

THE STATE OF CONNECTICUT
DEPARTMENT OF HOUSING (DOH)
COMMUNITY DEVELOPMENT BLOCK GRANT DISASTER RECOVERY PROGRAM (CDBG-DR)

OWNER OCCUPIED REHABILITATION AND REBUILDING PROGRAM (OORR)

**HAZARDOUS MATERIAL ABATEMENT
NEW FOUNDATIONS
RAISING EXISTING RESIDENCE
ALTERATIONS
ANDREW FRAULO RESIDENCE
254 COSEY BEACH AVENUE
EAST HAVEN, CONNECTICUT 06512**

ADDENDUM NO. 1274-2

Date: May 13, 2015

Application No. 1274
LAA Project No. 1524-14

This Addendum forms part of the Contract Documents and amends the original Bidding Documents dated April 20, 2015, only in the following particulars. Original provisions of the Contract Documents shall remain in effect except as specifically amended by this Addendum.

Bidders shall consider amendments and the resulting cost differences shall be included in all bids.

Acknowledge receipt of this Addendum in the space provided on the Bid Proposal Form. Failure to do so may subject the bidder to disqualification.

GENERAL

1. Bid Form: Replace Bid Form P. 6 with revised Bid Form Pages 6A, 6B included in this Addendum

SPECIFICATIONS

1. SECTION 000100 - TABLE OF CONTENTS
 - a. P.000100-3- Delete Sections 224000, 224100,230000,and 260000.
2. Add Section 010200 – ALLOWANCES, included in this addendum.
3. Add Section 010300 – ALTERNATES, included in this addendum.

4. SECTION 075419 - PVC ROOFING:
 - a. P. 075419-2: Delete Par. 2.5 and 2.6 (Insulation, Insulation Accessories).
 - b. P. 075419-3: Delete Par.3.2 (Insulation installation).
5. Delete Section 224100-Residential Plumbing Fixtures from Project Manual.

DRAWINGS

1. Dwg.G-001 – General Notes: **Delete note #2.**
2. Dwg., AD-100:
 - a. Foundation Plan-Demolition – Revise note on left side of plan to read: **Existing concrete slab to be removed.**
 - b. Partial First Floor Demolition Plan – Revise note on left side of plan to read: **Demolish existing bathroom in its entirety. Remove and reinstall all plumbing fixtures, including shower stall.**
 - c. Partial First Floor Demolition Plan - Add note below plan to read: **100% demolition of this area is part of Add Alternate #1. Base Bid shall include selective demolition. See Alternate description.**
 - d. Existing Elevations-3-4-5-6: Delete notes on each elevation pertaining to siding and sheathing removal and replace with the following: **Remove existing siding in its entirety and r nail existing (assumed) plywood sheathing in accordance with structural drawings. Existing sheathing and nail patterns shall be inspected by Structural Engineer.**
 - e. Add north arrow applicable to all plans. (North is right side of sheet).
3. Dwg. A-101:
 - a. First Floor Plan – Add note to existing Living Room and Bathroom: **Add Alternate No. 1-New Construction.**
 - b. First Floor Plan - Add note to bathroom: **Reinstall existing plumbing fixtures including shower stall. Reconnect existing plumbing.**
 - c. Add General Note tags 7,8,9 to bathroom.
 - d. Second Floor Plan – **Add note: Add Alternate #1- New Construction.**
 - e. Roof Plan – **Note that PVC roofing occurs under new wood deck.**
 - f. Add north arrow applicable to all plans. (North is right side of sheet).
4. Dwg. A-102:
 - a. Revise title under First Floor Plan and Section ‘A’ to read: **First Floor Plan – Base Bid and Section- Base Bid, respectively.**
 - b. Add north arrow to plan. (North is right side of sheet).
5. Dwg. A-103:
 - a. Delete notes at each elevation pertaining to existing siding to remain and patch.
 - b. Add notes applicable to all elevations:
 1. **New siding and weather barrier throughout.**
 2. **See plans for Alternate #1 and Base Bid description.**
 3. **Cement parge exterior face of all exposed foundation walls.**
6. Dwg. HM-01:
 - a. Asbestos Abatement Note #1-Omit last sentence, starting with “coordinate”.
 - b. Lead Abatement Note #4- Omit all words after lead waste, starting with “as add alternate...”.

7. Dwg. HM-02:
 - a. Delete Asbestos Abatement Note #1.
8. Delete structural drawings S-101 through S-105 and replace with revised drawings S-101 through S-106 included in this Addendum.

Attachments: Revised Bid Form-P.6A, 6B
Section 010200-Allowances
Section 010300-Alternates
Drawings S-101 through S-106

END OF ADDENDUM 1274-2

BID FORM - REVISED

The undersigned, being familiarized with the local conditions affecting the cost of the work and with the Drawings, Specifications, Invitation to Bidders, Instructions to Bidders, General Conditions, Bid Form, Form of Contract and Form of Bonds for Project No.1274 and Addenda No. _____ and _____ thereto, as prepared by **Lothrop Associates^{LLP} Architects**, Harford, Connecticut, and on file in the office of DOH, hereby proposes to furnish all permits, labor, materials, tools, equipment, and related items required for the demolition, abatement and construction including general construction, site improvements, plumbing, heating, electrical, and finish items for said Project No.1274 located at **The Andrew Fraulo Residence, 254 Cosey Beach Avenue, in East Haven, State of Connecticut**, all in accordance with the Drawings and Specifications, for the sum of:

_____ Dollars (\$ _____)

BREAKDOWN OF COSTS FOR LUMP SUM BASE BID

The following is a Breakdown of Costs by Major Division used by the Bidder in assembling this bid:

GENERAL CONDITIONS, OVERHEAD AND PROFIT

DIVISION 01 GENERAL REQUIREMENTS	\$ _____
DIVISION 02 SELECTIVE DEMOLITION	\$ _____
HOUSE RAISING	\$ _____
DIVISION 02 HAZMAT ABATEMENT	\$ _____
DIVISION 03 CAST IN PLACE CONCRETE	\$ _____
DIVISION 05 STRUCTURAL STEEL FRAMING	\$ _____
DIVISION 06 WOOD AND PLASTICS	\$ _____
DIVISION 07 THERMAL AND MOISTURE PROTECTION	\$ _____
DIVISION 08 OPENINGS (Exclusive Of Allowances)	\$ _____
DIVISION 09 FINISHES	\$ _____
DIVISION 22-23 PLUMBING-HVAC	\$ _____
DIVISION 26 ELECTRICAL (Exclusive Of Allowances)	\$ _____
DIVISION 31 EARTHWORK	\$ _____
ALLOWANCE #1- MAW	\$15,000.00
ALLOWANCE #2-DOOR HARDWARE (___ Doors @ \$100.ea.)	\$ _____
ALLOWANCE #3 TOILET ACCESSORIES	\$500.00
ALLOWANCE #4-LIGHT FIXTURES (___ Fixtures @ \$80.. ea.)	\$ _____

P. 6A

ALTERNATE PROPOSALS

The undersigned bidder further proposes and agrees that should any or all of the following Alternates be accepted and included in the Contract, the amount of the Base Bid, as heretofore stated, shall be adjusted by the amount stated for each Alternate. All materials and workmanship shall be in strict accordance with the Drawings and Specifications and shall be in-place prices.

ALTERNATE No. 1 (**Replace South Addition**)

ADD \$ _____

P. 6B

ADDENDUM NO. 1274-2

SECTION 010200 ALLOWANCES

PART 1 - GENERAL

1.1 SUMMARY

- A. Section includes administrative and procedural requirements for allowances.
- B. Itemized records and receipts for allowance items shall be presented to the Architect and Owner for audit. Unused funds shall be credited to the Owner.

1.2 ALLOWANCES

- A. Per Conditions of the Contract, the following Allowances shall be included in the Contract Sum, unless modified by the signed Agreement.
 - 1. MAW (Miscellaneous Additional Work)- Include a cash allowance of \$15,000.00 for Miscellaneous Additional Work as directed by the Architect.
 - 2. Division 8–Openings- Section 087100 “Door Hardware”’: Include an allowance sum of \$100. per door in the Base Bid to provide door hardware. The Allowance Amount shall include installation.
 - 3. Division 10–Specialties- Section 102800 “Toilet, Bath and Laundry Accessories” include an allowance sum of \$500. in the Base Bid to provide toilet, bath and laundry accessories. The Allowance Amount shall include installation
 - 4. Division 26–Electrical- Section 265100 "Light Fixtures”’: Include an allowance sum of \$80. per fixture in the Base Bid to provide lighting fixtures. Installation and electrical roughing shall be included in the base bid.

END OF SECTION 010200

SECTION 010300 ALTERNATES

PART 1 - GENERAL

1.1 SUMMARY

- . This Section includes administrative and procedural requirements for Alternates.

1.2 DEFINITIONS

- . Definition: An Alternate is an amount proposed by bidders and stated on the Bid Form for certain work defined in the Bidding Requirements that may be added to or deducted from the Base Bid amount if the Owner decides to accept a corresponding change in either the amount of construction to be completed, or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
 1. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate the Alternate into the Work. No other adjustments are made to the Contract Sum.

1.3 PROCEDURES

- . Coordination: Modify or adjust affected adjacent Work as necessary to completely and fully integrate that Work into the Project.
 1. Include as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not mentioned as part of the Alternate.
- B. Execute accepted alternates under the same conditions as other Work of this Contract.

1.5 SCHEDULE OF ALTERNATES

Where indicated on the Bid Form, state the amount to be added to or deducted from the Base Bid Proposal for:

- A. **ADD ALTERNATE NO. 1 (REPLACE SOUTH ADDITION)**
State the amount to be added to the base bid amount for replacing the existing south addition, consisting of the Existing Living Room, Existing Bathroom and Deck above, with new construction.
Base bid shall include retaining and raising the existing south addition with modifications indicated.

END OF SECTION 010300



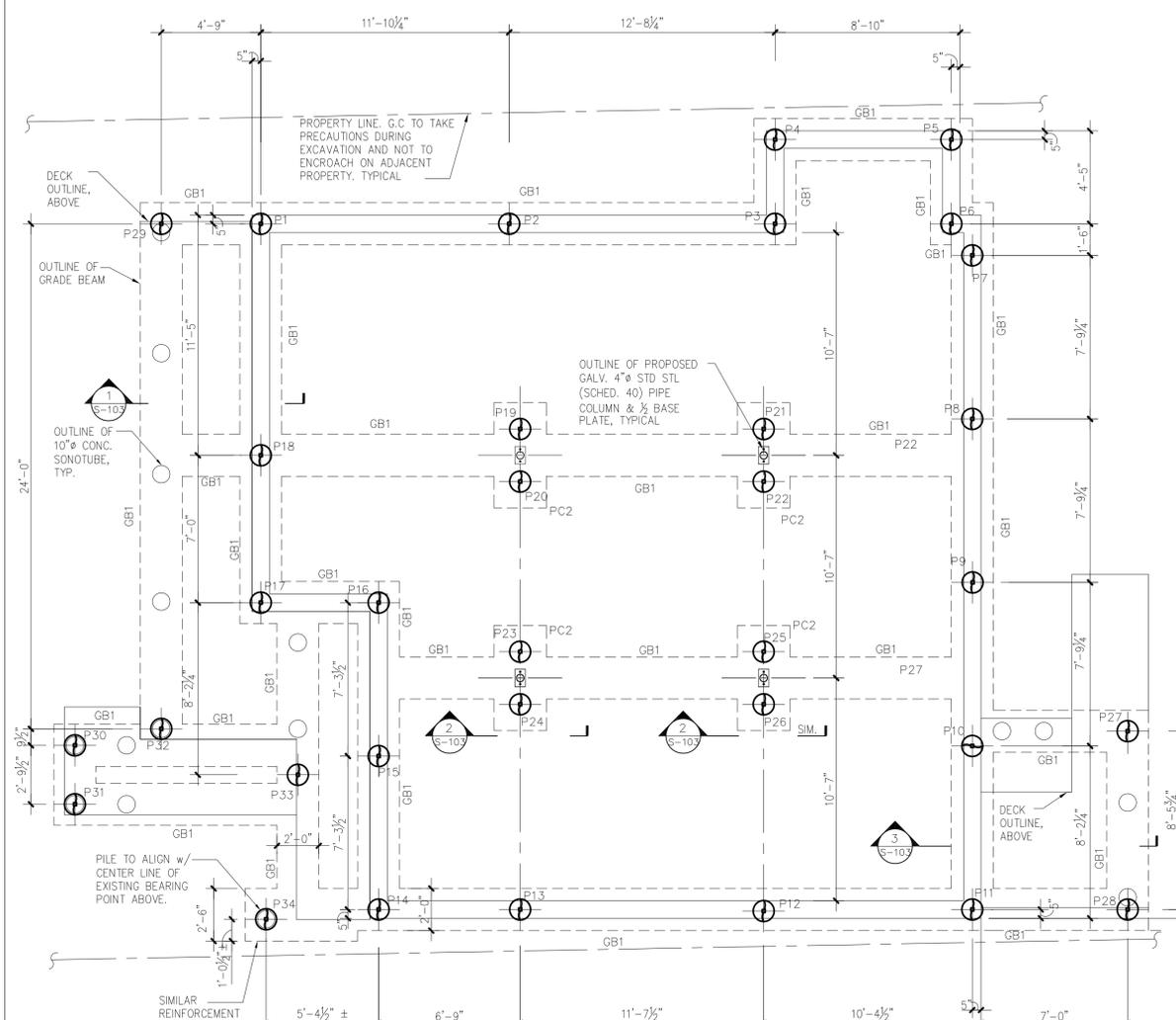
SURVEYOR:



ENVIRONMENTAL ENGINEER:

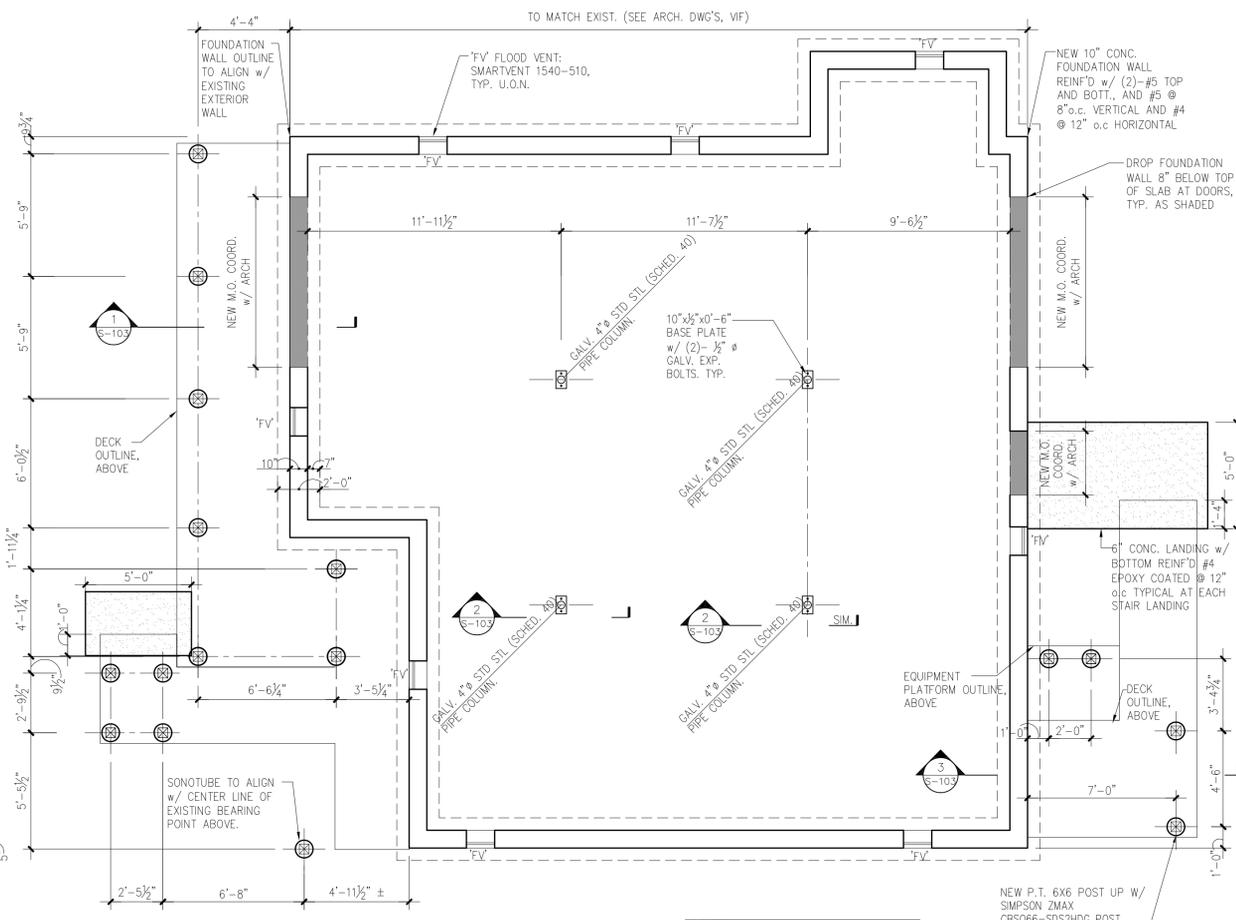


ISSUE NO.	ISSUE DATE	DESCRIPTION
2	14 MAY 2015	ADDENDUM NO. 1274-2
1	23 APRIL 2015	ISSUED FOR BID



- PROPOSED PILE PLAN**
 1/4" = 1'-0"
- NOTES:**
- ① DESIGNATES 40,000 # ALLOWABLE COMPRESSION HELICAL LOAD PILE.
 - AN EXPERIENCE GEOTECHNICAL ENGINEER SHALL MONITOR THE PILE INSTALLATION.
 - ⊕ B-# DESIGNATES SOIL BORING LOCATION, REFER TO SOIL BORING LOG, DRAWING S-106.
1. COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS AND SITE CONDITIONS.
 2. "GB1" DENOTES 2'-0"x2'-0" GRADE BEAM REINFORCED WITH (3)-#6 EPOXY COATED TOP AND BOTTOM CONTINUOUS REINFORCEMENT

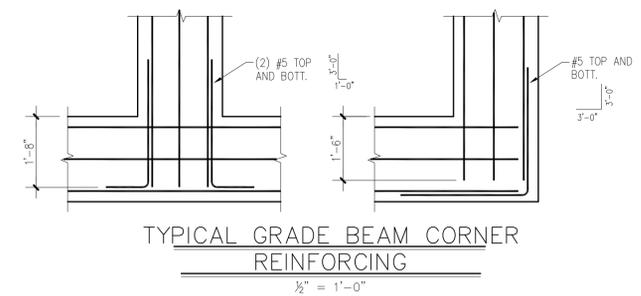
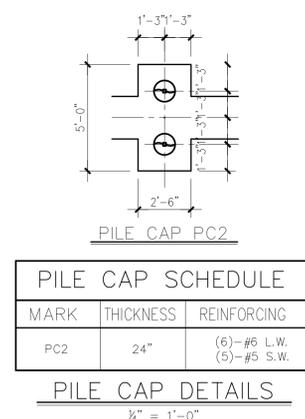
ALL REINFORCING SHALL BE EPOXY COATED.



- PROPOSED FOUNDATION PLAN**
 1/4" = 1'-0"
- NOTES:**
- COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS AND SITE CONDITIONS.
 - "FV" DESIGNATE FLOOD VENT ("SMART VENT")
 - DESIGNATES 10" φ CONC. SONOTUBE REIN'D w/ (3)-#4 BENT DOWELS, SEE DETAIL ON SHEET S103

FLOOD VENT NOTES: "FV"

- OVERALL FOOTPRINT = 1,118± SQUARE FEET
- "SMARTVENT" (8"x16") ALLOWABLE AREA RATING = 200 SF/ VENT
- 1,118 SF / 200 = 5.59 USE (8) "SMARTVENTS"

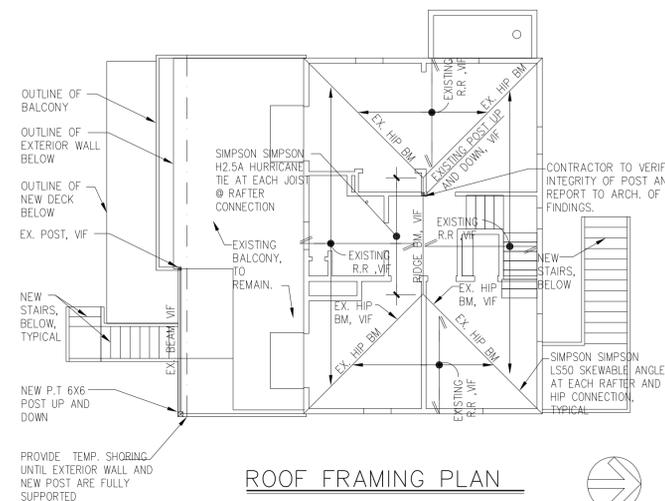


**State Of Connecticut
 Department Of Housing**
 505 Hudson Street
 Hartford, Connecticut 06106
**Hazardous Material Abatement
 Construction of New Foundation
 and Raising Existing Residence**
 for
Andrew Fraulo
 Application No. 1274
 254 Cosey Beach Avenue
 East Haven, Connecticut 06512

**PILE LOCATION, FOUNDATION
 PLAN**

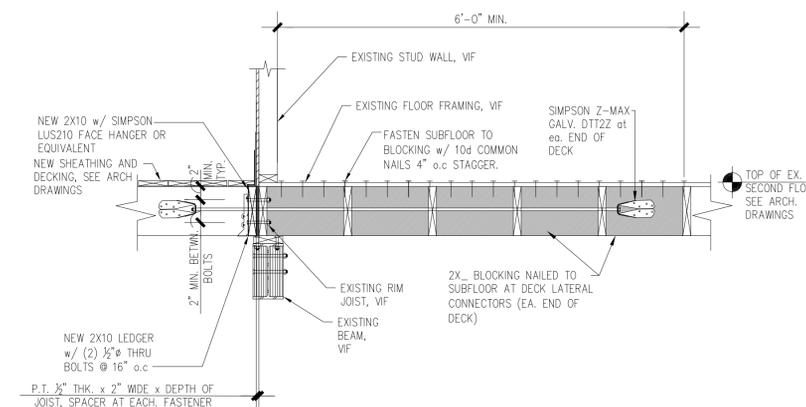
PROJECT NO.: 1524-14 SCALE

DRAWING NO.:



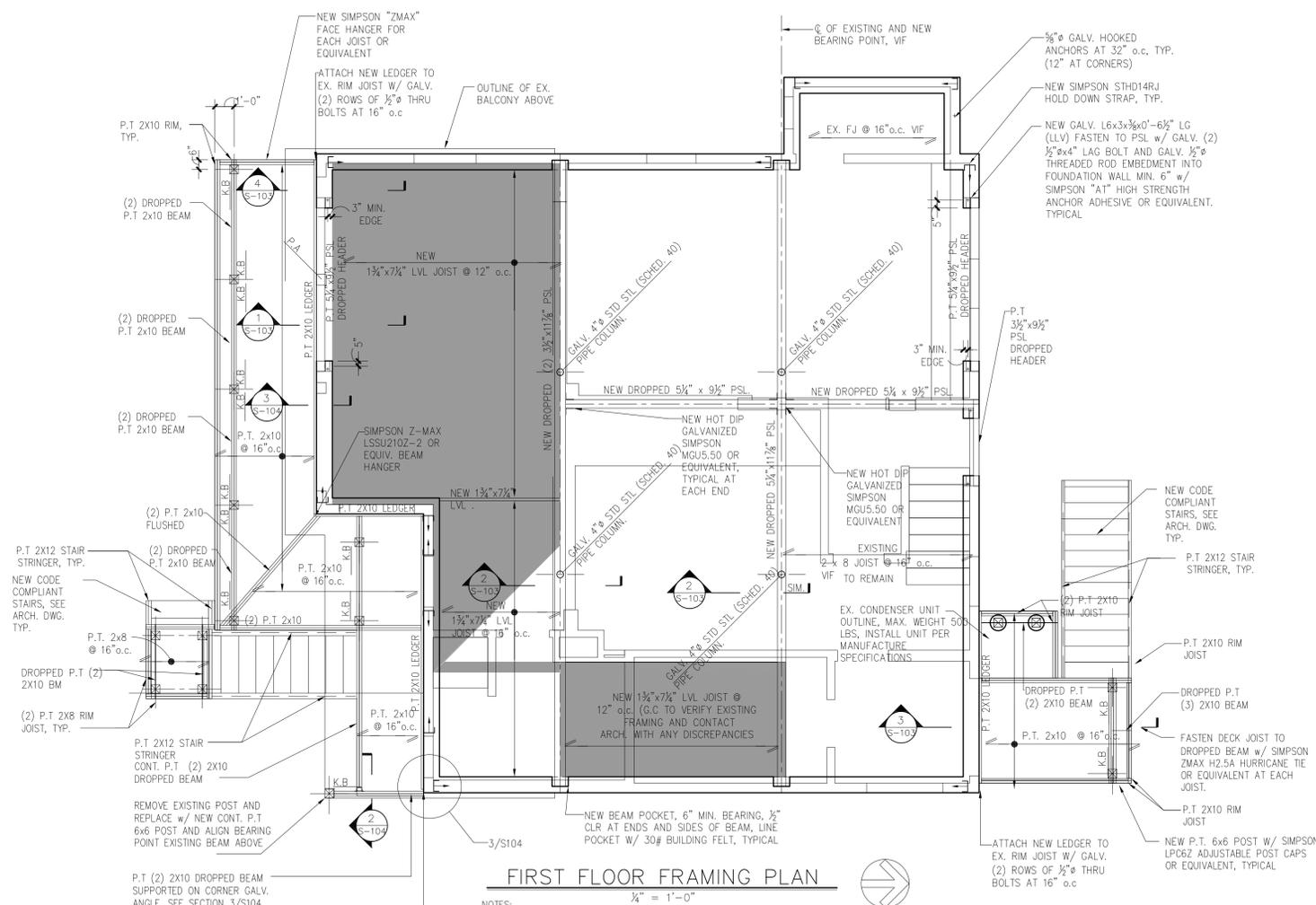
ROOF FRAMING PLAN
SHOWING SECOND FLOOR PLAN
1/4" = 1'-0"

- NOTES:**
- COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS AND SITE CONDITIONS.
 - GC TO VERIFY ROOF INTEGRITY AND NOTIFY ARCH. OF ANY DISCREPANCY.



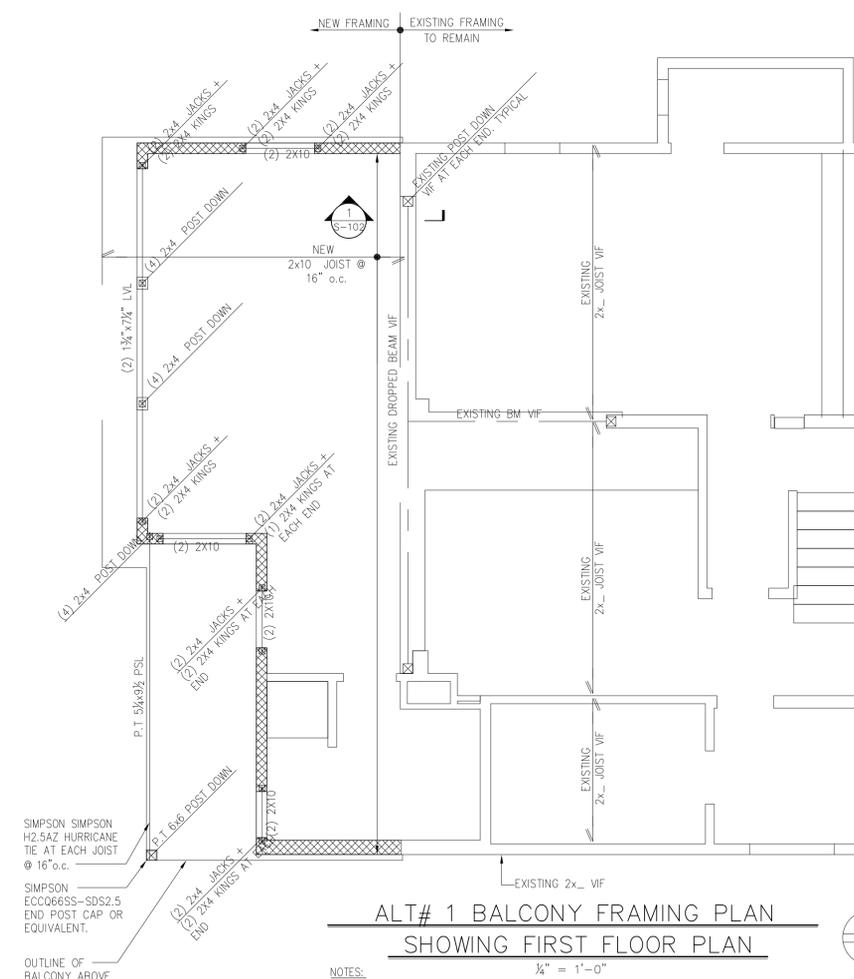
1
S102
BEAM SUPPORT
1/4" = 1'-0"

- NOTE:**
G.C. TO FIELD VERIFY EXISTING CONDITIONS AND CONTACT ARCH./
DESIGN ENGINEER WITH ANY DISCREPANCY.



FIRST FLOOR FRAMING PLAN
1/4" = 1'-0"

- NOTES:**
- REMOVE EXISTING SLEEPERS AND SUBFLOOR BEARING ON SLAB ON GRADE AND REPLACE W/ NEW FIRST FLOOR FRAMING AND SUB FLOOR COMPOSED OF 3/4" T&G APA RATED STURO-I-FLOOR, GLUE AND NAILED TO JOIST WITH 8D NAILS @ 6" o.c.
 - COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS AND SITE CONDITIONS.
 - "K.B": DENOTES P.T. 2X4 KNEE BRACES. SEE SECTION 1 ON SHEET S104
 - E- DESIGNATES NEW SIMPSON SHD14RJ HOLD DOWN STRAP, SEE DETAIL ON SHEET S105.
 - GC TO VERIFY BOTTOM ELEVATION OF EXISTING FLOOR JOIST AND NOTIFY ARCH. OF ANY DISCREPANCY.



ALT# 1 BALCONY FRAMING PLAN
SHOWING FIRST FLOOR PLAN
1/4" = 1'-0"

- NOTES:**
- ⊠ DENOTES NEW 2X4 @ 16" o.c.
 - FOR ADDITIONAL INFORMATION NOT SHOWN REFER TO ARCH. DRAWINGS.

2	14 MAY 2015	ADDENDUM NO. 1274-2
1	23 APRIL 2015	ISSUED FOR BID

ISSUE NO.	ISSUE DATE	DESCRIPTION
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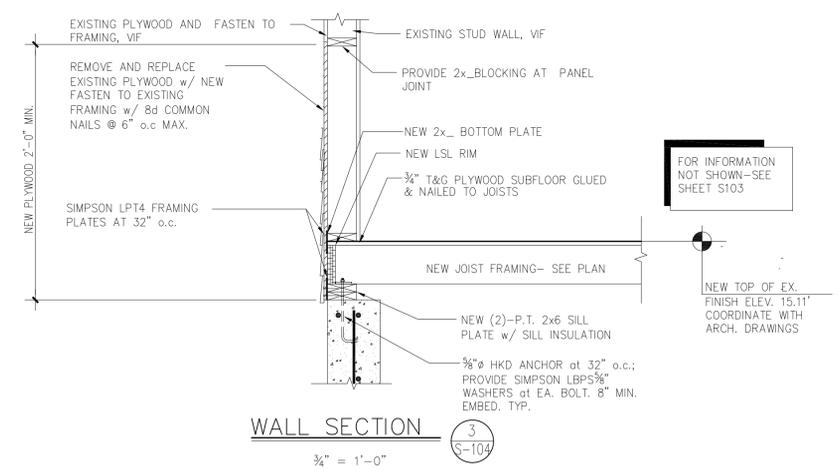
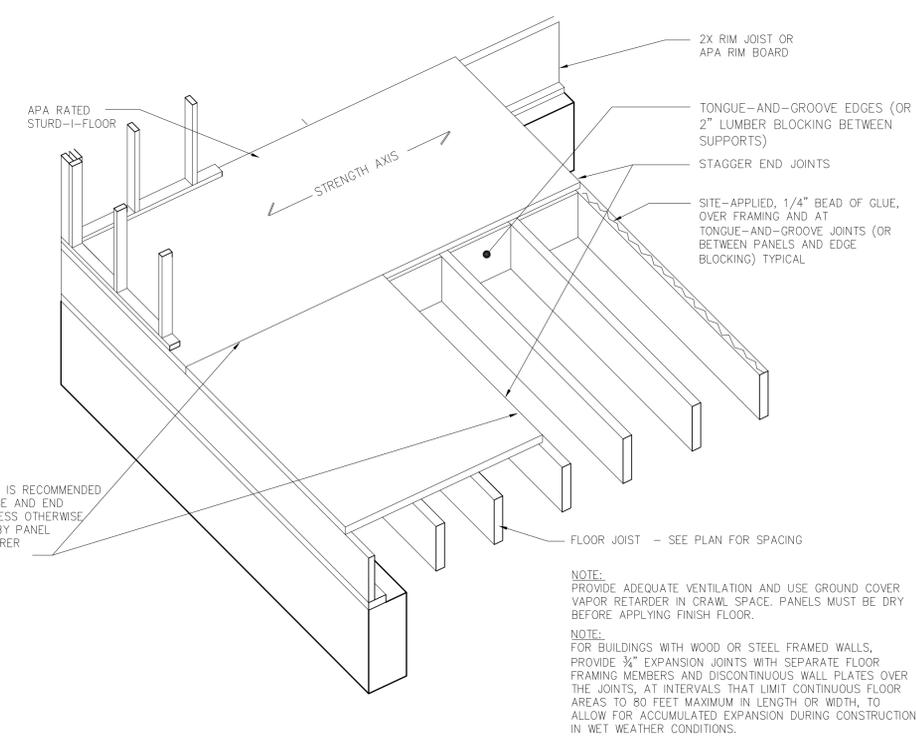
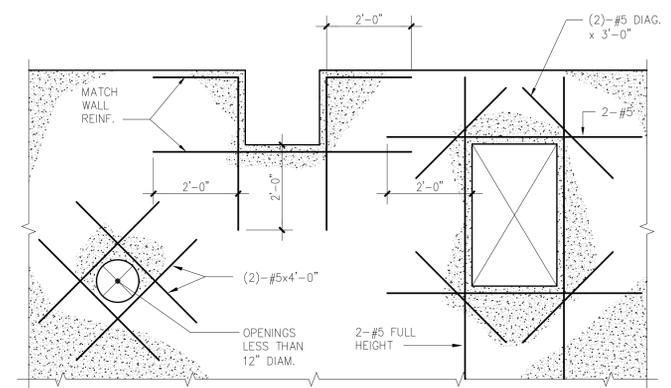
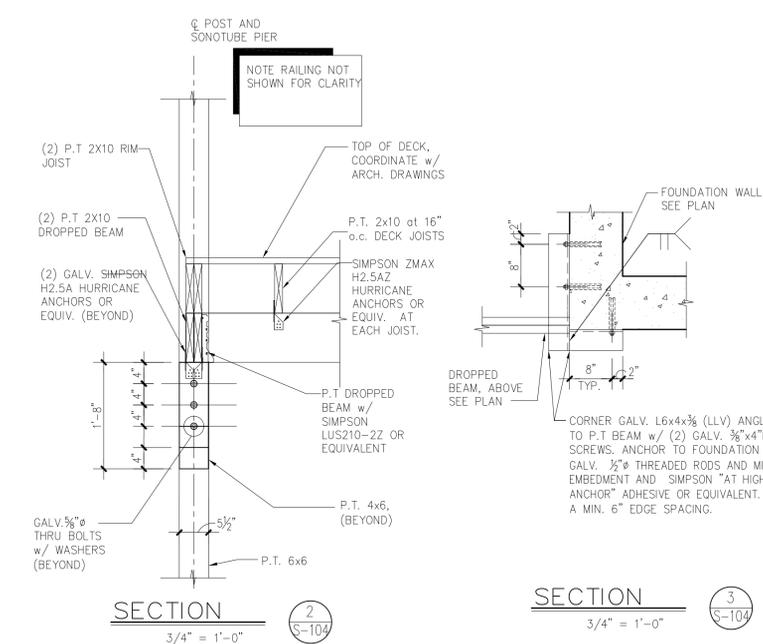
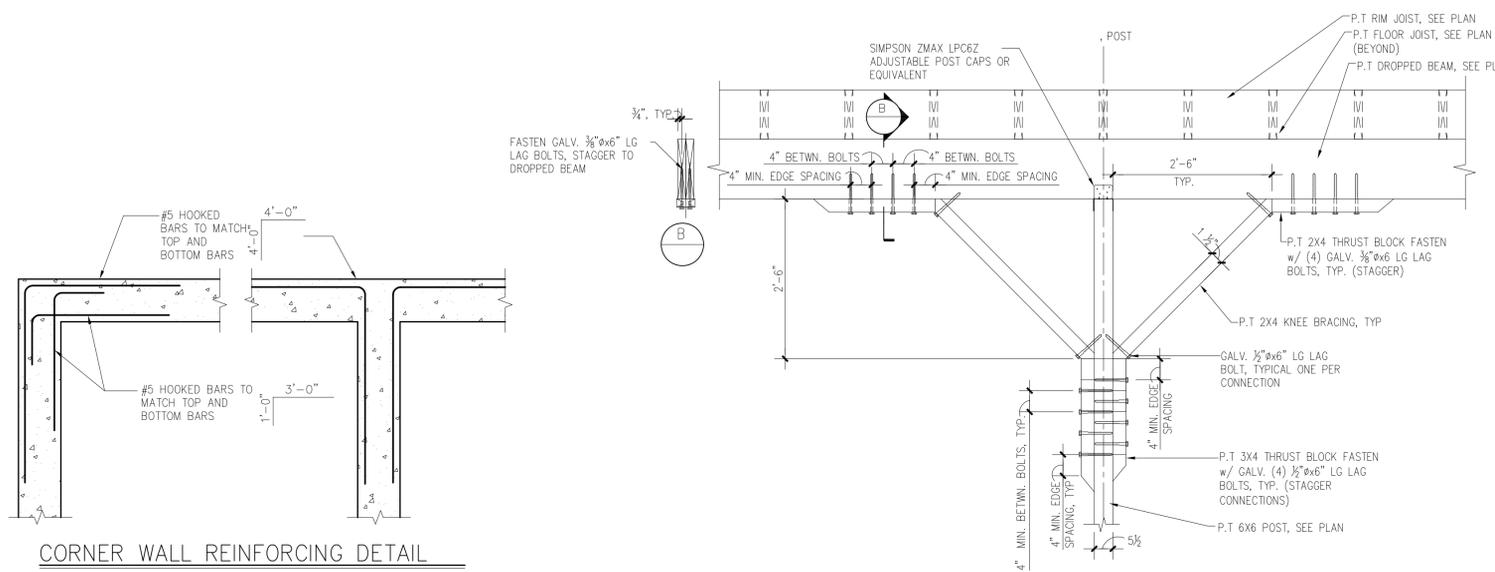
State Of Connecticut
Department Of Housing
505 Hudson Street
Hartford, Connecticut 06106
Hazardous Material Abatement
Construction of New Foundation
and Raising Existing Residence
for
Andrew Fraulo
Application No. 1274
254 Cosey Beach Avenue
East Haven, Connecticut 06512

**FIRST FLOOR FRAMING, EXIST.
ROOF FRAMING, ALTERNATE
BALCONY FRAMING & SECTION**

PROJECT NO.: 1524-14 SCALE

DRAWING NO.:

S102



ISSUE NO.	ISSUE DATE	DESCRIPTION
2	14 MAY 2015	ADDENDUM NO. 1274-2
1	23 APRIL 2015	ISSUED FOR BID

State Of Connecticut
Department Of Housing
505 Hudson Street
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STRUCTURAL SECTIONS II

PROJECT NO.: 1524-14 SCALE

DRAWING NO.:
S104



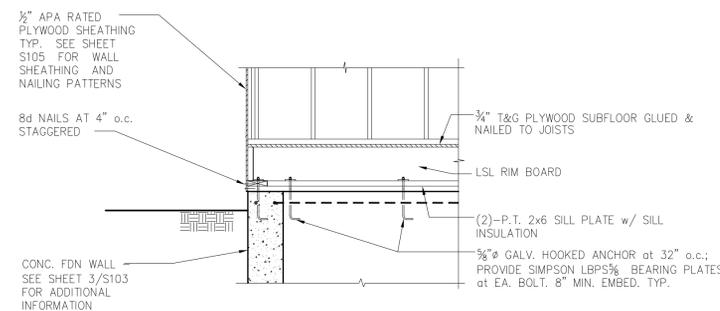
RE-NAIL EXISTING SHEATHING AS INDICATED ON THIS DRAWING.
INSTALL NEW SHEATHING ONLY AS DIRECTED BY ARCHITECT

HOLDOWN SCHEDULE			
MARK	HOLDOWN	POST	
		2x4 WALL	2x6 WALL
HD-1	STHD14RJ	(2) 2x4	(2) 2x6

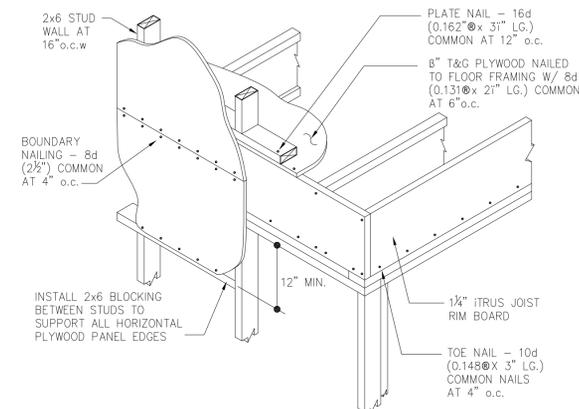
- NOTES:
- HOLD-DOWNS ARE MANUFACTURED BY SIMPSON STRONG-TIE.
 - BUILT-UP MEMBER WITH SIMPSON SDS25412 SCREWS, SPACED 6" o.c. STAGGERED ALONG ENTIRE LENGTH OF MEMBER. MAINTAIN 1" MIN. EDGE SPACING.

SHEAR WALL SCHEDULE					
MARK	FACES SHEATHED	FASTENER TYPE	PANEL PERIMETER NAILING	PANEL INTERIOR NAILING (MAX.)	RIM JOIST/BLOCKING TO TOP PLATE CONNECTION SIMPSON LTP4 CLIP
SW-1	ONE SIDE	8d COMMON	6" o.c.	12"	32" o.c.

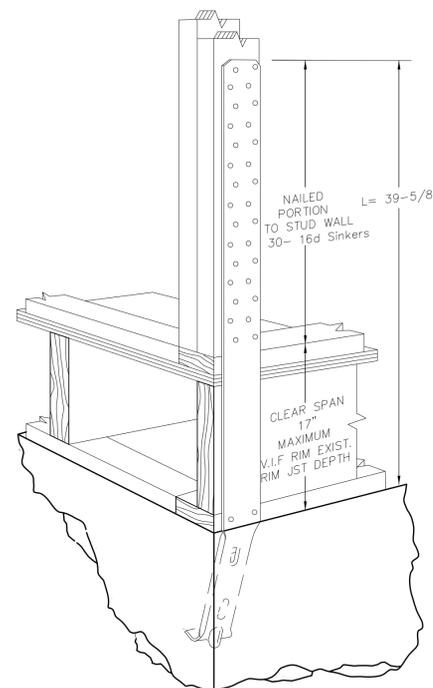
- NOTES:
- 1/2" (MIN.) APA RATED PLYWOOD SHEATHING.
 - MIN. NAIL PENETRATION INTO WOOD FRAMING SHALL BE 1 1/2".
 - PROVIDE HORIZONTAL BLOCKING AT ALL HORIZONTAL PLYWOOD JOINTS.



FOUNDATION ANCHORAGE
DETAIL
1/2" = 1'-0"



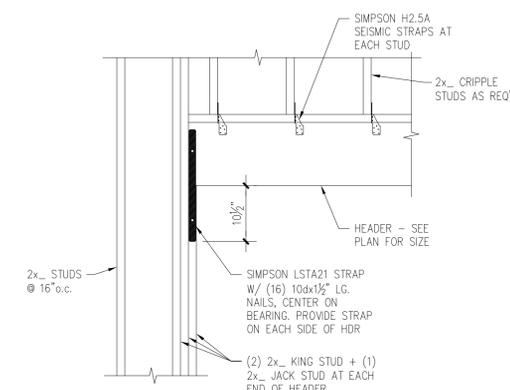
WALL SHEATHING DETAIL
NTS



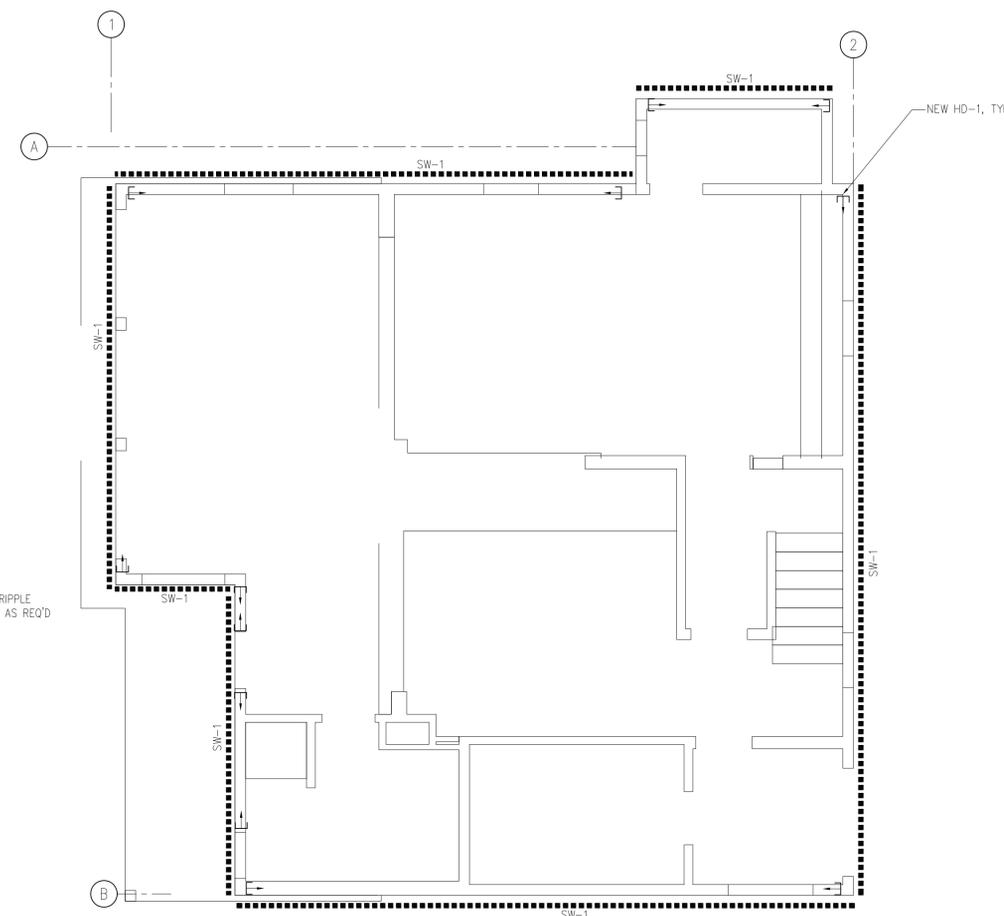
SIMPSON STHD14RJ DETAIL

NOT TO SCALE

INSTALL STRAP PER MANUFACTURE SPECIFICATIONS. REMOVE EXISTING SIDING AND INSTALL STRAP DIRECTLY TO FRAMING. CONTRACTOR TO FIELD VERIFY LOCATION OF STUDS PRIOR TO INSTALLING STRAP TO FOUNDATION WALL.



TYPICAL HEADER ANCHORAGE DETAIL
3/4" = 1'-0"



FIRST FLOOR SHEARWALL PLAN
1/4" = 1'-0"

- NOTES:
- SHEAR WALLS TO BE SHEATHED ON OUTSIDE FACE OF WALL.
 - PROVIDE HORIZONTAL BLOCKING AT ALL HORIZONTAL SHEATHING JOINTS.
 - SHEAR WALLS LOCATED AT PLUMBING WALLS SHALL BE SHEATHED AND FASTENED PRIOR TO INSTALLATION OF ANY PLUMBING FIXTURES THAT WOULD REDUCE SHEATHING LIMITS OR BLOCK SHEATHING INSTALLATION.
 - ALL SHEAR WALLS SHALL EXTEND UP TO THE UNDERSIDE OF OF ROOF DIAPHRAGM SHEATHING.

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SHEAR WALL PLAN AND SECTIONS

PROJECT NO.: 1524-14

SCALE

DRAWING NO.:

S105

