

PROJECT 1284 - 743 EAST BROADWAY, MILFORD, CT

**COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM**

OWNER OCCUPIED REHABILITATION AND REBUILDING

**CONNECTICUT DEPARTMENT OF HOUSING
HARTFORD, CONNECTICUT 06118**

GENERAL NOTES:

1. WHERE REFERENCED IN THIS PLAN SET, MARTINEZ COUCH & ASSOCIATES, LLC SHALL HEREIN BE REFERRED TO AS "MCA."
2. THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS.
3. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE, AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
4. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT MCA IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS, SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH MCA PRIOR TO BIDDING.
5. REFER TO OTHER PLANS, DETAILS, AND PROJECT MANUAL FOR ADDITIONAL INFORMATION.

DRAWING INDEX

SHEET TITLE

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SHEET NUMBER

T-0.0
 1 OF 1
 C-1.0
 C-1.1
 C-1.2
 C-1.3
 C-2.0
 C-2.1
 C-2.2
 A-1.0
 A-1.1
 A-1.2
 A-2.0
 A-2.1
 A-3.0
 S-1
 S-2
 S-3
 S-4



STREET VIEW
(N.T.S.)

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PROJECT 1284
 743 EAST BROADWAY
 MILFORD, CONNECTICUT 06460

2	1/12/2016	ISSUED FOR BIDDING	MBR	MBR	REC
1	1/11/2016	ISSUED FOR CT DOH REVIEW AND APPROVAL	KNL	MBR	REC
NO.	DATE	REVISIONS	BY	CHK	APPV
DRAWN: KNL		CHECKED: MBR	APPROVED: REC	SCALE: N.T.S.	DATE: 10/21/2015

TITLE SHEET

JOB NO.	DRAWING NUMBER	SHEET
33-262-1284	BASEMAP 33-262-1284.dwg	T-0.0

SURVEY NOTES

NORTH ORIENTATION AND COORDINATES REFER TO NAD 83.
ELEVATIONS BASED ON NAVD 1988.

PARCEL OWNER OF RECORD: KENNETH J. & ANN KEANE
743 EAST BROADWAY
MILFORD, CT 06460

PARCEL AREA = 4,440± SQ. FT., 0.102± ACRES.

PARCEL IS IN THE R5 ZONING DISTRICT.

PARCEL ID: MAP 22, BLOCK 474, LOT 20, MILFORD ASSESSOR'S MAPPING.

ENTIRE SUBJECT PARCEL IS IN ZONE AE & VE (EL. 13) FLOOD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP, NEW HAVEN COUNTY, CONNECTICUT PANEL 529 OF 635, MAP NUMBER 09009C0529J, MAP REVISED JULY 8, 2013 BY FEDERAL EMERGENCY MANAGEMENT AGENCY.

COASTAL JURISDICTION LINE ELEVATION TAKEN FROM "CTDEEP OFFICE OF LONG ISLAND SOUND PROGRAMS COASTAL JURISDICTION LINE ELEVATIONS" TABLE.

REFERENCE MAPS:

1) MAP OF LOTS OWNED BY GEORGE E. HASKINS SILVER BEACH MILFORD, CONN. SCALE 1"=50'. DATE JUNE 29 1910. PREPARED BY V.B. CLARKE

2) MAP OF SHORE PROPERTY OWNED BY ERNEST L. NETTLETON, MILFORD CONN. SCALE 1"=100'. DATE FEB. 25 1908. A.B. HILL

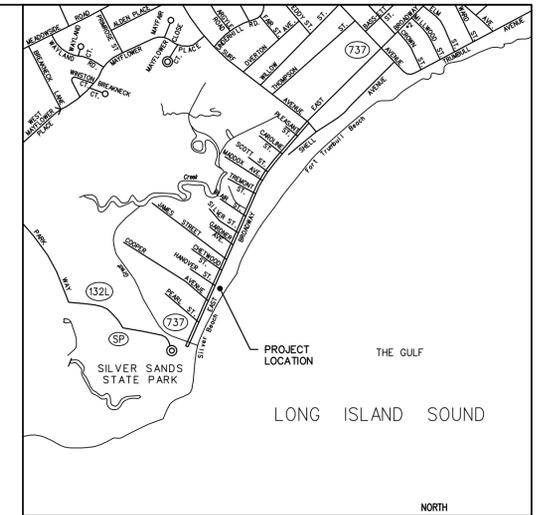
ZONING REGULATIONS (R-5)			
	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA (SQ.FT.)	5,000	*4,438	***4,438
MIN. LOT WIDTH (FT.)	50	*40.0	***40.0
MIN. LOT DEPTH (FT.)	70	114.5	114.5
MIN. FRONT YARD (FT.)	SEE NOTE 1	15.1'	15.1'/**9.4'
MIN. EACH SIDE YARD (FT.)	SEE NOTE 2	**3.5'/**0.7'/5.0'/*1.7'	**3.5'/**0.5'/5.0'
MIN. REAR YARD (FT.)	20	51.8°/40.5°/51.1'	51.8°/42.3'
MAX. BUILDING HEIGHT (FT.)	35	24.9	33.7
MAX. BUILDING COVERAGE	45%	25.6%	25.6%
MAX. LOT COVERAGE	65%	56%	56.5%
NUMBER OF STORIES	3 MAX	2.5	***4.0

NOTES:

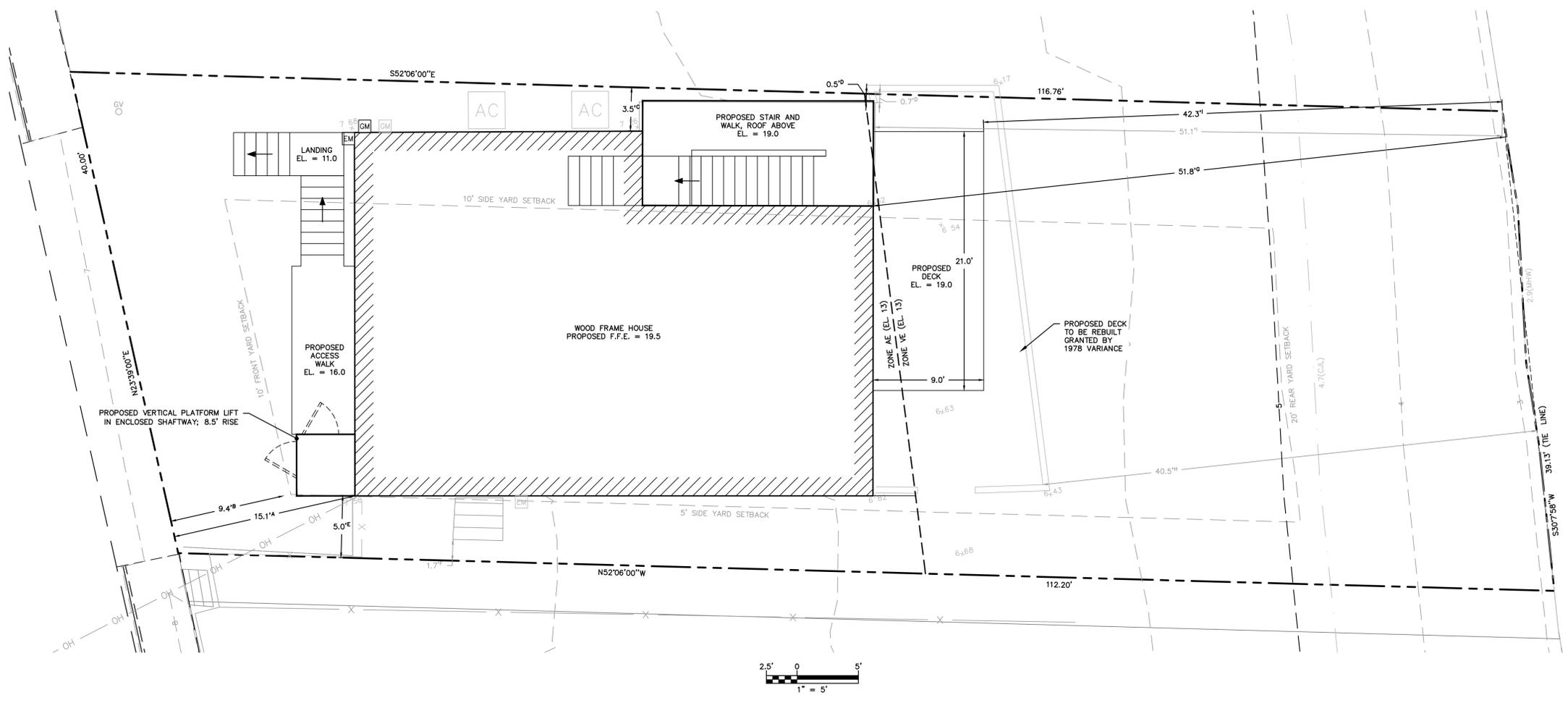
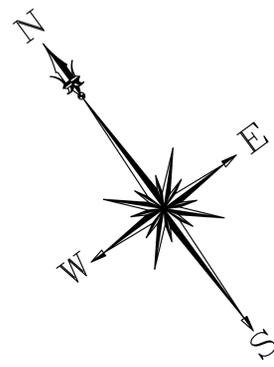
- TEN FEET OR THE ACTUAL FRONT YARD SETBACK, WHICHEVER IS GREATER; EXCEPT THAT THE MINIMUM REQUIRED FRONT YARD SHALL NOT BE REQUIRED TO EXCEED 20 FEET.
- ONE SIDE TEN (10) FEET, OTHER SIDE FIVE (5) FEET.
- PROJECTIONS INTO ANY REQUIRED YARD SHALL NOT EXCEED FOUR (4) FEET INTO ANY REQUIRED YARD NOR A DISTANCE EQUAL TO TWENTY PERCENT (20%) OF THE REQUIRED YARD. PROJECTION REQUIREMENTS ARE AS FOLLOWS:
 - FRONT YARD: MINIMUM 12.1 FEET FROM STREET LINE
 - SIDE YARD (NORTHEAST): MINIMUM 8.0 FEET FROM LOT LINE
 - SIDE YARD (SOUTHWEST): MINIMUM 4.0 FEET FROM LOT LINE
 - REAR YARD: MINIMUM 16.0 FEET FROM LOT LINE

- * PREEXISTING NONCONFORMITY
- ** NONCONFORMITY GRANTED BY PREVIOUS VARIANCE
- *** BY VARIANCE GRANTED NOVEMBER 2015

- A: SETBACK FROM PRINCIPAL BUILDING TO STREET LINE
- B: SETBACK FROM PROJECTING STEPS TO STREET LINE
- C: SETBACK FROM PRINCIPAL BUILDING TO NORTHEAST SIDE LOT LINE
- D: SETBACK FROM PROJECTING DECK TO NORTHEAST SIDE LOT LINE
- E: SETBACK FROM PRINCIPAL BUILDING TO SOUTHWEST SIDE LOT LINE
- F: SETBACK FROM PROJECTING STEPS TO SOUTHWEST SIDE LOT LINE
- G: SETBACK FROM PRINCIPAL BUILDING TO REAR LOT LINE
- H: SETBACK FROM PROJECTING PATIO TO REAR LOT LINE
- I: SETBACK FROM PROJECTING DECK TO REAR LOT LINE



LOCATION MAP
1" = 1000'



AVERAGE GRADE CALCULATION
 AVERAGE GRADE ELEVATION = (Σ(POINT ELEVATIONS))/(NUMBER OF POINTS)
 = (7.68 + 7.64 + 7.56 + 7.22 + 7.26 + 6.73 + 6.50 + 6.62 + 6.54 + 6.63 + 6.60 + 6.74 + 6.68 + 6.82 + 7.19 + 7.42 + 7.83 + 8.15 + 8.39 + 7.72 + 7.59 + 7.40) / (22 POINTS)
 = (158.91) / (22 POINTS)
 AVERAGE GRADE ELEVATION = 7.22

SYMBOLS LEGEND

⊙	Utility Pole	---	Property Line
°WV	Water Valve	- - - -	Contour Line
°GV	GAS Valve	—MHW(EL. 2.9)	Mean High Water Line
⊙MH	MAN HOLE	—CJL(EL. 4.8)	Coastal Jurisdiction Line
		167x32	Spot Grade

REFERENCE MAP:
 1. "TOPOGRAPHIC & BOUNDARY SURVEY" FOR CTDOH AT 743 EAST BROADWAY, MILFORD, CONNECTICUT; DATE: 01-30-2015; SCALE: 1"=10'; PREPARED BY MARTINEZ COUCH & ASSOCIATES, LLC
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MCA
MARTINEZ COUCH & ASSOCIATES
 ENGINEERING • LAND SURVEYING • ENVIRONMENTAL
 CONSTRUCTION INSPECTION • GIS • WASTEWATER

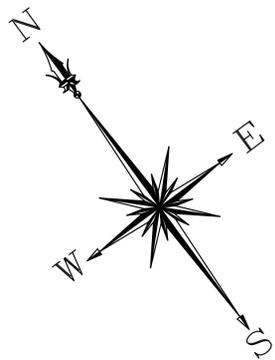
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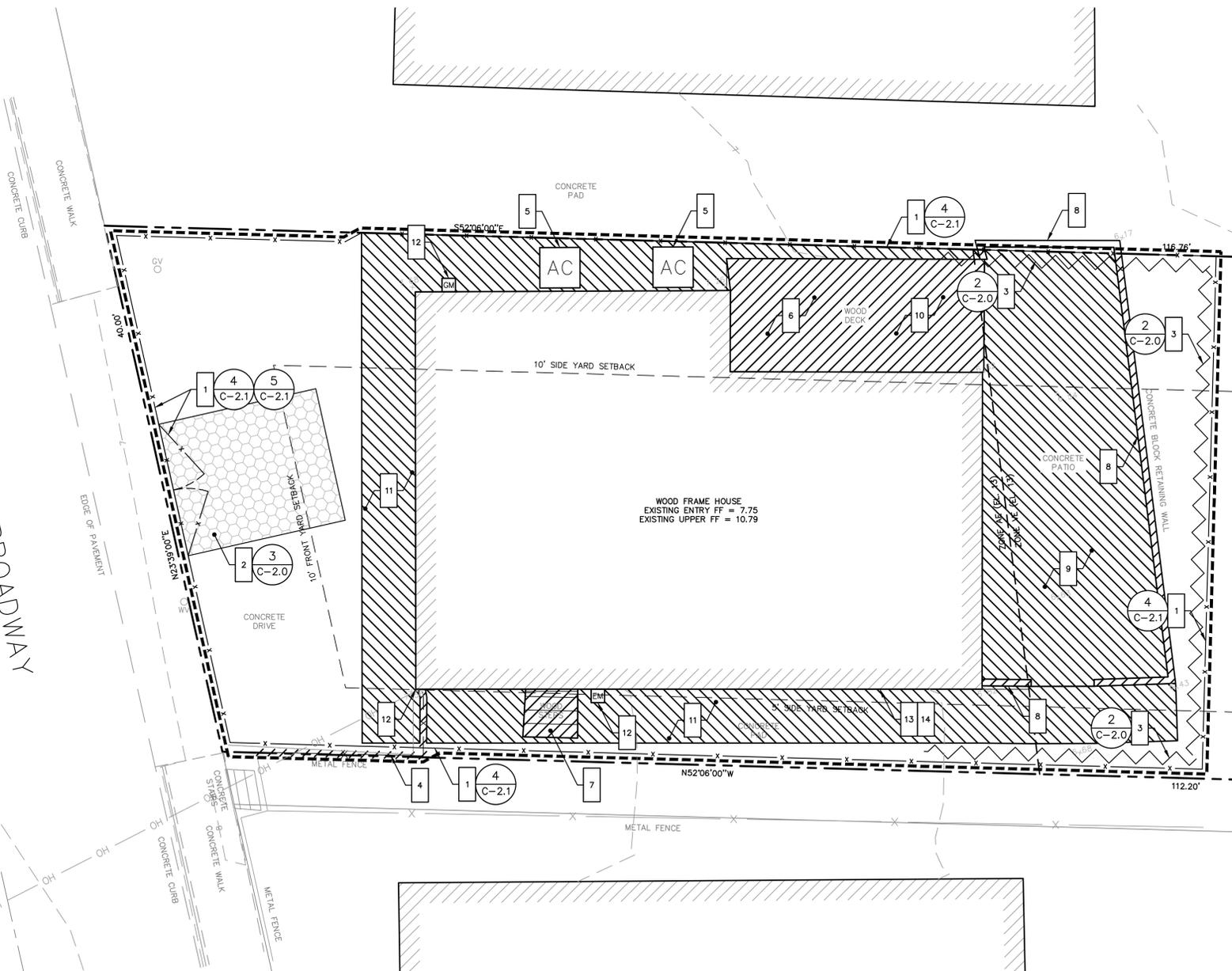
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IMPROVEMENT LOCATION PLAN

JOB NO.	DRAWING NUMBER	SHEET
33-262-1284	BASEMAP 33-262-1284.dwg	C-1.0



EAST BROADWAY



SITE PLAN



NOTE:
 WORK LIMITS DO NOT EXTEND OUTSIDE THE PROPERTY LINES AT 743 EAST BROADWAY, MILFORD, CONNECTICUT. "LIMIT OF WORK" LINES ARE DEPICTED OFFSET FROM THE PROPERTY LINES FOR VISUAL CLARITY, DUE TO MAP SCALE LIMITATIONS.

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GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL MEASUREMENTS. ANY VARIATIONS FROM CONDITIONS SHOWN ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL AND/OR MCA PRIOR TO BIDDING FOR RESOLUTION IN ACCORDANCE WITH CONTRACT DOCUMENT REQUIREMENTS.
2. ALL REQUIRED PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
3. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF THE NOTED ITEM.
4. WORK LIMITS SHALL BE AS NOTED. ALL ITEMS DISTURBED BY ANY AND ALL CONSTRUCTION ACTIVITIES SHALL BE RESTORED SUBSTANTIALLY TO THE CONDITION THEY EXISTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, TO MCA'S APPROVAL.
5. THE CONTRACTOR AT A MINIMUM SHALL MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AS DIRECTED, AS NECESSARY, AND IN ACCORDANCE WITH CONTRACT REQUIREMENTS, AND SHALL CHECK ALL SYSTEMS ON A DAILY BASIS TO ENSURE THE PREVENTION OF SEDIMENT TRANSPORT AND THE CONTROL OF EROSION.
6. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
8. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

SOIL EROSION AND SEDIMENT CONTROL/DEMOLITION NOTES

- 1 FURNISH AND INSTALL 8" HIGH CHAIN LINK FENCE WHERE INDICATED ON PLAN; FURNISH AND INSTALL 10' WIDE DOUBLE LEAF GATE WHERE INDICATED ON PLAN
- 2 INSTALL CONSTRUCTION TRACK PAD AT GATED ENTRANCE
- 3 FURNISH AND INSTALL SILT FENCE WHERE INDICATED ON PLAN
- 4 REMOVE METAL FENCE WHERE INDICATED ON PLAN AND STORE ON SITE
- 5 DISCONNECT AIR CONDITIONING UNITS AND STORE ON SITE
- 6 DEMOLISH WOOD DECK AND REMOVE OFF SITE
- 7 DEMOLISH WOOD STEPS AND REMOVE OFF SITE
- 8 DEMOLISH CONCRETE RETAINING WALLS AND REMOVE OFF SITE
- 9 DEMOLISH CONCRETE PATIO AND REMOVE OFF SITE
- 10 DEMOLISH CONCRETE STEPS AND PILES (UNDER PREVIOUSLY EXISTING WOOD DECK) AND REMOVE OFF SITE
- 11 DEMOLISH CONCRETE PADS AS NECESSARY TO COMPLETE PROJECT WORK AND REMOVE OFF SITE
- 12 COORDINATE UTILITY DISCONNECTS, INCLUDING WATER, ELECTRIC, GAS, AND TELECOMMUNICATIONS
- 13 SUPPORT HOUSE AND LIFT TO PROPOSED ELEVATION
- 14 DEMOLISH EXISTING FOUNDATION AND REMOVE OFF SITE
- 15 REMOVE TEMPORARY FENCING UPON COMPLETION OF CONSTRUCTION, AND REMOVE E&S CONTROLS AFTER STABILIZATION IS COMPLETE

LEGEND

- 1 WORK NOTE
- SITE FEATURE TO BE DEMOLISHED
- LIMIT OF WORK
- DETAIL REFERENCE
= DETAIL NUMBER
X = DETAIL SHEET NUMBER
- SILT FENCE
- TEMPORARY CHAIN LINK FENCE
- EXISTING METAL FENCE
- EDGE OF EXISTING BITUMINOUS CONCRETE DRIVEWAY
- LIMIT OF EXISTING HOUSE AND FOUNDATION
- EXISTING CONTOUR WITH ELEVATION LABEL
- EXISTING SPOT GRADE
- PROPERTY LINE



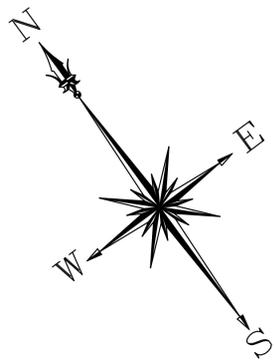
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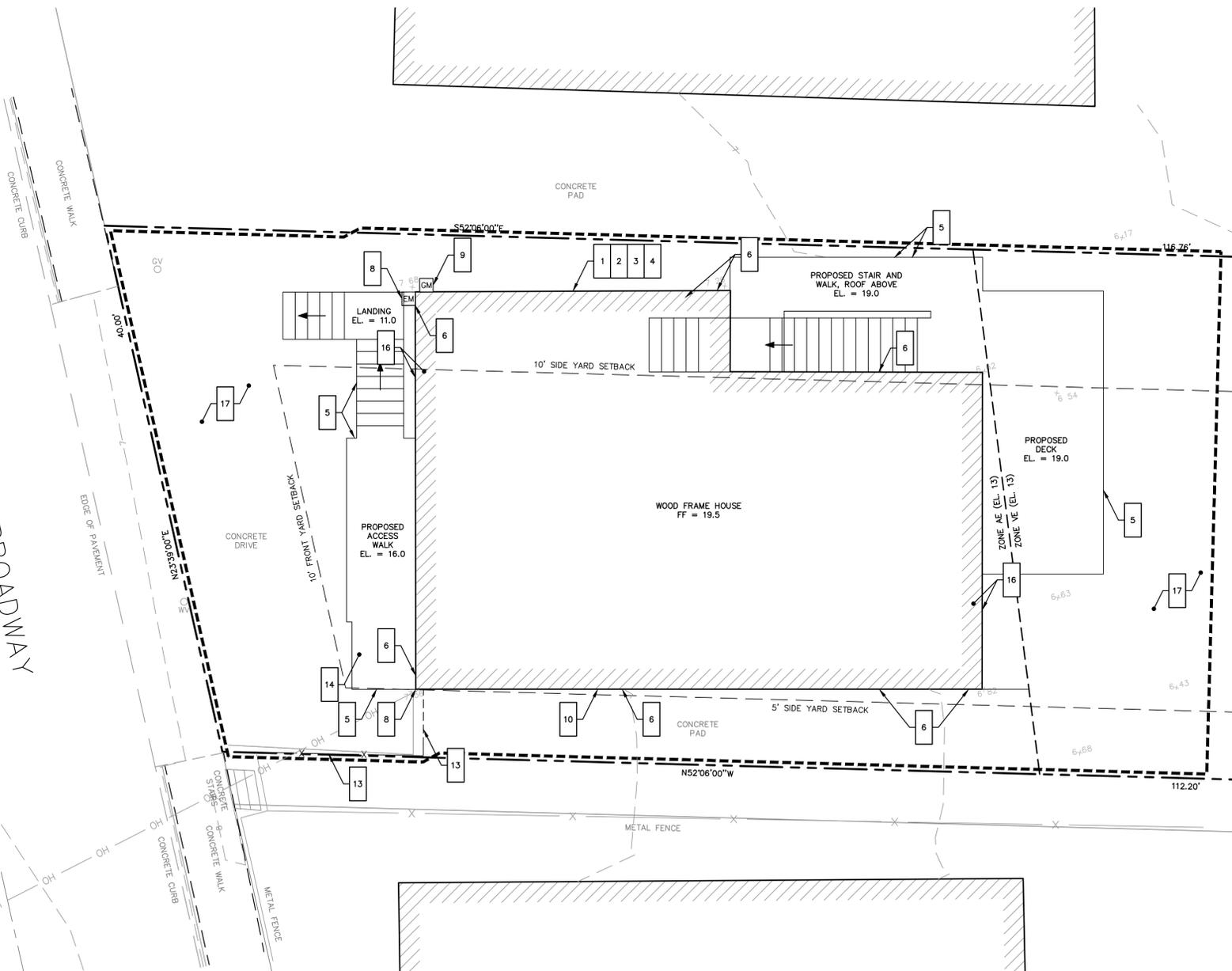
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SOIL EROSION AND SEDIMENT CONTROL/DEMOLITION PLAN

JOB NO.	DRAWING NUMBER	SHEET
33-262-1284	BASEMAP 33-262-1284.dwg	C-1.1



EAST BROADWAY



SITE PLAN



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2. ALL REQUIRED PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
3. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF THE NOTED ITEM.
4. WORK LIMITS SHALL BE AS NOTED. ALL ITEMS DISTURBED BY ANY AND ALL CONSTRUCTION ACTIVITIES SHALL BE RESTORED SUBSTANTIALLY TO THE CONDITION THEY EXISTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, TO MCA'S APPROVAL.
5. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
6. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
7. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

WORK NOTES

- 1 SUPPORT HOUSE AND LIFT TO PROPOSED ELEVATION
- 2 INSTALL NEW FOUNDATION ON PILES UPON COMPLETION OF FOUNDATION DEMOLITION; SEE STRUCTURAL DRAWINGS
- 3 INSTALL FIRST FLOOR FRAMING AND SUPPORTS; SEE STRUCTURAL DRAWINGS
- 4 LOWER HOUSE ONTO SUPPORTS AT PROPOSED ELEVATIONS, AS SHOWN ON STRUCTURAL DRAWINGS
- 5 FURNISH AND INSTALL ALL MATERIALS FOR NEW DECKS AND STAIRS AT PROPOSED ELEVATIONS; FURNISH AND INSTALL ALL MATERIALS TO ENCLOSE STAIR GUARD AND BUILD ROOF COVERING STAIRS AND PART OF DECK AT NORTHEAST SIDE OF HOUSE
- 6 EXTEND ROOF DOWNSPOUTS TO GRADE; FURNISH AND INSTALL CONCRETE SPLASH BLOCKS; EXTEND HOSE BIB TO GRADE
- 7 EXTEND WATER, GAS, AND SANITARY SERVICES TO ELEVATED HOUSE; INSULATE, PROTECT, AND MOUNT ALL SERVICES PER CONTRACT SPECIFICATIONS
- 8 COORDINATE RECONNECTION OF OVERHEAD ELECTRICAL SERVICE; COORDINATE RELOCATION OF ELECTRIC METER ABOVE 100-YEAR FEMA BASE FLOOD ELEVATION - FOR AE ZONE, ELEVATION = 13.0 (NAVD88)
- 9 COORDINATE RELOCATION OF GAS METER ADJACENT TO NEW STRUCTURAL COLUMN; SEE SHEET C-1.3
- 10 COORDINATE OTHER UTILITY CONNECTIONS, INCLUDING TELECOMMUNICATIONS; RESTORE ALL SERVICES TO FUNCTIONAL SERVICE STATES; SEE SHEET C-1.3
- 11 CONSTRUCT WOOD PLATFORM FOR AIR CONDITIONING UNITS WHERE INDICATED ON PLAN; REMOVE AIR CONDITIONING UNITS FROM STORAGE AND REINSTALL ABOVE 100-YEAR FEMA BASE FLOOD ELEVATION - FOR AE ZONE, ELEVATION = 13.0 (NAVD88)
- 12 RESTORE CONCRETE WALKS AND PARKING AREAS ADJACENT TO HOUSE DAMAGED OR REMOVED DURING CONSTRUCTION
- 13 REINSTALL METAL FENCE WHERE INDICATED ON PLAN
- 14 FURNISH AND INSTALL ALL MATERIALS FOR VERTICAL PLATFORM LIFT IN ENCLOSED VERTICAL SHAFTWAY; ALTERNATE 1 ONLY
- 15 FURNISH AND INSTALL 12" THICK LAYER OF 3/4" CRUSHED STONE BENEATH DECKS AND HOUSE
- 16 COMPLETE REMAINING BUILDING WORK (BOTH INTERIOR AND EXTERIOR)
- 17 RESTORE EXTERIOR AREAS TO EXISTING CONDITIONS OR BETTER

LEGEND

- 1 WORK NOTE
- LIMIT OF WORK
- # C-2.X DETAIL REFERENCE
= DETAIL NUMBER
X = DETAIL SHEET NUMBER
- X EXISTING METAL FENCE
- EDGE OF EXISTING BITUMINOUS CONCRETE DRIVEWAY
- LIMIT OF ELEVATED HOUSE
- EXISTING CONTOUR WITH ELEVATION LABEL
- 7x29 EXISTING SPOT GRADE
- 7x5 PROPOSED SPOT GRADE
- PROPERTY LINE



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SITE PLAN

JOB NO.	DRAWING NUMBER	SHEET
33-262-1284	BASEMAP 33-262-1284.dwg	C-1.2

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2. ALL REQUIRED PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
3. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF THE NOTED ITEM.
4. WORK LIMITS SHALL BE AS NOTED. ALL ITEMS DISTURBED BY ANY AND ALL CONSTRUCTION ACTIVITIES SHALL BE RESTORED SUBSTANTIALLY TO THE CONDITION THEY EXISTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, TO MCA'S APPROVAL.
5. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
6. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
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BUILDING UTILITY GENERAL NOTES

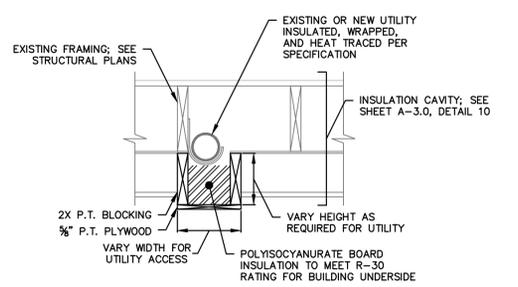
1. PLAN REPRESENTATION OF BUILDING UTILITIES ARE SCHEMATIC IN NATURE. CONTRACTOR SHALL PREPARE AND SUBMIT ALL COORDINATION DRAWINGS AS REQUIRED BY SPECIFICATION DIVISIONS 22, 23, AND 26 AND SUBMIT TO THE ENGINEER FOR APPROVAL.
2. FOR COMPLETE BUILDING UTILITY WORK REQUIREMENTS REFER TO CONTRACT SPECIFICATIONS.
3. IT IS THE PROJECT INTENT TO TURN OVER COMPLETE, FULLY FUNCTIONAL, AND OPERATING UTILITY SYSTEMS TO THE OWNER FOR FINAL ACCEPTANCE OF PROJECT WORK.
4. FINAL PAYMENT WILL NOT BE PROCESSED WITHOUT SUBMITTAL OF ALL TESTING REPORTS OR EVIDENCE THEREOF FOR COMPLETE, FULLY FUNCTIONAL, AND OPERATING UTILITY SYSTEMS, AS REQUIRED BY CONTRACT SPECIFICATIONS AND AUTHORITIES HAVING JURISDICTION.
5. ALL BUILDING PENETRATIONS TO BE SEALED WITH INTUMESCENT FIRE STOP PUTTY, HTIL FS-ONE, OR APPROVED EQUAL. ALL FINISHES TO BE PATCHED TO MATCH EXISTING ADJACENT CONDITIONS.

WORK NOTES

1. COORDINATE RECONNECTION OF OVERHEAD ELECTRICAL SERVICE TO EXISTING SERVICE MAST AT NORTH SIDE OF HOUSE. RECONNECT ELECTRICAL SERVICE METER OR REPLACE AS REQUIRED BY UTILITY PROVIDER. INSTALL ELECTRICAL SERVICE METER AT UTILITY PROVIDER APPROVED LOCATION ON ELEVATED DECK/WALK ABOVE 100-YEAR FEMA FLOOD ELEVATION 13.0 (NAVD88).
2. EXTEND WATER, GAS, AND SANITARY SERVICES TO ELEVATED HOUSE; INSULATE, PROTECT, AND MOUNT ALL SERVICES PER CONTRACT SPECIFICATIONS. CONSTRUCT UTILITY ACCESS CHASES FOR DOMESTIC WATER, SANITARY SEWER, NATURAL GAS, AND A/C CONDENSOR REFRIGERANT SERVICE PIPING.
3. DISCONNECT GAS-FIRED FURNACE, ELECTRIC WATER HEATER, AIR HANDLER, A/C CONDENSORS, AND APPLIANCES PRIOR TO HOME ELEVATION; RECONNECT, BALANCE, AND COMMISSION AFTER HOME ELEVATION.
4. COORDINATE OTHER UTILITY CONNECTIONS, INCLUDING TELECOMMUNICATIONS; RESTORE ALL SERVICES TO FUNCTIONAL SERVICE STATES.
5. FURNISH AND INSTALL LIGHTING FIXTURES AND MOTION DETECTION OPERATION AT UNDERSIDE OF ELEVATED HOUSE. CONNECT TO EXISTING EXTERIOR LIGHTING CIRCUIT FOR FIXTURE AT SOUTHWEST SIDE OF HOUSE. CABLE TO BE NON-METALLIC SHEATHED TYPE NM-B, PROVIDE 2-#12, 1-#12 GROUND. PROVIDE ELECTRIC METALLIC TUBING AS CONDUIT FOR CABLING AT BUILDING UNDERSIDE FROM FIXTURES TO FLOOR PENETRATION TO EXISTING SWITCH AND SUPPLY IN LAUNDRY ROOM.
6. RECONNECT GAS METER OR REPLACE AS REQUIRED BY UTILITY PROVIDER. EXTEND NATURAL GAS SERVICE PIPING TO BUILDING ENVELOPE AFTER HOME ELEVATION. COORDINATE RELOCATION OF GAS METER ADJACENT TO NEW CONCRETE COLUMN.
7. FIELD VERIFY LOCATION OF WATER METER OR DISCONNECT WATER SERVICE AND REINSTALL METER OR REPLACE AS REQUIRED BY THE REGIONAL WATER AUTHORITY RULES AND REGULATIONS. DOMESTIC WATER SERVICE LINE TO BE REPLACED AS DISTURBED BY CONSTRUCTION ACTIVITY, BUT NOT BEYOND PROPERTY LINE.
8. FIELD VERIFY LOCATION OF SANITARY SERVICE LATERAL UNKNOWN. SANITARY DRAIN PIPING TO BE REPLACED FROM BUILDING UNDERSIDE ENVELOPE TO PROPERTY LINE. NEW SOIL STACK AND HORIZONTAL RUN TO PROPERTY LINE TO BE 6" AWWA C900 PIPE. VERTICAL DROP TO BE LOCATED ADJACENT TO NEW STRUCTURAL COLUMN, AND DRAIN PIPING TO BE REROUTED AS REQUIRED. SEE SANITARY DRAIN SCHEMATIC SHEET C-2.2.
9. RELOCATE EXISTING WALL HYDRANTS/HOSEBIBBS AND ASSOCIATE PIPING TO ELEVATED DECKS AND LANDINGS. FURNISH AND INSTALL NEW NON-FREEZE WALL HYDRANTS.
10. DISCONNECT AND RELOCATE A/C CONDENSOR ELECTRICAL DISCONNECTS ABOVE 100 YEAR B.F.E.; EXTEND REFRIGERANT LINES FOR CONNECTION TO RELOCATED A/C CONDENSORS ON NEW STANDS. SEE ARCHITECTURAL DRAWINGS. COMMISSION A/C SYSTEM.
11. FURNISH AND INSTALL ALL MATERIALS FOR NEW HEAT TRACE ON DOMESTIC WATER SERVICE AND SANITARY SEWER DRAIN PIPING PER SPECIFICATIONS. USE EXISTING HEAT TRACE CIRCUIT FOR SYSTEM POWER. FURNISH AND INSTALL NEW 15 AMP GFCI SINGLE POLE BREAKER TO REPLACE EXISTING HEAT TRACE BREAKER AT MAIN PANEL.
12. FURNISH AND INSTALL ALL MATERIALS FOR COLUMN UTILITY CHASE FOR SANITARY SEWER SERVICE, DOMESTIC WATER SERVICE, AND NATURAL GAS SERVICE LINES. SEE STRUCTURAL PLANS FOR LOCATION OF STRUCTURAL COLUMNS.
13. FURNISH AND INSTALL EXTERIOR LIGHT FIXTURE FOR COVERED STAIR. PROVIDE ELECTRIC METALLIC TUBING AS CONDUIT FOR CONDUCTOR CABLING; CABLE TO BE NON-METALLIC SHEATHED TYPE NM-B, PROVIDE 2-#12, 1-#12 GROUND CABLES. SUPPORT CONDUIT ALONG STAIR ROOF TO BUILDING ENVELOPE. FURNISH AND INSTALL NEW SWITCH IN KITCHEN. CONNECT TO EXISTING KITCHEN CIRCUIT.
14. FURNISH AND INSTALL ONE HOME RUN CIRCUIT FOR STAIRWAY CHAIR LIFT. PROVIDE 2-#12 AND 1-#12 GROUND CABLES. PROVIDE ELECTRIC METALLIC TUBING AS CONDUIT FOR CONDUCTOR CABLING; CABLE TO BE NON-METALLIC SHEATHED TYPE NM-B, SUPPORT CONDUIT AT UNDERSIDE OF DECK AND BUILDING UNDER SIDE.
15. ALTERNATE 1 - FURNISH AND INSTALL ONE HOMERUN CIRCUIT, PROVIDE 2-#12 AND 1#12 GROUND CABLES TO EXISTING PANELBOARD AND NEW 20 AMP TWO POLE CIRCUIT BREAKER IN SPARE ON EXISTING PANEL BOARD FOR VERTICAL PLATFORM LIFT. CABLING TO BE NON METALLIC SHEATHED TYPE NM-B PROVIDED IN ELECTRIC METALLIC TUBING AS CONDUIT.

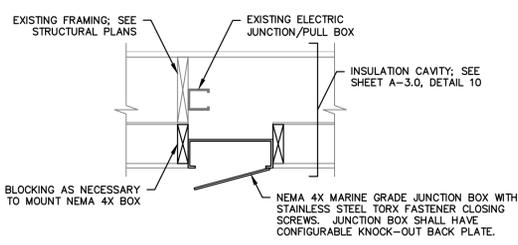
LEGEND

- 1 WORK NOTE
- # DETAIL REFERENCE
= DETAIL NUMBER
X = DETAIL SHEET NUMBER
- LIMIT OF ELEVATED HOUSE
- EXISTING OVERHEAD LINE
- SNET #6.3 EXISTING UTILITY POLE
- WV EXISTING WATER VALVE



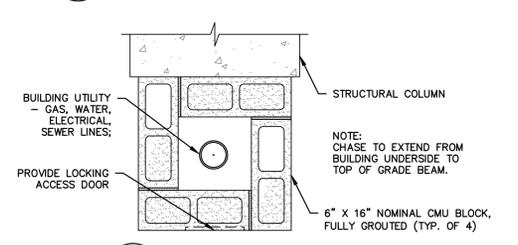
1. ALL FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE STAINLESS STEEL.
2. WIDTH OF UTILITY CHASE SHALL BE FIELD VERIFIED WITH CONTRACTOR AND ENGINEER FOR PROPER ACCESS TO REPLACE, REPAIR, OR MAINTAIN SUBJECT UTILITY.
3. UTILITY CHASE SHALL BE CONSTRUCTED FOR NATURAL GAS SERVICE, SANITARY SEWER DRAIN, AND DOMESTIC WATER SERVICE PIPING.

1 UTILITY ACCESS CHASE
C-1.3 1" = 1"

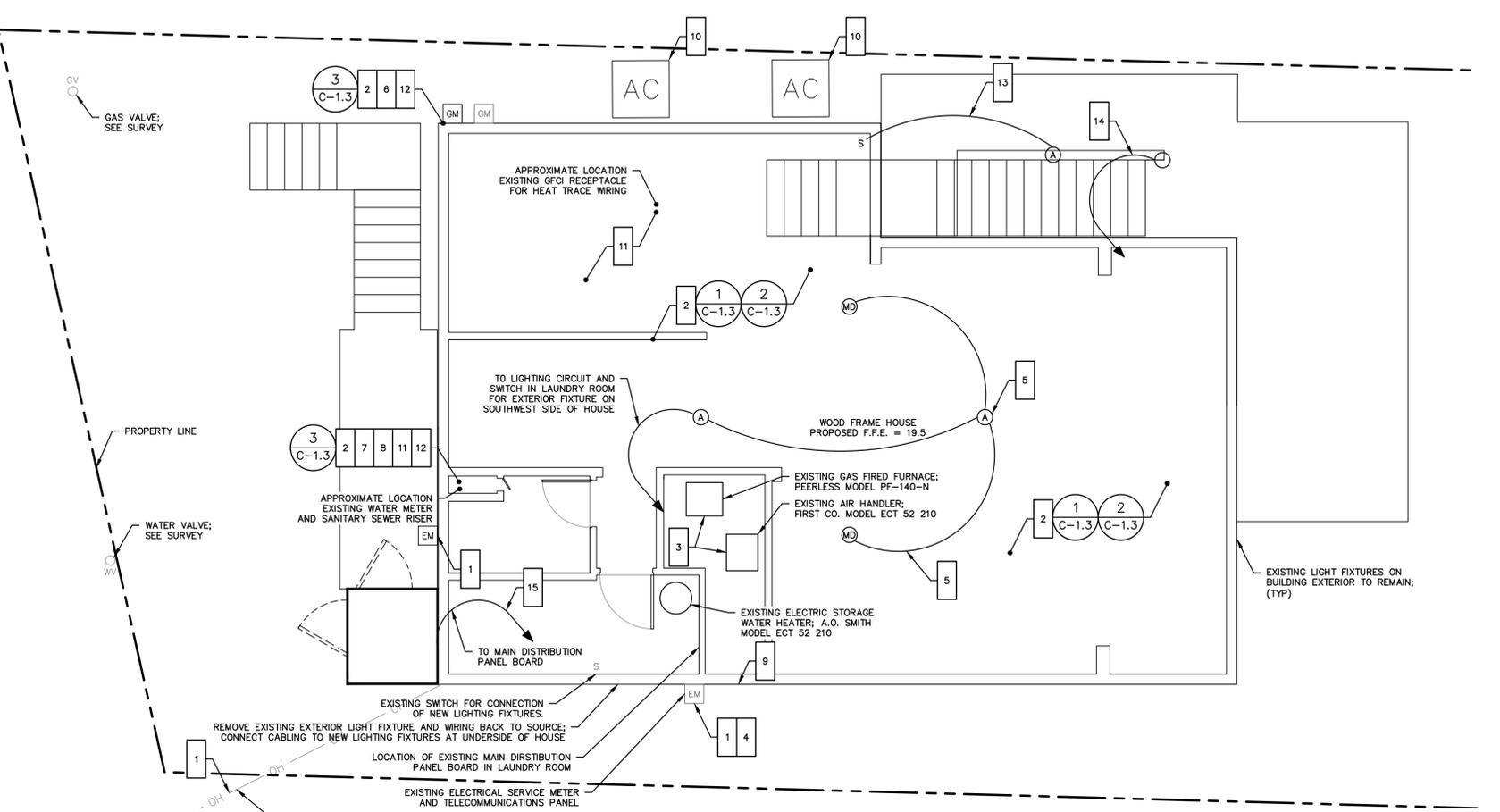
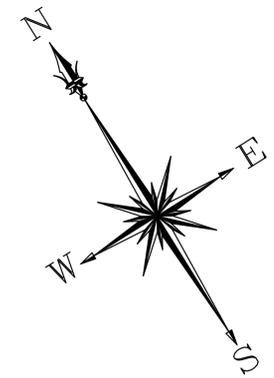


1. ALL FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE STAINLESS STEEL.
2. CONTRACTOR SHALL VERIFY IN FIELD AND REVIEW WITH ENGINEER LOCATIONS OF EXISTING JUNCTION/PULL BOXES FOR NEW ACCESS BOX INSTALLATION.
3. NEMA JUNCTION BOX SHALL BE INSTALLED PER MANUFACTURER INSTRUCTIONS, FLUSH WITH SURROUNDING GYPSUM BOARD, WITH WEATHER TIGHT SEAL.

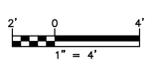
2 ELECTRICAL JUNCTION BOX ACCESS
C-1.3 1" = 1"



3 COLUMN UTILITY CHASE
C-1.3 1" = 1'-0"



SITE PLAN



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REFERENCE MAP:
1. "TOPOGRAPHIC & BOUNDARY SURVEY" FOR CTDOH AT 743 EAST BROADWAY, MILFORD, CONNECTICUT; DATE: 10-21-2015; SCALE: 1"=10'; PREPARED BY MARTINEZ COUCH & ASSOCIATES, LLC



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**PROGRESS PRINT
NOT FOR CONSTRUCTION**

NO.	DATE	REVISIONS	BY	CHK	APPV
2	10/28/2015	ISSUED FOR BIDDING		MBR	MBR
1	1/11/2016	ISSUED FOR CT DOH REVIEW AND APPROVAL		KNL	MBR
1					REC

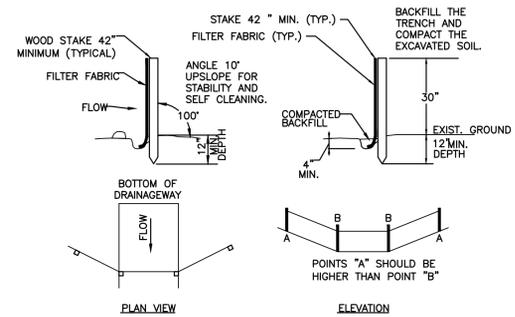
DRAWN: KNL CHECKED: MBR APPROVED: REC SCALE: AS NOTED DATE: 10/21/2015

BUILDING UTILITY PLAN

JOB NO.	DRAWING NUMBER	SHEET
33-262-1284	BASEMAP 33-262-1284.dwg	C-1.3

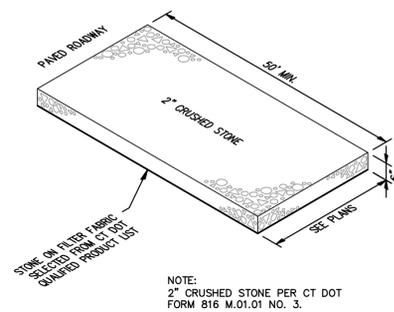
SEEDING SCHEDULE				
PERMANENT SEEDING				
PERMANENT SEEDING SHALL BE ACCOMPLISHED WITH ONE OF THE FOLLOWING SEEDING MIXTURES:				
KIND OF AREA: LAWNS AND HIGH MAINTENANCE AREAS				
SEED MIXTURE	LBS./ACRE	LBS./1,000 SQ.FT.		
KENTUCKY BLUEGRASS	20	0.45		
CREeping RED FESCUE	20	0.45		
PERENNIAL RYEGRASS	5	0.1		
TOTAL	45	1.0		
TEMPORARY SEEDING RATES AND DATES				
SEED MIXTURE	LBS./ACRE	LBS./1,000 SQ.FT.	DATE (1)(3)	DEPTH (2)
ANNUAL RYEGRASS	40	1.0	8/1-10/1 3/1-6/15	0.5 INCHES
SEEDING NOTES: (1) MAY BE PLANTED THROUGHOUT SUMMER IF SOIL IS ADEQUATE OR CAN BE IRRIGATED. (2) SEED AT TWICE THE INDICATED DEPTH FOR SANDY SOILS. SOURCE: U.S. DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE, STORRS, CT				
ORGANIC MULCH MATERIALS AND APPLICATION RATES				
MULCHES	PER ACRE	PER 1,000 SQ.FT.	NOTES	
STRAW OR HAY	1/2-2 TONS	70-90 LBS	FREE FROM MATTER AND COARSE MATTER. MUST BE ANCHORED. SPREAD WITH MULCH BLOWER OR BY HAND.	

1 TYPICAL SEEDING SCHEDULE
C-2.0 N.T.S.



- A) MINIMUM LENGTH OF SILT FENCE IS 15 L.F.
- B) MAXIMUM POST SPACING IS 10 L.F.
- C) JOINTS ONLY AT SUPPORT POST WITH MINIMUM 6" OVERLAP, SECURELY SEALED.
- D) SEDIMENTATION DEPOSITS SHALL BE REMOVED WHEN THEY REACH 1/2 THE HEIGHT OF THE SILT FENCE.
- E) SILT FENCE SHALL NOT BE USED IN A WATER COURSE.
- F) UPON ESTABLISHMENT OF GROUND COVER ON DISTURBED AREAS, AND WHEN DIRECTED BY THE ENGINEER, FENCE WILL BE REMOVED AND ANY SEDIMENTATION WILL BE THINLY SPREAD UPON EXISTING GROUND COVER.

2 TYPICAL SILTATION FENCE
C-2.0 N.T.S.



3 TYPICAL CONSTRUCTION TRACK PAD
C-2.0 N.T.S.

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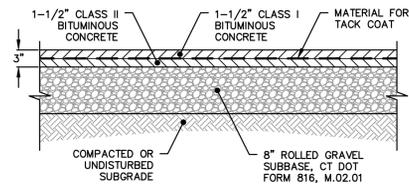
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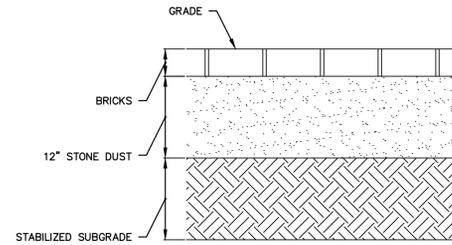
NO.	DATE	REVISIONS	BY	CHK	APPV
2	1/12/2016	ISSUED FOR BIDDING	MBR	MBR	REC
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DRAWN: KNL CHECKED: MBR APPROVED: REC SCALE: N.T.S. DATE: 10/21/2015					

SOIL EROSION AND
SEDIMENT CONTROL DETAILS

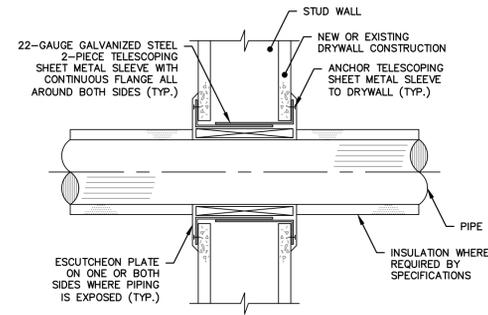
JOB NO.	DRAWING NUMBER	SHEET
33-262-1284	BASEMAP 33-262-1284.dwg	C-2.0



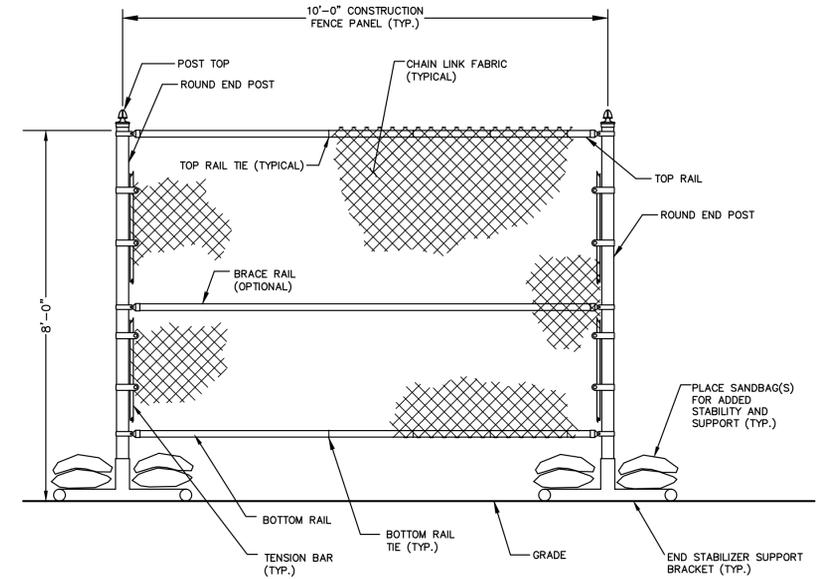
1 TYPICAL BITUMINOUS DRIVEWAY
C-2.1 N.T.S.



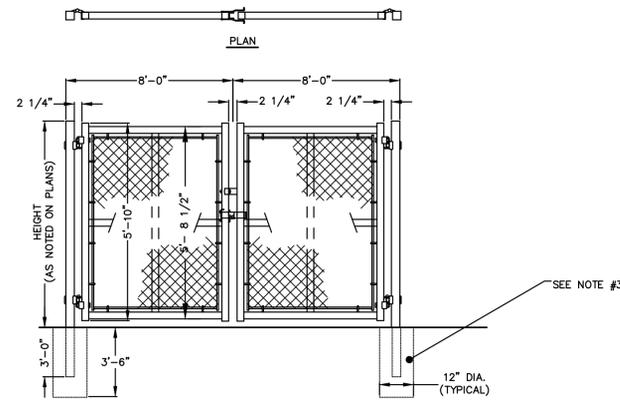
2 TYPICAL BRICK WALKWAY
C-2.1 N.T.S.



3 TYPICAL WALL/FLOOR PENETRATION
C-2.1 N.T.S.

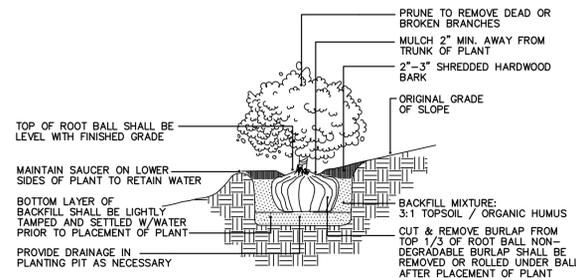


4 TYPICAL PORTABLE CONSTRUCTION CHAIN LINK FENCE
C-2.1 N.T.S.

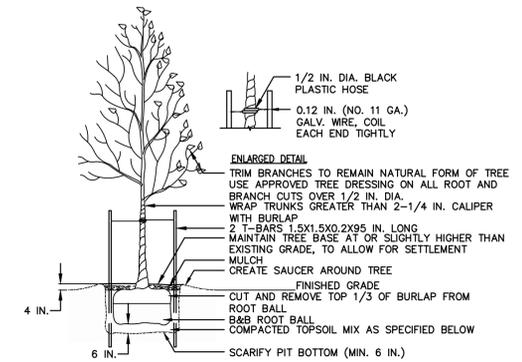


- NOTES:
- GATES SHOULD OPEN TOWARD SITE, AWAY FROM STREET.
 - GATES SHALL HAVE LOCKING MECHANISM THAT CAN BE PADLOCKED.
 - METAL TRIPODS MAY BE USED FOR BOTTOM SUPPORTS INSTEAD OF MOUNTING INTO THE GROUND.
 - MATERIALS, METHODS OF INSTALLATION SHALL BE CONFORM TO STATE OF CT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FORM 816 M.10.05 OR CURRENT SPECIFICATION FOR SUCH WORK.

5 TYPICAL DOUBLE LEAF CHAIN LINK FENCE GATE
C-2.1 N.T.S.



6 TYPICAL SHRUB
C-2.1 N.T.S.



- NOTES:
- TOPSOIL MIX, SEE SPEC.
 - DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKE.
 - WATER THOROUGHLY AFTER INSTALLATION.
 - REMOVE TREE RINGS AND STAKES TWO YEARS AFTER INSTALLATION.
 - PROVIDE DRAINAGE FOR PLANTING PIT IN IMPERMEABLE SOIL.
 - ALL TREES MUST BE TAGGED AND APPROVED BY CONSULTANT WITHIN 14 DAYS AFTER TENDER CLOSING.

7 TYPICAL DECIDUOUS TREE
C-2.1 N.T.S.

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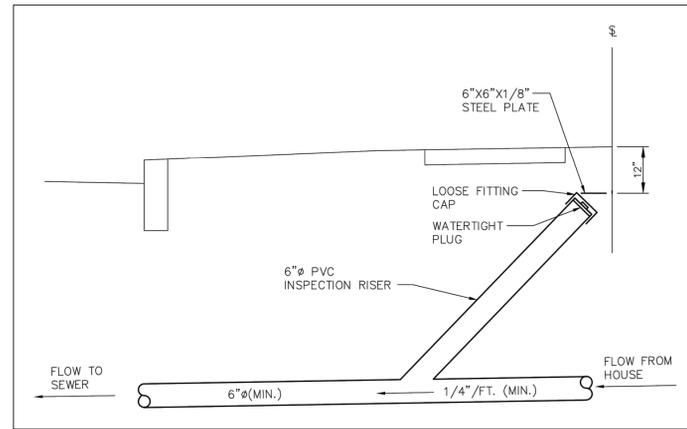
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NO.	DATE	REVISIONS	BY	CHK	APPV
DRAWN: KNL		CHECKED: MBR	APPROVED: REC	SCALE: N.T.S.	DATE: 10/21/2015

MISCELLANEOUS DETAILS

JOB NO.	DRAWING NUMBER	SHEET
33-262-1284	BASEMAP 33-262-1284.dwg	C-2.1

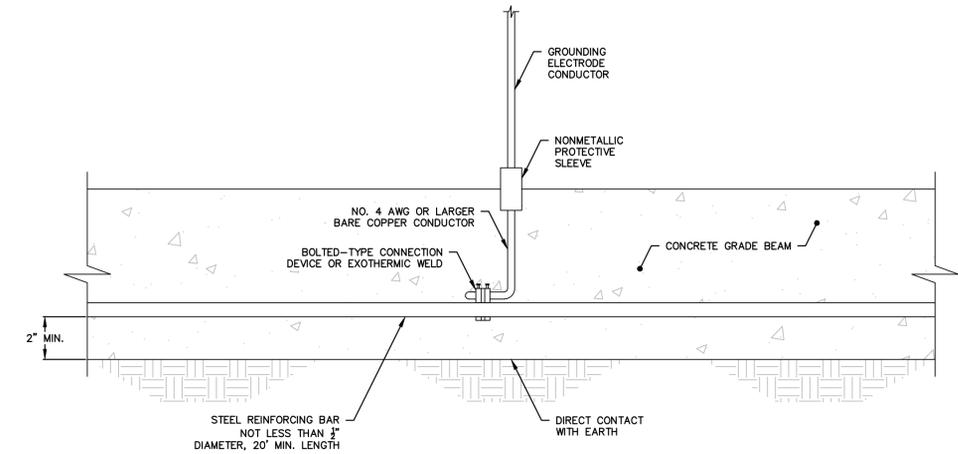


A CONDITION OF ALL SEWER PERMITS FOR INSTALLING RESIDENTIAL SEWER CONNECTIONS IS THE REQUIREMENT TO FURNISH AND INSTALL A SEWER INSPECTION RISER IN THAT AREA OF THE STREET RIGHT-OF-WAY BETWEEN THE CURB AND THE STREETLINE (FRONT PROPERTY LINE). THE INSPECTION RISER IS TO CONSIST OF A 45° WYE FITTING INSTALLED ON THE HOUSE CONNECTION SEWER APPROXIMATELY 4 FEET BEHIND THE STANDARD CURB LOCATION*. A 6"Ø PVC INSPECTION RISER PIPE IS TO BE INSTALLED TO WITHIN 12" OF THE FINISHED GROUND SURFACE AND FITTED WITH A WATERTIGHT PLUG. A 6"x6"x1/8" STEEL PLATE IS TO BE PLACED ABOVE THE END OF THE INSPECTION RISER WHEN BACKFILLING THE AREA TO GRADE TO ASSIST WITH FUTURE RECOVERY OF THE INSPECTION RISER BY MEANS OF A MAGNETIC DETECTOR.

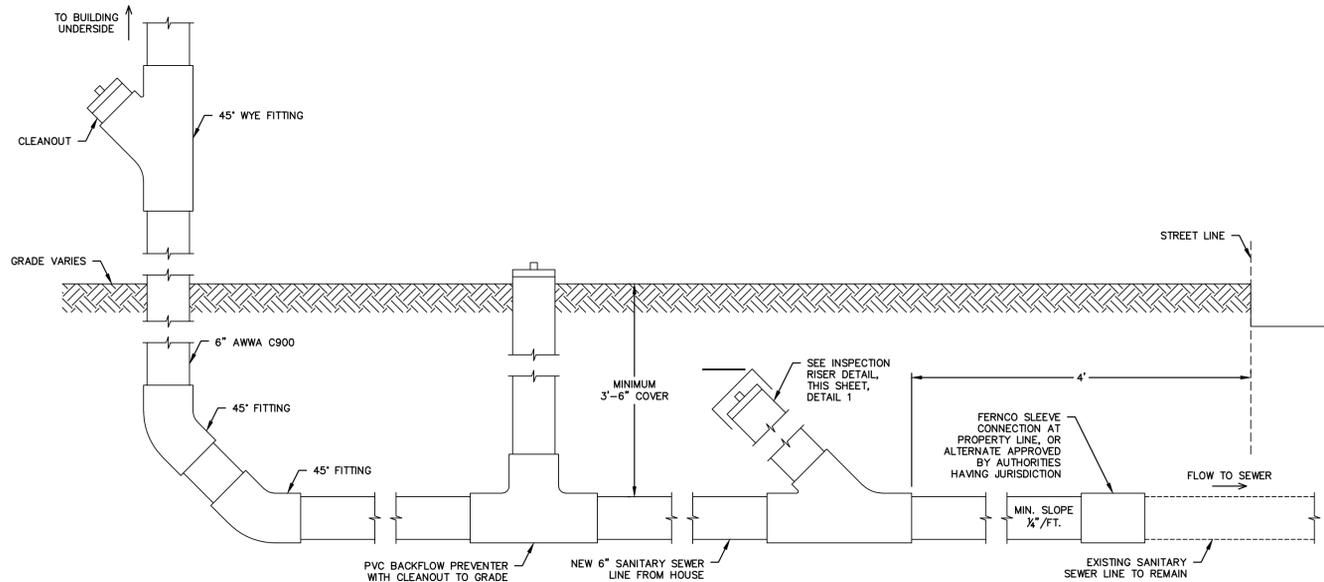
*IN A SEWER EASEMENT THE INSPECTION RISER IS TO BE AT THE EDGE OF THE EASEMENT.

*IN LOCATIONS WHERE AN EXISTING LATERAL EXTENDS TO THE STREET LINE, THE "Y" CONNECTION SHALL BE PLACED AS CLOSE TO THE STREET LINE AS POSSIBLE, WITH THE INSPECTION RISER EXTENDING TO WITHIN 12" OF GRADE AND LOCATED ON PRIVATE PROPERTY.

1 INSPECTION RISER
C-2.2 N.T.S.



3 CONCRETE-ENCASED ELECTRODE
C-2.2 N.T.S.



2 SANITARY DRAIN SCHEMATIC
C-2.2 1" = 1'

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BUILDING UTILITY DETAILS

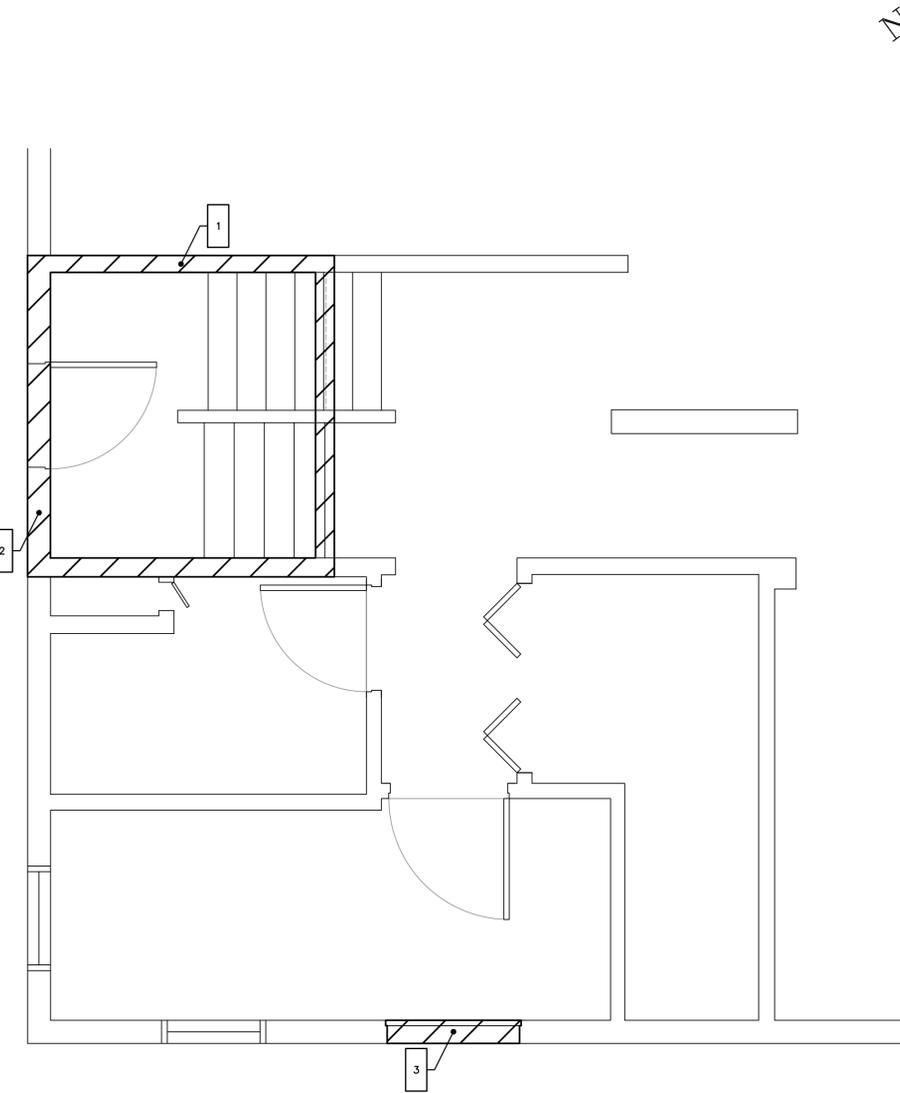
JOB NO.	DRAWING NUMBER	SHEET
33-262-1284	BASEMAP 33-262-1284.dwg	C-2.2

GENERAL NOTES

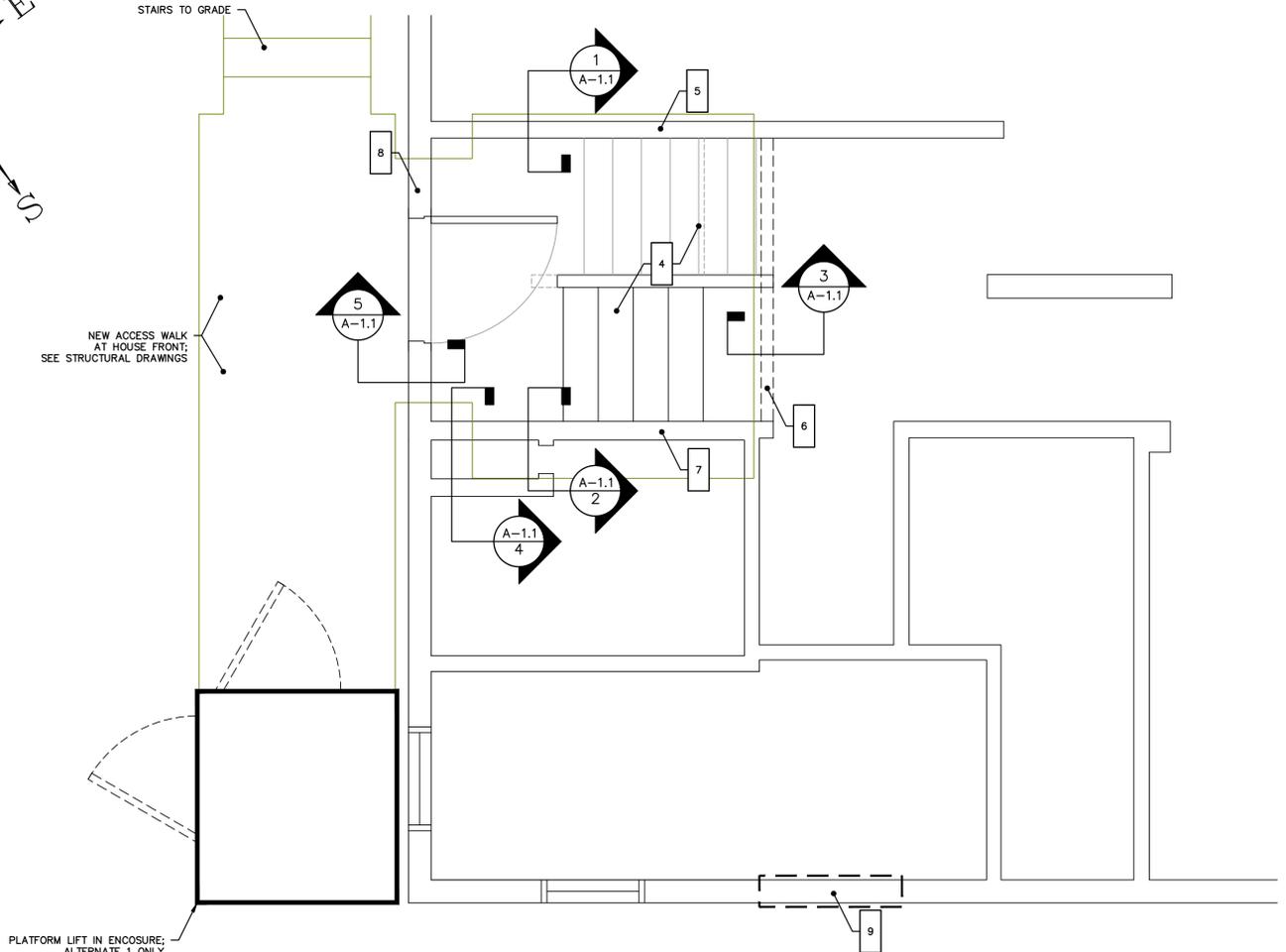
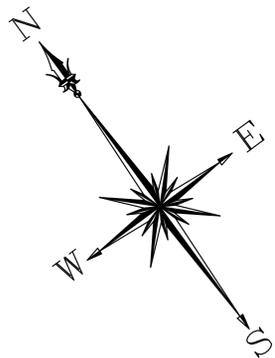
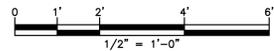
1. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL MEASUREMENTS. ANY VARIATIONS FROM CONDITIONS SHOWN ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL AND/OR MCA PRIOR TO BIDDING FOR RESOLUTION IN ACCORDANCE WITH CONTRACT DOCUMENT REQUIREMENTS.
2. ALL REQUIRED PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
3. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF THE NOTED ITEM.
4. WORK LIMITS SHALL BE AS NOTED. ALL ITEMS DISTURBED BY ANY AND ALL CONSTRUCTION ACTIVITIES SHALL BE RESTORED SUBSTANTIALLY TO THE CONDITION THEY EXISTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, TO MCA'S APPROVAL.
5. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
6. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
7. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

WORK NOTES

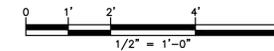
1. REMOVE FINISHES FROM EXISTING FINISHED FLOOR OF MAIN HOUSE. DETACH ALL FIXTURES, RECEPTACLES AS REQUIRED; SALVAGE FOR REINSTALLATION IN ORIGINAL LOCATIONS
2. SELECTIVELY DEMOLISH FRONT WALL AT FOYER FROM FOYER FINISHED FLOOR ELEVATION TO UNDERSIDE OF STAIR LANDING BETWEEN SECOND AND FIRST FLOOR AS REQUIRED FOR NEW STRUCTURAL FRAMING INSTALLATION. TEMPORARY SHORING AND BUILDING ENVELOPE PROTECTION ARE RESPONSIBILITY OF CONTRACTOR. REMOVE ALL FIXTURES, RECEPTACLES, AND EXISTING DOOR SLAB FOR REINSTALLATION.
3. SELECTIVE DEMOLITION OF DOOR IN LAUNDRY ROOM. REMOVE AND DISPOSE OF DOOR SLAB AND TRIM. PROTECTION OF BUILDING ENVELOPE IS RESPONSIBILITY OF CONTRACTOR UNTIL PERMANENT BUILDING PATCHING IS COMPLETE.
4. FURNISH AND INSTALL ALL MATERIALS FOR NEW FINISH WORK AND PATCHING AT FRONT FOYER. SEE SECTIONS AND ADDITIONAL WORK NOTES.
5. FURNISH AND INSTALL ALL MATERIALS FOR NEW NORTHEAST WALL IN FOYER, FROM DISTURBANCE AT FIRST FINISHED FLOOR OF HOUSE TO UNDERSIDE OF NEW FOYER FLOOR FRAMING.
6. FURNISH AND INSTALL ALL MATERIALS FOR NEW SOUTHEAST WALL IN FOYER, FROM DISTURBANCE AT FIRST FINISHED FLOOR OF HOUSE TO UNDERSIDE OF NEW FOYER FLOOR FRAMING.
7. FURNISH AND INSTALL ALL MATERIALS FOR NEW SOUTHWEST WALL IN FOYER, FROM DISTURBANCE AT FIRST FINISHED FLOOR OF HOUSE TO UNDERSIDE OF NEW FOYER FLOOR FRAMING.
8. FURNISH AND INSTALL ALL MATERIALS FOR NEW NORTHWEST WALL IN FOYER, FROM DISTURBANCE AT STAIR LANDING BETWEEN FIRST AND SECOND FINISHED FLOOR OF HOUSE TO UNDERSIDE OF NEW FOYER FLOOR FRAMING. REINSTALL DOOR SLAB.
9. FURNISH AND INSTALL ALL MATERIALS TO INFILL WOOD FRAMED WALL AT LOCATION OF FORMER DOOR. MATCH EXISTING ADJACENT CONSTRUCTION AND FINISHES. SEE CEMENT PLASTER STUCCO SECTION FOR EXTERIOR FINISH



EXISTING CONDITIONS



PROPOSED CONDITIONS



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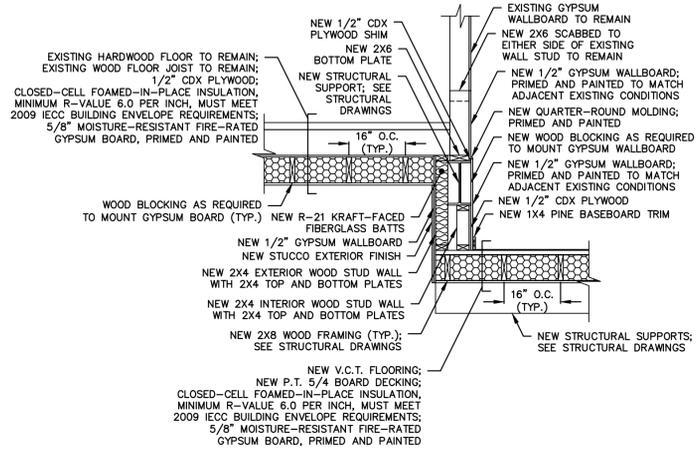
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DRAWN: KNL CHECKED: MBR APPROVED: REC SCALE: 1/2" = 1' DATE: 10/21/2015					

FLOOR PLANS

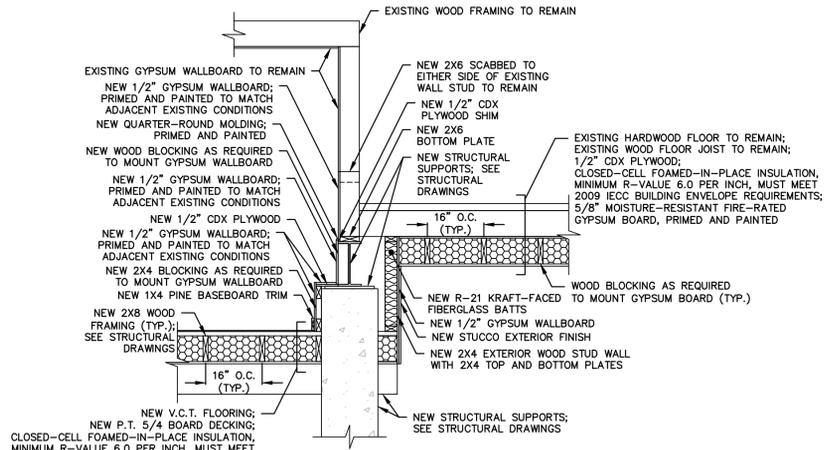
JOB NO.	DRAWING NUMBER	SHEET
33-262-1284	BASEMAP 33-262-1284.dwg	A-1.0

GENERAL NOTES

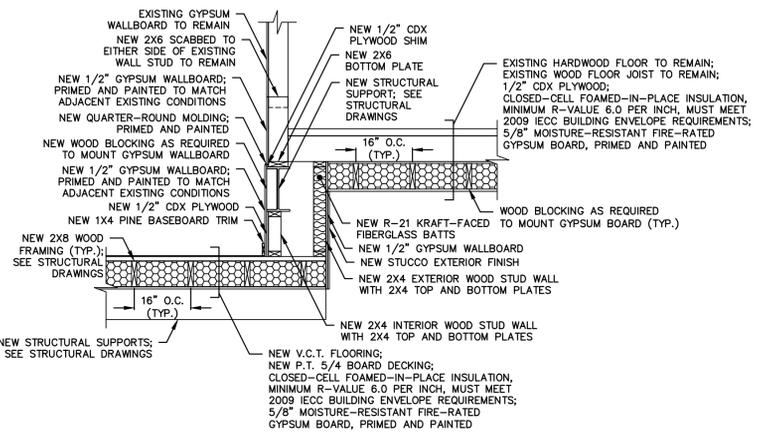
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6. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
7. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.



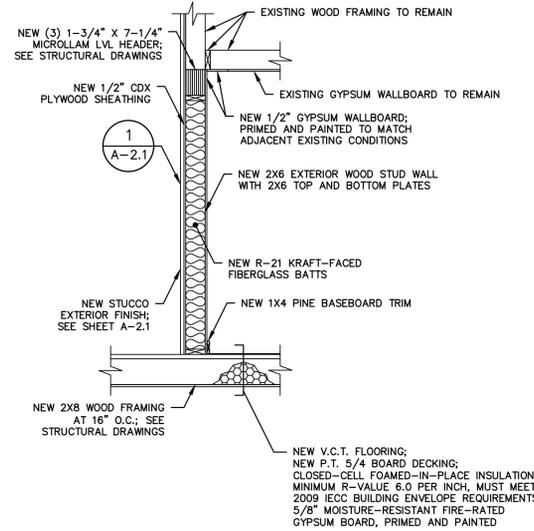
1 FOYER SECTION - NORTHEAST WALL
A-1.1 1/2" = 1'-0"



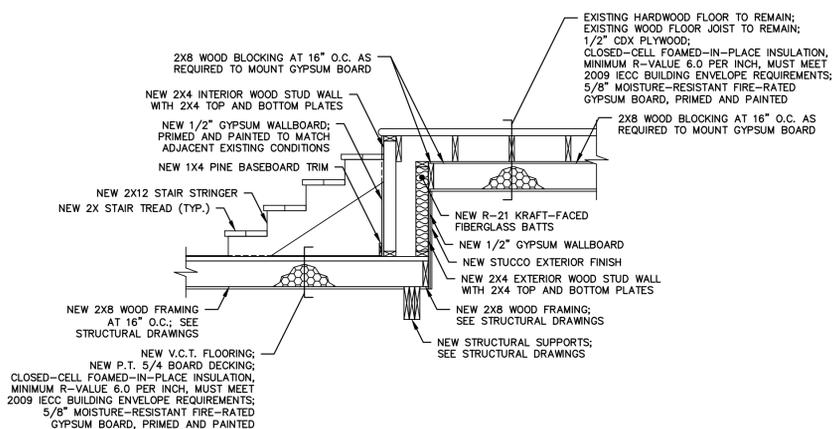
4 FOYER SECTION - SOUTHWEST WALL AT COLUMN
A-1.1 1/2" = 1'-0"



2 FOYER SECTION - SOUTHWEST WALL
A-1.1 1/2" = 1'-0"



5 FOYER SECTION - NORTHWEST WALL
A-1.1 1/2" = 1'-0"



3 FOYER SECTION - SOUTHEAST WALL AT STAIRS
A-1.1 1/2" = 1'-0"

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2	1/12/2016	ISSUED FOR BIDDING	MBR	MBR	REC
1	1/11/2016	ISSUED FOR CT DOH REVIEW AND APPROVAL	KNL	MBR	REC
NO.	DATE	REVISIONS	BY	CHK	APPV
DRAWN: KNL		CHECKED: MBR	APPROVED: REC	SCALE: AS NOTED	DATE: 10/21/2015

PROPOSED FOYER SECTIONS

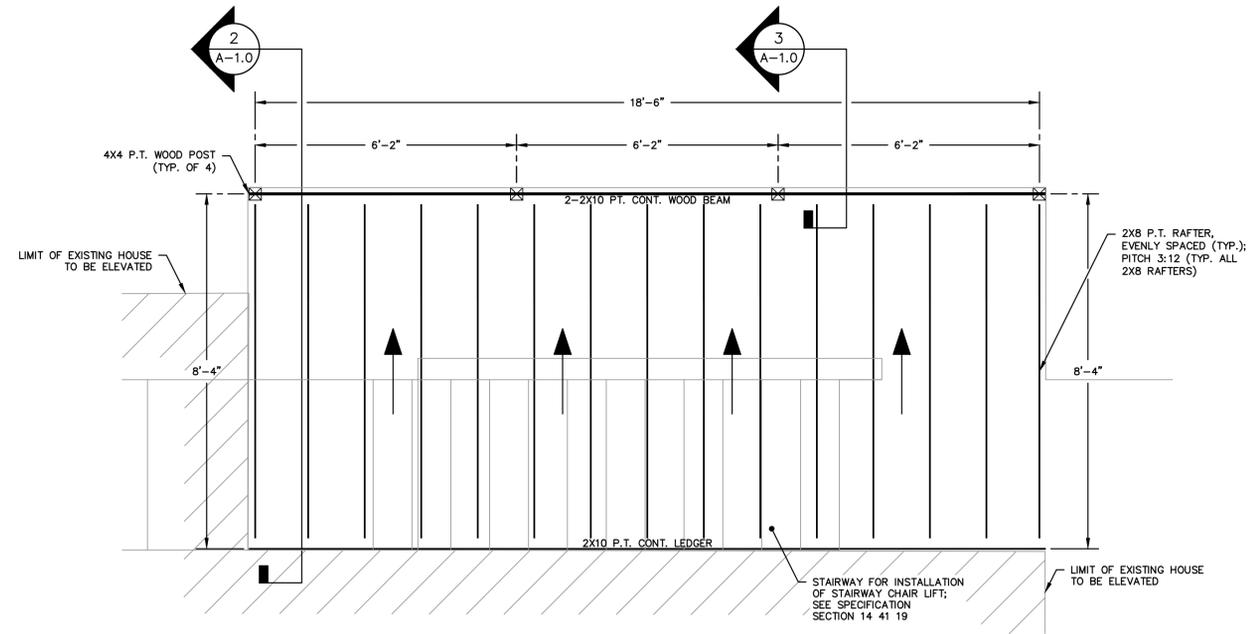
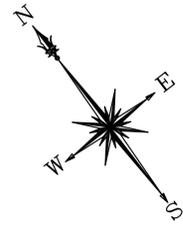
JOB NO.	DRAWING NUMBER	SHEET
33-262-1284	BASEMAP 33-262-1284.dwg	A-1.1

GENERAL NOTES

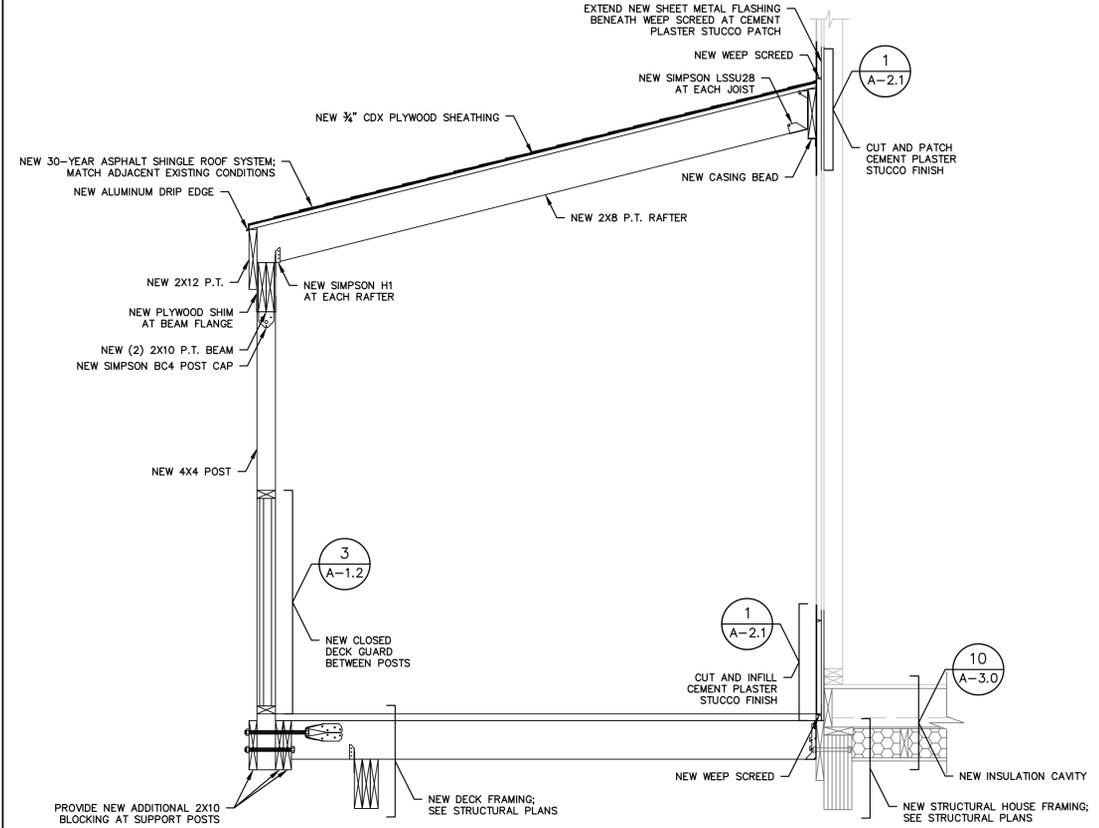
1. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL MEASUREMENTS. ANY VARIATIONS FROM CONDITIONS SHOWN ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL AND/OR MCA PRIOR TO BIDDING FOR RESOLUTION IN ACCORDANCE WITH CONTRACT DOCUMENT REQUIREMENTS.
2. ALL REQUIRED PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
3. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF THE NOTED ITEM.
4. WORK LIMITS SHALL BE AS NOTED. ALL ITEMS DISTURBED BY ANY AND ALL CONSTRUCTION ACTIVITIES SHALL BE RESTORED SUBSTANTIALLY TO THE CONDITION THEY EXISTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, TO MCA'S APPROVAL.
5. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
6. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
7. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

FRAMING PLAN NOTES

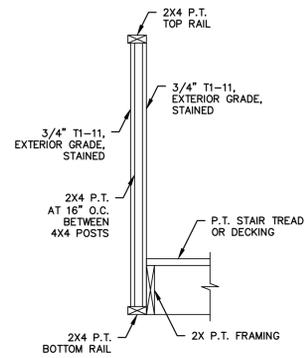
1. PLAN DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTOR FOR ACTUAL LOCATION OF CONSTRUCTED STAIRS.
2. ALL NAILING SHALL BE PER INTERNATIONAL BUILDING CODE TABLE 2304.9.1
3. SIMPSON PRODUCTS SPECIFIED SHALL BE FURNISHED AND INSTALLED AS SPECIFIED OR APPROVED EQUAL PRODUCTS.
4. SIMPSON PRODUCTS TO BE INSTALLED PER MANUFACTURER AND INTERNATIONAL CODE COUNCIL APPROVED AND RATED METHODS
5. MINIMUM HEAD ROOM CLEARANCE SHALL BE 84" AT ALL LOCATIONS IN COVERED STAIRS



1 COVERED DECK FRAMING PLAN
A-1.2 1/2" = 1'-0"



2 COVERED DECK SECTION
A-1.2 3/4" = 1'-0"



3 CLOSED DECK AND STAIR GUARD SECTION
A-1.2 3/4" = 1'-0"

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DRAWN: KNL CHECKED: MBR APPROVED: REC SCALE: AS NOTED DATE: 10/21/2015					

**COVERED STAIR FRAMING
PLAN AND SECTIONS**

JOB NO.	DRAWING NUMBER	SHEET
33-262-1284	BASEMAP 33-262-1284.dwg	A-1.2



GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL MEASUREMENTS. ANY VARIATIONS FROM CONDITIONS SHOWN ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL AND/OR MCA PRIOR TO BIDDING FOR RESOLUTION IN ACCORDANCE WITH CONTRACT DOCUMENT REQUIREMENTS.
2. ALL REQUIRED PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
3. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF THE NOTED ITEM.
4. WORK LIMITS SHALL BE AS NOTED. ALL ITEMS DISTURBED BY ANY AND ALL CONSTRUCTION ACTIVITIES SHALL BE RESTORED SUBSTANTIALLY TO THE CONDITION THEY EXISTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, TO MCA'S APPROVAL.
5. THE CONTRACTOR AT A MINIMUM SHALL MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AS DIRECTED, AS NECESSARY, AND IN ACCORDANCE WITH CONTRACT REQUIREMENTS, AND SHALL CHECK ALL SYSTEMS ON A DAILY BASIS TO ENSURE THE PREVENTION OF SEDIMENT TRANSPORT AND THE CONTROL OF EROSION.
6. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
8. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

WORK NOTES

- 1 DISCONNECT AIR CONDITIONING UNITS AND STORE ON SITE
- 2 DEMOLISH WOOD DECK AND REMOVE OFF SITE
- 3 DEMOLISH WOOD STEPS AND REMOVE OFF SITE
- 4 DEMOLISH CONCRETE STEPS AND PILES (UNDER PREVIOUSLY EXISTING WOOD DECK) AND REMOVE OFF SITE
- 5 COORDINATE UTILITY DISCONNECTS, INCLUDING WATER, ELECTRIC, GAS, AND TELECOMMUNICATIONS
- 6 REMOVE FRONT DOOR AND STORE ON SITE
- 7 DEMOLISH FOUNDATION AND REMOVE OFF SITE. REMOVE CEMENT PLASTER STUCCO FOUNDATION TO A SUFFICIENT HEIGHT TO INSTALL HURRICANE STRAPPING. SEE BUILDING SILL SECTION SHEET A-2.1.

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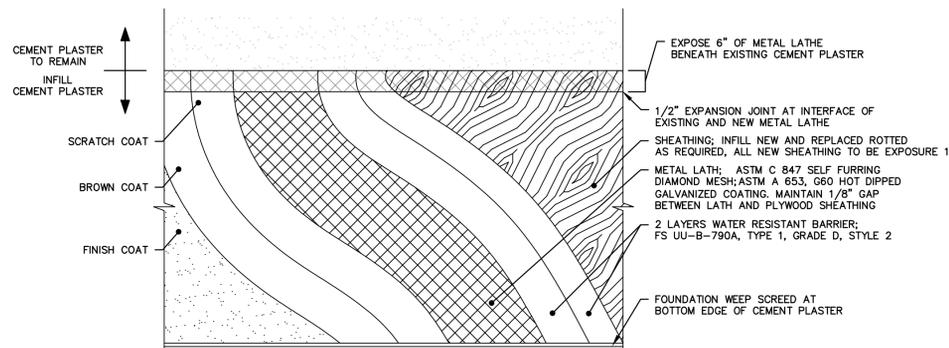
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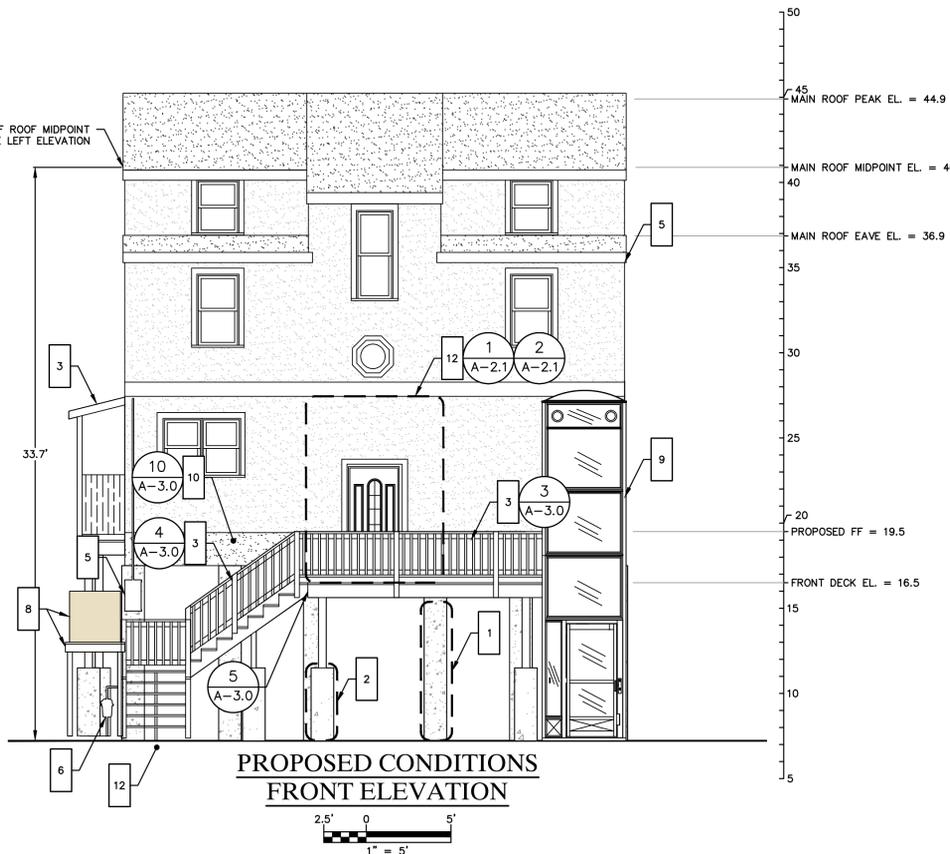
BUILDING ELEVATIONS

JOB NO.	DRAWING NUMBER	SHEET
33-262-1284	BASEMAP 33-262-1284.dwg	A-2.0

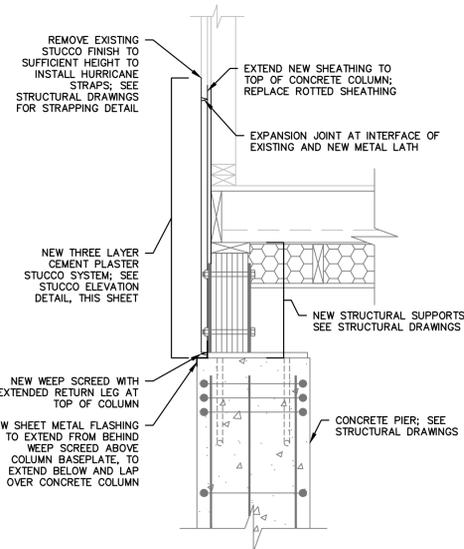


- NOTES:**
- REFER TO SPECIFICATION 09 24 00 'CEMENT PLASTERING' FOR ALL INFORMATION NOT SHOWN ON THIS DETAIL INCLUDING MATERIAL REQUIREMENTS. IN GENERAL ALL WORK SHALL COMPLY WITH ASTM C 1063 AND C 926.
 - THREE COAT CEMENT PLASTER SYSTEM IS INTENDED FOR ALL BUILDING SILL INFILL AND MISCELLANEOUS PATCHING TO EXISTING CEMENT PLASTER STUCCO FINISH ON HOUSE.
 - FINISH COAT TO BE COLOR MATCHED TO EXISTING CEMENT PLASTER STUCCO COLOR USING COLORS SELECTED FROM MANUFACTURER RANGE OF READY MIX FINISH COAT PLASTER OR ACRYLIC-BASED FINISH COATING AND SEALER.

1 STUCCO ELEVATION
A-2.1 1" = 1'-0"

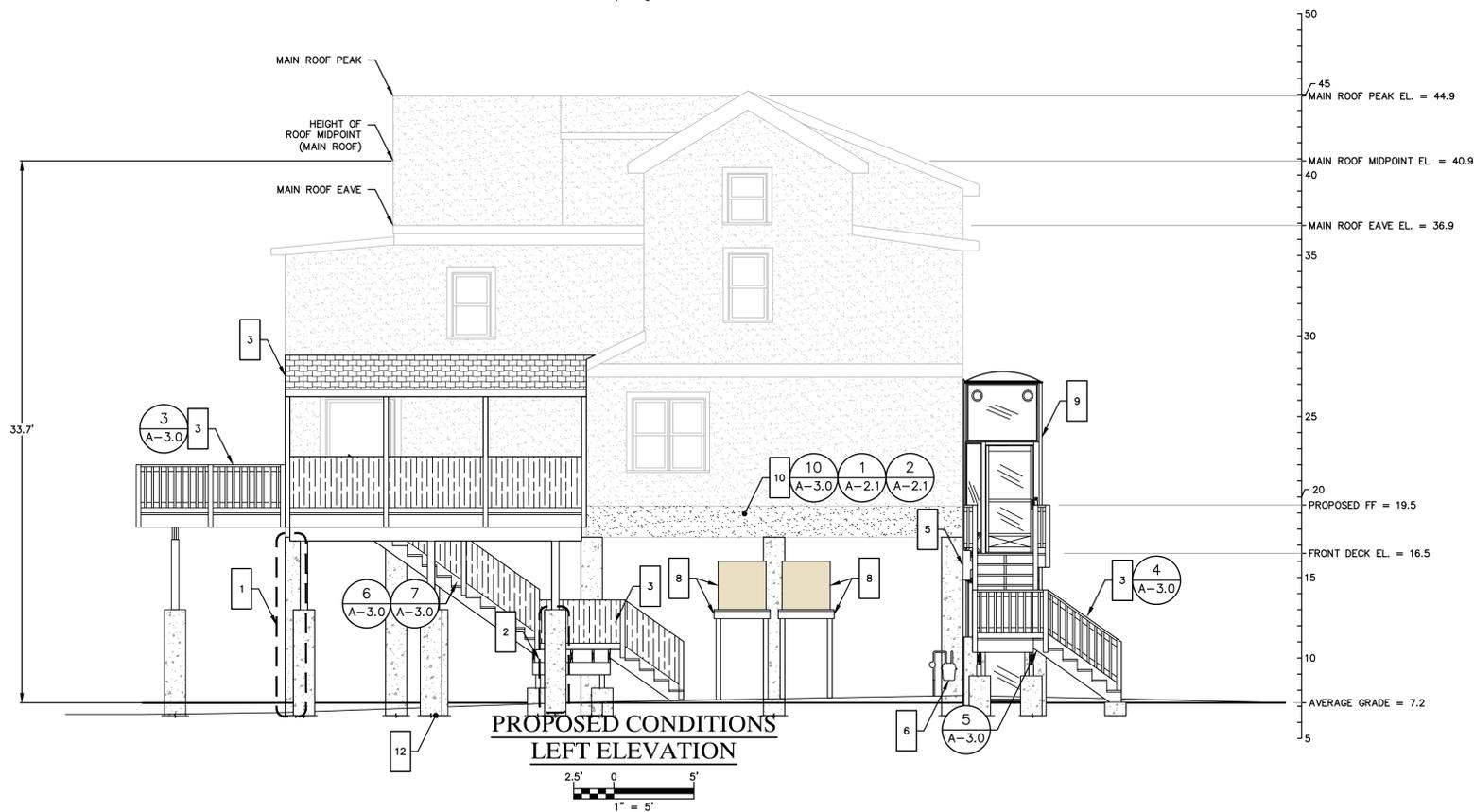


PROPOSED CONDITIONS FRONT ELEVATION

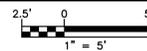


- NOTES:**
- REPLACE/PROVIDE NEW PRESSURE-TREATED SILL PLATE AND RIM JOIST (TO MATCH EXISTING).

2 BUILDING SILL SECTION
A-2.1 1" = 1'-0"



PROPOSED CONDITIONS LEFT ELEVATION



GENERAL NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL MEASUREMENTS. ANY VARIATIONS FROM CONDITIONS SHOWN ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL AND/OR MCA PRIOR TO BIDDING FOR RESOLUTION IN ACCORDANCE WITH CONTRACT DOCUMENT REQUIREMENTS.
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- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
- ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

WORK NOTES

- HOUSE FOUNDATION; SEE STRUCTURAL DRAWINGS
- STAIR FOUNDATION; SEE STRUCTURAL DRAWINGS
- FURNISH AND INSTALL ALL MATERIALS FOR NEW DECKS AND STAIRS AT PROPOSED ELEVATIONS; FURNISH AND INSTALL ALL MATERIALS TO ENCLOSE STAIR GUARD AND BUILD ROOF COVERING STAIRS AND PART OF DECK AT NORTHEAST SIDE OF HOUSE. FURNISH AND INSTALL STAIRWAY CHAIR LIFT ON STAIR WITH ROOF ABOVE AT NORTHEAST SIDE OF HOUSE
- EXTEND ROOF DOWNSPOUTS TO GRADE; FURNISH AND INSTALL CONCRETE SPLASH BLOCKS; EXTEND HOSE BIB TO GRADE
- COORDINATE RECONNECTION OF OVERHEAD ELECTRICAL SERVICE; COORDINATE RELOCATION OF ELECTRIC METER ABOVE 100-YEAR FEMA BASE FLOOD ELEVATION - FOR AE ZONE, ELEVATION = 13.0 (NAVD88)
- COORDINATE RELOCATION OF GAS METER ADJACENT TO NEW STRUCTURAL COLUMN; SEE SHEET C-1.3
- COORDINATE OTHER UTILITY CONNECTIONS, INCLUDING TELECOMMUNICATIONS; RESTORE ALL SERVICES TO FUNCTIONAL SERVICE STATES
- CONSTRUCT WOOD PLATFORM FOR AIR CONDITIONING UNITS WHERE INDICATED ON PLAN; REMOVE AIR CONDITIONING UNITS FROM STORAGE AND REINSTALL ABOVE 100-YEAR FEMA BASE FLOOD ELEVATION - FOR AE ZONE, ELEVATION = 13.0 (NAVD88)
- FURNISH AND INSTALL ALL MATERIALS FOR VERTICAL PLATFORM LIFT IN ENCLOSED VERTICAL SHAFTWAY; ALTERNATE 1 ONLY
- FURNISH AND INSTALL ALL MATERIALS FOR NEW CEMENT PLASTER STUCCO INFILL AROUND ENTIRE STRUCTURE; INFILL STUCCO AS REQUIRED. FURNISH AND INSTALL ALL MATERIALS TO INSULATE AND FINISH UNDERSIDE OF HOUSE.
- FURNISH AND INSTALL 12" THICK LAYER OF 3/4" CRUSHED STONE BENEATH DECKS AND HOUSE
- FURNISH AND INSTALL ALL MATERIALS FOR WORK AT NORTHEAST WALL OF FOYER. SEE PLANS AND SECTIONS ON SHEETS A-1.0 AND A-1.1.
- COMPLETE REMAINING BUILDING WORK (BOTH INTERIOR AND EXTERIOR)
- RESTORE EXTERIOR AREAS TO EXISTING CONDITIONS OR BETTER

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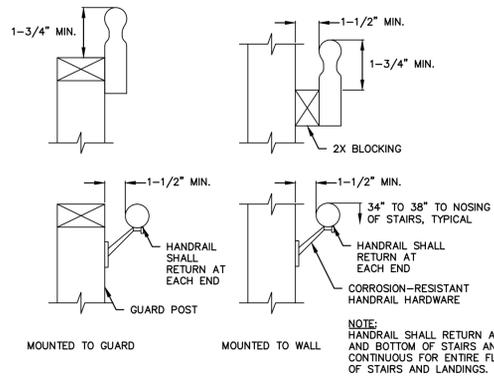
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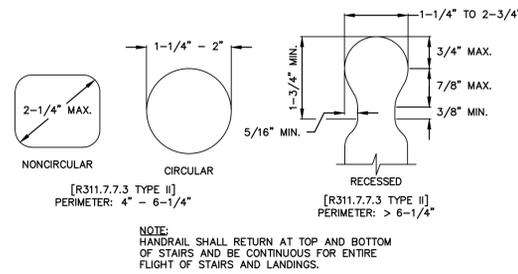
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BUILDING ELEVATIONS

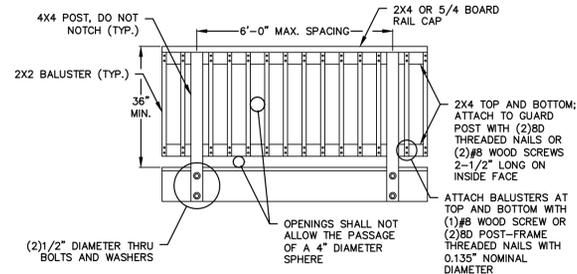
JOB NO.	DRAWING NUMBER	SHEET
33-262-1284	BASEMAP 33-262-1284.dwg	A-2.1



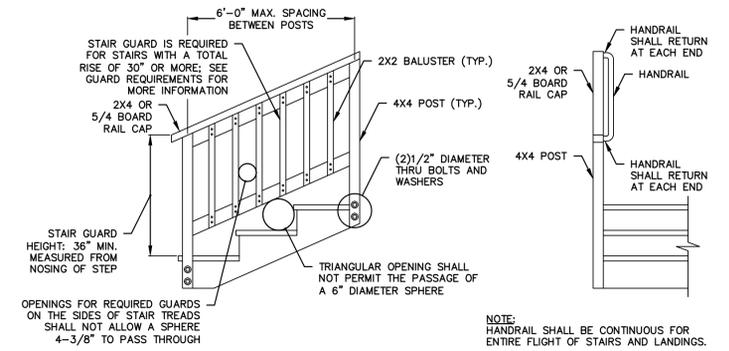
1 TYPICAL HANDRAIL MOUNTING
A-3.0 N.T.S.



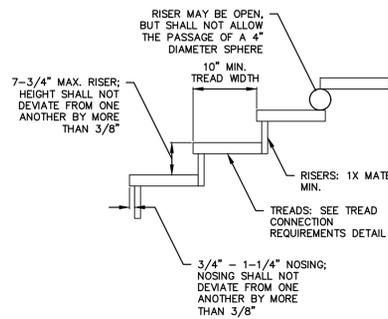
2 TYPICAL HANDRAIL GRIP SIZE
A-3.0 N.T.S.



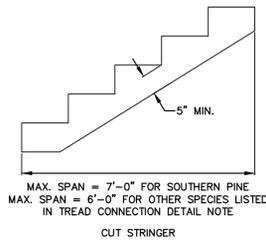
3 TYPICAL DECK RAILING GUARD
A-3.0 N.T.S.



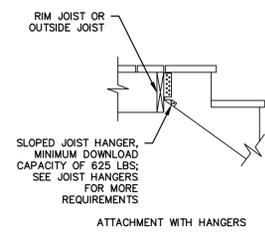
4 TYPICAL STAIR GUARD REQUIREMENTS
A-3.0 N.T.S.



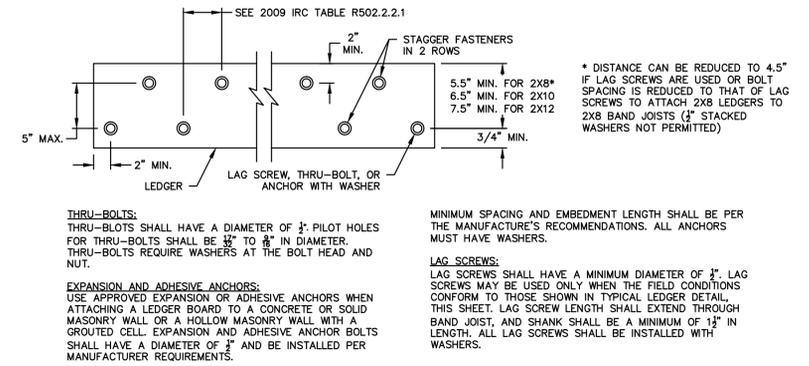
5 TYPICAL TREAD AND RISER
A-3.0 N.T.S.



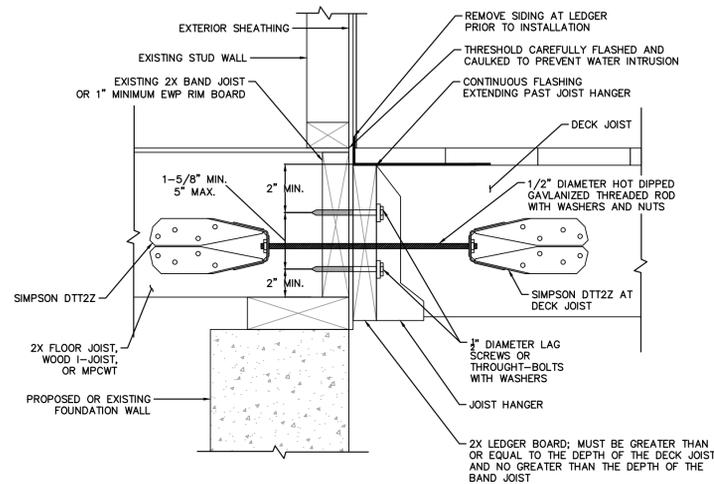
6 TYPICAL STAIR STRINGER REQUIREMENTS
A-3.0 N.T.S.



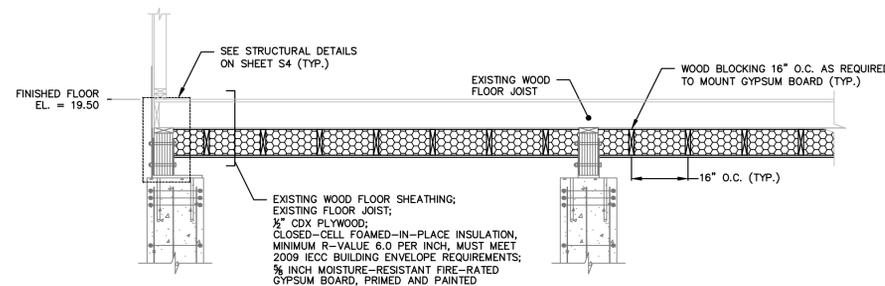
7 TYPICAL STAIR STRINGER ATTACHMENT
A-3.0 N.T.S.



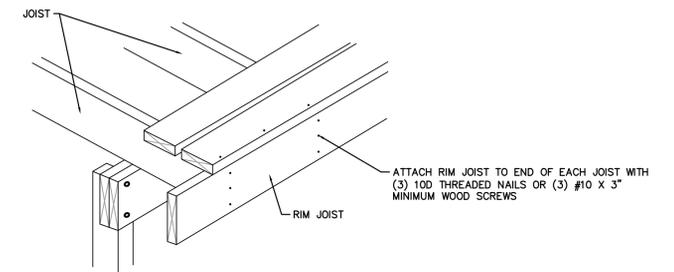
8 TYPICAL LEDGER BOARD FASTENER SPACING AND CLEARANCE
A-3.0 N.T.S.



9 TYPICAL GENERAL ATTACHMENT OF LEDGER
A-3.0 N.T.S.



10 TYPICAL FLOOR CAVITY INSULATION DETAIL
A-3.0 1/2\"/>



11 TYPICAL RIM JOIST CONNECTION
A-3.0 N.T.S.

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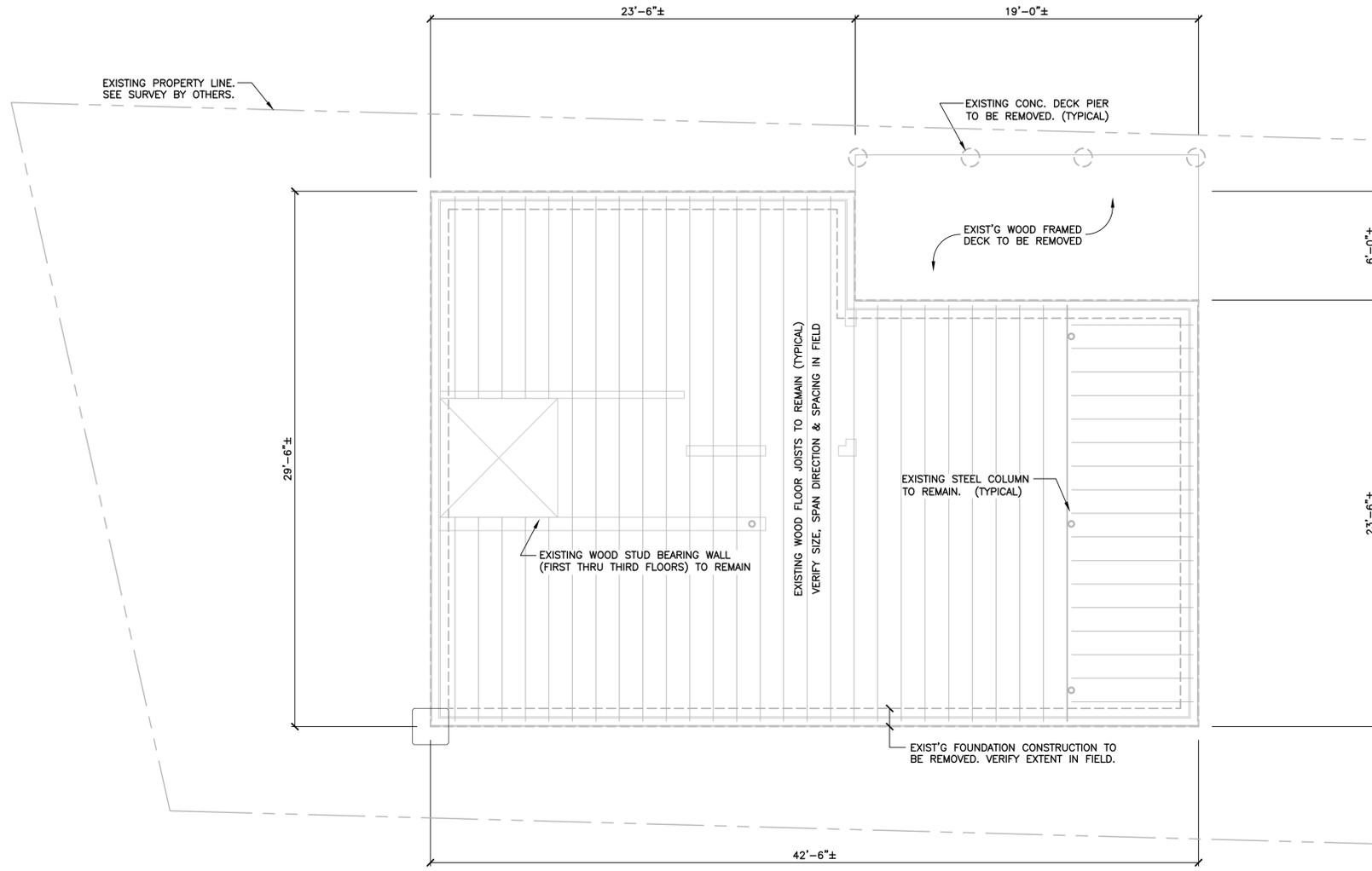
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DECK AND STAIR DETAILS

JOB NO.	DRAWING NUMBER	SHEET
33-262-1284	BASEMAP 33-262-1284.dwg	A-3.0



EXISTING CONDITIONS PLAN

SCALE: 1/4" = 1'-0"



NOTES:

1. THE EXISTING WOOD FRAMED SUPERSTRUCTURE SHALL BE ADEQUATELY SHORED PRIOR TO DEMOLITION OF EXISTING FOUNDATION CONSTRUCTION.
2. REFER TO THE ACCOMPANYING DRAWINGS FOR PLANS, DETAILS AND ADDITIONAL REQUIREMENTS RELATED TO THE NEW FOUNDATION AND FRAMING CONSTRUCTION TO SUPPORT THE EXISTING SUPERSTRUCTURE TO BE ELEVATED.
3. CONDITIONS SHOWN ARE BASED SOLELY ON AVAILABLE INFORMATION AND HAVE NOT BEEN INDEPENDENTLY VERIFIED TO BE COMPLETELY ACCURATE.

DESIGN BASIS

GOVERNING CODE2005 STATE BUILDING CODE + 2009 & 2013 CONNECTICUT AMENDMENTS

GENERAL NOTES:

SHOP DRAWINGS ARE TO BE CHECKED BY THE CONTRACTOR AND BEAR THE CHECKER'S INITIALS BEFORE BEING SUBMITTED TO THE ENGINEER.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, ANGLES, AND EXISTING CONDITIONS BEFORE PROCEEDING WITH ANY WORK.

IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.

IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE CONSTRUCTION PROCEDURE AND SEQUENCE, AND TO ENSURE THE SAFETY OF THE EXISTING BUILDING AND ITS COMPONENT PARTS DURING CONSTRUCTION. THIS INCLUDES THE ADDITION OF WHATEVER SHORING, BRACING, ETC. THAT MAY BE REQUIRED.

WORK THESE DRAWINGS WITH THOSE OF OTHER TRADES FOR LOCATIONS OF OPENINGS, RECESSES, BUILT-IN WORK, ETC.

FOUNDATION NOTES

REFER TO GEOTECHNICAL REPORT PREPARED BY DR. CLARENCE WELTI, P.E., P.C., DATED JANUARY 12, 2015 FOR SUBSURFACE PREPARATION & RELATED REQ'MENTS.

ALL NEW FOUNDATIONS SHALL BE SUPPORTED BY NEW HELICAL PULLDOWN PILES MANUFACTURED BY EARTH CONTACT PRODUCTS, LLC, OLATHE KA, OR APPROVED EQUAL.

HELICAL PILES

ALL HELICAL PILES SHALL DEVELOP A MINIMUM ALLOWABLE LOAD CARRYING CAPACITY OF 10 TONS (20 KIPS) UNLESS OTHERWISE NOTED.

ALL HELICAL PILES SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT. THE PROPOSED HELICAL PILE SHALL HAVE A MINIMUM SHAFT SIZE OF 3 1/2" OUTSIDE DIAMETER x 0.300" WALL THICKNESS, BE FILLED SOLID w/ GROUT AND BE HOT DIP GALVANIZED IN ACCORDANCE WITH ASTM 123 AND BE SUBMITTED FOR APPROVAL PRIOR TO COMMENCEMENT OF ANY WORK. SUBMITTAL SHALL INCLUDE SIZE, STRENGTH, GALVANIZING, DEPTH, SEAT TYPE AND SIZE.

INSTALL ONE (1) TEST PILE PRIOR TO CONSTRUCTION.

CONCRETE

MATERIALS:

ALL CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 5,000 PSI AT 28 DAYS. CONTRACTOR TO SUBMIT CONCRETE MIX DESIGN.

ALL DETAILING, FABRICATION, AND ERECTION OF REINFORCING BARS, UNLESS OTHERWISE NOTED, MUST FOLLOW THE LATEST ACI CODE AND LATEST ACI "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES".

ALL REINFORCING STEEL SHALL BE EPOXY COATED IN ACCORDANCE WITH ASTM A775.

NO CALCIUM CHLORIDE OR ADMIXTURES CONTAINING MORE THAN 1% CHLORIDE BY WEIGHT OF ADMIXTURE SHALL BE USED IN THE CONCRETE.

PROVIDE 5% TO 7% AIR ENTRAINMENT IN ALL CONCRETE.

UNLESS OTHERWISE NOTED, ALL LAP SPLICES SHALL BE CLASS B.

STRUCTURAL STEEL

MATERIALS:

STRUCTURAL STEEL.....ASTM A572/992
 ANGLES, MISCELLANEOUS PLATES AND BARS.....ASTM A36
 BOLTS.....ASTM A325
 WELDING ELECTRODE.....ASTM E 70

SHOP AND ERECTION DRAWINGS SHALL BE SUBMITTED FOR ALL STRUCTURAL STEEL WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. SUBMIT FOUR (4) PRINTS TO THE ENGINEER.

STRUCTURAL STEEL SHALL CONFORM TO THE CURRENT "AISC SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS", AND THE "AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIGES".

ALL PERMANENTLY EXPOSED STRUCTURAL STEEL SHALL BE HOT DIP GALVANIZED IN ACCORDANCE WITH ASTM A123. ALL OTHER STEEL SHALL BE SHOP PRIMED GRAY TO 2 MIL THICKNESS.

ALL WELDING SHALL BE DONE BY A CERTIFIED WELDER IN ACCORDANCE WITH A.W.S. STANDARDS.

ALL STRUCTURAL STEEL, FROM DELIVERY TO THE JOB SITE TO AFTER ERECTION SHALL CONFORM TO ALL REQUIREMENTS OF ASTM A6.

CONNECTIONS:

CONNECTIONS SHALL CONFORM TO ALL REQUIREMENTS OF THE "AISC SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS", LATEST EDITION, AND THE "SPECIFICATION FOR STRUCTURAL STEEL JOINTS USING ASTM A325 OR A490 BOLTS" APPROVED APRIL 26, 1978.

CONNECTIONS SHALL HAVE A MINIMUM OF TWO BOLT ROWS.

SHOP CONNECTIONS SHALL BE WELDED OR HIGH STRENGTH BOLTED.

UNLESS SPECIFICALLY NOTED BOLTS SHALL BE 3/4" TYPE A325-N.

PROVIDE HEAVY HEX NUTS AND WASHERS AT ALL ANCHOR BOLTS.

NO WELDING OR FINAL BOLTING SHALL BE DONE UNTIL AS MUCH OF THE STRUCTURE THAT WILL BE STIFFENED THEREBY HAS BEEN PROPERLY ALIGNED.

MILL BEARING ENDS OF COLUMNS, STIFFENERS, AND OTHER BEARING SURFACES TO TRANSFER LOAD OVER ENTIRE CROSS SECTION.

BOLT HOLES SHALL BE PUNCHED OR DRILLED. FLAME CUT HOLES ARE NOT ACCEPTABLE.

STRUCTURAL LUMBER

STRUCTURAL LUMBER USED FOR BRIDGING, BLOCKING AND OTHER MISCELLANEOUS FRAMING SHALL BE NOT LESS THAN NO. 2 GRADE DOUGLAS FIR AND SHALL HAVE THE FOLLOWING MINIMUM ALLOWABLE UNIT STRESSES:

EXTREME FIBER IN BENDING..... $F_b = 875$ PSI
 HORIZONTAL SHEAR..... $F_v = 95$ PSI
 TENSION PARALLEL TO GRAIN..... $F_t = 825$ PSI
 COMPRESSION PERPENDICULAR TO GRAIN..... $F_c = 385$ PSI
 COMPRESSION PARALLEL TO GRAIN..... $F_c = 1,050$ PSI
 MODULUS OF ELASTICITY..... $E = 1,700,000$ PSI

MOISTURE CONTENT OF ALL FRAMING LUMBER WHEN DELIVERED TO THE PROJECT SITE SHALL NOT EXCEED 19%.

NAILING AND OTHER FASTENING SHALL BE AS PER TABLE 2304.9.1, FASTENING SCHEDULE, OF THE 2005 STATE OF CONNECTICUT BUILDING CODE.

PLYWOOD WALL SHEATHING SHALL BE NOMINAL 5/8" THICK SQUARE EDGE EXTERIOR GRADE CDX AND CONTAIN (4) INNER PLYS.

PLYWOOD ROOF SHEATHING SHALL BE NOMINAL 3/4" THICK SQUARE EDGE EXTERIOR GRADE.

ENGINEERED WOOD PRODUCTS

ELEMENTS. FOLLOWING ERECTION, JOISTS SHALL BE SHEATHED AND PROTECTED TO MAINTAIN STRESS-GRADED MOISTURE CONTENT NOT TO EXCEED 19%.

PARALLAM PLUS PSL WOLMANIZED MEMBERS USED FOR BEAMS AND HEADERS SHALL HAVE THE FOLLOWING MINIMUM ALLOWABLE UNIT STRESSES:

EXTREME FIBER IN BENDING..... $F_b = 1,827$ PSI
 HORIZONTAL SHEAR..... $F_v = 197$ PSI
 TENSION PARALLEL TO GRAIN..... $F_t = 1,397$ PSI
 COMPRESSION PERPENDICULAR TO GRAIN..... $F_c = 368$ PSI
 COMPRESSION PARALLEL TO GRAIN..... $F_c = 1,508$ PSI
 MODULUS OF ELASTICITY..... $E = 1,460,000$ PSI

MICROLLAM GRADE 2.0E MEMBERS USED FOR BEAMS AND HEADERS SHALL HAVE THE FOLLOWING MINIMUM ALLOWABLE UNIT STRESSES:

EXTREME FIBER IN BENDING..... $F_b = 2,600$ PSI
 HORIZONTAL SHEAR..... $F_v = 285$ PSI
 TENSION PARALLEL TO GRAIN..... $F_t = 1,555$ PSI
 COMPRESSION PERPENDICULAR TO GRAIN..... $F_c = 750$ PSI
 COMPRESSION PARALLEL TO GRAIN..... $F_c = 2,510$ PSI
 MODULUS OF ELASTICITY..... $E = 2,000,000$ PSI

PARALLAM GRADE 1.8E MEMBERS USED FOR COLUMNS SHALL HAVE THE FOLLOWING MINIMUM ALLOWABLE UNIT STRESSES:

EXTREME FIBER IN BENDING..... $F_b = 2,400$ PSI
 HORIZONTAL SHEAR..... $F_v = 190$ PSI
 TENSION PARALLEL TO GRAIN..... $F_t = 1,755$ PSI
 COMPRESSION PERPENDICULAR TO GRAIN..... $F_c = 425$ PSI
 COMPRESSION PARALLEL TO GRAIN..... $F_c = 2,500$ PSI
 MODULUS OF ELASTICITY..... $E = 1,800,000$ PSI

MCA
 MARTINEZ COUCH & ASSOCIATES
 ENGINEERS • LAND SURVEYORS • ENVIRONMENTAL
 CONSTRUCTION INSPECTORS • GIS • WASTEWATER

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NO.	DATE	REVISIONS	BY	CHK	APPV
2	01/13/2016	ISSUED FOR BIDDING	DEB	TAT	TAT
1	01/06/2016	ISSUED FOR CT DOH REVIEW AND APPROVAL	DEB	TAT	TAT

DRAWN BY: DEB CHECKED BY: TAT SCALE: AS NOTED DATE: 01/06/2016

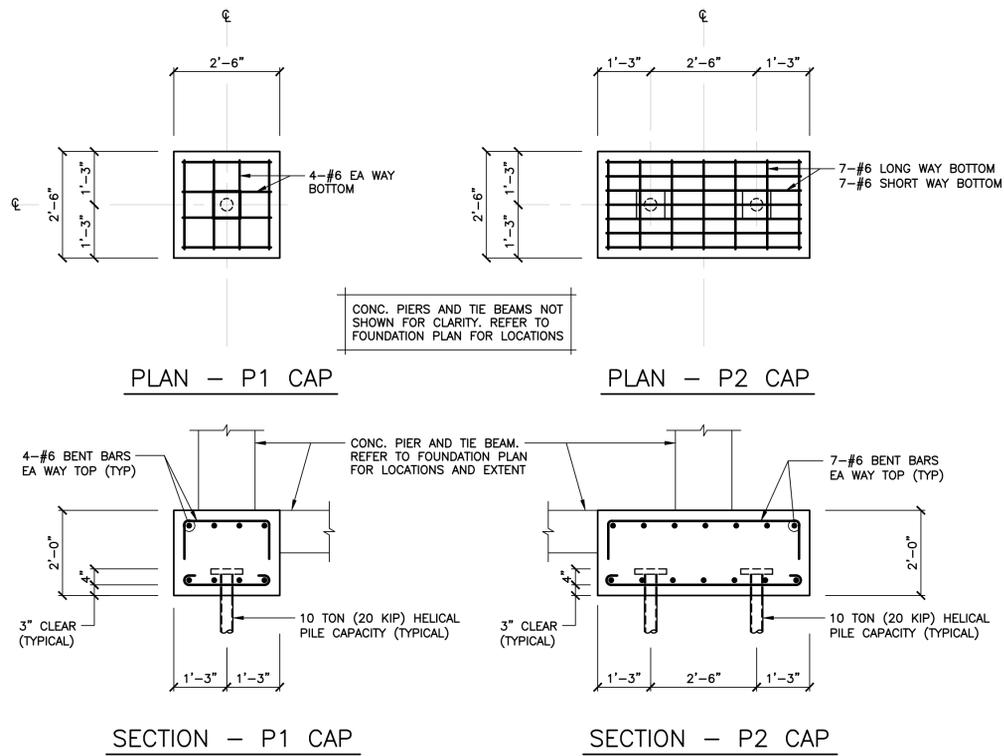
THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND SEAL

FOUNDATION DESIGN

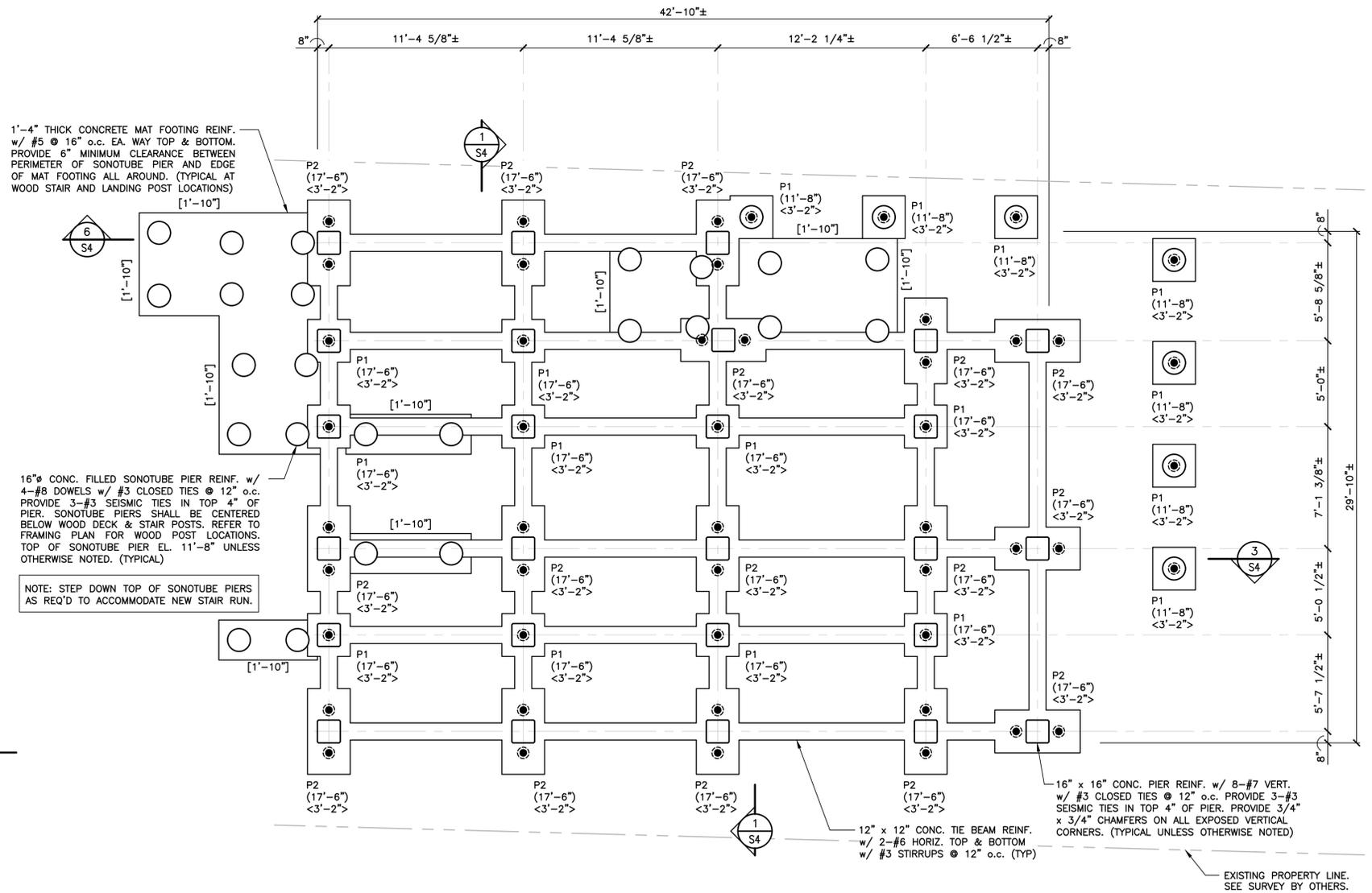
EXISTING CONDITIONS PLAN & STRUCTURAL NOTES

JOB NO.	DRAWING NUMBER	SHEET
33-262-1284	21524 S1-S4.dwg	S1

THOMAS A. TORRENTI, P.E.



TYPICAL CONCRETE PILE CAP DETAILS
 SCALE: 1/2" = 1'-0"



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



LEGEND:

- P# PILE CAP MARK (SEE DETAILS THIS DWG)
- <....> EL. TOP OF CONC. PILE CAP
- (.....) EL. TOP OF CONC. PIER
- [.....] EL. BOTTOM OF CONC. MAT FOOTING
- DENOTES 10 TON (20 KIP) CAPACITY HELICAL PILE. FIELD VERIFY ALL HELICAL PILE LOCATIONS.



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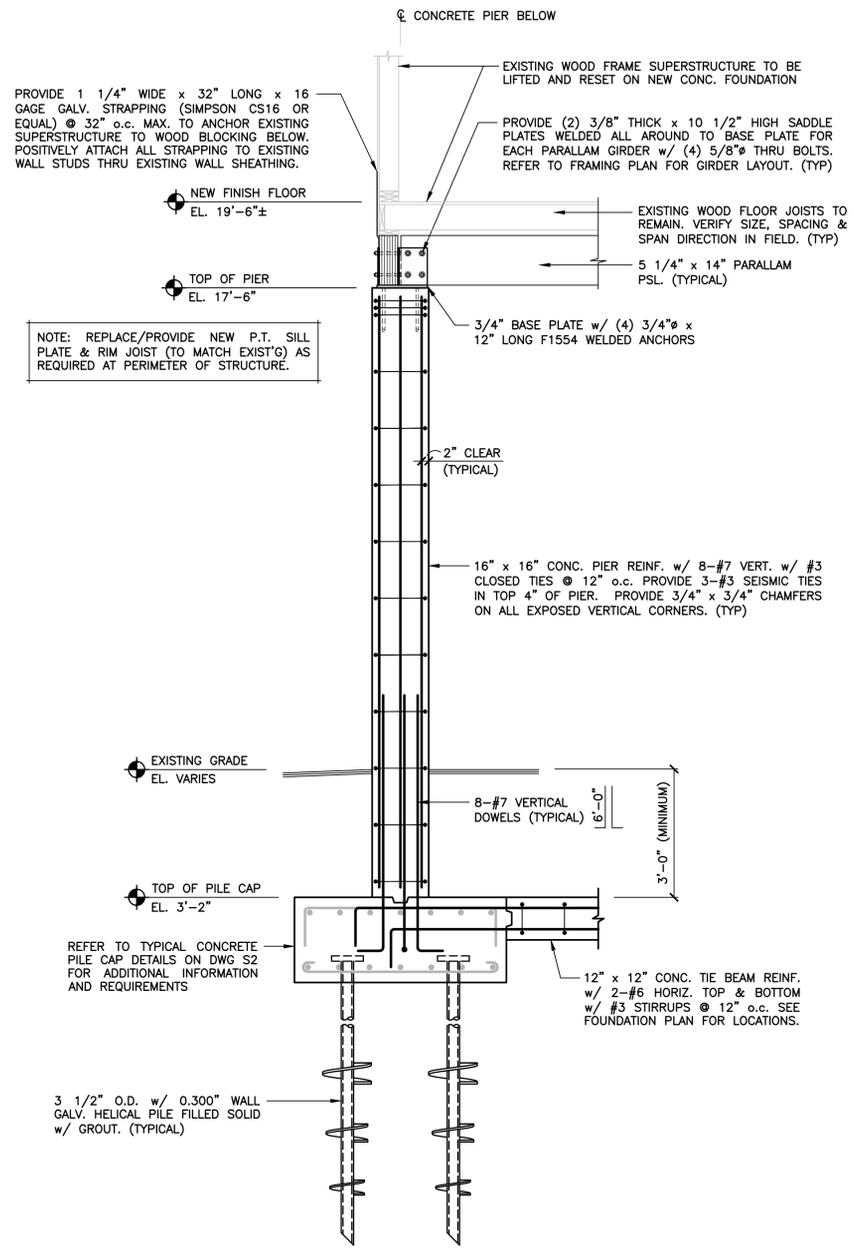
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1	01/06/2016	ISSUED FOR CT DOH REVIEW AND APPROVAL	DEB	TAT	TAT
DRAWN BY: DEB			CHECKED BY: TAT		SCALE: AS NOTED
DATE: 01/06/2016			THOMAS A. TORRENTI, P.E.		

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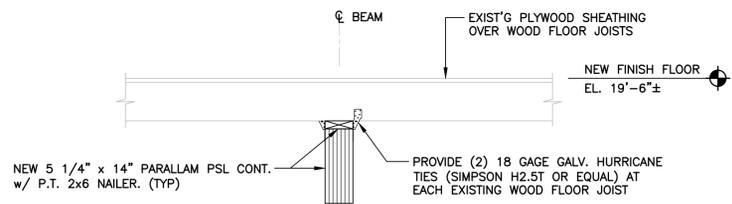
FOUNDATION DESIGN

FOUNDATION PLAN & TYPICAL PILE CAP DETAILS

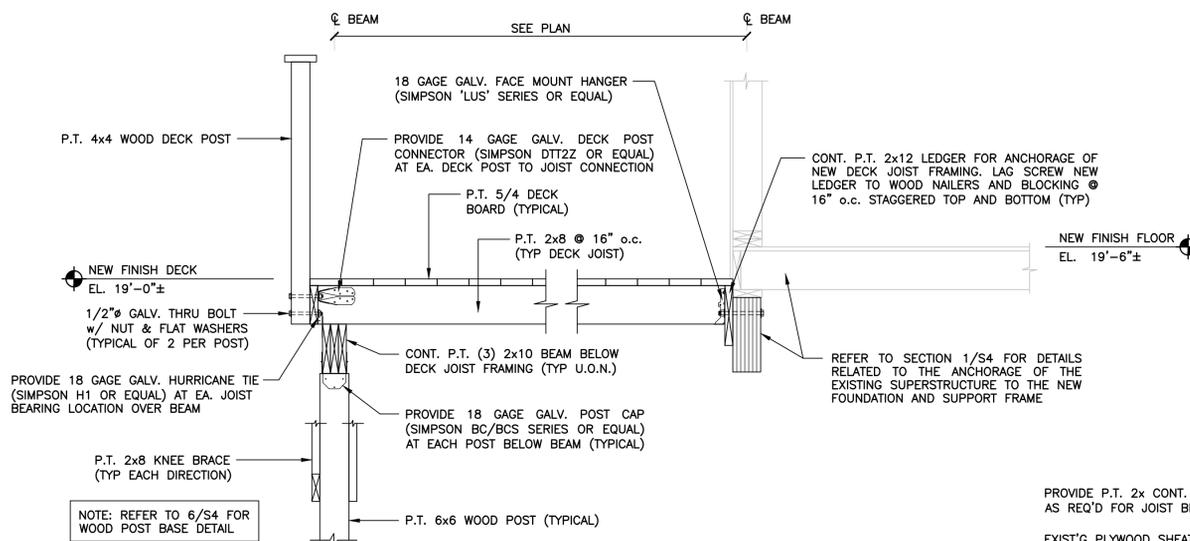
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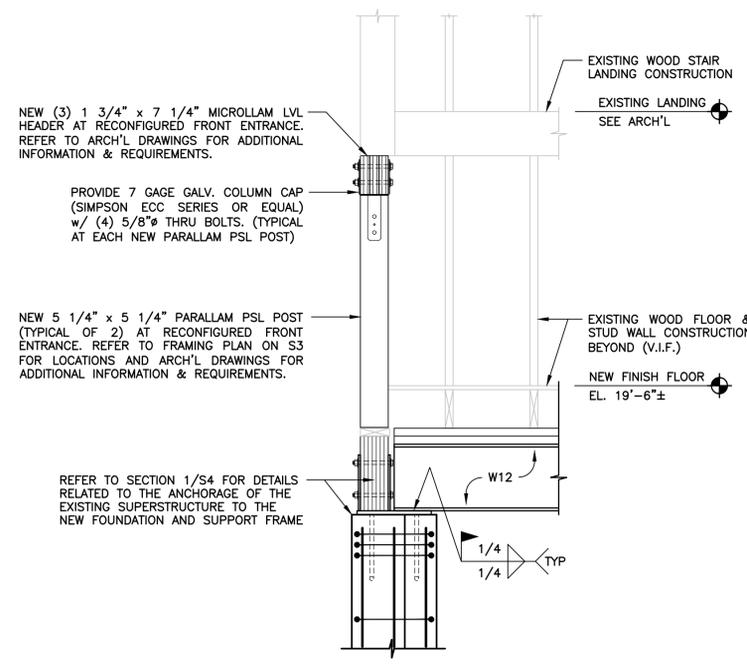
SECTION 1
SCALE: 1/2" = 1'-0"
S4



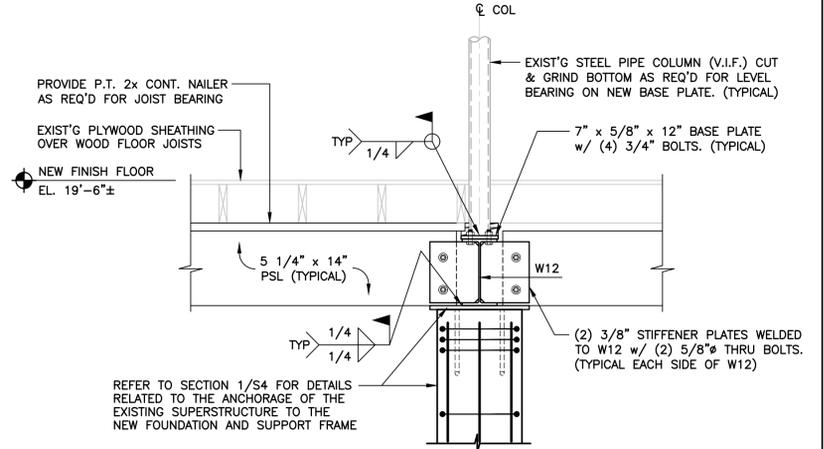
SECTION 2
SCALE: 3/4" = 1'-0"
S4



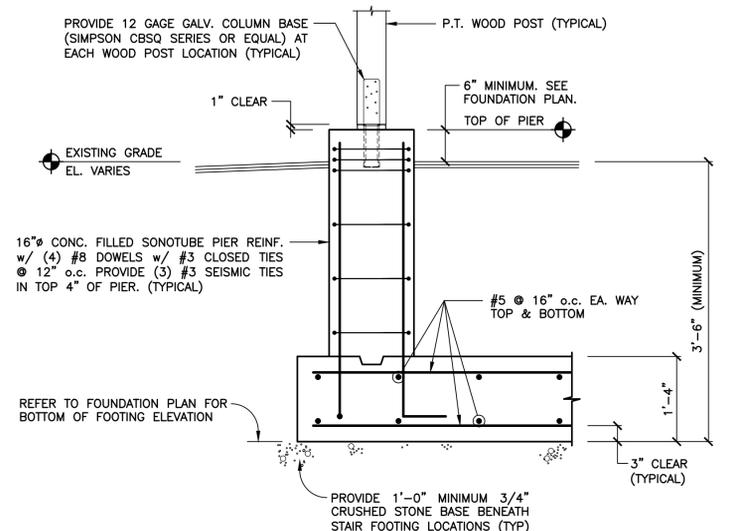
SECTION 3
SCALE: 3/4" = 1'-0"
S4



SECTION 4
SCALE: 3/4" = 1'-0"
S4



SECTION 5
SCALE: 3/4" = 1'-0"
S4



SECTION 6
NO SCALE
(TYPICAL STAIR/LANDING FOUNDATION)
S4



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FOUNDATION DESIGN

SECTIONS

JOB NO.	DRAWING NUMBER	SHEET
33-262-1284	21524 S1-S4.dwg	S4