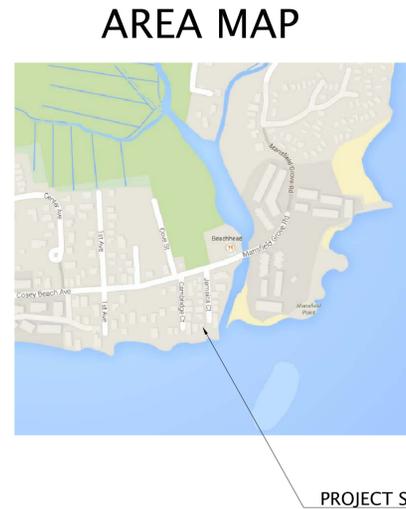
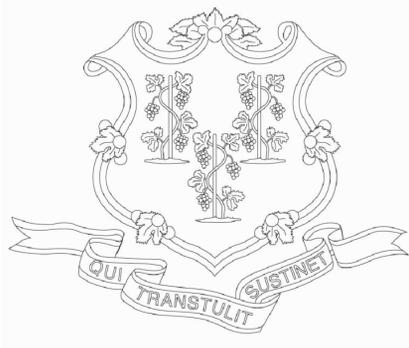


STATE OF CONNECTICUT DEPARTMENT OF HOUSING CDBG-COMMUNITY DEVELOPMENT BLOCK GRANT SUPERSTORM SANDY DISASTER RECOVERY PROGRAM



PROJECT SITE

SPONSOR
State of Connecticut
Department of Housing
505 Hudson Street
Hartford, Connecticut 06106

OWNER
Application No. 1396
Richard Ruggiero
4 Jamaica Court
East Haven, Connecticut 06512

ARCHITECT:
Lothrop Associates LLP
333 Westchester Avenue, White Plains, New York 10604
510 Clinton Square, Rochester, New York 14620
125 Half Mile Road, Suite 200, Red Bank, New Jersey 07701
100 Pearl Street, 14th Floor, Hartford, Connecticut 06103

ENVIRONMENTAL ENGINEER:
Fuss & O'Neill EnviroScience, LLC
146 Hartford Road, Manchester, Connecticut 06040
56 Quarry Rd, Trumbull, Connecticut 06611

STRUCTURAL ENGINEER:
GNCB Consulting Engineers, P.C.
130 Elm Street, P.O. Box 802, Old Saybrook, Connecticut 06475

SURVEYOR:
LWF Land Surveying
48 Alps Road, Brandford, Connecticut 06405
(203) 481-0436

GENERAL NOTES

1. THE DWELLING IS CURRENTLY LIFTED ABOVE GRADE SUPPORTED BY CRIBBING AND NEEDLE BEAMS. THIS WORK WAS DONE BY THE OWNER PRIOR TO THE STATE OF CONNECTICUT ENGAGING LOTHROP ASSOCIATES AS ARCHITECT. LOTHROP ASSOCIATES & ITS CONSULTANTS ASSUMES NO RESPONSIBILITY FOR THE ADEQUACY OF THE EXISTING CRIBBING AND NEEDLE BEAMS CURRENTLY SUPPORTING THE DWELLING. THE DWELLING WILL BE LIFTED FURTHER AS PART OF THE WORK SHOWN HERE.
2. DO NOT OBSTRUCT ACCESS TO THE SITE.
3. PROTECT ALL AREAS FROM FALLING DEBRIS.
4. MAINTAIN ALL EXISTING SITE ELEMENTS (PAVING, FENCES, BUILDINGS, ETC.) AND PLANTINGS & LAWNS. CONTRACTOR SHALL REPLACE OR REPAIR ALL DAMAGE, AT THE CONTRACTORS' EXPENSE.
5. MAINTAIN A SECURED AREA FOR ALL CONSTRUCTION MATERIALS & EQUIPMENT STORED ON SITE.
6. PROVIDE TARPED DUMPSTER FOR REMOVAL OF ALL RUBBISH AND CONSTRUCTION DEBRIS. DUMPSTER SHOULD BE ADEQUATELY PROTECTED DURING PROJECT. CONTRACTOR IS RESPONSIBLE FOR ALL TRASH PLACED IN AND AROUND DUMPSTER. DUMPSTER PERMIT COSTS TO BE INCLUDED IN THE BASE BID.
7. WORK SHALL COMPLY WITH ALL STATE & LOCAL CODES, REGULATIONS AND ORDINANCES.
8. AT PROJECT COMPLETION, REMOVE ALL CONSTRUCTION DEBRIS AND PATCH/REPAIR ALL SURFACES DAMAGED BY CONTRACTOR ACTIVITIES. THOROUGHLY CLEAN ALL WORK AREAS OF ALL DEBRIS RESULTING FROM WORK OF THIS CONTRACT.
9. DISCONNECT AND RECONNECT ALL UTILITIES AS REQUIRED. COORDINATE WITH UTILITY COMPANIES AND AUTHORITIES HAVING JURISDICTION. EXTEND UTILITIES TO NEW CONNECTION LOCATIONS.
10. THE SPECIFICATION MANUAL IS AN INTEGRAL PART OF THESE DOCUMENTS AND SHALL BE CONSIDERED A COMPONENT OF THESE DOCUMENTS AS IF INCLUDED HEREIN.

DRAWING LIST

- ARCHITECTURAL**
- G-001 COVER SHEET
 - G-002 SITE PLAN AND ZONING DATA
 - A-101 FOUNDATION PLAN, FIRST FLOOR PLAN
 - A-102 SECOND FLOOR PLAN, DETAILS
 - A-201 BUILDING ELEVATIONS AND MISCELLANEOUS DETAILS-I
 - A-202 BUILDING ELEVATIONS AND MISCELLANEOUS DETAILS-II
 - A-301 BUILDING SECTIONS
 - A-501 BREAKAWAY WALL DETAILS

- HAZARDOUS MATERIALS**
- HM-100 HAZARDOUS MATERIALS ABATEMENT FIRST & SECOND FLOOR

- STRUCTURAL**
- S-100 STRUCTURAL NOTES, TYPICAL DETAILS AND SOIL BORING DATA
 - S-101 FOUNDATION AND FIRST FLOOR FRAMING PLAN
 - S-102 ADDITIONS CEILING AND ROOF FRAMING PLAN
 - S-201 STRUCTURAL SECTION AND STEEL COLUMN LOCATION PLAN
 - S-202 STRUCTURAL SECTION AND TYPICAL DETAILS
 - S-203 STRUCTURAL DETAILS

ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	HM	HOLLOW METAL
ADJ	ADJACENT	HORIZ	HORIZONTAL
ALUM	ALUMINUM	HWH	HOT WATER HEATER
APPROX	APPROXIMATE	JB	JUNCTION BOX
ARCH	ARCHITECTURAL	LDR	LEADER
BTM	BOTTOM	LO	LINE OF
B.O.	BOTTOM OF	LVL	LAMINATE VENEER LUMBER
CJ	CEILING JOISTS	MAX	MAXIMUM
CL	CENTERLINE	MC	MEDICINE CABINET
CLOS	CLOSET	MI	MIRRORED MEDICINE CABINET
CMU	CONCRETE MASONRY UNIT	MIN	MINIMUM
COL	COLUMN	MO	MASONRY OPENING
CONC	CONCRETE	MV	MICROWAVE
CONT	CONTINUOUS	NIC	NOT INCLUDED IN CONTRACT
COORD	COORDINATE	OA	OVERALL
CT	CERAMIC TILE	OC	ON CENTER
DW	DISHWASHER	OPP	OPPOSITE
DWG	DRAWING	PSL	PARALLEL STRAND LUMBER
E/F	EXHAUST FAN	PT	PRESSURE TREATED
EX	EXISTING	REF	REFRIGERATOR
EL	ELEVATION	REINF	REINFORCED
EP	ELECTRICAL PANEL	RO	ROUGH OPENING
EQ	EQUAL	RM	ROOM
EQUIP	EQUIPMENT	RR	ROOF RAFTERS
EQUIV	EQUIVALENT	SD	SMOKE DETECTOR
F/D	FLOOR DRAIN	SIM	SIMILAR
FIN	FINISH	SPEC	SPECIFICATIONS
FDN	FOUNDATION	STD	STANDARD
FJ	FLOOR JOISTS	STL	STEEL
FLR	FLOOR	STRUCT	STRUCTURAL
FLHB	FROST PROOF HOSE BIB	T.O.	TOP OF
FV	FLOOD VENT	TYP	TYPICAL
GALV	GALVANIZED	VCT	VINYL COMPOSITE TILE
GB1	GRADE BEAM 1	VERT	VERTICAL
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	VIF	VERIFY IN FIELD
GWB	GYPSUM WALL BOARD	W/D	WASHER/ DRYER COMBO
GYP	GYPSUM	WD	WOOD
HDWD	HARDWOOD FLOORING	WP	WEATHERPROOF
		WWF	WELDED WIRE FABRIC (MESH)
		U/C	UNDER CABINET (LIGHTING)

SYMBOLS LEGEND

	EXISTING PARTITION/ WALL TO REMAIN		DETAIL TAG: SECTION NUMBER DRAWING NUMBER
	NEW PARTITION/ WALL		SECTION KEY: SECTION NUMBER DRAWING NUMBER
	NEW FOUNDATION WALL AND FOOTINGS		ELEVATION KEY: ELEVATION NUMBER DRAWING NUMBER
	EXISTING TO BE REMOVED		KEYED NOTE TAG
	EXISTING ITEM ABOVE		ROOF SLOPE
	EXISTING WINDOW TO REMAIN		REVISION
	NEW WINDOW		SETBACK LINE
	NEW DOOR		SILT BARRIER
	EXISTING DOOR TO REMAIN		CONSTRUCTION FENCE
	NEW "SMART VENT" FLOOD VENT		PROPERTY LINE
	PLYWOOD		GRAVEL
	CONCRETE		WOOD DECKING
	RIGID INSULATION		NEW GAS METER
	NEW WATER METER		

ELEC./ UTILITY LEGEND

	ELECTRICAL PANEL		CEILING MOUNTED EXHAUST FAN WITH LIGHT
	DUPLEX OUTLET		UNDER CABINET TASK LIGHTING
	DUPLEX OUTLET - GROUND FAULT CIRCUIT INTERRUPTER		RECESSED DOWN LIGHT
	DUPLEX OUTLET - STOVE		WALL MOUNTED LIGHT
	DUPLEX OUTLET - DISHWASHER		WALL MOUNTED EXTERIOR LIGHT
	DUPLEX OUTLET - MICROWAVE		CEILING MOUNTED FAN WITH LIGHT
	DUPLEX OUTLET - WEATHER PROOF		
	TV/ CABLE JACK		
	TELEPHONE/ DATA JACK		
	GAS CONNECTION		
	SWITCH		
	3 WAY SWITCH		
	WIRING		
	CEILING MOUNTED SMOKE DETECTOR		
	CEILING MOUNTED CARBON MONOXIDE DETECTOR		

Lothrop

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860-249-7251

White Plains Rochester Red Bank Hartford

STRUCTURAL ENGINEER:



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CONNECTICUT 06475
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FAX: 860 388 4613
GNCBENGINEERS.COM

ENVIRONMENTAL ENGINEER:



ISSUE NO.	ISSUE DATE	DESCRIPTION
1	23 FEB 2015	ISSUED FOR BID

**State Of Connecticut
Department Of Housing**
505 Hudson Street
Hartford, Connecticut 06106

Application No. 1396
HAZARDOUS MATERIAL ABATEMENT
CONSTRUCTION OF NEW FOUNDATIONS
RAISING EXISTING RESIDENCE
NEW ADDITIONS
INTERIOR & EXTERIOR ALTERATIONS

FOR
Richard Ruggiero
4 Jamaica Court
East Haven, Connecticut 06512

COVER SHEET

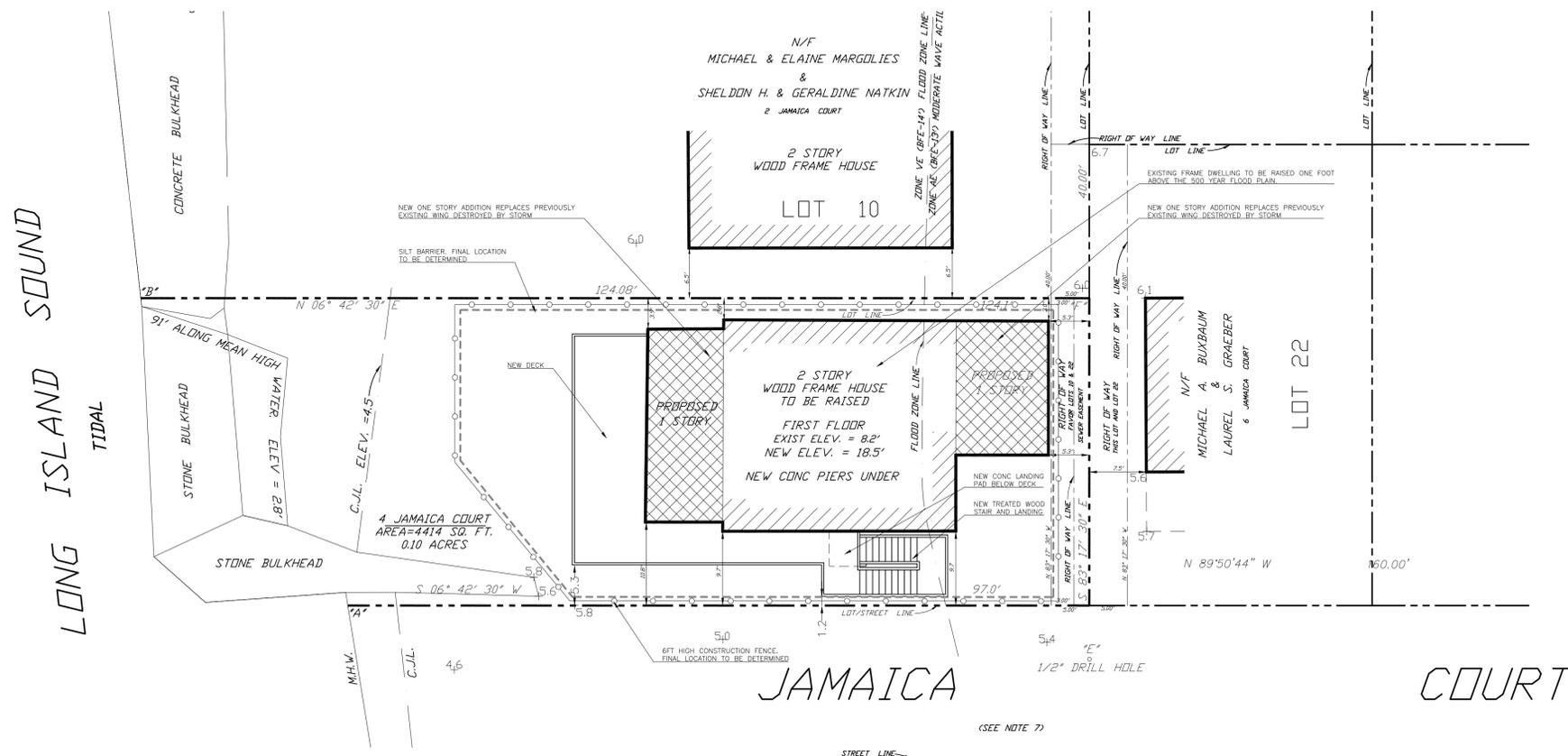
PROJECT NO.: 1524-40	SCALE	AS NOTED
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DRAWING NO.: G-001

N:\10 PROJECTS\Housing-Residential\1524-40 - CT 004 02B-DP - 4 Jamaica Court, East Haven (1998)\1524-40_Drawing\1524-40_Current Construction Draw\1524-40_C-002 Proposed site plan.dwg



2 LOCATION MAP
1"=500'



1 SITE PLAN
1"=10'

SITE PLAN INFORMATION TAKEN FROM A SURVEY PREPARED BY LWF LAND SURVEYING
LOCATION: 4 JAMAICA AVENUE, EAST HAVEN, CONNECTICUT
MAP 030
BLOCK 0220
PARCEL 022

*ALL REQUIRED VARIANCES HAVE BEEN GRANTED BY THE EAST HAVEN BOARD OF APPEALS
DATED 11-21-13

Lothrop

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100 Pearl Street
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ENVIRONMENTAL ENGINEER:

FUSS & O'NEILL
Environmental Sciences, LLC
145 HARTFORD ROAD
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www.fuss.com

ISSUE NO.	ISSUE DATE	DESCRIPTION
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State Of Connecticut
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505 Hudson Street
Hartford, Connecticut 06106

Application No. 1396
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FOR
Richard Ruggiero
4 Jamaica Court
East Haven, Connecticut 06512

SITE PLAN AND
ZONING DATA

PROJECT NO.: 1524-40 SCALE AS NOTED

DRAWING NO.:

G-002

ISSUE NO.	ISSUE DATE	DESCRIPTION
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**State Of Connecticut
Department Of Housing**
505 Hudson Street
Hartford, Connecticut 06106

Application No. 1396
**HAZARDOUS MATERIAL ABATEMENT
CONSTRUCTION OF NEW FOUNDATIONS
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NEW ADDITIONS
INTERIOR & EXTERIOR ALTERATIONS**

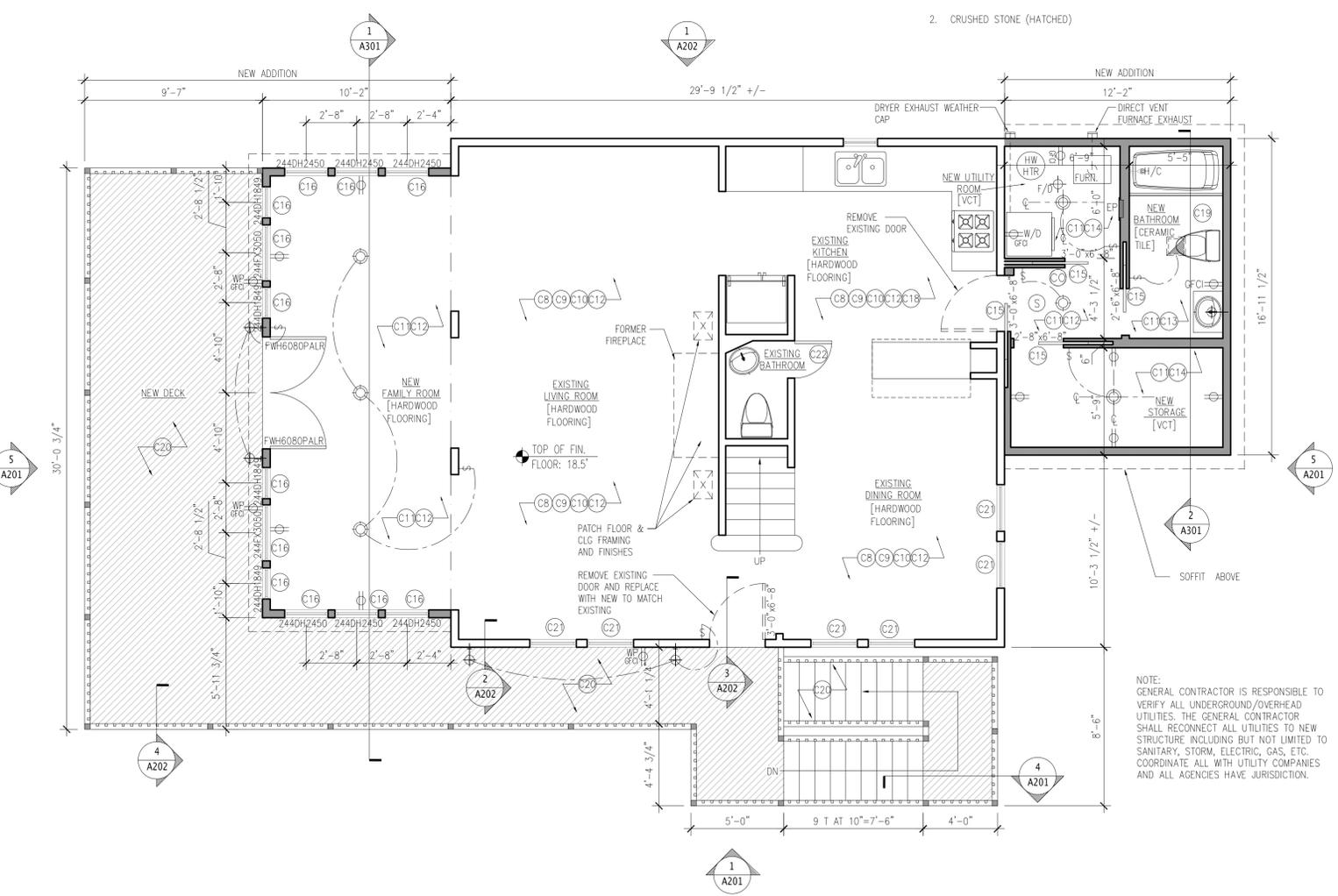
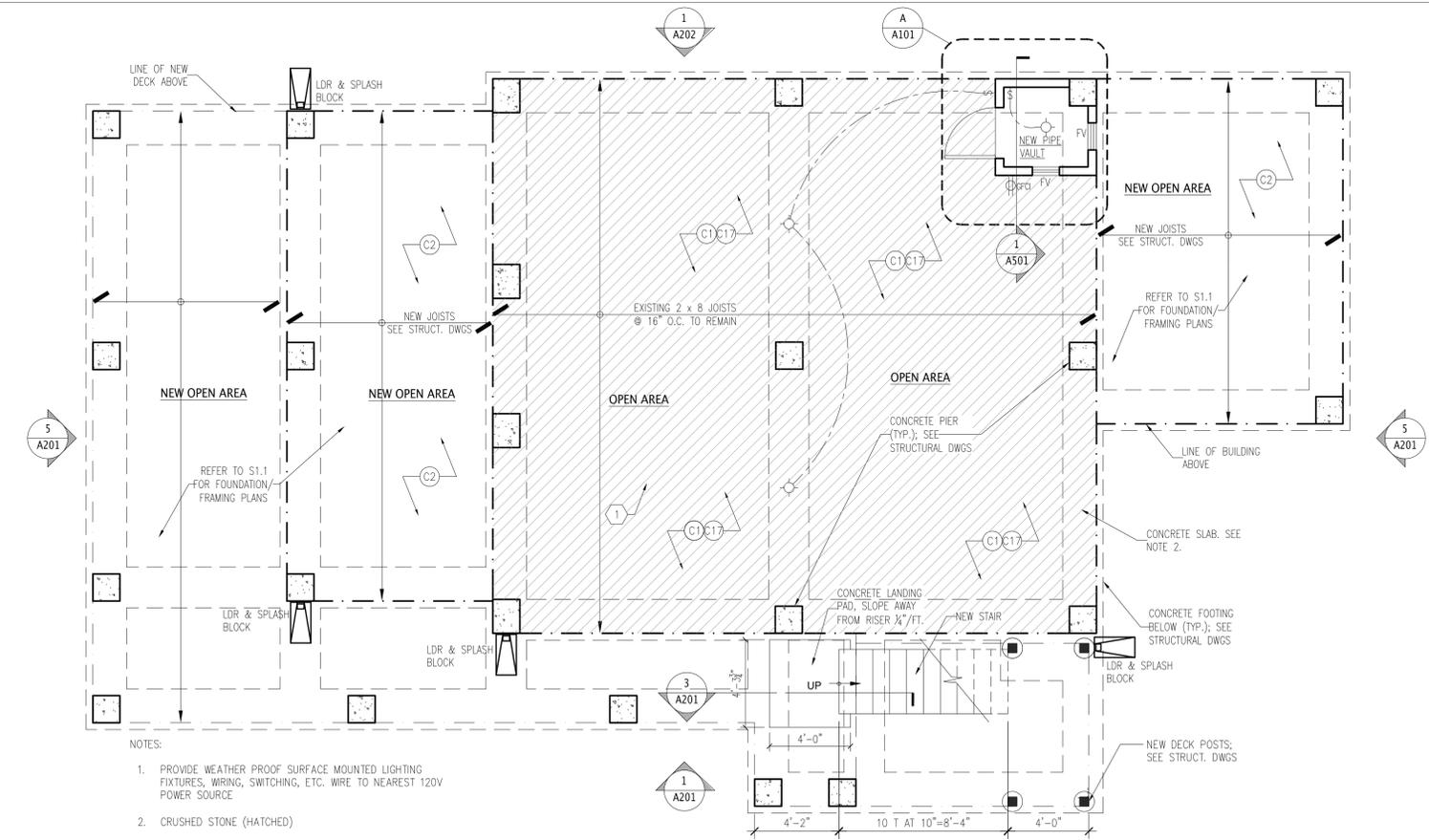
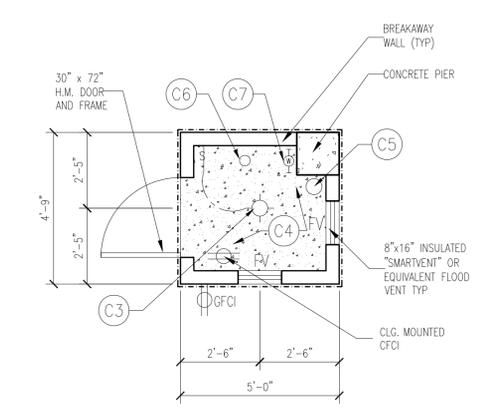
FOR
Richard Ruggiero
4 Jamaica Court
East Haven, Connecticut 06512

FOUNDATION PLAN, FIRST FLOOR PLAN

PROJECT NO.: 1524-40 SCALE AS NOTED

DRAWING NO.:

A-101



CONSTRUCTION KEYED NOTES

- EXISTING FLOOR JOIST ABOVE TO REMAIN. PROVIDE NEW R-30 BATT INSULATION IN ALL FRAMED JOIST BAYS. PROVIDE NEW EXTERIOR GYPSUM WALL BOARD CEILING
- PROVIDE NEW FLOOR JOIST FRAMING (SEE STRUCTURAL DWGS) AND PROVIDE NEW R-30 BATT INSULATION IN ALL FRAMED JOIST BAYS. PROVIDE NEW EXTERIOR GYPSUM WALL BOARD CEILING
- PROVIDE WEATHER PROOF SURFACE MOUNTED LIGHTING FIXTURES, WIRING, SWITCHING, ETC. WIRE TO NEAREST 120V POWER SOURCE
- PROVIDE 4" CONC. (F_c=3500 PSI) SLAB ON GRADE REINFORCED w/ 6x6-8x8 W.W.M. OVER 6" LAYER OF 3/4" CRUSHED STONE + 2" RIGID INSULATION. SEE STRUCTURAL DRAWINGS.
- NEW SANITARY PIPE CONNECT TO EXISTING @ NEAREST POSSIBLE POINT.
- NEW WATER SERVICE PIPE CONNECTED TO EXISTING
- NEW WATER METER
- SCRAPE, SPACKLE, TAPE, SAND, PRIME AND PAINT EXISTING CEILING SURFACE.
- PROVIDE NEW FINISHED GYPSUM BOARD DRYWALL UP TO 4 FEET AFF, MATCH EXISTING THICKNESS. PROVIDE NEW R-15 WHERE NEEDED.
- REMOVE AND REPLACE ALL DAMAGED SUBFLOOR.
- PROVIDE NEW 1/2" GYPSUM WALL BOARD. SPACKLE, TAPE, SAND, PRIME AND PAINT ALL CEILING & WALLS. COLOR AS SELECTED BY OWNER. PROVIDE NEW R-15 WALL BATT INSULATION WHERE MISSING.
- INSTALL NEW HARDWOOD FINISH FLOOR. FINISH & COLOR TO BE SELECTED BY OWNER.
- PROVIDE NEW CERAMIC TILE 4x4 FLOORING AND TILE BASE IN BATHROOM WITH NEW MARBLE DOOR SADDLE. COLOR TO BE SELECTED BY OWNER
- PROVIDE NEW VCT FLOOR. COLOR AS SELECTED BY OWNER.
- PROVIDE NEW DOORS. NEW DOOR TRIM. DOOR HARDWARE PROVIDED UNDER CONTRACT ALLOWANCE.
- PROVIDE NEW WINDOWS WITH COASTAL STORM WATCH COMPONENTS.
- NEW CRUSHED STONE SURFACE, SEE STRUCTURAL DRAWINGS.
- EXISTING CABINETS, COUNTERS, APPLIANCES TO REMAIN.
- PROVIDE NEW FIXTURES & TRIM UNDER CONTRACT ALLOWANCE.
- NEW WOOD DECK, STAIR LANDING, AND STAIRS. PROVIDE NEW STAIR SUPPORT POSTS AND PIERS. SEE STRUCTURAL DRAWINGS
- PROVIDE NEW WINDOW TRIM TO MATCH EXISTING. 2ND FLOOR.
- PROVIDE NEW DOOR TRIM TO MATCH EXISTING. 2ND FLOOR.

N:\10 PROJECTS\Residential\1524-40 Drawings\1524-40 Current Construction\1524-40_A100 Floor Plan.dwg

STRUCTURAL ENGINEER:

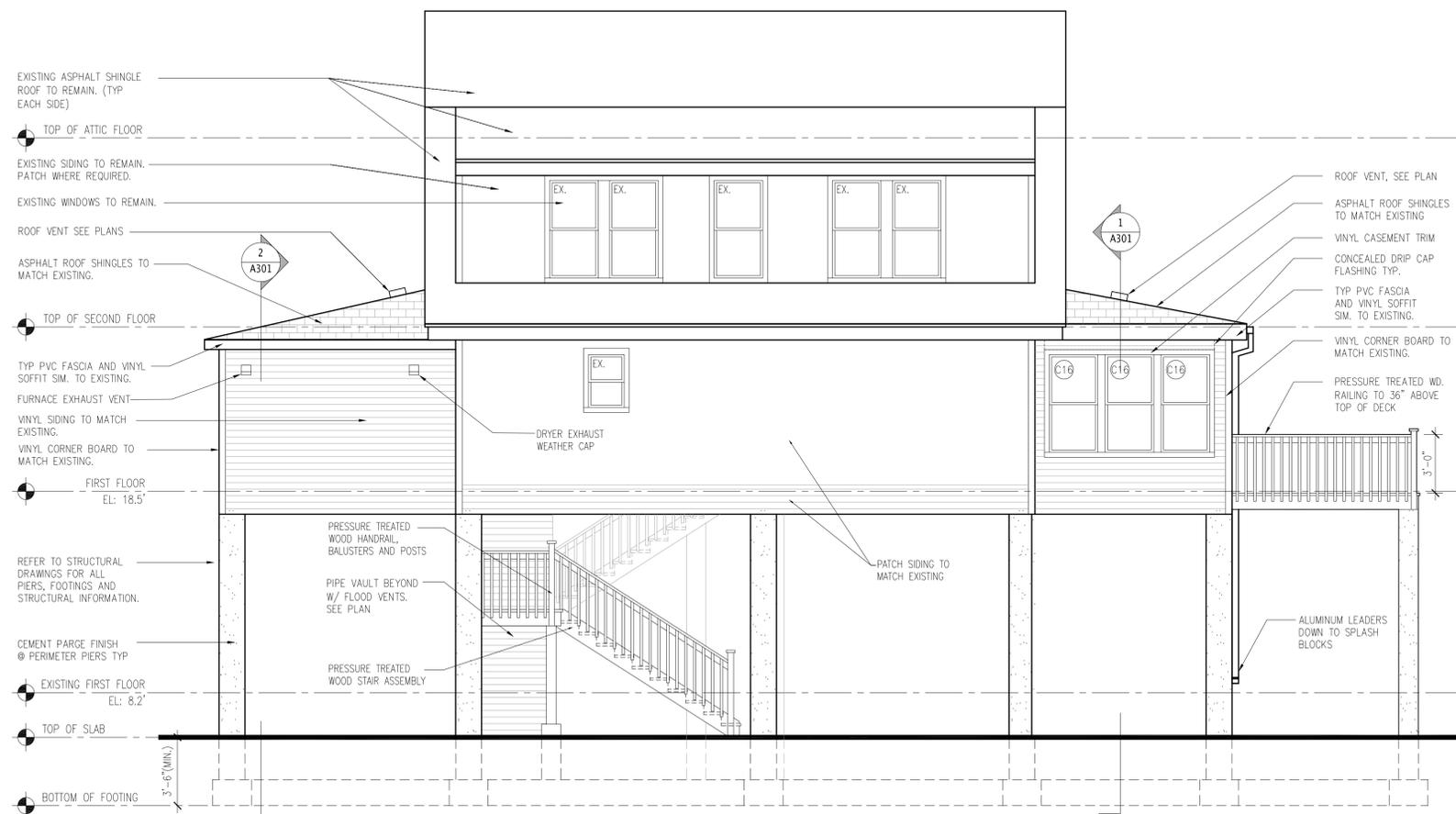


130 ELM STREET
POST OFFICE BOX 802
OLD SAYBROOK
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PHONE: 860 388 1224
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ENVIRONMENTAL ENGINEER:

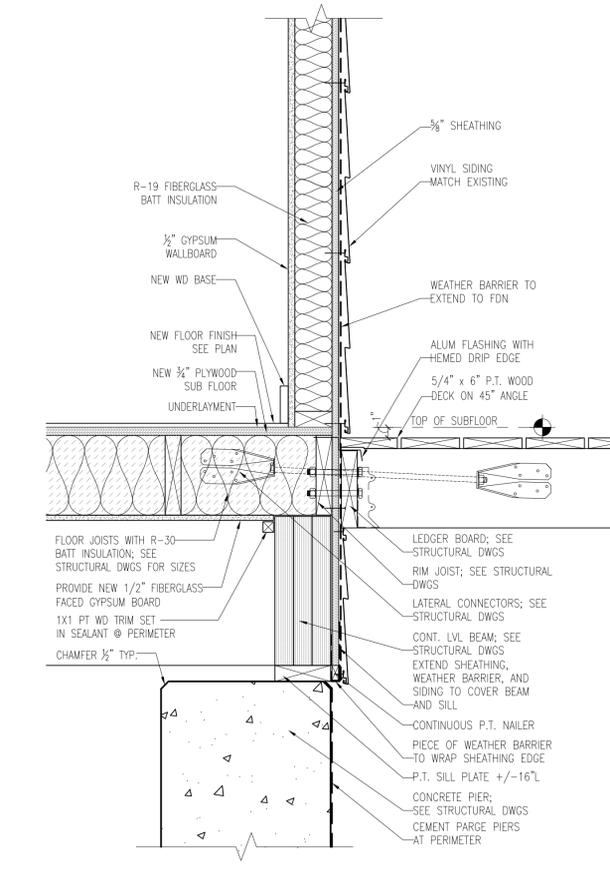


160 HARTFORD ROAD
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860-267-1100
www.fussandoneill.com

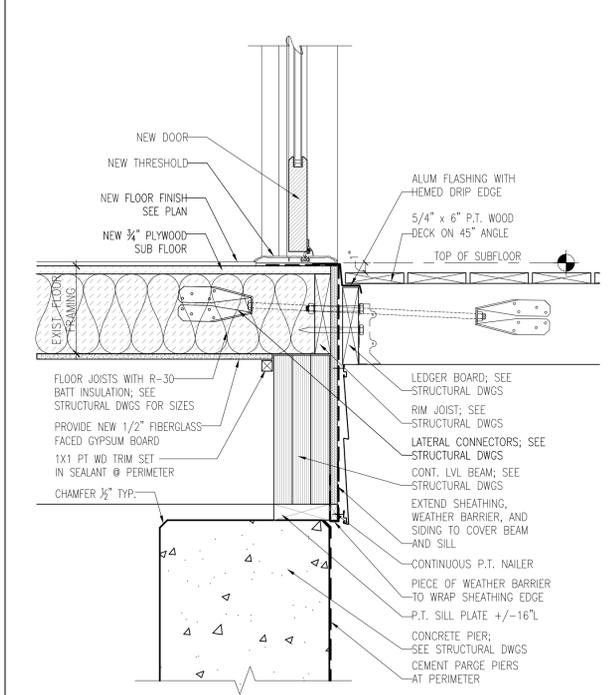


1 WEST ELEVATION
1/4" = 1'-0"

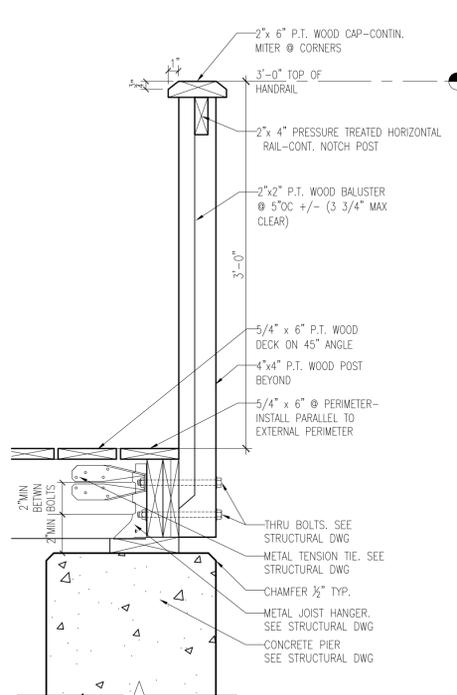
ALL WINDOWS SHALL BE ANDERSEN WINDOW 200 SERIES WITH COASTAL STORM WATCH COMPONENTS



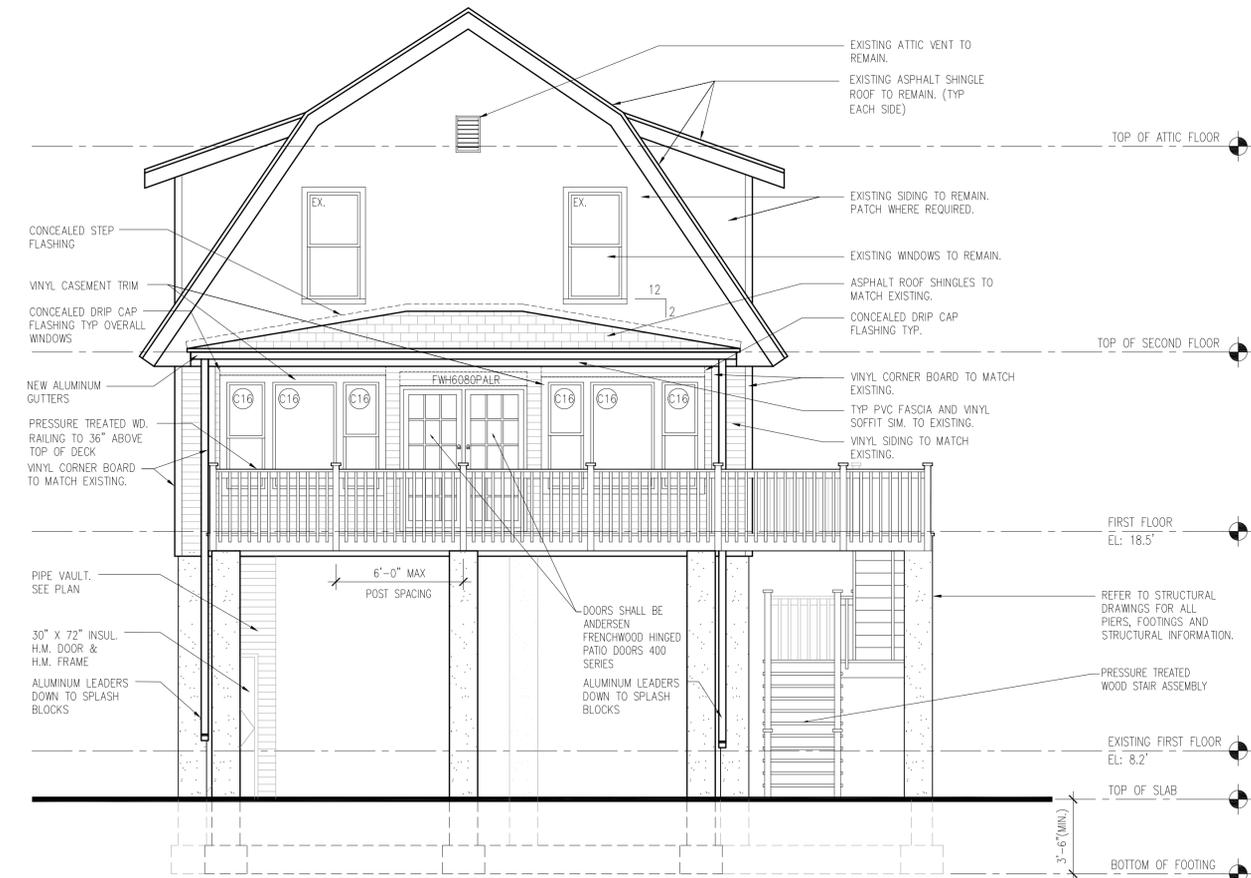
2 DECK DETAIL
1 1/2" = 1'-0"



3 DECK DETAIL
1 1/2" = 1'-0"



4 DECK DETAIL
1 1/2" = 1'-0"



5 SOUTH ELEVATION
1/4" = 1'-0"

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Hartford, Connecticut 06106

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CONSTRUCTION OF NEW FOUNDATIONS
RAISING EXISTING RESIDENCE
NEW ADDITIONS
INTERIOR & EXTERIOR ALTERATIONS

FOR
Richard Ruggiero
4 Jamaica Court
East Haven, Connecticut 06512

**BUILDING
ELEVATIONS AND
MISCELLANEOUS DETAILS-II**

PROJECT NO.: 1524-40 SCALE AS NOTED

DRAWING NO.:

A-202

STRUCTURAL ENGINEER:



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 860-267-1000
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ISSUE NO.	ISSUE DATE	DESCRIPTION
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**State Of Connecticut
 Department Of Housing**
 505 Hudson Street
 Hartford, Connecticut 06106

Application No. 1396
**HAZARDOUS MATERIAL ABATEMENT
 CONSTRUCTION OF NEW FOUNDATIONS
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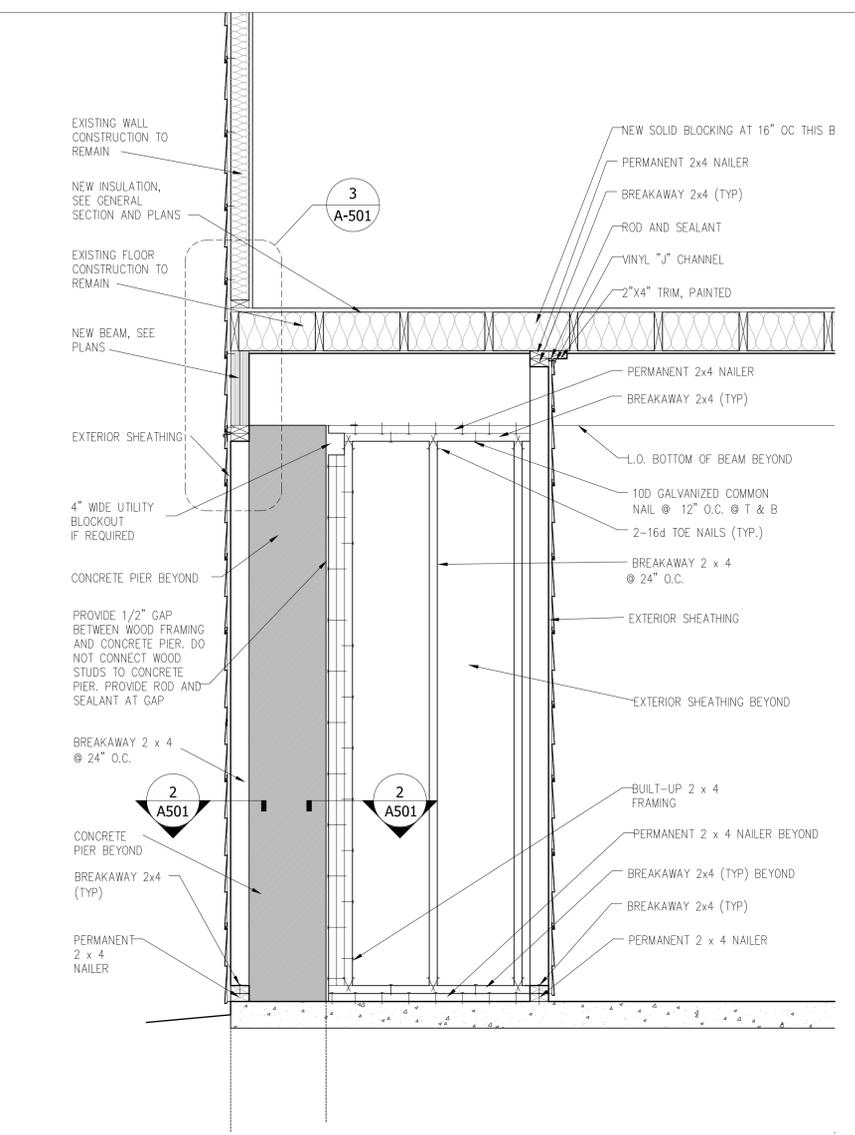
FOR
 Richard Ruggiero
 4 Jamaica Court
 East Haven, Connecticut 06512

BREAKAWAY WALL DETAILS

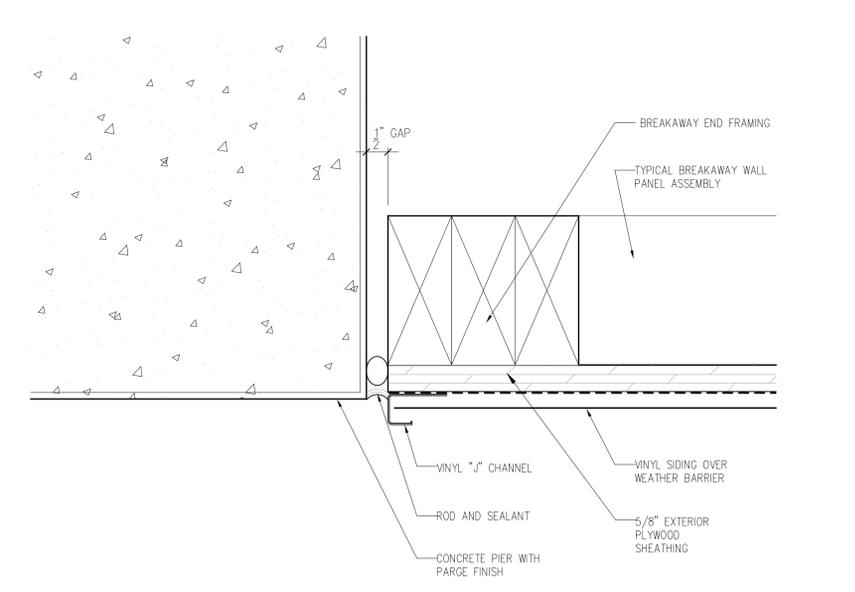
PROJECT NO.: 1524-40 SCALE AS NOTED

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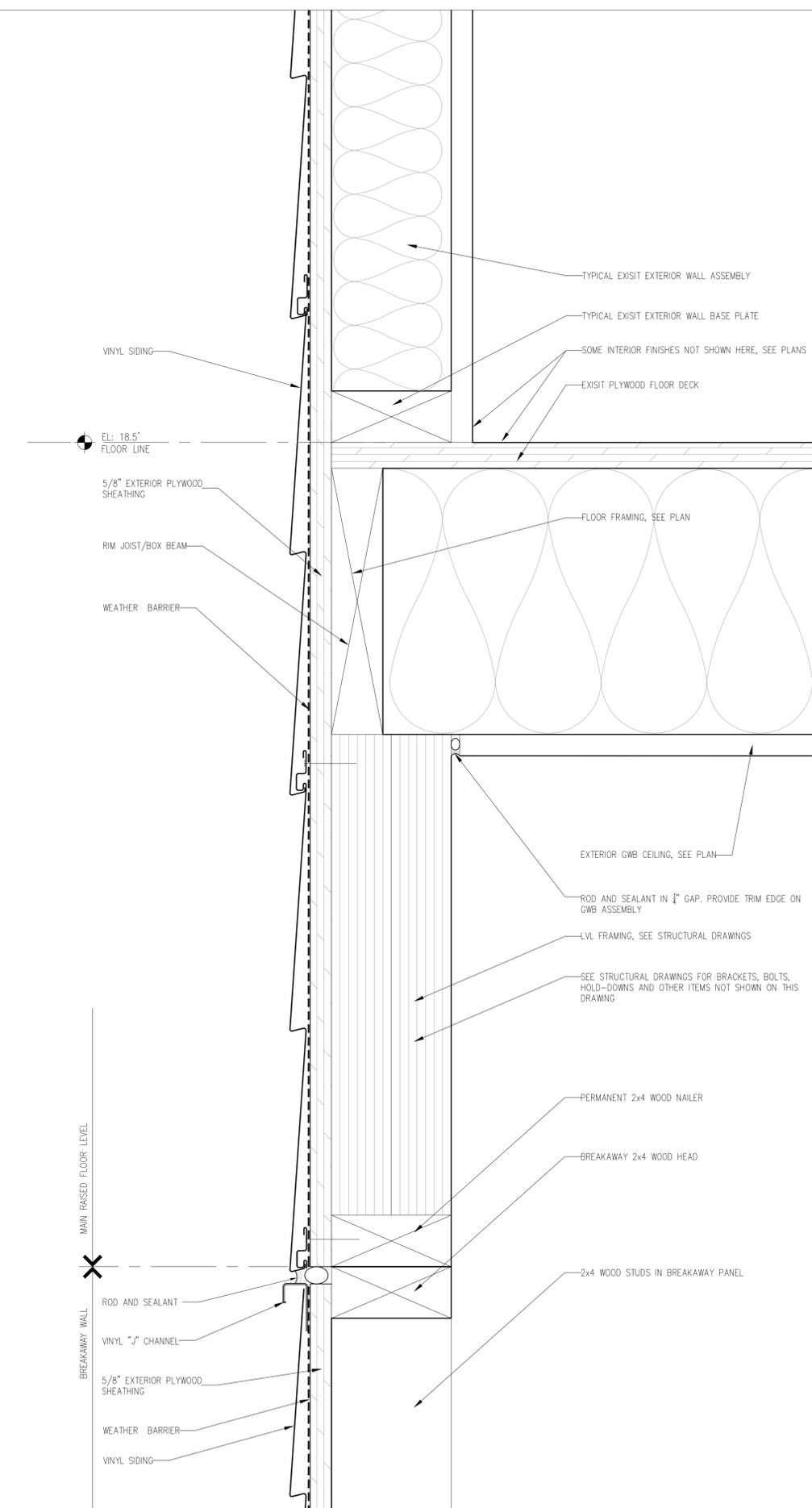
A-501



1 SECTION: WOOD FRAMED BREAK AWAY WALL PIPE VAULT
 3/4" = 1'-0"



2 PLAN DETAIL, BREAK-AWAY WALL END
 6" = 1'-0"



3 BREAK-AWAY WALL HEAD DETAIL
 6" = 1'-0"

N:\0 PROJECTS\Residential-Residential\1524-40 - 4 Jamaica Court, East Haven (A1396)\1524-40 Drawings\1524-40 Current Construction\1524-40_A501_detailed.dwg

ISSUE NO.	ISSUE DATE	DESCRIPTION
1	23 FEB 2015	ISSUED FOR BID

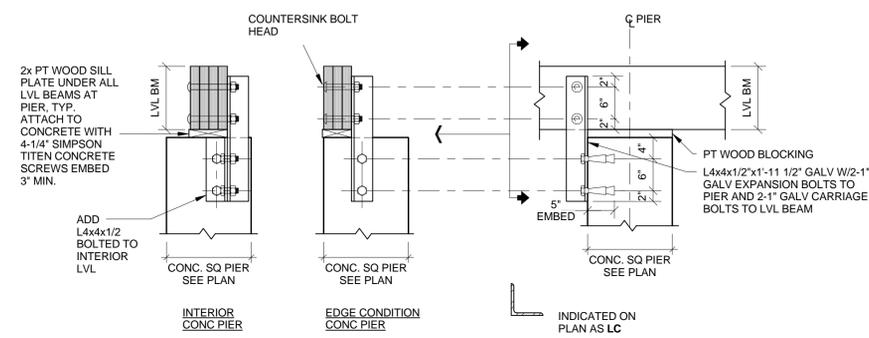
State of Connecticut
 Department Of Housing
 505 Hudson Street
 Hartford, Connecticut 06106
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 Richard Ruggiero
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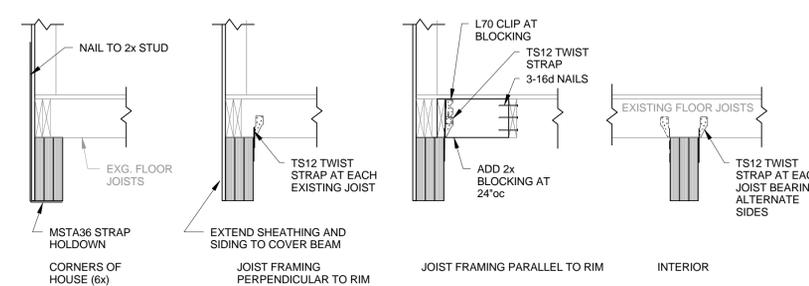
STRUCTURAL SECTION + TYP. DETAILS

PROJECT NO.: 1524-40 SCALE As indicated

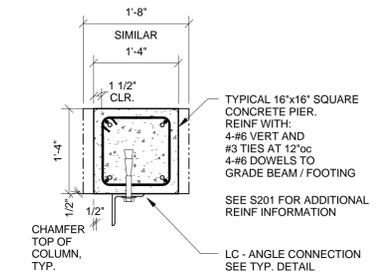
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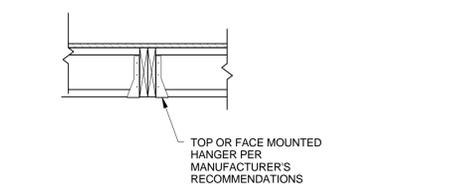
BEAM TO CONCRETE PIER CONNECTION (ANGLE)



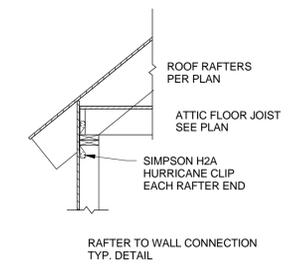
TYPICAL FLOOR TO NEW BEAM CONNECTION



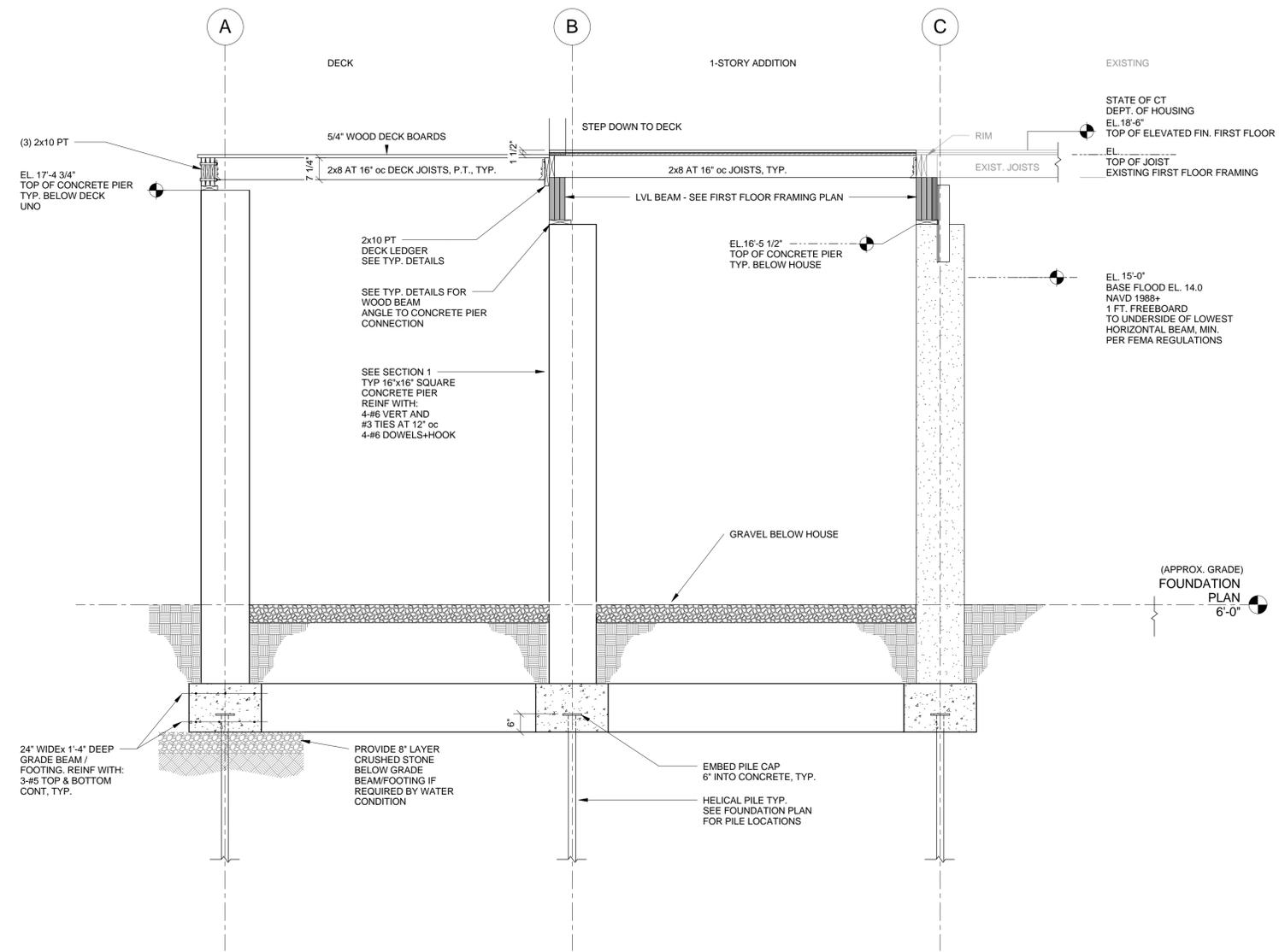
CONCRETE PIER PLAN VIEW



WOOD FRAMING SUPPORTED BY WOOD BEAM, FLUSH FRAMED
 FLUSH FRAMING DETAILS



RAFTER TO WALL CONNECTION



SECTION 2
 1/2" = 1'-0"

GNCB DRAWING DATE: 19 FEB. 2015

