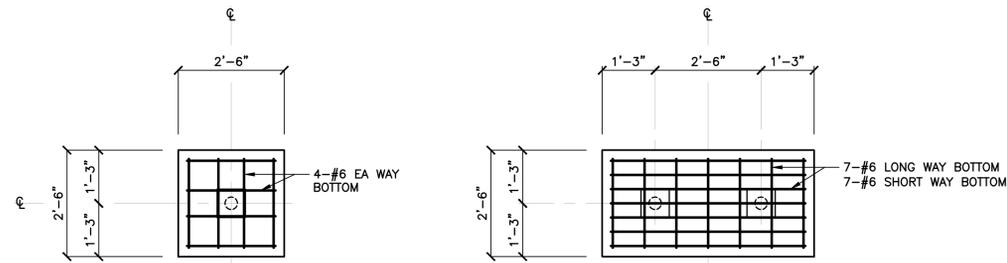
316 Dogburn Lane Tel (203) 891-9933  
P.O. Box 1153 Fax (203) 891-8299  
Orange, CT 06477-7153 ttorrenti@optonline.net

NO.	DATE	REVISIONS	BY	CHK	APPV
3	2/19/2016	ISSUED FOR BIDDING	DEB	TAT	TAT
2	2/9/2016	RE-ISSUED FOR CT DOH REVIEW AND APPROVAL	DEB	TAT	TAT
1	12/3/2015	ISSUED FOR CT DOH REVIEW AND APPROVAL	DEB	TAT	TAT

DRAWN BY: DEB      CHECKED BY: TAT      SCALE: AS NOTED      DATE:

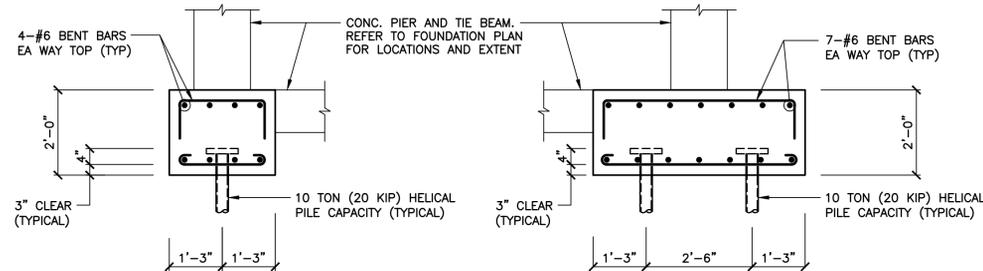
THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND SEAL  
THOMAS A. TORRENTI, P.E.

<b>FOUNDATION DESIGN</b>		
<b>EXISTING CONDITIONS PLAN &amp; STRUCTURAL NOTES</b>		
JOB NO.	DRAWING NUMBER	SHEET
33-262-1402	21516 S1-S4.dwg	S1



PLAN - P1 CAP

PLAN - P2 CAP



SECTION - P1 CAP

SECTION - P2 CAP

TYPICAL CONCRETE PILE CAP DETAILS

SCALE: 1/2" = 1'-0"

CONC. PIERS AND TIE BEAMS NOT SHOWN FOR CLARITY. REFER TO FOUNDATION PLAN FOR LOCATIONS

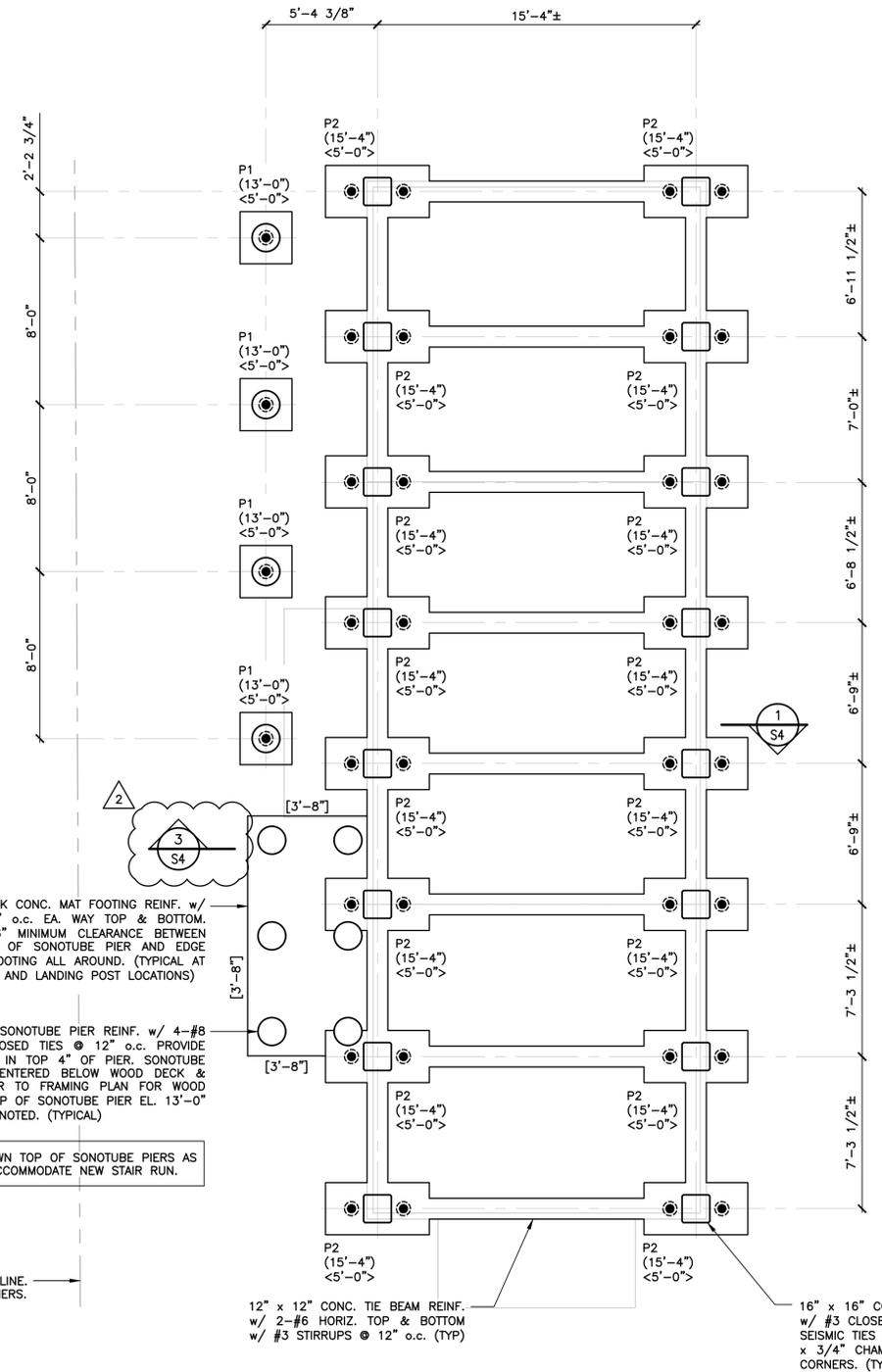
CONC. PIER AND TIE BEAM. REFER TO FOUNDATION PLAN FOR LOCATIONS AND EXTENT

1'-4" THICK CONC. MAT FOOTING REINF. w/ #5 @ 16" o.c. EA. WAY TOP & BOTTOM. PROVIDE 6" MINIMUM CLEARANCE BETWEEN PERIMETER OF SONOTUBE PIER AND EDGE OF MAT FOOTING ALL AROUND. (TYPICAL AT NEW STAIR AND LANDING POST LOCATIONS)

16"Ø CONC. FILLED SONOTUBE PIER REINF. w/ 4-#8 DOWELS w/ #3 CLOSED TIES @ 12" o.c. PROVIDE 3-#3 SEISMIC TIES IN TOP 4" OF PIER. SONOTUBE PIERS SHALL BE CENTERED BELOW WOOD DECK & STAIR POSTS. REFER TO FRAMING PLAN FOR WOOD POST LOCATIONS. TOP OF SONOTUBE PIER EL. 13'-0" UNLESS OTHERWISE NOTED. (TYPICAL)

NOTE: STEP DOWN TOP OF SONOTUBE PIERS AS REQUIRED TO ACCOMMODATE NEW STAIR RUN.

EXISTING PROPERTY LINE. SEE SURVEY BY OTHERS.



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



LEGEND:

- P# PILE CAP MARK (SEE DETAILS THIS DWG)
- <....> EL. TOP OF CONC. PILE CAP
- (.....) EL. TOP OF CONC. PIER
- [.....] EL. BOTTOM OF CONC. MAT FOOTING
- DENOTES 10 TON (20 KIP) CAPACITY HELICAL PILE. FIELD VERIFY ALL HELICAL PILE LOCATIONS.



1084 Cromwell Avenue, Suite A-2  
Rocky Hill, CT 06067  
Telephone: (860) 436-4364  
Fax: (860) 436-4626  
www.martinezcouch.com

PROJECT 1402  
80 MELBA STREET  
MILFORD, CONNECTICUT 06460

THOMAS A. TORRENTI, P.C.  
Consulting Engineers

316 Dogburn Lane Tel (203) 891-9933  
P.O. Box 1153 Fax (203) 891-8299  
Orange, CT 06477-7153 ttorrenti@optonline.net

3	2/19/2016	ISSUED FOR BIDDING	DEB	TAT	TAT
2	2/9/2016	RE-ISSUED FOR CT DOH REVIEW AND APPROVAL	DEB	TAT	TAT
1	12/3/2015	ISSUED FOR CT DOH REVIEW AND APPROVAL	DEB	TAT	TAT
NO.	DATE	REVISIONS	BY	CHK	APPV
DRAWN BY: DEB		CHECKED BY: TAT	SCALE: AS NOTED	DATE:	

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND SEAL

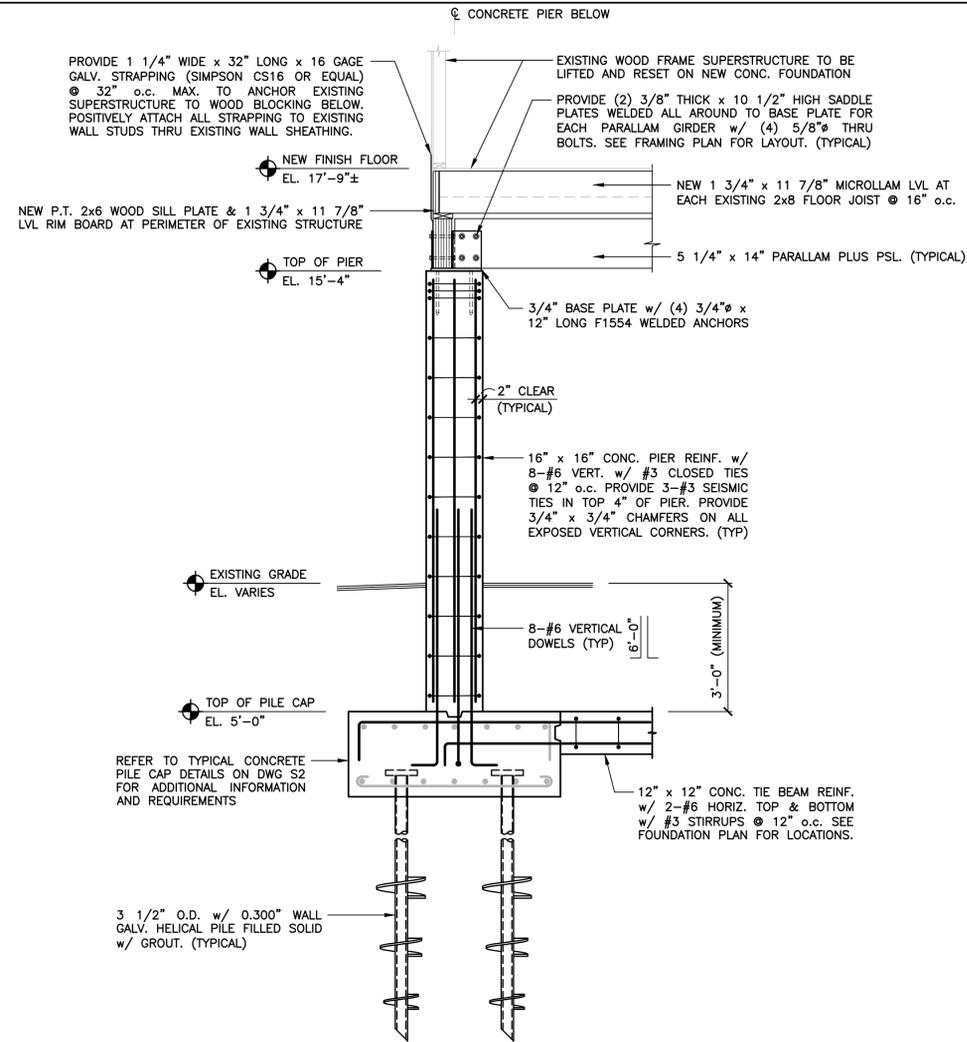
THOMAS A. TORRENTI, P.E.

FOUNDATION DESIGN

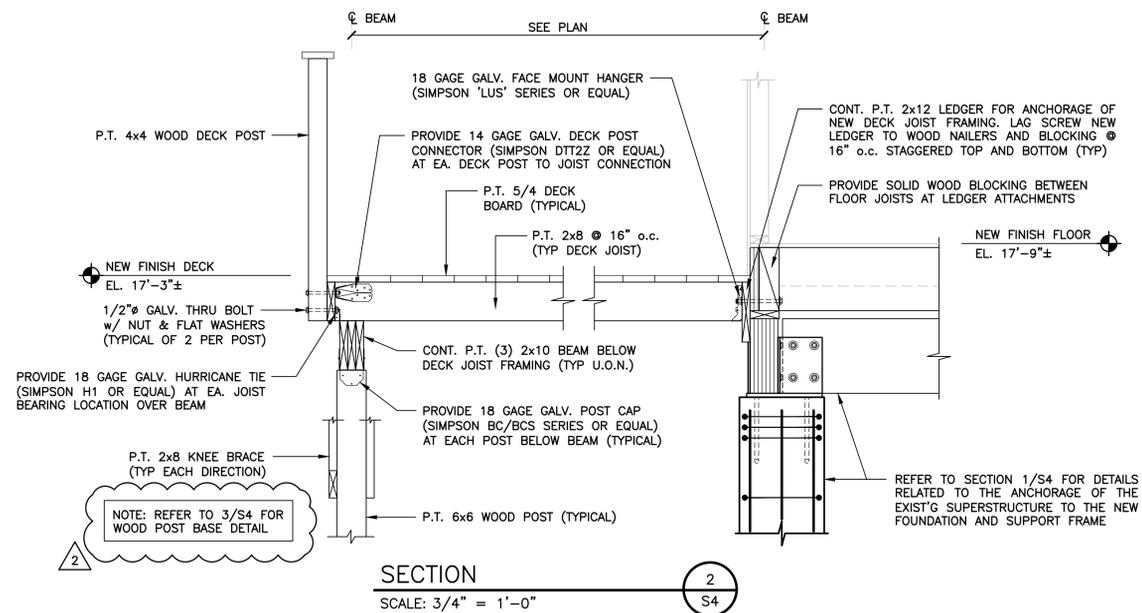
FOUNDATION PLAN

JOB NO.	DRAWING NUMBER	SHEET
33-262-1402	21516 S1-S4.dwg	S2

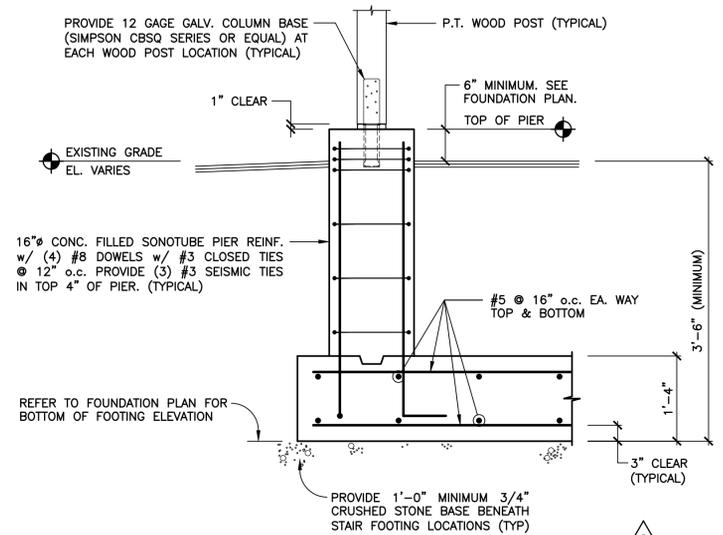




SECTION 1  
SCALE: 1/2" = 1'-0"



SECTION 2  
SCALE: 3/4" = 1'-0"



SECTION 3  
NO SCALE  
(TYPICAL STAIR/LANDING FOUNDATION)



1084 Cromwell Avenue, Suite A-2  
Rocky Hill, CT 06067  
Telephone: (860) 436-4364  
Fax: (860) 436-4626  
www.martinezcouch.com

PROJECT 1402  
80 MELBA STREET  
MILFORD, CONNECTICUT 06460

THOMAS A. TORRENTI, P.C.  
Consulting Engineers

316 Dogburn Lane Tel (203) 891-9933  
P.O. Box 1153 Fax (203) 891-8299  
Orange, CT 06477-7153 ttorrenti@optonline.net

NO.	DATE	REVISIONS	BY	CHK	APPV
3	2/19/2016	ISSUED FOR BIDDING	DEB	TAT	TAT
2	2/9/2016	RE-ISSUED FOR CT DOH REVIEW AND APPROVAL	DEB	TAT	TAT
1	12/3/2015	ISSUED FOR CT DOH REVIEW AND APPROVAL	DEB	TAT	TAT

DRAWN BY: DEB CHECKED BY: TAT SCALE: AS NOTED DATE:

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND SEAL

THOMAS A. TORRENTI, P.E.

FOUNDATION DESIGN

SECTIONS

JOB NO.	DRAWING NUMBER	SHEET
33-262-1402	21516 S1-S4.dwg	S4