

AMAYA ARCHITECTS

ADDENDUM NUMBER 1

For:

**Witkin-Marcus Residence
39 Richard Street
Milford, Connecticut**

Project Number 1252

4th of September 2014

The Drawings and Specifications prepared by Amaya Architects and its Consultants entitled “**Elevate and Construction of a New Crawl Space**” and known as the “**Witkin-Marcus Residence located at 39 Richard Street, Milford, Connecticut**” Project Number 1252, Drawings and Specifications dated the 7th of August 2014 (Architectural Bid Set) and 15th of August 2014 (Structural Bid Set), are hereby amended in the following particulars:

<u>Item #</u>	<u>Section/Dwg</u>	<u>Description</u>
1	Bid Document	Bid Due Date – The bid due date has been “extended” to the 12 th of September 2014 at 10:00 AM – Bids must be delivered to Amaya Architects, 284 Racebrook Road, Orange, Connecticut by 10:00 AM.
2	Section 01230	Delete Section 01230 – Alternates – 3.1 Schedule of Alternates – Delete 3.1.A – “Dumbwaiter” from Specifications.
3	Section 01230	Add Section 01230 – Alternates – 3.1 Schedule of Alternates – Add 3.1.A - Provide alternate pricing to install “Vinyl Siding - Cedar Impressions” on entire house – As part of alternate pricing include removal of the existing siding down to the existing bead board siding, cover the bead board siding with ½” layer of Insulated Sheathing (as manufactured by Owens Corning or equal) – before installing new siding material. See attached Specification Section 07460 – Vinyl Siding for additional information.
4	Section 01230	Add Section 01230 – Alternates – 3.1 Schedule of Alternates – Add 3.1.B – Provide alternate pricing for “Vinyl Siding Double 4” Clapboard with rough cedar finish on entire house – As part of alternate pricing include removal of the existing siding down to the existing bead board siding, cover the bead board siding with ½” layer of Insulated Sheathing (as manufactured by Owens Corning or equal) – before installing new siding material.

		See attached Specification Section 07460 – Vinyl Siding for additional information.
5	Section 01230 DWG U1	Add Section 01230 – Alternates – 3.1 Schedule of Alternates – Add 3.1.C – Provide alternate pricing for the installation of a Gas Valve/Connection in Crawl Space. Price the installation of a valve with shut off on the newly installed gas line in the Crawl Space. Valve is for future use. See attached U1 Drawing (dated the 4 th of September 2014) for location and additional information.
6	Section 01230 DWG U1	Add Section 01230 – Alternates – 3.1 Schedule of Alternates – Add 3.1.D – Provide alternate pricing for Rough Plumbing (only) to serve Utility Sink in Crawl Space. Utility sink to be installed in the future and is not part of this Contract. See attached U1 Drawing (dated the 4 th of September 2014) for location and additional information.
7	Section 01230 SK2, SK2.1 and SK2.3	Add Section 01230 – Alternates – 3.1 Schedule of Alternates – Add 3.1.E – Provide alternate pricing for Roof over rear Entrance Door; include support bracket at end of roof, all framing, roofing materials and flashing – Per the attached SK2, SK2.1 and SK2.3 Drawing (dated the 4 th of September 2014).
8	Section 01210	Add Section 01210 – Allowances – Included with this Addendum is Section 01210 – Allowances. Include the line items and amounts listed as part of the base bid.
9	Drawing A2 and A3 SK2 and SK2.2	Delete reference to Garage (Overhead Door) into Crawl Space. Add pair of French Doors (similar to door on Left (West) Elevation – 3'-0" x 6'-8" (Pair of Type P1 Doors). See the attached SK2 and SK2.2 Drawings (dated the 4 th of September 2014) for additional information.
10	SK3 and SK3.1	Clarification – Remove bottom two courses of Wood Siding around entire building – Install new plywood as indicated in Detail 2/A4 – Provide new Wood Siding 3 Courses or reuse existing (removed siding) – See Item #11 for additional information. See attached SK3 and SK3.1 Drawings (dated the 4 th of September 2014).
11		Paint House - Paint entire house under Base Bid once the new wood siding is installed – Color to be similar to the existing – Include scraping of loose paint, one coat of primer/ sealer and one coat latex finish.

12	SK1 and SK1.1	Clarification – Front wood deck/platform shall remain and be “lifted” to new elevation as indicated on Drawings. Install new supports/footings as required and new guardrail. See SK1 and SK1.1 Drawings (dated the 4 th of September 2014) for additional information.
13	SK4	Change – Concrete slab elevation in Crawl Space to be raised 6” as indicated in SK4 Drawing (dated the 4 th of September 2014) and included as part of this addendum.
14		Clarification – Asbestos Containing Materials are present in the Joint Compound on the Second Floor. They do not have to be remediated. There is no work proposed on this level.
15		Clarification – Lead Painted Components are present on the ceilings and under the wood siding (existing bead board material). Remediate the lead paint only where the existing bead board material is removed and new sheathing material is installed – along base of house.
16		Clarification – Mold Contaminated Components are present in the Crawl Space on the existing floor joists. The mold needs to be remediated as part of the scope of work.

END OF ADDENDUM ONE

SECTION 01210 – ALLOWANCES

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. This Section includes administrative and procedural requirements governing the following:
 - 1. Lump-sum allowances.
 - 2. Unit-cost allowances.
 - 3. Quantity allowances.
 - 4. Contingency allowances.
 - 5. Testing and inspecting allowances.
- B. See Division 01 Section 01400 "Quality Requirements" for procedures governing the use of allowances for testing and inspecting.

1.3 SELECTION AND PURCHASE

- A. At the earliest practical date after award of the Contract, advise Architect of the date when final selection and purchase of each product or system described by an allowance must be completed to avoid delaying the Work.
- B. At Architect's request, obtain proposals for each allowance for use in making final selections. Include recommendations that are relevant to performing the Work.
- C. Purchase products and systems selected by Architect from the designated supplier.

1.4 SUBMITTALS

- A. Submit proposals for purchase of products or systems included in allowances, in the form specified for Change Orders.
- B. Submit invoices or delivery slips to show actual quantities of materials delivered to the site for use in fulfillment of each allowance.
- C. Coordinate and process submittals for allowance items in same manner as for other portions of the Work.

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1.5 COORDINATION

- A. Coordinate allowance items with other portions of the Work. Furnish templates as required to coordinate installation.

1.6 LUMP-SUM ALLOWANCES

- A. Allowance shall include cost to Contractor of specific products and materials selected by Architect under allowance and shall include taxes, freight, delivery to Project site, and installation (ready for use).
- B. Unless otherwise indicated, Contractor's costs for receiving and handling at Project site, labor, installation, overhead and profit, and similar costs related to products and materials selected by Architect under allowance shall be included as part of the allowance.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine products covered by an allowance promptly on delivery for damage or defects. Return damaged or defective products to manufacturer for replacement.

3.2 PREPARATION

- A. Coordinate materials and their installation for each allowance with related materials and installations to ensure that each allowance item is completely integrated and interfaced with related work.

3.3 SCHEDULE OF ALLOWANCES

- A. Allowances:
 - 1. Light Fixtures
(Fixtures shown on drawings in Crawl Space and on Exterior of Building – Allowance is for fixtures only in Crawl Space and Exterior of Building – Wiring should be included in Base Bid.)

Allowance Total: \$1,600.00

END OF SECTION 01210

SECTION 07460 – VINYL SIDING

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to work of this Section.

1.2 SUMMARY

- A. This Section includes siding and all siding accessories required for a complete installation. Accessories are based on type of siding selected.

1.3 SUBMITTALS

- A. Product Data: For each type of product indicated.
- B. Samples: For siding including related accessories.
- C. Qualification Data: For qualified vinyl siding Installer.
- D. Product certificates.
- E. Product test reports.
- F. Research/evaluation reports.
- G. Maintenance data.
- H. Warranty: Sample of special warranty.

1.4 QUALITY ASSURANCE

- A. Vinyl Siding Installer Qualifications: A qualified installer who employs a VSI-Certified Installer on Project.
- B. Source Limitations: Obtain each type, color, texture and pattern of siding, including related accessories, from single source from single manufacturer.
- C. Preinstallation Conference: Conduct conference at Project site.

1.5 WARRANTY

- A. Special Warranty: Standard form in which manufacturer agrees to repair or replace siding that fail(s) in materials or workmanship within specified warranty period.
 - 1. Warranty Period: Lifetime Limited Warranty including Lifetime Fade Protection to original purchaser.

1.6 EXTRA MATERIALS

- A. Furnish extra materials that match products installed and that are packaged with protective covering for storage and identified with labels describing contents.
 - 1. Furnish full lengths of siding including related accessories, in a quantity equal to 4 squares of each color and type installed or as otherwise directed by Owner.

PART 2 - PRODUCTS

2.1 VINYL SIDING

- A. General: Integrally colored vinyl siding complying with ASTM D 3679.
 - 1. Basis-of-Design Product: Subject to compliance with requirements, provide CertainTeed Monogram 46 Series or comparable product by one of the following:
 - a. Alside – Charter Oak
 - b. Georgia Pacific – Heritage Hill
- B. Design: Double 4" Clapboard, rough cedar finish with STUDfinder Installation System.
- C. Nail Hem: RigidForm 220 Technology Roll Over Nail Hem.
- D. Lock: CertiLock self-aligning post formed positive lock.
- E. Width: 8".
- F. Length: 12 Feet – 6 Inches.
- G. Nominal Thickness: 0.046 Inches.
- H. Panel Projection: 3/4 Inch.
- I. Panel Exposure: 4 Inch.
- J. Color: As selected by Owner from standard Manufacturer's color selections.

2.2 ALTERNATE SIDING

- A. Cedar Impressions® Double 7" Straight Edge Perfection Shingle as manufactured by CertainTeed.
- B. Design: Double 7" Straight Edge Perfection Shingles
- C. Lock: Molded perimeter lock for seamless appearance
- D. Width: 14"- Double course
- E. Length: 48"
- F. Nominal Thickness: .100"
- G. Panel Projection: $\frac{3}{4}$ "
- H. Panel Exposure: 7"
- I. Color: As selected by Owner from standard Manufacturer's color selections.

2.3 ACCESSORIES

- A. Siding Accessories, General: Provide starter strips, edge trim, outside and inside corner caps, and other items as recommended by siding manufacturer for building on figuration.
 - 1. Provide accessories made from same material as matching color and texture of adjacent siding unless otherwise indicated.
- B. Vinyl Accessories: Integrally colored vinyl accessories complying with ASTM D 3679 except for wind-load resistance.
 - 1. Texture: Smooth
- C. Flashing: Provide tin/zinc coated copper flashing complying with Division 07 Section "Sheet Metal Flashing and Trim" at window and door heads and where indicated.
- D. Fasteners:
 - 1. For fastening to wood, use siding nails of sufficient length to penetrate a minimum of 1 inch into substrate.
 - 2. For fastening to metal, use ribbed bugle-head screws of sufficient length to penetrate a minimum of $\frac{1}{4}$ inch, or three screw-threads, into substrate.
 - 3. For fastening vinyl, use hot-dip galvanized fasteners. Where fasteners will be exposed to view, use prefinished aluminum fasteners in color to match item being fastened.

2.4 INSULATION BOARD

- A. Insulation Board – General: Provide reinforced insulating sheathing over the existing bead board siding located under the existing wood shingles.
 - 1. Basis of Design: Foamular Propink Extruded Polystyrene (XPS) Rigid Foam Insulation as manufactured by Owens Corning.
 - 2. Other Sources: Other product sources will be considered.
- B. Product Compliance: Shall be as follows
 - 1. Thickness: ½” thick
 - 2. R-Value: R-3
 - 3. Compliance Standards: Meets or exceeds – ASTM C578 Type X
 - 4. Edges: Square

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine substrates for compliance with requirements for installation tolerances and other conditions affecting performance of siding and related accessories.
- B. Proceed with installation only after unsatisfactory conditions have been corrected.

3.2 INSTALLATION

- A. General: Comply with siding manufacturer’s written installation instructions applicable to products and applications indicated unless more stringent requirements apply.
 - 1. Do not install damaged components.
 - 2. Center nails in elongated nailing slots without binding siding to allow for thermal movement.
- B. Install vinyl siding and related accessories in accordance with ASTM D 4756.
 - 1. Install fasteners for horizontal vinyl siding no more than 16 inches o.c.
 - 2. Install fasteners for vertical vinyl siding no more than 12 inches o.c.
- C. Install rigid foam insulation as per manufacturer’s standards for the given application.

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- D. Install joint sealants as specified in Division 07 Section "Joint Sealants" and to produce weathertight installation.

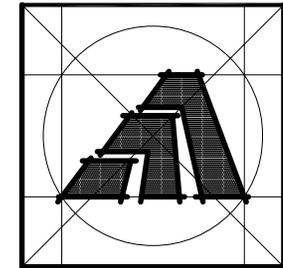
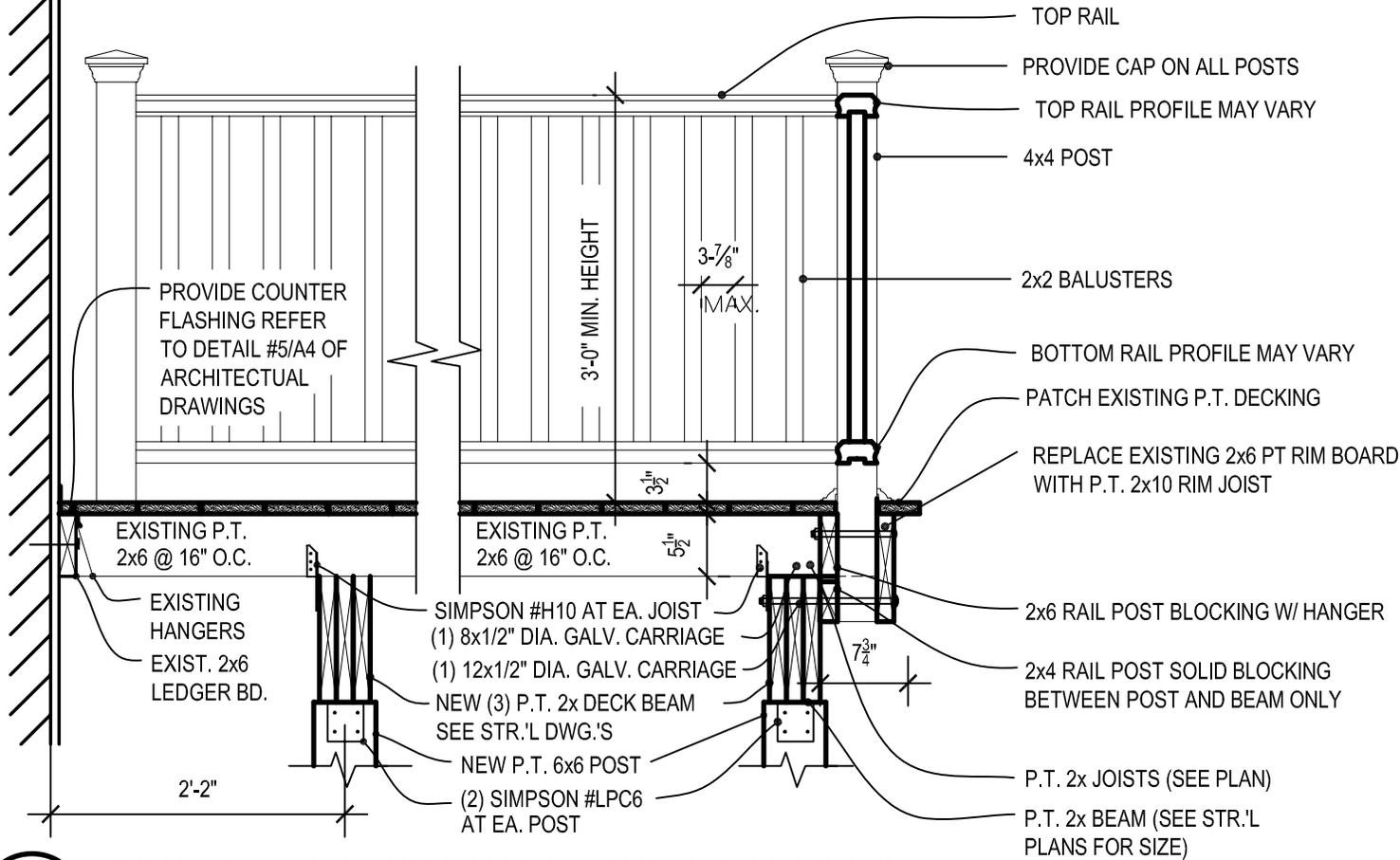
3.3 ADJUSTING AND CLEANING

- A. Remove damaged, improperly installed, or otherwise defective materials and replace with new materials complying with specified requirements.
- B. Clean finished surfaces according to manufacturer's written instructions and maintain in a clean condition during construction.

END OF SECTION 07460

DECK & RAIL NOTES:

1. RAILING / GUARDRAIL TO BE TREATED LUMBER
2. ALL FLOOR DECKING TO BE TREATED 5/4"x6"
3. DECKING SHALL BE PICTURE FRAMED SO THAT BD. ENDS ARE NOT EXPOSED.
4. ALL STRUCTURAL FRAMING TO BE P.T. LUMBER
5. ALL FASTENERS SHALL BE GALVANIZED



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Sheet Title:
REVISED FRONT EXIST. DECK

APPLICATION # 1252
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BLOCK GRANT
DISASTER RECOVERY PROGRAM
(CDBG-DR)

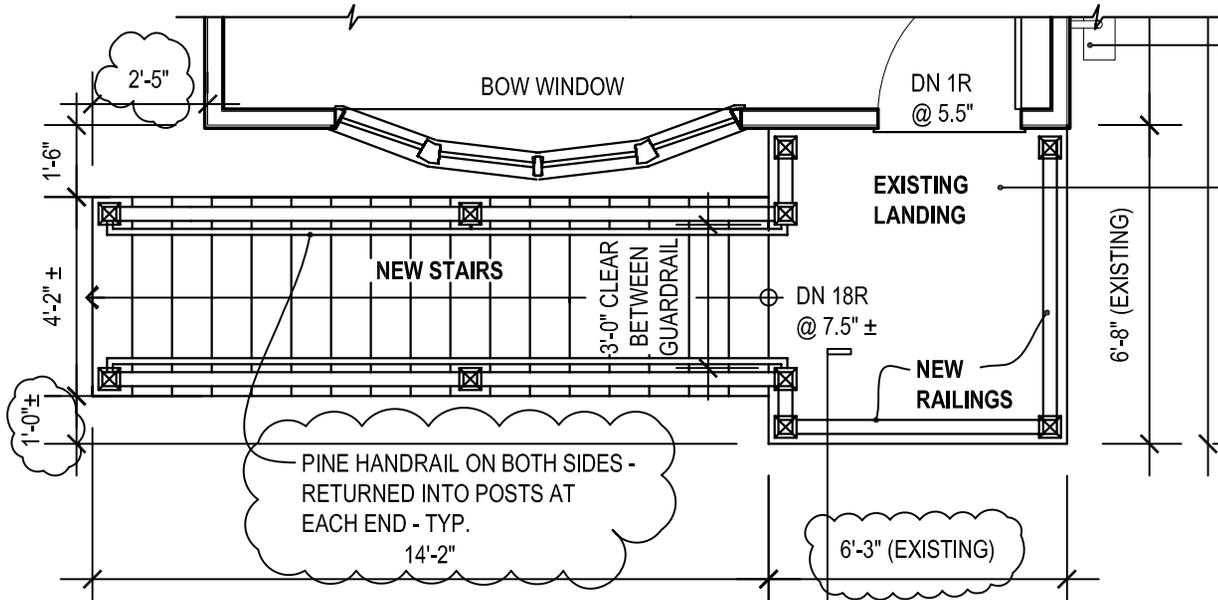
Date:
ISSUED 09/04/2014

Project Number: 1252
Drawn By: J.V.L.

Sheet Number:
SK1.1

1 EXISTING DECK W/ NEW RAIL AND BEAM DETAIL

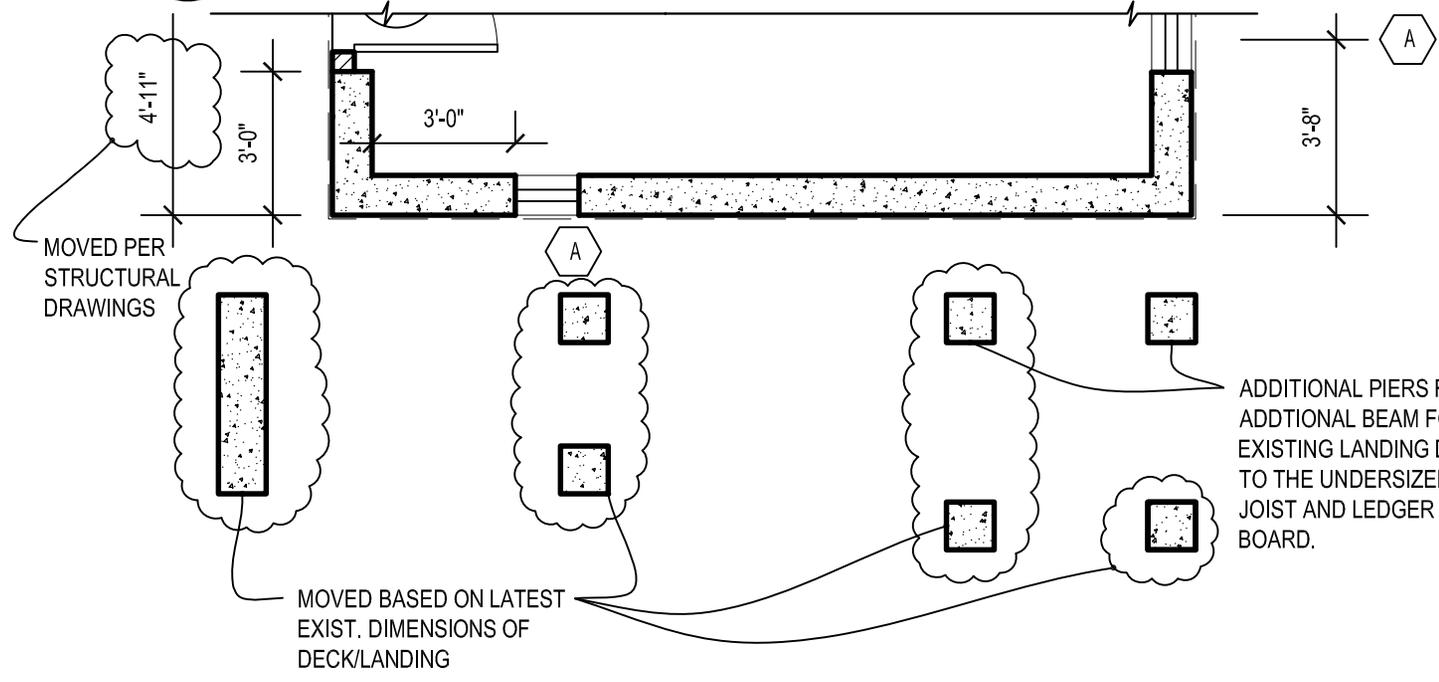
SK1.1 SCALE: 3/4" = 1'-0"



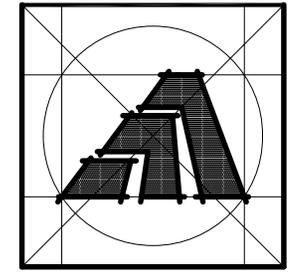
REINSTALL GAS METER LOC. TO BE VERIFIED

MODIFY EXISTING LANDING FOR ACCEPT NEW EXTENDED STAIRS PROVIDE (2) NEW P.T. BEAMS UNDER EXIST. 2x6 LANDING AND PROVIDE NEW RAILINGS TO MEET CODE

REF. **2** PARTIAL SECOND FLOOR PLAN
 A1 SCALE: 1/4"=1'-0"



REF. **1** PARTIAL FIRST FLOOR PLAN (CRAWL SPACE)
 A1 SCALE: 1/4"=1'-0"



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Sheet Title:
REV. FRONT DECK & HANDRAIL

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Project Number: 1252
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Sheet Number:
SK1

DOOR SCHEDULE

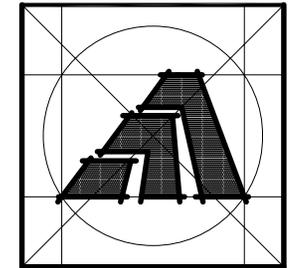
ABBREVIATIONS:
 CMST - COMPOSITE
 ALUM - ALUMINUM
 WD - WOOD
 MTL - MTL
 STD - STANDARD
 FGLS - FIBERGLASS
 PTD - PAINTED
 INT - INTERIOR
 EXT - EXTERIOR
 P.P. - PRE PAINTED

PERFORMANCE NOTE: EXTERIOR DOORS SHALL BE 0.31
 U-FACTOR BETTER AND MIN. DP 50 RATING
 PROVIDE IMPACT RESISTANT GLASS AS REQ'D

REV#	DR. NUM.	ROOM NUMBER	DOOR SIZE OR UNIT NUMBER (WIDTH x HEIGHT)	DOOR		FRAME		DETAILS			HARDWARE SET	REMARKS
				TYPE	MAT'L FINISH	MAT'L FINISH	HEAD	JAMB	SILL	LABEL		
	100	100	3'-0" x 6'-8" (SINGLE DOOR)	P1	CLAD P.P.	CMST P.P.	P.P.	9/44	9/44	8/44		
	100.1	100	6'-0" x 6'-8" (SINGLE DOOR)	P2	CLAD P.P.	CMST P.P.	P.P.	9/44	9/44	8/44		

*NOTE: DOOR SUPPLIER IS TO REVIEW ALL PLANS, ELEVATIONS & SCHEDULES.
 WINDOW & DOOR SUPPLIER IS TO REVIEW ALL ASPECTS OF DOOR SPECIFICATIONS &
 FUNCTIONS WITH THE OWNER AND/OR GENERAL CONTRACTOR.
 DOOR SUPPLIER IS TO PROVIDE SUBMITTALS FOR APPROVAL OF ALL
 SUPPLIED ITEMS BEFORE PLACING DOOR ORDER.

HARDWARE:
 1# KEYED ENTRY KNOB SET - SINGLE CYLINDER - BRASS



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Sheet Title:
NEW ROOF & REVISED DOOR

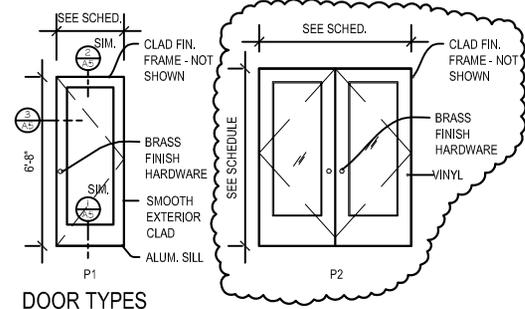
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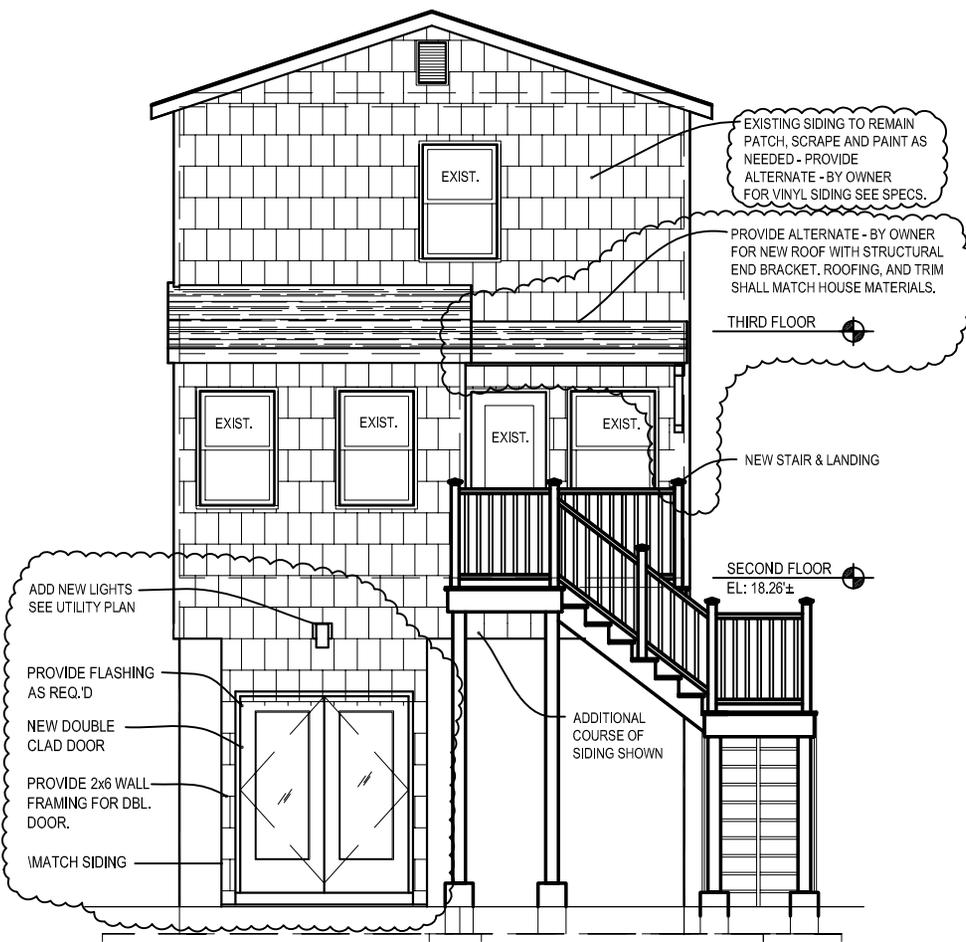
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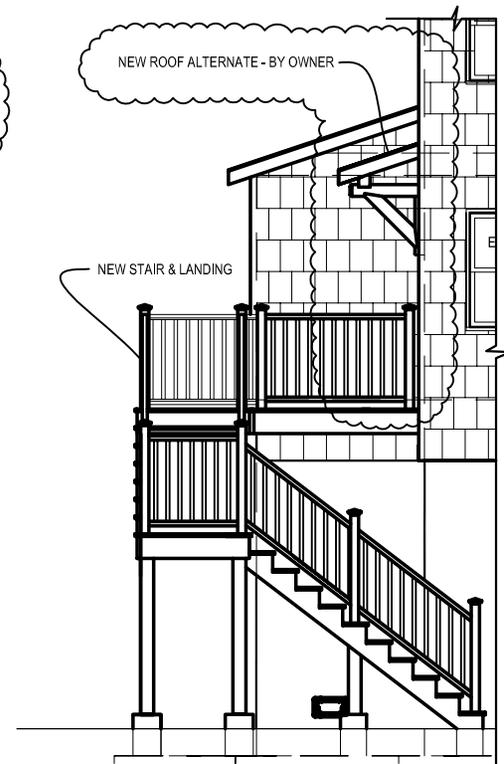
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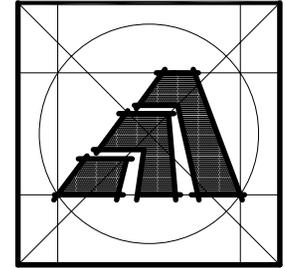
DOOR TYPES
 SCALE: 1/4" = 1'-0"



REF. **3** **REAR ELEVATION**
 A2 SCALE: N.T.S.



REF. **2** **PARTIAL SIDE ELEVATION**
 A2 SCALE: N.T.S.



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Sheet Title:
NEW DECK ROOF AND HANDRAIL

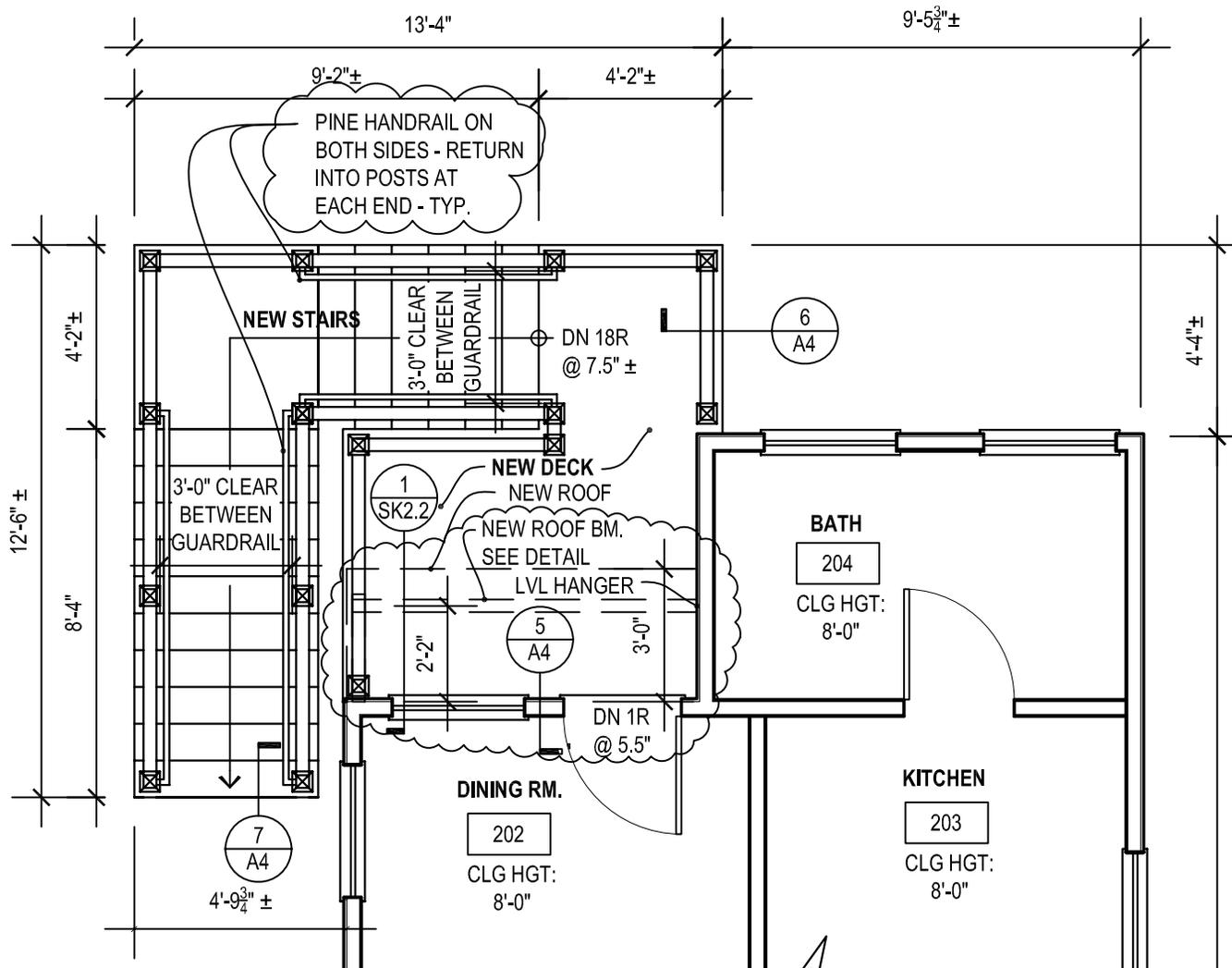
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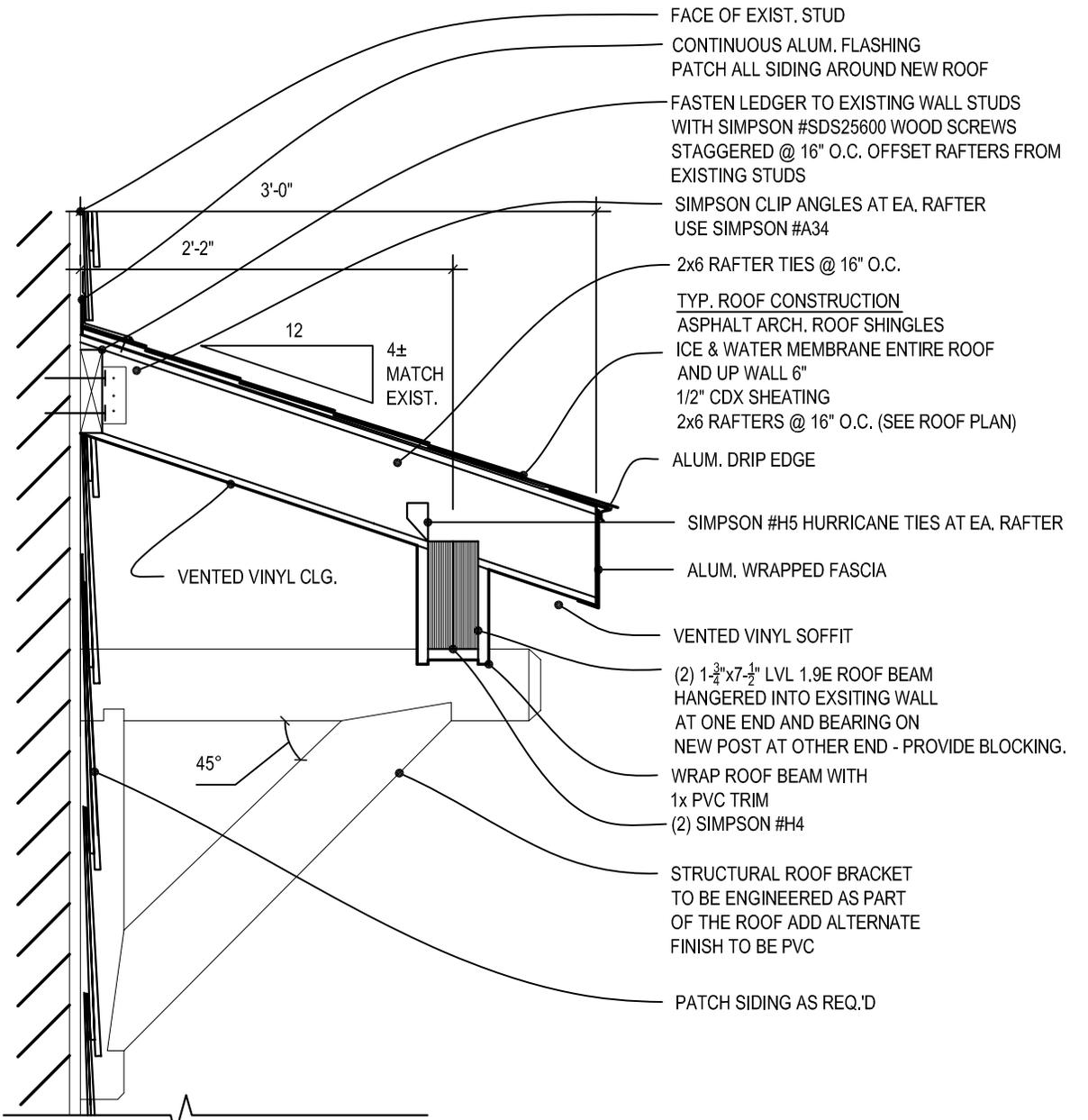
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Sheet Number:
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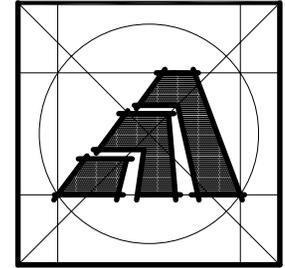


REF. **2** PARTIAL SECOND FLOOR PLAN
A1 SCALE: N.T.S.





1 ROOF DETAIL
SK.2.3 SCALE: 1" = 1'-0"



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NEW ROOF DETAIL

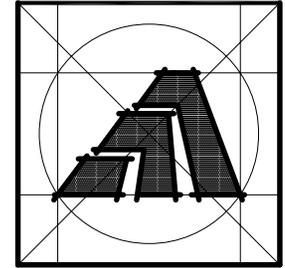
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SK2.3



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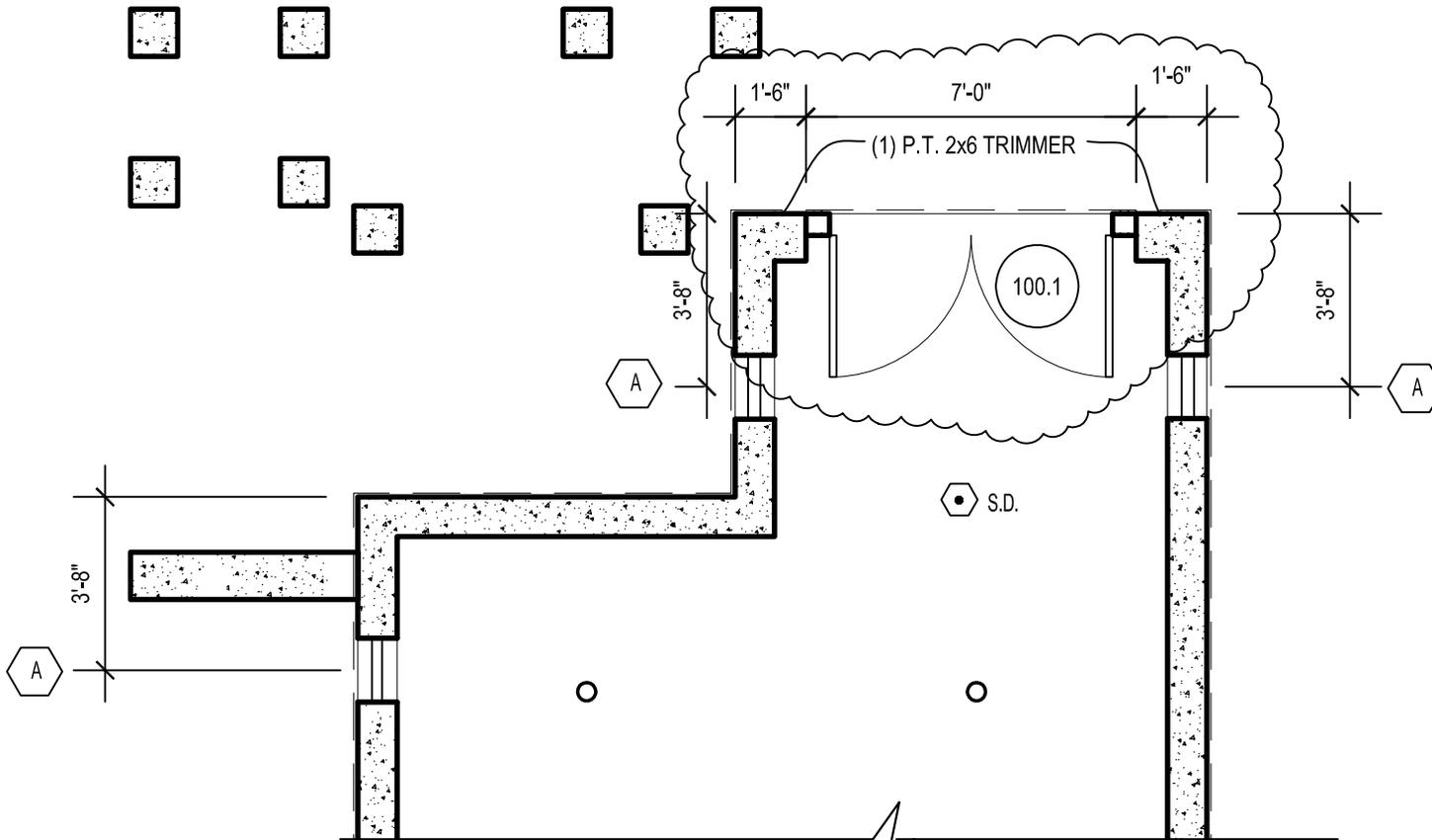
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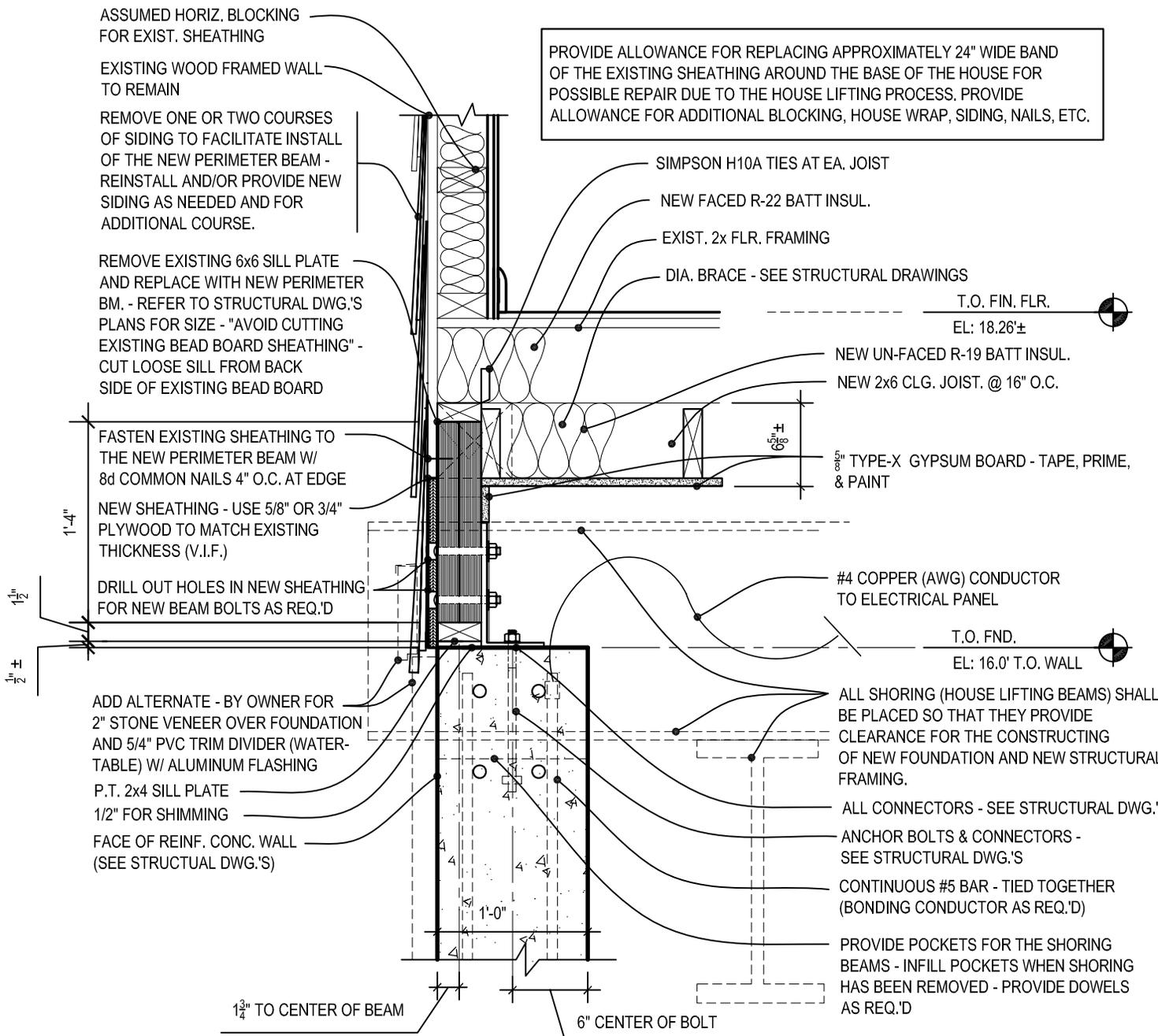
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SK2.2

REFER TO STRUCTURAL DRAWINGS FOR
FOUNDATION DETAILS & DIMENSIONS



REF. **2** PARTIAL FIRST FLOOR PLAN (CRAWL SPACE)
A1 SCALE: 1/4"=1'-0"





PROVIDE ALLOWANCE FOR REPLACING APPROXIMATELY 24" WIDE BAND OF THE EXISTING SHEATHING AROUND THE BASE OF THE HOUSE FOR POSSIBLE REPAIR DUE TO THE HOUSE LIFTING PROCESS. PROVIDE ALLOWANCE FOR ADDITIONAL BLOCKING, HOUSE WRAP, SIDING, NAILS, ETC.

ASSUMED HORIZ. BLOCKING FOR EXIST. SHEATHING
 EXISTING WOOD FRAMED WALL TO REMAIN
 REMOVE ONE OR TWO COURSES OF SIDING TO FACILITATE INSTALL OF THE NEW PERIMETER BEAM - REINSTALL AND/OR PROVIDE NEW SIDING AS NEEDED AND FOR ADDITIONAL COURSE.

REMOVE EXISTING 6x6 SILL PLATE AND REPLACE WITH NEW PERIMETER BM. - REFER TO STRUCTURAL DWG.'S PLANS FOR SIZE - "AVOID CUTTING EXISTING BEAD BOARD SHEATHING" - CUT LOOSE SILL FROM BACK SIDE OF EXISTING BEAD BOARD

FASTEN EXISTING SHEATHING TO THE NEW PERIMETER BEAM W/ 8d COMMON NAILS 4" O.C. AT EDGE

NEW SHEATHING - USE 5/8" OR 3/4" PLYWOOD TO MATCH EXISTING THICKNESS (V.I.F.)

DRILL OUT HOLES IN NEW SHEATHING FOR NEW BEAM BOLTS AS REQ.'D

ADD ALTERNATE - BY OWNER FOR 2" STONE VENEER OVER FOUNDATION AND 5/4" PVC TRIM DIVIDER (WATER-TABLE) W/ ALUMINUM FLASHING
 P.T. 2x4 SILL PLATE 1/2" FOR SHIMMING
 FACE OF REINF. CONC. WALL (SEE STRUCTUAL DWG.'S)

NEW UN-FACED R-19 BATT INSUL.
 NEW 2x6 CLG. JOIST. @ 16" O.C.

5/8" TYPE-X GYPSUM BOARD - TAPE, PRIME, & PAINT

#4 COPPER (AWG) CONDUCTOR TO ELECTRICAL PANEL

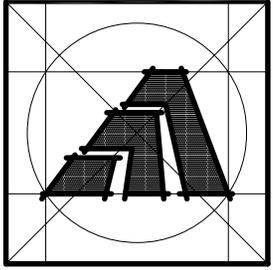
ALL SHORING (HOUSE LIFTING BEAMS) SHALL BE PLACED SO THAT THEY PROVIDE CLEARANCE FOR THE CONSTRUCTING OF NEW FOUNDATION AND NEW STRUCTURAL FRAMING.

ALL CONNECTORS - SEE STRUCTURAL DWG.'S

ANCHOR BOLTS & CONNECTORS - SEE STRUCTURAL DWG.'S

CONTINUOUS #5 BAR - TIED TOGETHER (BONDING CONDUCTOR AS REQ.'D)

PROVIDE POCKETS FOR THE SHORING BEAMS - INFILL POCKETS WHEN SHORING HAS BEEN REMOVED - PROVIDE DOWELS AS REQ.'D



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Sheet Title:
TYP. DETAIL - OPTION #1

APPLICATION # 1252
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 39 Richard Street
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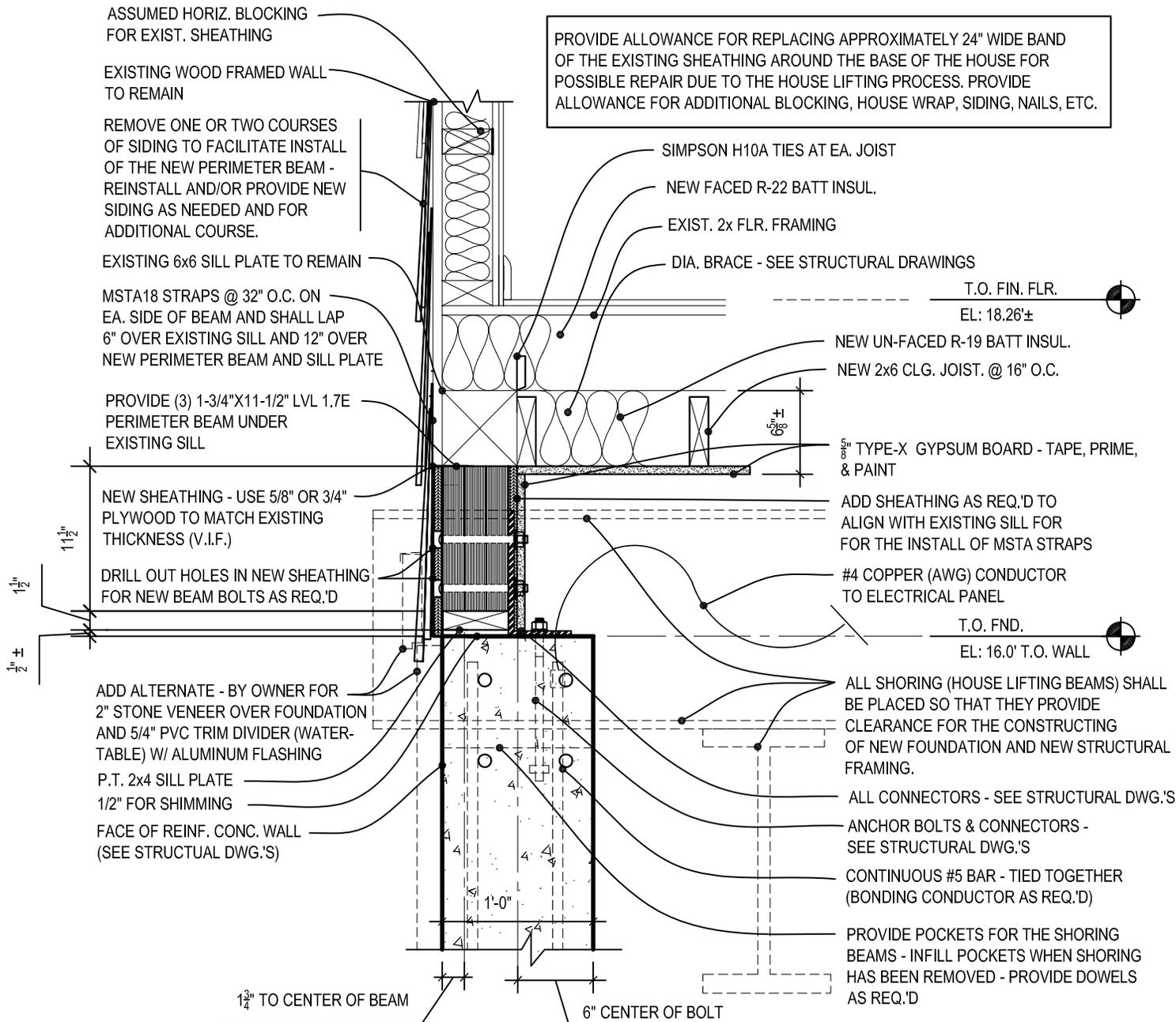
STATE OF CONNECTICUT
 DEPARTMENT OF HOUSING
 COMMUNITY DEVELOPMENT
 BLOCK GRANT
 DISASTER RECOVERY PROGRAM
 (CDBG-DR)

Date:
 ISSUED 09/04/2014

Project Number: 1252
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Sheet Number:
SK3

REF. **2** **TYPICAL DETAIL (OPTION #1)**
 A4 SCALE: 1" = 1'-0"



PROVIDE ALLOWANCE FOR REPLACING APPROXIMATELY 24" WIDE BAND OF THE EXISTING SHEATHING AROUND THE BASE OF THE HOUSE FOR POSSIBLE REPAIR DUE TO THE HOUSE LIFTING PROCESS. PROVIDE ALLOWANCE FOR ADDITIONAL BLOCKING, HOUSE WRAP, SIDING, NAILS, ETC.

ASSUMED HORIZ. BLOCKING FOR EXIST. SHEATHING

EXISTING WOOD FRAMED WALL TO REMAIN

REMOVE ONE OR TWO COURSES OF SIDING TO FACILITATE INSTALL OF THE NEW PERIMETER BEAM - REINSTALL AND/OR PROVIDE NEW SIDING AS NEEDED AND FOR ADDITIONAL COURSE.

EXISTING 6x6 SILL PLATE TO REMAIN

MST18 STRAPS @ 32" O.C. ON EA. SIDE OF BEAM AND SHALL LAP 6" OVER EXISTING SILL AND 12" OVER NEW PERIMETER BEAM AND SILL PLATE

PROVIDE (3) 1-3/4"X11-1/2" LVL 1.7E PERIMETER BEAM UNDER EXISTING SILL

NEW SHEATHING - USE 5/8" OR 3/4" PLYWOOD TO MATCH EXISTING THICKNESS (V.I.F.)

DRILL OUT HOLES IN NEW SHEATHING FOR NEW BEAM BOLTS AS REQ.'D

ADD ALTERNATE - BY OWNER FOR 2" STONE VENEER OVER FOUNDATION AND 5/4" PVC TRIM DIVIDER (WATER-TABLE) W/ ALUMINUM FLASHING

P.T. 2x4 SILL PLATE 1/2" FOR SHIMMING

FACE OF REINF. CONC. WALL (SEE STRUCTUAL DWG.'S)

SIMPSON H10A TIES AT EA. JOIST

NEW FACED R-22 BATT INSUL.

EXIST. 2x FLR. FRAMING

DIA. BRACE - SEE STRUCTURAL DRAWINGS

T.O. FIN. FLR.

EL: 18.26±

NEW UN-FACED R-19 BATT INSUL.

NEW 2x6 CLG. JOIST. @ 16" O.C.

5/8" TYPE-X GYPSUM BOARD - TAPE, PRIME, & PAINT

ADD SHEATHING AS REQ.'D TO ALIGN WITH EXISTING SILL FOR FOR THE INSTALL OF MST STRAPS

#4 COPPER (AWG) CONDUCTOR TO ELECTRICAL PANEL

T.O. FND.

EL: 16.0' T.O. WALL

ALL SHORING (HOUSE LIFTING BEAMS) SHALL BE PLACED SO THAT THEY PROVIDE CLEARANCE FOR THE CONSTRUCTING OF NEW FOUNDATION AND NEW STRUCTURAL FRAMING.

ALL CONNECTORS - SEE STRUCTURAL DWG.'S

ANCHOR BOLTS & CONNECTORS - SEE STRUCTURAL DWG.'S

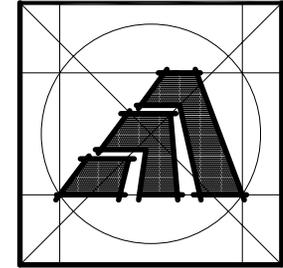
CONTINUOUS #5 BAR - TIED TOGETHER (BONDING CONDUCTOR AS REQ.'D)

PROVIDE POCKETS FOR THE SHORING BEAMS - INFILL POCKETS WHEN SHORING HAS BEEN REMOVED - PROVIDE DOWELS AS REQ.'D

13/4" TO CENTER OF BEAM

6" CENTER OF BOLT

REF. 2 TYPICAL DETAIL (OPTION #2)
A4 SCALE: 1" = 1'-0"



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Sheet Title:
TYP. DETAIL OPTION #2

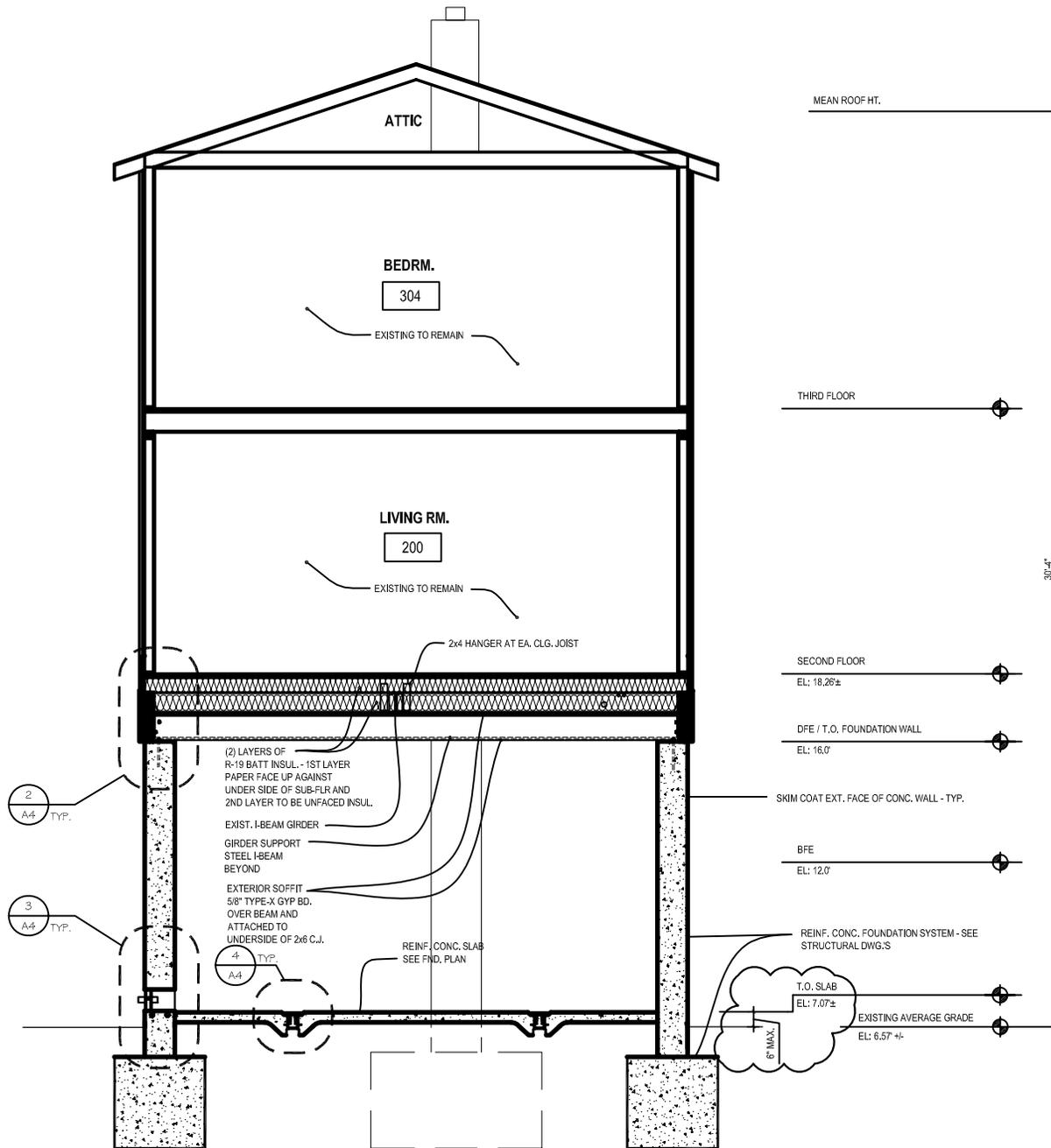
APPLICATION # 1252
WITKIN-MARCUS RESIDENCE
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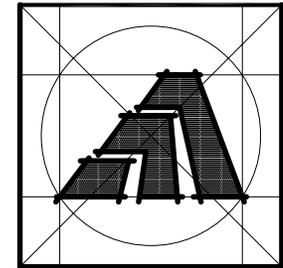
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REF. **1** SECTION
A4 SCALE: N.T.S.



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