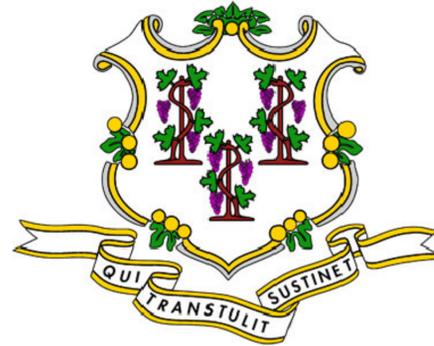


SUPER STORM SANDY *Response and Recovery*

STATE OF CONNECTICUT DEPARTMENT OF HOUSING COMMUNITY DEVELOPMENT BLOCK GRANT DISASTER RECOVERY PROGRAM

OWNER OCCUPIED REHABILITATION
AND REBUILDING PROGRAM (OORR)

GOVERNOR OF CONNECTICUT:
DANNEL P. MALLOY



COMMISSIONER OF HOUSING:
EVONNE M. KLEIN

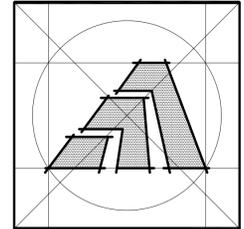
APPLICATION NO. 1252

WITKIN-MARCUS RESIDENCE
39 RICHARD STREET
MILFORD, CONNECTICUT 06460

AUGUST 07, 2014



ARCHITECT:



Amaya Architects

American Institute of Architects

284 RACEBROOK RD. TEL (203) 795 5656
ORANGE, CT 06477 FAX (203) 799 3871

S.M.E.P. ENGINEER:



Engineering • Construction • EHS • Energy • Waste

Loureiro Engineering Associates, Inc.
100 Northwest Drive
Plainville, Connecticut 06062
Phone: 860-747-6181 / Fax: 860-747-8822
An Employee Owned Company
email : info@loureiro.com
Comm No. 01MH4.08

LAND SURVEYOR:

C.C.G. - CT CIVIL GROUP, LLC
158 Research Drive, Milford, CT. 06460

GENERAL NOTES

- SCOPE OF WORK INCLUDES: RAISE EXISTING HOUSE, ADD NEW REINF. CONC. FOUNDATION, ADD NEW DECK AND STAIRS, AND INTERIOR AND STRUCTURAL ALTERATIONS.
- THE WORK DESCRIBED IN THESE DOCUMENTS IS TO MEET HIGHEST QUALITY STANDARDS IN BOTH MATERIAL AND WORKMANSHIP. ANY SUBSTANDARD WORK WILL BE REJECTED.
- ALL WORK SHALL CONFORM TO THE MUNICIPALITY'S APPLICABLE BUILDING CODE, FIRE DEPT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE BUILDING DEPT, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES AS REQUIRED BY GOVERNING MUNICIPAL AGENCIES.
- THE CONTRACTOR SHALL VERIFY ALL DRAWING DIMENSIONS AND FIELD CONDITIONS, AND SHALL REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCING WORK.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWING.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH THE REQUIREMENTS OF LOCAL AUTHORITIES.
- THE CONTRACTOR SHALL LAYOUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR ALL OTHER TRADES (PLUMBING, ELECTRICAL, ETC.) IF APPLICABLE.
- PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGNING IF APPLICABLE.
- THE CONTRACTOR UPON COMPLETION OF JOB, SHALL APPLY FOR CERTIFICATE OF OCCUPANCY, AND SHALL ARRANGE FOR BUILDING DEPT INSPECTIONS AND SIGN-OFFS REQUIRED.
- MANUFACTURED ARTICLES ARE TO BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS IN ALL CASES. CONTRACTOR SHALL NOTIFY DESIGNER OF ANY CONDITIONS THAT IS IN CONFLICT WITH MANUFACTURER'S SPECIFICATIONS OR INSTRUCTIONS THAT MIGHT VOID A MANUFACTURER'S WARRANTY.
- THE CONTRACTOR SHALL ASSEMBLE IN A BINDER AND PASS ALONG TO THE OWNER ALL EQUIPMENT AND MATERIAL WARRANTIES THAT MAY EXTEND BEYOND THE BASE GUARANTEE PERIOD, AS WELL AS INSTALLATION AND MAINTENANCE INSTRUCTIONS IF APPLICABLE.
- NO SUBSTITUTIONS FOR MATERIALS SPECIFIED HEREIN SHALL BE PERMITTED WITHOUT PRIOR APPROVAL BY ARCHITECT.
- ARCHITECT AND ASSOCIATED CONSULTANTS DISCLAIMS ANY ACTUAL OR CONSEQUENTIAL DAMAGES ARISING FROM THIRD PARTY RELATIONSHIPS. THESE DRAWINGS DO NOT PROVIDE ALL OR ANY SPECIFIC DETAIL IN AREAS INCLUDING BUT NOT LIMITED TO NAILING, GLUING, CAULKING, FLASHING, PAINTING AND WATERPROOFING, OR CRAFTSMANSHIP. G.C. IS RESPONSIBLE TO PROVIDE PROPER SUPERVISED WORKMANSHIP.

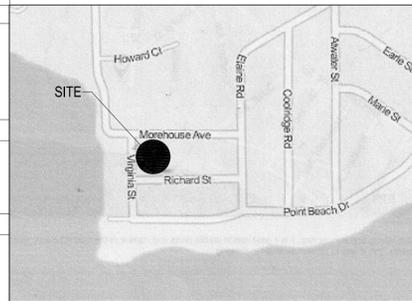
ABBREVIATIONS

AC AIR CONDITIONING	L LENGTH
ACU AIR CONDITIONING UNIT	LAM LAMINATE
AFF ABOVE FINISHED FLOOR	LAV LAVATORY
AHU AIR HANDLING UNIT	LBL LABEL
ALUM ALUMINUM	LBS POUNDS
ANOD ANODIZED	LH LEFT HAND
AT ACOUSTICAL TILE	LN FT LINEAR FEET
BD BOARD	LT LIGHT
BLDG BUILDING	LTG LIGHTING
BO BY OTHERS	MAS MASONRY
CAB CABINET	MAX MAXIMUM
CD CEILING DIFFUSER	MECH MECHANICAL
CFM CUBIC FEET PER MINUTE	MFR MANUFACTURE(R)
< CENTER LINE	MIN MINIMUM
CLG CEILING	MISC MISCELLANEOUS
CLL CONTRACT LIMIT LINE	MM MILLIMETER
CMU CONCRETE MASONRY UNIT	MO MASONRY OPENING
COL COLUMN	MTD MOUNTED
CONC CONCRETE	MTL METAL
CONST CONSTRUCTION	MULL MULLION
CONT CONTINUOUS	MW MILLWORK
CPT CARPET(ED)	NA NOT APPLICABLE
CS COUNTER SINK	NIC NOT IN CONTRACT
CT CERAMIC TILE	NO NUMBER
CNT COUNTER	NOM NOMINAL
CU FT CUBIC FEET	NTS NOT TO SCALE
CU IN CUBIC INCHES	OC ON CENTER
CW COLD WATER (CITY)	OD OUTSIDE DIAMETER
D DEPTH	OPNG OPENING
DEMO DEMOLITION	OPP OPPOSITE
DET DETAIL	PART PARTITION
DF DRINKING FOUNTAIN	PL PLATE
DHW DOMESTIC HOT WATER	PL LAM PLASTIC LAMINATE
DIAG DIAGONAL	PLBG PLUMBING
DIAM DIAMETER	PLYWD PLYWOOD
DIM DIMENSION	PNL PANEL
DN DOWN	PNT PAINT
DR DOOR	PT POINT
	QT QUARRY TILE
DS DOOR STOP	R RISE(R)
DW DISH WASHER	RA RETURN AIR
DWG DRAWING	RAD RADIUS
DWR DRAWER	RD ROOF DRAIN
EA EACH	REF REFERENCE
EF EXHAUST FAN	REINF REINFORCE
EH ELECTRIC HEATER	REM REMOVE
EL.ELEV. ELEVATION	REQD REQUIRED
ELEC ELECTRIC	REV REVISION
EMER EMERGENCY	RH RIGHT HAND
ENG ENGINEER	RM ROOM
EP ELECTRIC PANEL	RO ROUGH OPENING
EQ EQUAL	RPM REVOLUTIONS PER MINUTE
EQUIP EQUIPMENT	SA SUPPLY AIR
EXIST'G EXISTING	SC SOLID CORE
EXP EXPANSION	SHT SHEET
EXT EXTERIOR	SIM SIMILAR
FACT FIN FACTORY FINISH	SP SPEAKER
FBO FURNISHED BY OTHERS	SPEC(S) SPECIFICATION(S)
FE FIRE EXTINGUISHER	SQ SQUARE
FEC FIRE EXTINGUISHER CABINET	SQ FT SQUARE FOOT (FEET)
FEE FINISH FLOOR ELEVATION	SQ IN SQUARE INCH
FIN FINISHED	SS STAINLESS STEEL
FL FLUORESCENT	ST STREET
FPF FACE OF FINISH	STD STANDARD
FP FIRE PROOFING	SUSP SUSPENDED
FPSC FIRE PROOF SOLID CORE	SYM SYMMETRY(ICAL)
FR FIRE RESISTANT	SYS SYSTEM
FS FULL SCALE	T & G TONGUE & GROOVE
FT FEET	TEL TELEPHONE
FTF FINNED TUBE RADIATION	TEMP TEMPERATURE
GA GALIGE	THERM THERMOSTAT
GC GENERAL CONTRACTOR	THK THICKNESS
GL GLASS	THRU THROUGH
GWB GYPSUM WALLBOARD	TOS TOP OF SLAB
HC HOLLOW CORE	TR TREAD
HD HEAVY DUTY	TST TOP OF STEEL
HDW HARDWARE	TV TELEVISION
HDWD HARDWOOD	TYP TYPICAL
HM HOLLOW METAL	UN LESS OTHERWISE NOTED
HOR HORIZONTAL	V VOLTS
HR HOUR	VAC VACUUM
HT HEIGHT	VCT VINYL COMPOSITE TILE
HTG HEATING	VERT VERTICAL
HVAC HEATING, VENT, AIR COND.	VIF VERIFY IN FIELD
HWH HOT WATER HEATER	W WIDTH
ID INSIDE DIAMETER	W/ WITH
IN INCH	W/O WITHOUT
INCL INCLUDE(ING)	WB WOOD BASE
INFO INFORMATION	WC WATER CLOSET
INSUL INSULATION	WD WOOD
INTR INTERIOR	WP WATERPROOF
INV INVERT	WPT WORKING POINT
IRC INTERNATIONAL RESIDENTIAL CODE	WR WATER RESISTANT
J-BOX JUNCTION BOX	WT WEIGHT
JT JOINT	YD YARD
KNOCK OUT	
KPL KICKPLATE	

LIST OF DRAWINGS

ARCHITECTURAL DRAWINGS		STRUCTURAL DRAWINGS	
CS	COVERSHEET	S-1	STRUCTURAL DETAILS
T-1	TITLE SHEET: GENERAL NOTES, DRAWING LIST, APPLICABLE CODES, SITE MAP, SYMBOL LEGEND, ETC.	S-2	STRUCTURAL PLANS AND DETAILS
Ex-1	EXISTING PLANS		
Ex-2	EXISTING ELEVATIONS		
Ex-3	EXISTING SECTION		
R-1	REMOVAL PLANS		
A-1	FOUNDATION PLAN AND SECOND FLOOR PLAN		
A-2	THIRD FLOOR PLAN AND ROOF PLAN		
A-3	ELEVATIONS		
A-4	SECTION AND DETAILS		
SITE DRAWINGS			

LOCATION MAP



LEGEND

	GRAVEL
	CONCRETE
	MORTAR, GROUT
	STEEL
	FRAMING LUMBER
	HARDWOOD
	PLYWOOD
	BATT INSULATION
	GYPSUM WALLBOARD
	KEY NOTE
	DETAIL DRAWING NO.
	BUILDING SECTION
	WALL SECTION
	SECTION DETAIL
	COLUMN GRID
	PLAN / WALL DETAIL
	INTERIOR ELEVATION DRAWING NO.
	DATUM POINT (ELEVATION)
	DOOR NUMBER
	WINDOW NUMBER
	PARTITION TYPE
	REVISION FLAG
	REFERENCE KEY
	REMOVAL NOTE
	ROOM NUMBER
	EQUIPMENT TYPE
	CABINET TYPE
	CARBON MONOXIDE DETECTOR
	SMOKE DETECTOR (HARD WIRE)
	HEAT DETECTOR (HARD WIRE)
	CEILING FAN/LIGHT

BUILDING DESIGN DATA

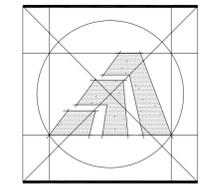
GROUP R-3 FOR SINGLE FAMILY (3) STORY DWELLING	FLOOD ZONE - AE 11:
BUILDING CATEGORY: II	REQUIRED: DFE = 12.0' + 1'-0" FREEBOARD x 1.25 (500-YEAR FLOOD ELEVATION)
CONSTRUCTION TYPE: V	PROPOSED: DFE = 16.0' (TOP OF FOUNDATION)
PROPOSED BUILDING MEAN HEIGHT 30'-4" +/-	PROPOSED: DFE = 18.26' (TOP OF FINISH FLOOR)
WIND SPEED 100 MPH [PER IRC 2009 AND 2013 CT AMENDMENTS(AMD)]	DESIGNED FOR 500-YEAR FLOOD BASED ON SHPO & NFIP REGULATORY REQUIREMENTS:
WIND IMPORTANCE FACTOR - (Iw)=1.49 - PER TABLE R301.2(3)	FLOOD PLAIN MANAGEMENT REGULATIONS BY LOCAL JURISDICTION AND PER
WIND EXPOSURE - "C"	LATEST FIRM FLOOD MAPS & CONSENSUS STANDARDS

APPLICABLE CODES

APPLICABLE CODES: 2009 INTERNATIONAL RESIDENTIAL CODE AND CT 2013 AMENDMENTS.	
PER SECTION R301 - DESIGN CRITERIA -	PER SECTION R311 - MEANS OF EGRESS -
R301.1 APPLICATION / MEETS REQUIREMENTS	R311.1 - MEANS OF EGRESS / N/A (EXISTING)
R301.2 - CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA / MEETS REQUIREMENTS	R311.2 - EGRESS DOOR / N/A (EXISTING)
R301.2.1 (AMD) - WIND LIMITATIONS / MEETS REQUIREMENTS	R311.3.1 - FLOOR ELEVATIONS AT THE REQUIRED EGRESS DOOR / N/A (EXISTING)
TABLE R301.2.1(1) (AMD) - CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA:	PER SECTION R312 - GUARDS -
(AMD) - GROUND SNOW LOAD - 30 LBS PSF / PROVIDED	R312.1 - WHERE REQUIRED / PROVIDED
(AMD) - WIND SPEED (MPH) - 100 MPH PER APPENDIX R / MEETS REQUIREMENTS	R312.2 - HEIGHT / MEETS REQUIREMENTS
(AMD) - SEISMIC DESIGN CATEGORY - CATEGORY B - (N/A)	R312.3 - OPENING LIMITATIONS / MEETS REQUIREMENTS
(AMD) - FLOOD HAZARD - AE	PER SECTION R313 - AUTOMATIC FIRE SPRINKLER SYSTEM -
(AMD) - SUBJECT TO DAMAGE - FROST LINE DEPTH - 42 INCHES / PROVIDED	R313.2 (AMD) - ONE AND TWO FAMILY DWELLINGS AUTOMATIC FIRE SPRINKLER SYSTEM / N/A (EXISTING)
R301.2(2) - COMPONENT AND GLAZING LOADS:	PER SECTION R314 - SMOKE ALARM:
Roof Zone 1,2, & 3 - W/ 100 MPH - WIND = 24.59 / -31.29 PRESSURE MAX. (50 D.P. PROVIDED)	R314 - SMOKE ALARMS (PROVIDED)
Wall Zone 4 - W/ 100 MPH - WIND = +26.82 / -29.05 PRESSURE MAX. (50 D.P. PROVIDED)	R314.4 (AMD) - POWER SOURCE (MEETS REQUIREMENTS)
Wall Zone 5 - W/ 100 MPH - WIND = 26.82 / -35.9 PRESSURE MAX. (50 D.P. PROVIDED)	PER SECTION R315 - CARBON MONOXIDE ALARM:
R301.2(3) - HEIGHT AND EXPOSURE COEFFICIENTS FOR TABLE R301.2(2):	R315.1 (AMD) - CARBON MONOXIDE ALARMS (PROVIDED)
1.49 ADJUSTMENT PROVIDED	PER SECTION R316 - FOAM PLASTIC:
R301.2.1.4 (AMD) - EXPOSURE CATEGORY / EXPOSURE C	R316.4 - THERMAL BARRIER / N/A
R301.4 - DEAD LOADS & R301.5 - LIVE LOADS -	PER SECTION R317 - PROTECTION OF WOOD AND WOOD BASED PRODUCTS AGAINST DECAY:
ATTIC FLOOR: 10 PSF DL / 20 PSF SL / PROVIDED ONLY FOR NEW MECH. AREA.	R317.1 - LOCATION REQUIRED (MEETS REQUIREMENTS)
SECOND / MAIN FLOOR: 10 PSF DL / 40 PSF LL / NEW FLOOR BEAMS PROVIDED	PER SECTION R318 - PROTECTION AGAINST SUBTERRANEAN TERMITES:
DECK FLOOR: 10 PSF DL / 40 PSF LL / PROVIDED	R318.1 - SUBTERRANEAN TERMITE CONTROL METHODS (METHOD #3 PROVIDED)
R301.6 (AMD) - ROOF LOAD - EXISTING	PER SECTION R319 - SITE ADDRESS:
R301.7 - ALLOWABLE DEFLECTION / N/A	R319.1 - ADDRESS NUMBERS (MEETS REQUIREMENTS)
PER SECTION R302 - FIRE-RESISTANT CONSTRUCTION:	PER SECTION R320 - ACCESSIBILITY:
R302.1 (AMD) - EXTERIOR WALLS - MINIMUM FIRE SEPERATION / EXISTING WALLS - NO RATING REQUIRED	R320.1 - SCOPE (NOT REQUIRED / NOT PROVIDED)
NEW DECKS AND STAIRS / MEET 5'-0" REQUIREMENTS - NO RATING REQUIRED	PER SECTION R321 - ELEVATORS AND PLATFORM LIFTS:
PER SECTION R303 - LIGHT, VENTILATION AND HEATING / MEETS REQUIREMENTS	(NOT REQUIRED / NOT PROVIDED)
PER SECTION R304 - MINIMUM ROOM AREAS / MEETS REQUIREMENTS	PER SECTION R322 - FLOOD-RESISTANT CONSTRUCTION:
PER SECTION R305 - CEILING HEIGHTS / MEETS REQUIREMENTS	R322.1 - GENERAL (COMPLIES)
PER SECTION R306 - SANITATION / MEETS REQUIREMENTS (BACKFLOW VALVE PROVIDED)	R322.2 - STRUCTURAL SYSTEM (PROVIDED)
PER SECTION R307 - TOILET, BATH AND SHOWER SPACES / MEETS REQUIREMENTS	R322.1.3 - FLOOD-RESISTANT CONSTRUCTION (MEETS REQUIREMENTS)
PER SECTION R308 - GLAZING -	R322.1.4 - ESTABLISHING THE DESIGN FLOOD ELEVATION - 100-YEAR REQUIRED (AE 11' + 1'-0" FREEBOARD)
R308.4 - HAZARDOUS LOCATIONS / TEMPERED WINDOWS PROVIDED	R322.1.4.1 - DETERMINATION OF THE DESIGN FLOOD ELEVATION (500-YEAR FLOOD PROVIDED)
PER SECTION R309 - GARAGES -	R322.1.5 - LOWEST FLOOR (EXCEEDS MIN. REQUIREMENTS)
R309.1 - FLOOR SURFACE / MEETS REQUIREMENTS	R322.1.6 - PROTECTION OF MECHANICAL AND ELECTRICAL (PROVIDED)
R309.3 - FLOOD HAZARD AREAS / MEETS REQUIREMENTS	R322.1.7 - PROTECTION OF WATER SUPPLY AND SANITARY SEWAGE SYSTEMS (PROVIDED)
R309.4 - AUTOMATIC GARAGE DOOR OPENERS / MEETS REQUIREMENTS	R322.1.8 - FLOOD RESISTANT MATERIALS (PROVIDED)
PER SECTION R310 - EMERGENCY ESCAPE AND RESCUE OPENINGS -	R322.1.10 - AS-BUILT ELEVATION DOCUMENTATION (PROVIDED)
R310.1 - EMERGENCY ESCAPE AND RESCUE REQUIRED / N/A (EXISTING)	R322.2.1 - ELEVATION REQUIREMENTS (PROVIDED)
R310.1.1 - MINIMUM OPENING AREA / PROVIDED IN EACH BEDROOM 5.7 REQ'D / N/A (EXISTING)	R322.2.2 - ENCLOSED AREA BELOW DESIGN FLOOD ELEVATION (MEETS #1 REQUIREMENTS)

PROJECT DATA

OWNER:	STEVEN W. WITKIN-MARCUS 39 RICHARD STREET MILFORD, CONNECTICUT 06460
SITE LOCATION:	39 RICHARD STREET MILFORD, CONNECTICUT 06460



Amaya Architects
American Institute of Architects

284 RACEBROOK RD. TEL (203) 795 5656
ORANGE, CT 06477 FAX (203) 799 3871

Sheet Title:

TITLE SHEET

APPLICATION # 1252

**WITKIN-MARCUS
RESIDENCE**

39 Richard Street
Milford, Connecticut 06460

**STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
OWNER OCCUPIED REHABILITATION
AND REBUILDING PROGRAM (OORR)**

Date: 06/07/2014

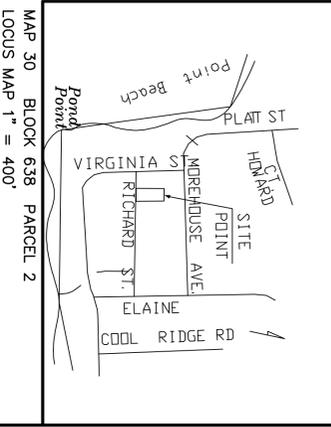
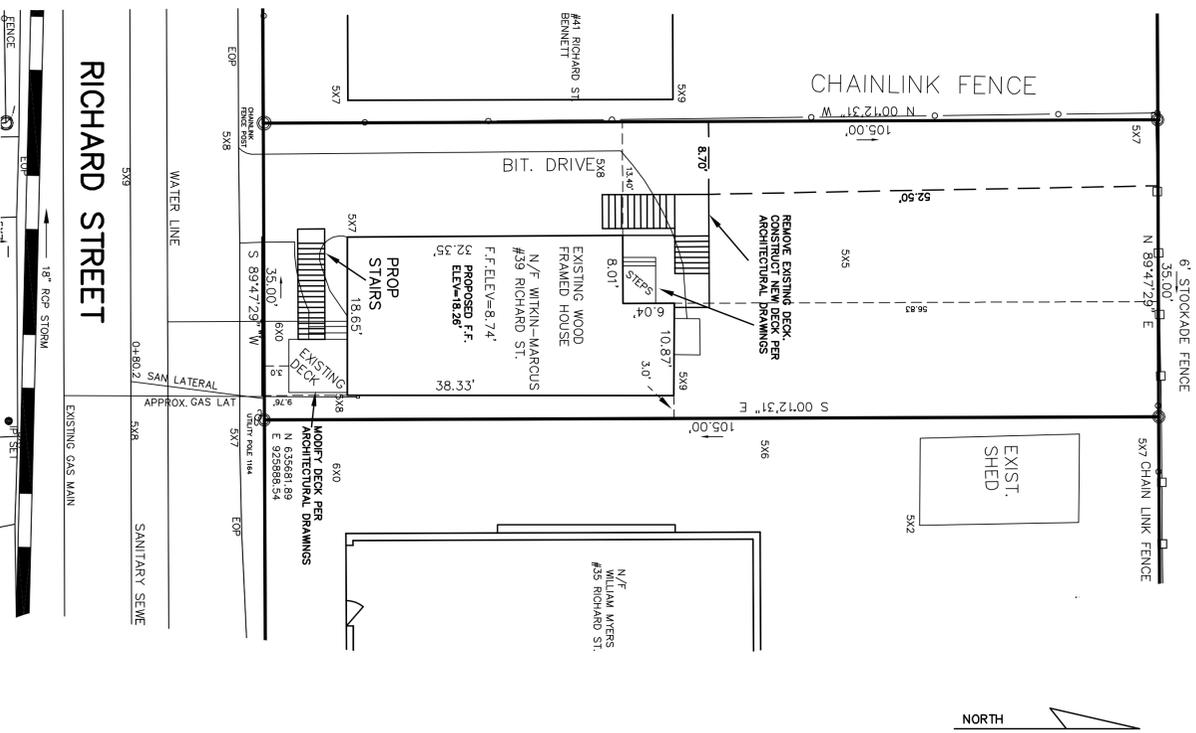
Project Number: 1252
Drawn By: J.V.L.

Sheet Number:
T1

Underground utility, structure and facility locations depicted and noted hereon are based on available information, including utility records, utility company or governmental agencies, field and testimony and from other sources. These locations must be considered approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to the surveyor. The surveyor does not warrant the accuracy of the information and does not verify by the appropriate authorities prior to construction. Call Before You Dig 1-800-922-4455.

Zoning Requirements
Table 3.1.4.1
Schedule of Lot and Building Requirements for One Family Residential District
ZONE R-5

DESCRIPTION	MINIMUM LOT REQUIREMENTS SECTION 2.3.5	ALLOWABLE PROPOSED EXISTING	EXISTING AS-BUILT
LOT AREA	5000 SF	(Existing) 13,400 SF	(Existing) 13,400 SF
LOT WIDTH	50 FEET	35.0 FEET	35.0 FEET
LOT DEPTH	70 FEET	105.0 SF	105.0 SF
PRINCIPAL USES			
FRONT YARD	10'	3.0'	3.0'
EACH SIDE YARD	5.0'	3.0' & 7.0'	3.0' & 7.0'
REAR YARD	20 FEET	52.50 FEET	56.83
ACCESSORY BUILDINGS			
SIDE YARD	4 FEET	N/A	N/A
REAR YARD	5 FEET	N/A	N/A
MAXIMUM COVERAGES			
BUILDING AS % OF LOT	45 %	28.2 %	21.4%
LOT COVERAGE	65 %	40.2 %	39.6%
BLDG HEIGHT (STORIES)	35 FEET	30.33 FEET	N/A
	3	3	2



MAP 30 BLOCK 638 PARCEL 2
LOUS MAP 1" = 400'

- NOTES:
- The Total Area of the Parcel is 3675 sq. ft.; 0.084 Acres.
 - The Parcel is in Zone R-5.
 - Map References:
 - Map on File: Map of Lots owned by George E. Hoskins; and in MLR Map #R-24.
 - Map Southern Connecticut Gas #2152, 2/6/96, Milford, CT Richard Street
 - Sanitary Sewer Map #5-256 on file in the City of Engineering Department, Milford, CT.
 - Richard Street Proposed Storm Drain, City of Milford, March 25, 1981, DT-1190
 - In the City of Milford Engineering Department.
 - South Central Connecticut Regional Water Authority, Richard Street.
 - Deed Reference:
 - Volume 3319 Page 409
 - The Parcel is in Flood Zone AE-11 as scoled from FIRW, City of Milford, New Haven County, Panel 534 of 635, Community Panel Number 090082 0534 H, Map date December 2010.
 - North Rotation is based on NAD 83.
 - Vertical Datum is based on NAVD 1988.

LEGEND

LD	LEADER DRAIN
☐	LIGHT POLE
☐	CATCH BASIN, TYPE "CU"
☐	CATCH BASIN, TYPE "C"
☐	STORM SEWER MANHOLE
☐	SANITARY SEWER MANHOLE
DW	DRY WELL
G	GAS
W	GAS VALVE
W	WATER
W	WATER VALVE
W	PROPOSED HYDRANT
W	EXISTING HYDRANT
---	PROPOSED CONTOUR (1%)
---	EXISTING CONTOUR (1%)
☐	TREE
☐	SHRUB
☐	MON TO BE SET
☐	MON FOUND
☐	IRON PIPE FOUND
☐	IRON PIN FOUND
☐	IRON PIN TO BE SET
☐	DRILL HOLE FOUND
☐	DRILL HOLE TO BE SET
☐	DRILL HOLE SET
☐	STONEWALL
☐	STOCKADE FENCE
☐	CHAIN LINK FENCE
☐	PERC TEST
☐	DEEP TEST PIT
☐	WELL
☐	WETLAND FLAG
☐	EXISTING SPOT GRADE

NOTES:

This survey and map has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-20a-1 through 20-20a-20 and 20-20a-21 through 20-20a-24 promulgated by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.

It is a Zoning Location Survey based upon a Detailed Survey and is intended to depict the position of existing or proposed improvements with respect to applicable municipal setback requirements. The purpose is to enable determination of compliance with said requirements.

This survey conforms to Horizontal Accuracy Class A-2.

To my knowledge and belief, this map is substantially correct as noted hereon.

Date: _____

By: Steven W. Wassner, PE, LS, CT Lic. No. 16975

ZONING PLAN
PREPARED FOR
STEVEN MARCUS
39 Richard Street, Milford, Connecticut

DATE: JULY 19, 2014
Scale: 1"=10'

FB: 404
DRAWM BY: RW
PROJECT No.: 2014-032
CHECKED: RW
DWG No.: H-605
SHT 2 of 4

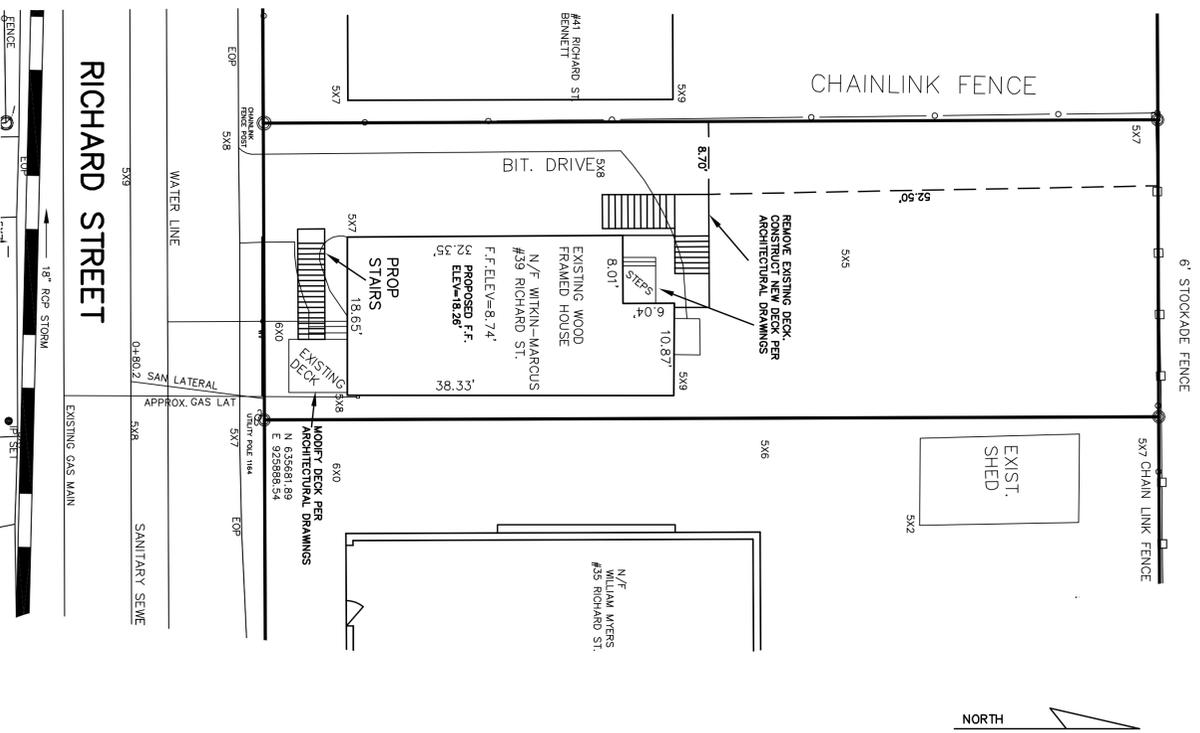
C.C.G. CT CIVIL GROUP, LLC
Civil + Structural Engineering Land Surveying
Designers + Planners
158 RISSAFACT DRIVE, MILFORD, CT 06460
(203) 874-5516
info@cccgllcgroup.com

Underground utility, structure and facility locations depicted and noted herein are based on utility records, field observations, and other available information. The utility company or governmental agencies from which the utility records were obtained are not responsible for the accuracy of the information shown hereon. These locations must be considered approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to the surveyor. The surveyor shall not be held responsible for the accuracy of the information shown hereon. The surveyor shall not be held responsible for the accuracy of the information shown hereon. The surveyor shall not be held responsible for the accuracy of the information shown hereon. Call Before You Dig 1-800-922-4455.

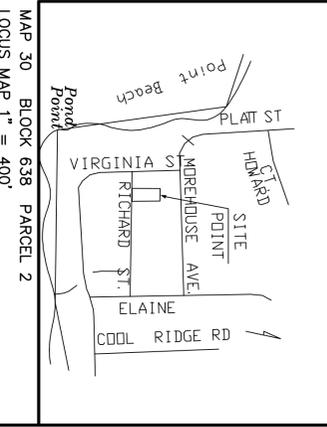
Zoning Requirements
 Schedule of Lot and Building Requirements for One Family Residential District
 Zone R-5

MINIMUM LOT REQUIREMENTS SECTION 23-3	EXISTING	AS-BUILT
DESCRIPTION	3,485 SF	3,485 SF
ALLOWABLE PROPOSED	3,485 SF	3,485 SF
LOT AREA	5,000 SF (Existing)	3,485 SF (Existing)
LOT WIDTH	50 FEET	35.0 FEET (35.0 FEET)
LOT DEPTH	70 FEET	105.0 SF (105.0 SF)
PRINCIPAL USES	10'	3.0'
FRONT YARD	5.810'	3.0'
EACH SIDE YARD	8.70'	3.0'
REAR YARD	52.50 FEET	58.83
ACCESSORY BUILDINGS	20 FEET	N/A
SIDE YARD	4 FEET	N/A
REAR YARD	5 FEET	N/A
MAXIMUM COVERAGES	45 %	26.2 %
BUILDING AREA AS % OF LOT	65 %	40.2 %
LOT COVERAGE		39.8%
ROOF HEIGHT (STORES)	35 FEET	30.33 FEET
	3	3
		N/A
		N/A

- NOTES:
- EXISTING OH WRES. DISCONNECT EXISTING WIRES FROM HOUSE. RE-ATTACH IN VERTICAL POSITION.
 - EXISTING SANITARY LATERAL PER CITY NOTES. NY. ELEVATION DISCONNECT AND PROJECT EXISTING SANITARY LINE DURING CONSTRUCTION. RE-CONNECT UPON COMPLETION.
 - EXISTING ELECTRICAL METER. PROPOSED METER LOCATION-UPGRADE SERVICE PER UL.
 - PRIOR TO ANY WORK INVOLVED RAISING THE HOUSE, CONTACT ALL UTILITY COMPANIES TO SHUT OFF AND/OR DISCONNECT SERVICE INCLUDING SEWER SHUT OFF. RECONNECT ALL UTILITIES PER CITY OF MILFORD REQUIREMENTS UPON COMPLETION.
 - ALL CONSTRUCTION DEBRIS AND STOCKPILED SOIL NEEDS TO BE REMOVED FROM SITE



- NOTES:
- The Total Area of the Parcel is 3675 sq. ft.; 0.084 Acres.
 - The Parcel is in Zone R-5.
 - Map References:
 - Map on File: Map of Lots owned by George E. Hoskins; and in MLR Map #R-24.
 - Map Southern Connecticut Gas #2152, 2/6/96, Milford, CT Richard Street
 - Sanitary Sewer Map #5-256 on file in the City of Engineering Department, Milford, CT.
 - Richard Street Proposed Storm Drain, City of Milford, March 25, 1981, DT-1190
 - In the City of Milford Engineering Department.
 - South Central Connecticut Regional Water Authority, Richard Street.
 - Dead Reference:
 - Volume 3319 Page 409
 - The Parcel is in Flood Zone AE-11 as scoled from FIRW, City of Milford, New Haven County, Panel 534 of 635, Community Panel Number 090082, 0534 H, Map date December 2010.
 - North Rotation is based on NAD 83.
 - Vertical Datum is based on NAVD 1988.



- LEGEND
- LD LEADER DRAIN
 - ☐ LIGHT POLE
 - ☐ CATCH BASIN, TYPE "CU"
 - ☐ CATCH BASIN, TYPE "C"
 - ☐ STORM SEWER MANHOLE
 - ☐ SANITARY SEWER MANHOLE
 - DW DRY WELL
 - G GAS
 - W GAS VALVE
 - W WATER
 - W WATER VALVE
 - W PROPOSED HYDRANT
 - W EXISTING HYDRANT
 - PROPOSED CONTOUR (10'-)
 - EXISTING CONTOUR (10'-)
 - ☐ TREE
 - ☐ SHRUB
 - ☐ MON TO BE SET
 - ☐ MON FOUND
 - ☐ IRON PIPE FOUND
 - ☐ IRON PIN FOUND
 - ☐ IRON PIN TO BE SET
 - ☐ DRILL HOLE FOUND
 - ☐ DRILL HOLE TO BE SET
 - ☐ DRILL HOLE SET
 - STONEWALL
 - STOCKADE FENCE
 - CHAIN LINK FENCE
 - PERC TEST
 - DEEP TEST PIT
 - WELL
 - △ WETLAND FLAG
 - 14X5 EXISTING SPOT GRADE

NOTES:

This survey and map has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-20a-1 through 20-20a-20 and 20-20a-21 through 20-20a-24, as amended, and the rules and regulations by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.

It is a Zoning Location Survey based upon a Detailed Boundary and is intended to depict the position of existing or proposed improvements with respect to applicable municipal setback requirements. The purpose is to enable determination of compliance with said requirements.

This survey conforms to Horizontal Accuracy Class A-2.

To my knowledge and belief, this map is substantially correct as noted herein.

Date: _____

By: Steven W. Wassner, P.E. L.S. C.T. Lic. No. 16975

This survey is not valid unless it bears a live signature and live seal.

UTILITY PLAN

PREPARED FOR
STEVEN MARCUS
 39 Richard Street, Milford, Connecticut

DATE: JULY 19, 2014
 Scale: 1"=10'

FB: 404
 DRAWN BY: RW
 CHECKED: RW

PROJECT No.: 2014-032
 DWG No.: H-605 SHIT 3 of 4

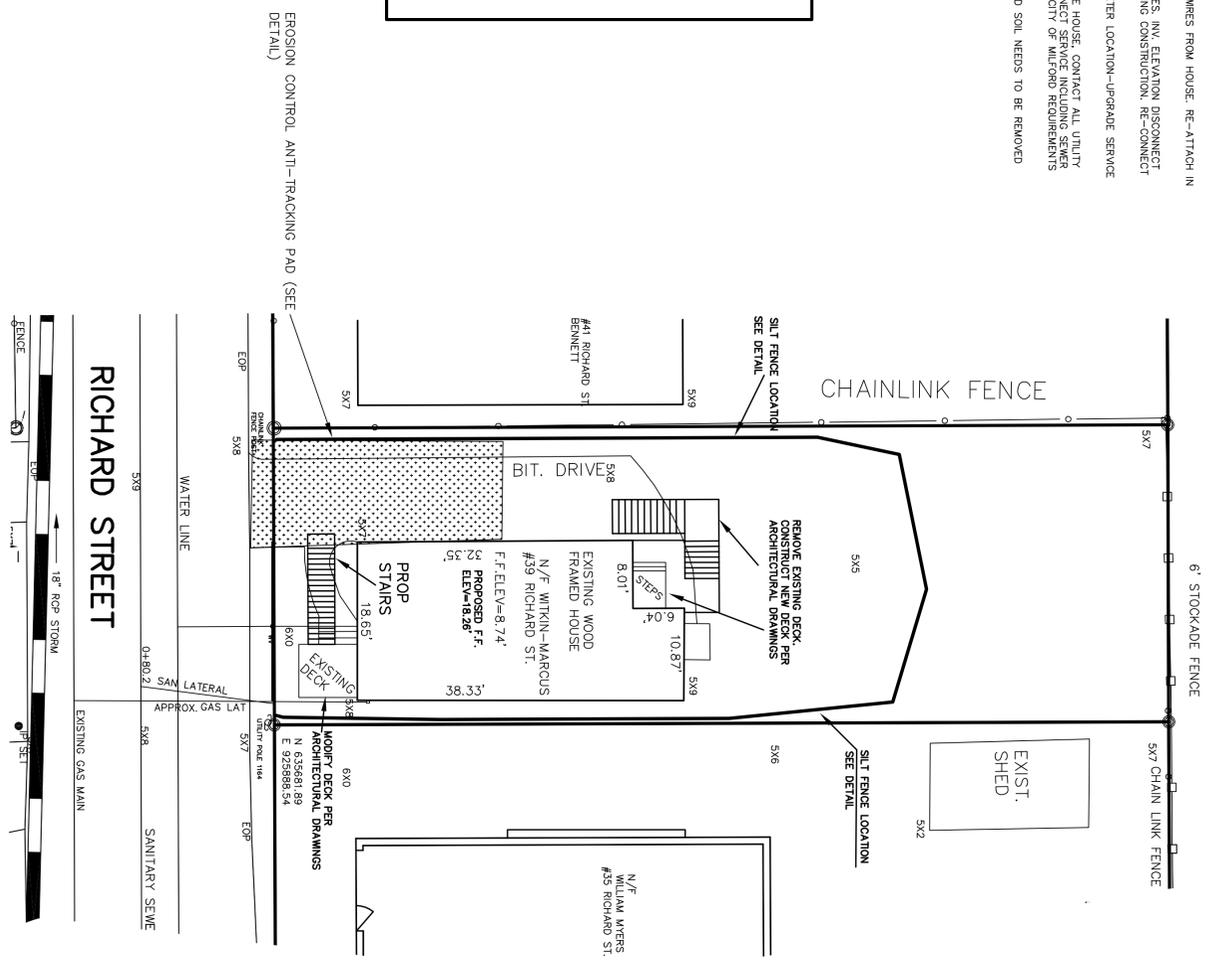
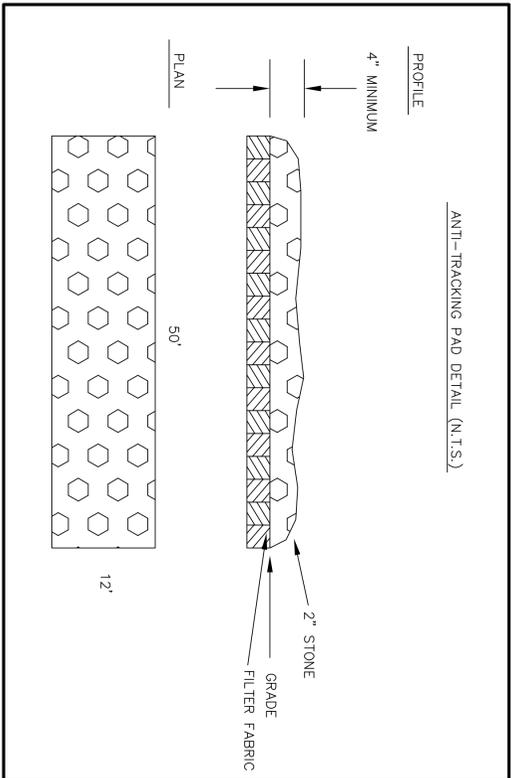
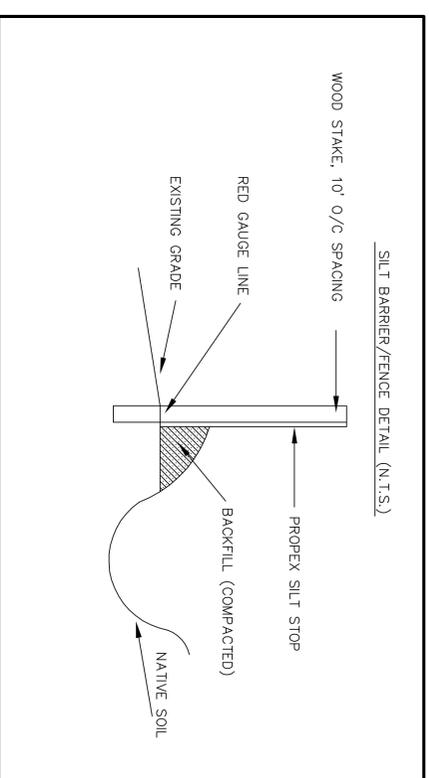
C.C.G. CT CIVIL GROUP, LLC

Civil + Structural Engineering Land Surveying
 Designers + Planners

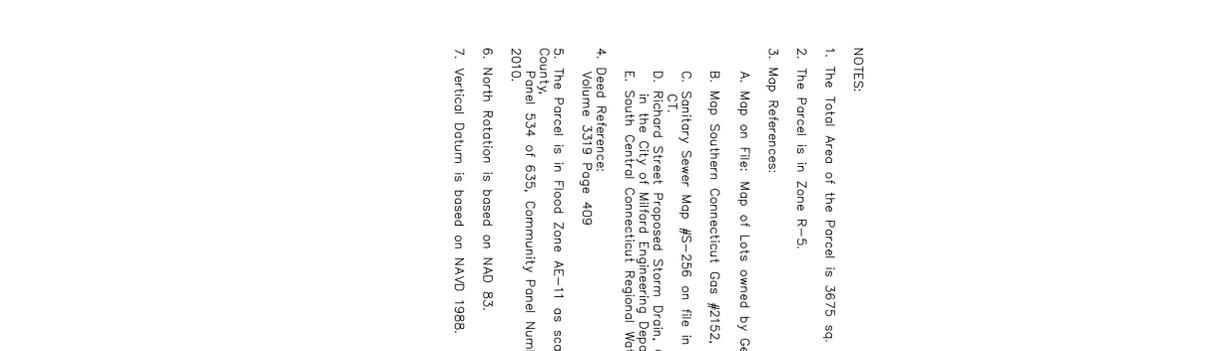
158 RESSLAKE DRIVE, MILFORD, CT 06460
 (203) 874-5516
 info@ccgroup.com

Underground utility, structure and facility locations depicted and noted hereon are based on utility records, field observations, and other sources. These locations must be considered approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to the engineer. The engineer shall not be responsible for the accuracy of the information and verified by the appropriate authorities prior to construction.

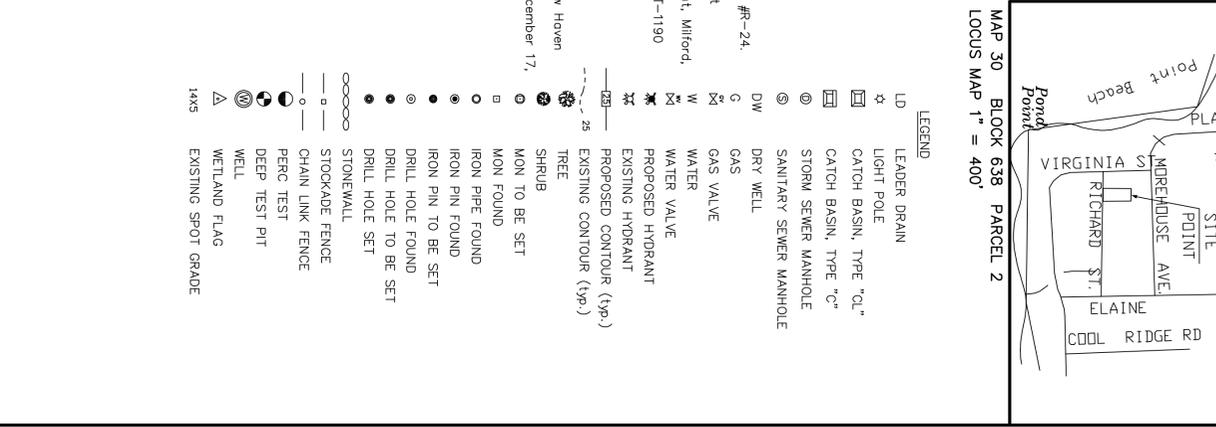
- NOTES:
1. EXISTING GAS LINES, DISCONNECT EXISTING WIRES FROM HOUSE. RE-ATTACH IN VERTICAL POSITION.
 2. EXISTING SANITARY LATERAL PER CITY NOTES. INV. ELEVATION DISCONNECT UPON COMPLETION.
 3. EXISTING ELECTRICAL METER. PROPOSED METER LOCATION-UPGRADE SERVICE PER U.I.
 4. PRIOR TO ANY WORK INVOLVED RAISING THE HOUSE, CONTACT ALL UTILITY COMPANIES TO VERIFY THE LOCATION OF ALL UTILITIES PER CITY OF MILFORD REQUIREMENTS. RECONNECT ALL UTILITIES PER CITY OF MILFORD REQUIREMENTS UPON COMPLETION.
 5. ALL CONSTRUCTION DEBRIS AND STOCKPILED SOIL NEEDS TO BE REMOVED FROM SITE.



EROSION CONTROL ANTI-TRACKING PAD (SEE DETAIL)



- NOTES:
1. The Total Area of the Parcel is 3675 sq. ft.; 0.084 Acres.
 2. The Parcel is in Zone R-5.
 3. Map References:
 - A. Map on File: Map of Lots owned by George E. Hoskins, and in MLR Map #R-24.
 - B. Map Southern Connecticut Gas #2152, 2/6/96, Milford, CT Richard Street
 - C. Sanitary Sewer Map #S-256 on file in the City of Engineering Department, Milford, CT.
 - D. Richard Street Proposed Storm Drain, City of Milford, March 25, 1981, DT-1190
 - E. South Central Connecticut Regional Water Authority, Richard Street.
 4. Dead Reference:
 - Volume 3319 Page 409
 5. The Parcel is in Flood Zone AE-11 as scoled from FIRW, City of Milford, New Haven County, Panel 534 of 635, Community Panel Number 090082, 0534 H, Map date December 2010.
 6. North Rotation is based on NAD 83.
 7. Vertical Datum is based on NAVD 1988.

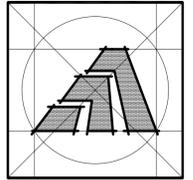


C.C.G. CT CIVIL GROUP, LLC
 Civil + Structural Engineering, Land Surveying
 Designers + Planners
 158 RUSSELL ST., MILFORD, CT 06460
 (203) 874-5516 info@ccggroup.com

NOTES:
 This survey and map has been prepared pursuant to the regulations of the Connecticut State Agencies Sections 20-20a-1 through 20-20a-20 and 20-20a-21 through 20-20a-24, as amended, and the rules and regulations of the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
 It is a Zoning Lending Survey based upon a Detailed Survey and is intended to depict the position of existing or proposed improvements with respect to applicable municipal setback requirements. The purpose is to enable determination of compliance with said requirements.
 This survey conforms to Horizontal Accuracy Class A-2.

To my knowledge and belief, this map is substantially correct as noted hereon.
 Date: _____
 By: Ronald W. Wassner, P.E. L.S. CT Lic. No. 16975

EROSION CONTROL PLAN
 PREPARED FOR
STEVEN MARCUS
 39 Richard Street, Milford, Connecticut
 DATE: JULY 19, 2014
 SCALE: 1"=10'
 PROJECT NO.: 2014-032
 DRAWN BY: RWM
 CHECKED: RWM
 DWG No: H-605 SH1 4 of 4



Amaya Architects
American Institute of Architects

284 RACEBROOK RD. TEL (203) 795 5656
ORANGE, CT 06477 FAX (203) 799 3871

Sheet Title:
EXISTING PLANS

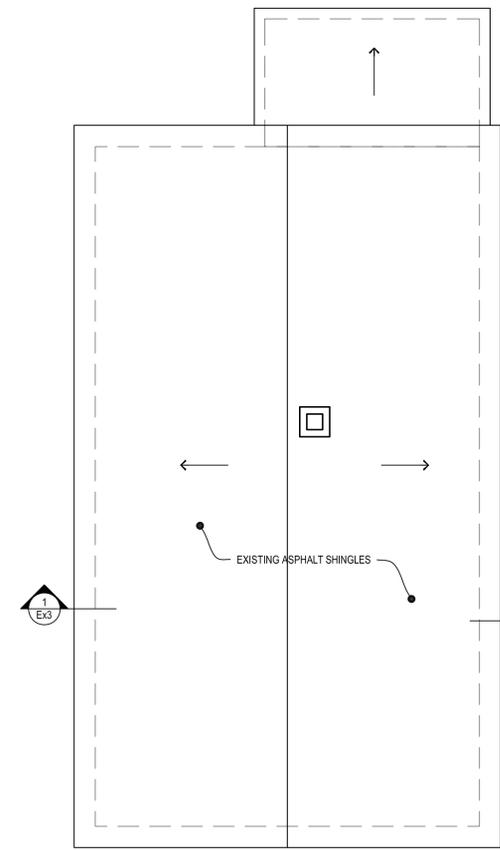
APPLICATION # 1252
WITKIN-MARCUS RESIDENCE
39 Richard Street
Milford, Connecticut 06460

**STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM**
OWNER OCCUPIED REHABILITATION
AND REBUILDING PROGRAM (OORR)

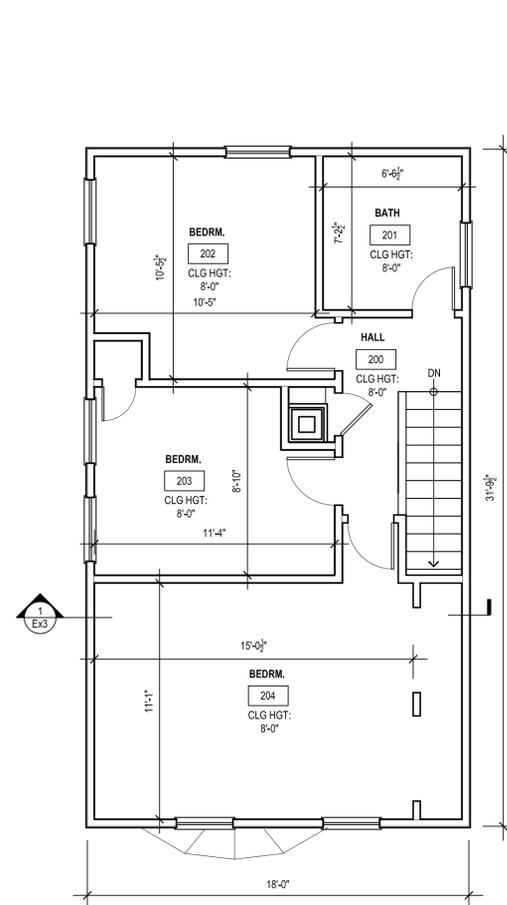
Date: 06/07/2014

Job Number: 1252
Drawn By: J.V.L.

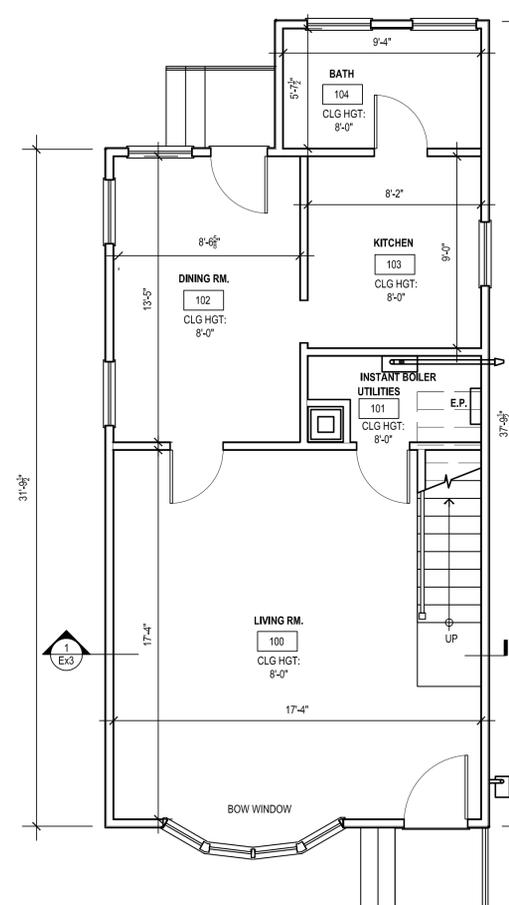
Sheet Number:
Ex1



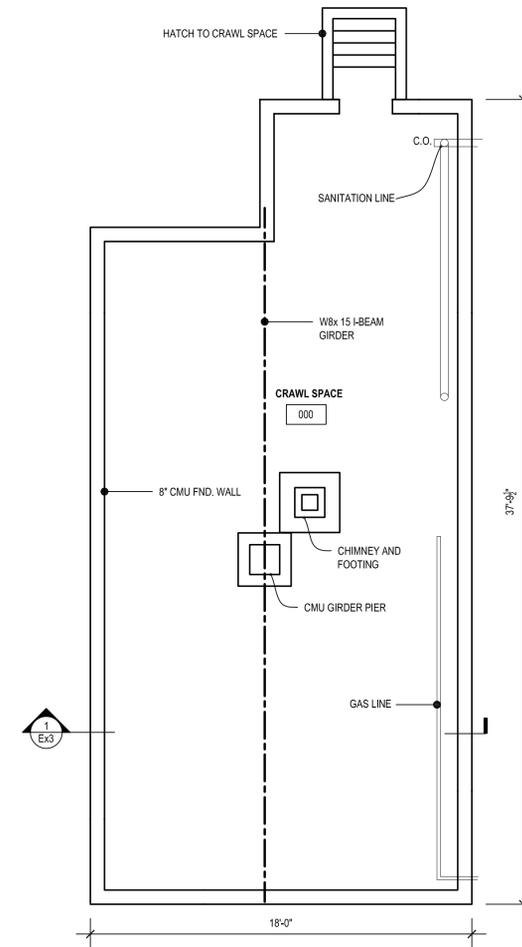
4 EX1 EXISTING ROOF PLAN
SCALE: 1/4" = 1'-0"



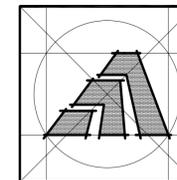
3 EX1 EXISTING SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 EX1 EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 EX1 EXISTING FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



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Sheet Title:
EXISTING ELEVATIONS

APPLICATION # 1252
WITKIN-MARCUS
RESIDENCE
39 Richard Street
Milford, Connecticut 06460

STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
OWNER OCCUPIED REHABILITATION
AND REBUILDING PROGRAM (OORR)

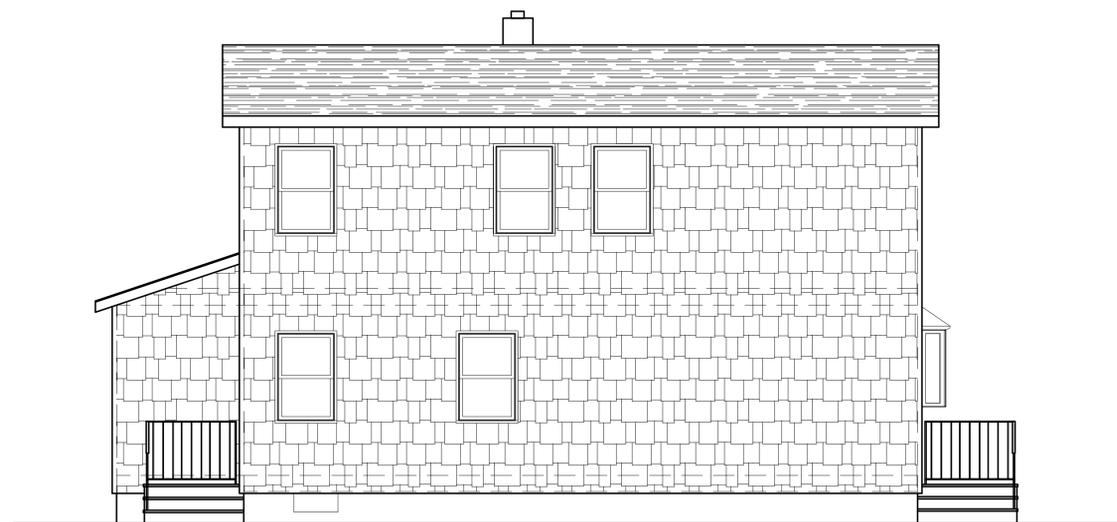
Date: 06/07/2014

Project Number: 1252
Drawn By: J.V.L.

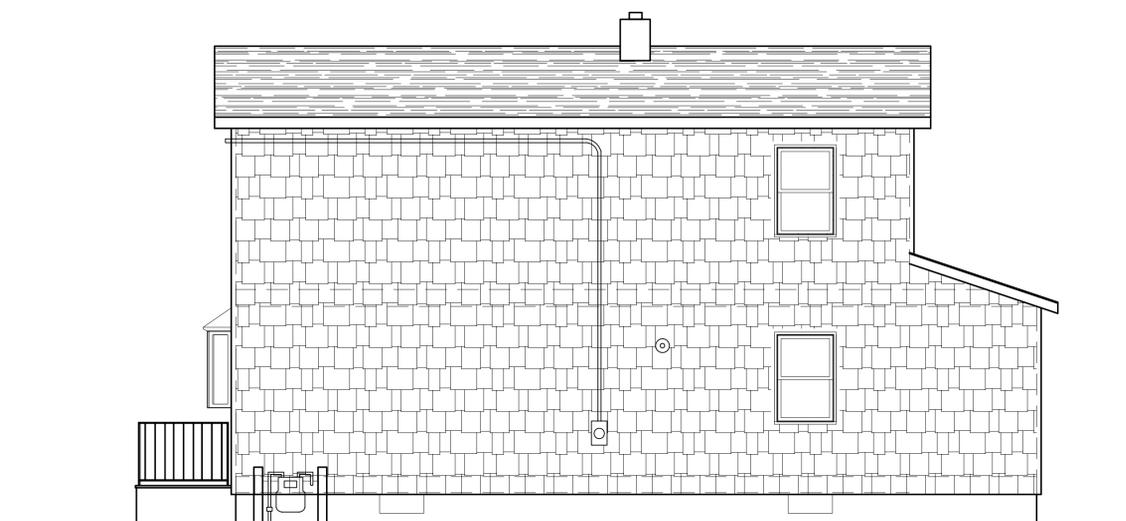
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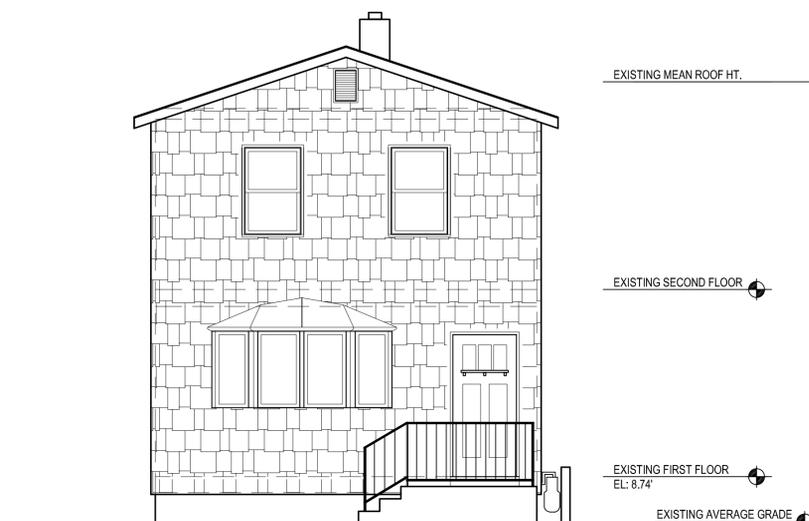
3 EXISTING REAR ELEVATION
A2 SCALE: 1/4" = 1'-0"



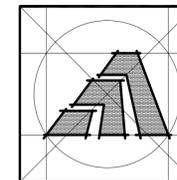
2 EXISTING LEFT ELEVATION
A2 SCALE: 1/4" = 1'-0"



2 EXISTING RIGHT ELEVATION
A2 SCALE: 1/4" = 1'-0"



1 EXISTING FRONT ELEVATION
A2 SCALE: 1/4" = 1'-0"



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Sheet Title:
EXISTING SECTION

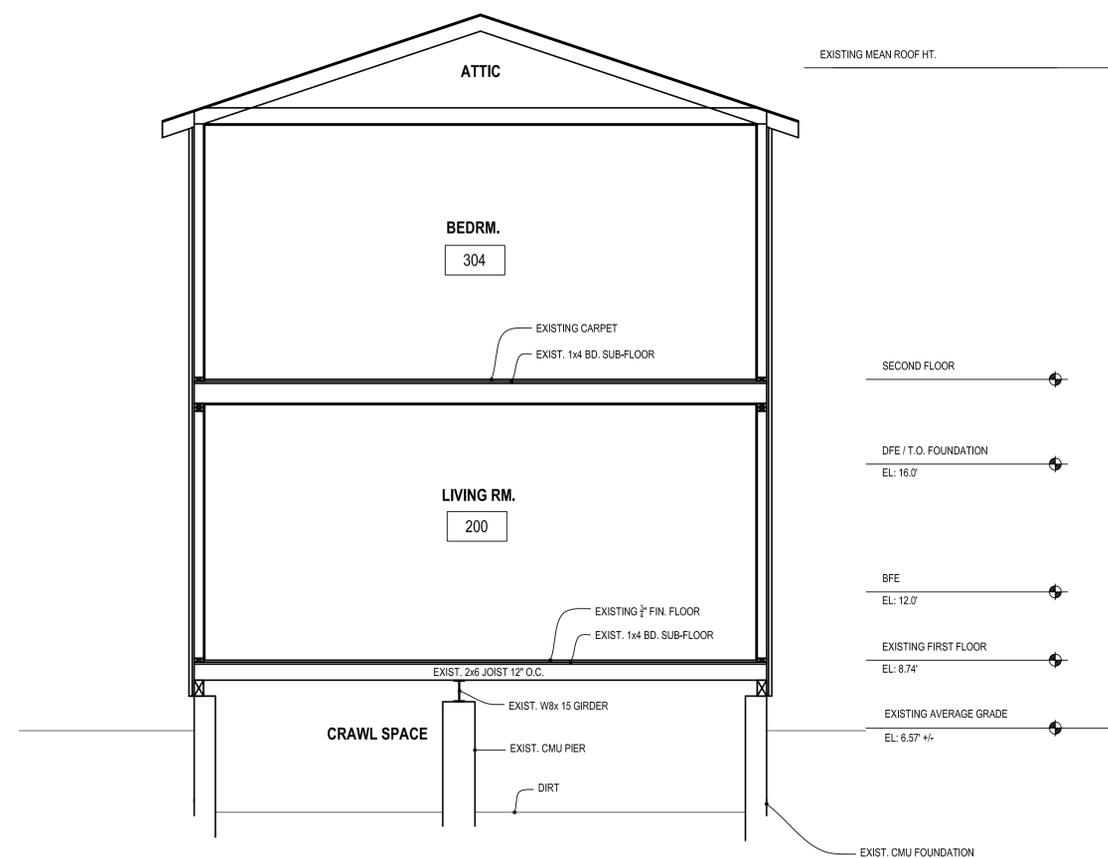
APPLICATION # 1252
**WITKIN-MARCUS
RESIDENCE**
39 Richard Street
Milford, Connecticut 06460

STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
OWNER OCCUPIED REHABILITATION
AND REBUILDING PROGRAM (OORR)

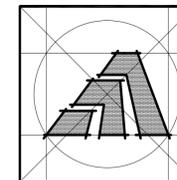
Date: 06/07/2014

Project Number: 1252
Drawn By: J.V.L.

Sheet Number:
Ex3



1 EXISTING BUILDING SECTION
Ex3 SCALE: 3/8" = 1'-0"



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ORANGE, CT 06477 FAX (203) 799 3871

Sheet Title:
REMOVAL PLANS

APPLICATION # 1252
WITKIN-MARCUS RESIDENCE
39 Richard Street
Milford, Connecticut 06460

STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
OWNER OCCUPIED REHABILITATION
AND REBUILDING PROGRAM (OOR)

Date: 06/07/2014

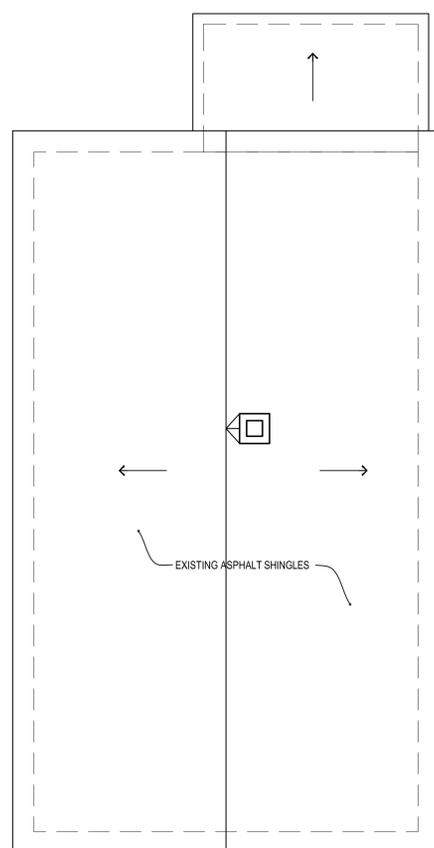
Job Number: 1252
Drawn By: J.V.L.

Sheet Number:
R1

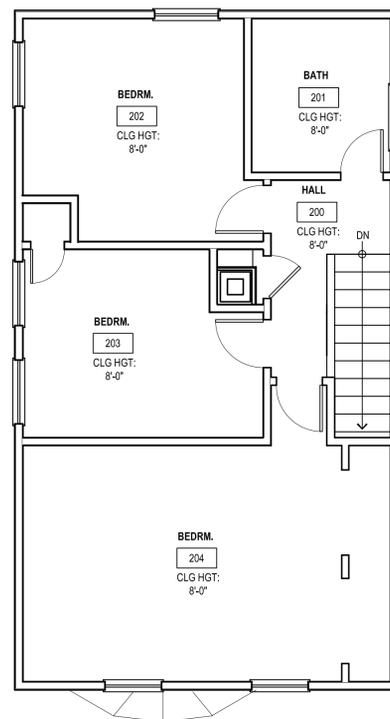
REMOVAL TAG LEGEND

ELECTRICAL AND PLUMBING MISC. NOT DENOTED
ALL UTILITIES SHALL BE LOCATED AND DISCONNECTED PRIOR TO COMMENCING WORK.
ALL SHORING SHALL BE IN PLACE PRIOR TO REMOVAL OF STRUCTURAL ELEMENTS.

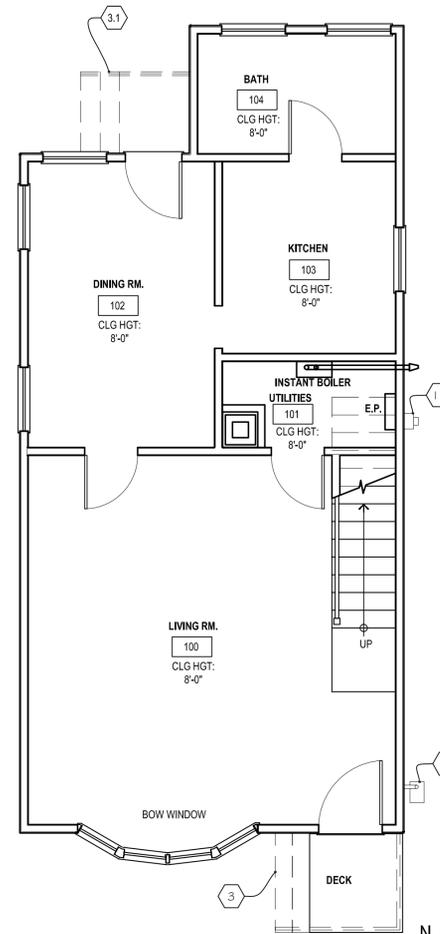
- | | |
|--|---|
| 1 CMU FOUNDATION WALL AND CONC. FTG. | 9 NOT USED |
| 2 CONCRETE STEPS AND BULKHEAD DOOR | 10 ISOLATED FOOTING |
| 3 STEPS, RAILS, AND FTG. ONLY - DECK TO REMAIN | 11 NOT USED |
| 3.1 DECK, STEPS, RAILS AND FTG. | 12 ELECTRICAL METER TO BE RELOCATED - T.B.D.
(SEE ELECTRICAL DRAWINGS) |
| 4 NOT USED | 13 GIRDER CMU PIER AND FOOTING |
| 5 INTERIOR WD. STUD WALL SYSTEM | |
| 6 NOT USED | |
| 7 GAS LINE & METER (TO BE RELOCATED
SEE MECH. DRAWINGS) | |
| 8 SIDING, WALL SHEATHING 18" UP FROM TOP OF FOUNDATION | |



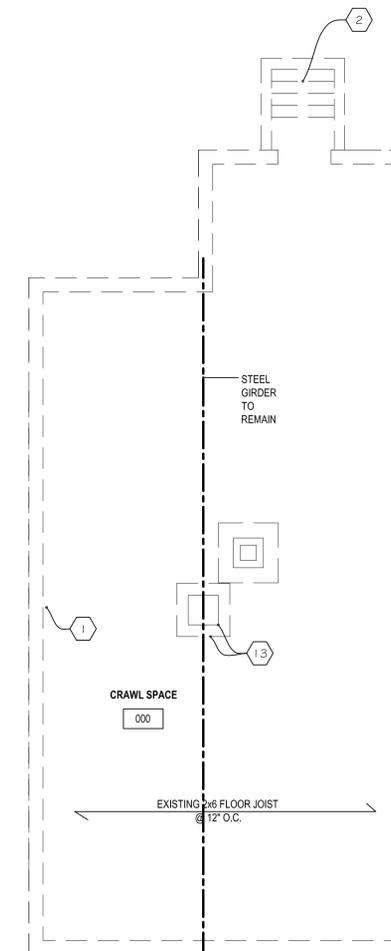
4 ROOF REMOVAL PLAN
Ex1 SCALE: 1/4" = 1'-0"



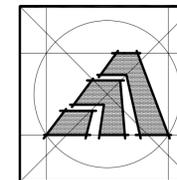
3 SECOND FLOOR REMOVAL PLAN
Ex1 SCALE: 1/4" = 1'-0"



2 FIRST FLOOR REMOVAL PLAN
Ex1 SCALE: 1/4" = 1'-0"



1 FOUNDATION REMOVAL PLAN
Ex1 SCALE: 1/4" = 1'-0"



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ORANGE, CT 06477 FAX (203) 799 3871

Sheet Title:
**FOUNDATION PLAN
& SECOND FLOOR PLAN**

APPLICATION # 1252
**WITKIN-MARCUS
RESIDENCE**
39 Richard Street
Milford, Connecticut 06460

**STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM**
OWNER OCCUPIED REHABILITATION
AND REBUILDING PROGRAM (OORR)

Date: 06/07/2014

Project Number: 1252
Drawn By: J.V.L.

Sheet Number:
A1

WALL LEGEND

- EXISTING WOOD STUD WALLS TO REMAIN
- P.T. 2x6 STUDS W/ 5/8" TYPE-X GYP BD. (TAPED & PTD) ADD 2x BLOCKING AS REQ'D
- NEW REINF. CONC. FOUNDATION WALL - SEE STRUCTURAL DRAWINGS

GENERAL NOTES:

1. USE SIMPSON STRAPS AND TIE DOWNS AS SPECIFIED
2. CONCRETE ENCASED ELECTRODES - FOLLOW ARTICLE 250.52 (a) (3) NEC 2005-ES308.1.2 IRC 2009

FLOOD VENTS

FLOOD / AIR VENT - USE SMART VENT #1540-510:
1. EACH VENT PROVIDES FLOOD OPENINGS FOR 200 S.F. AND PROVIDES AIR VENTING FOR 150 S.F.

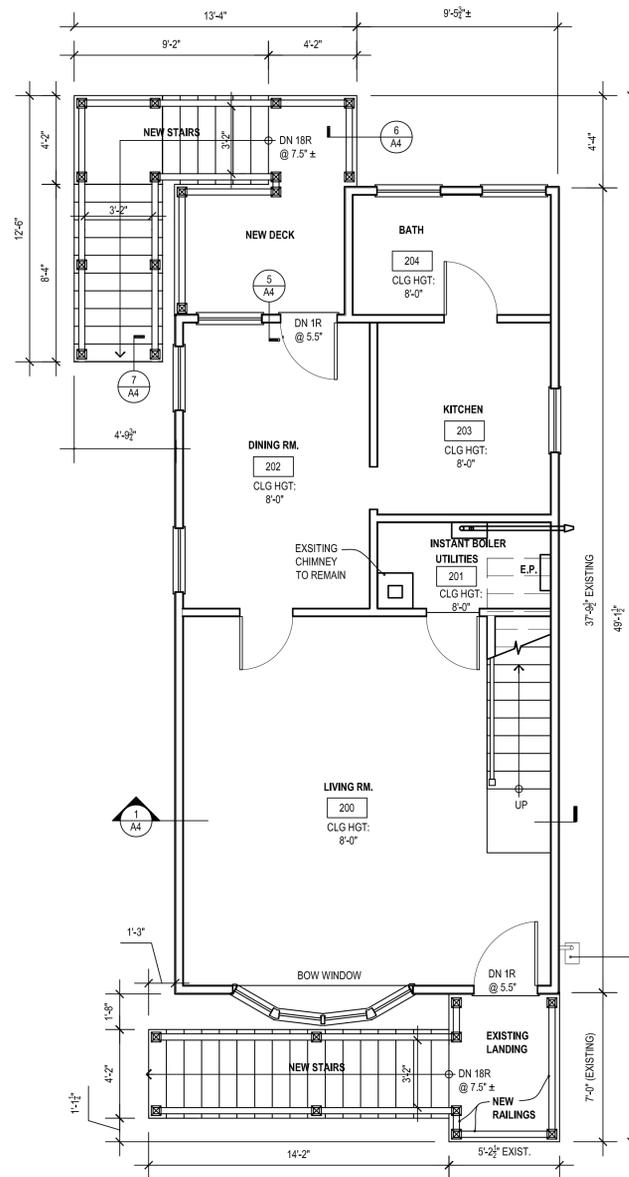
2. PROVIDE (5) FLOOD / AIR COMBINATION VENTS FOR 547 S.F. FIRST FLOOR AREA.

SMART VENT FOR FLOOD AND AIR VENTILATION

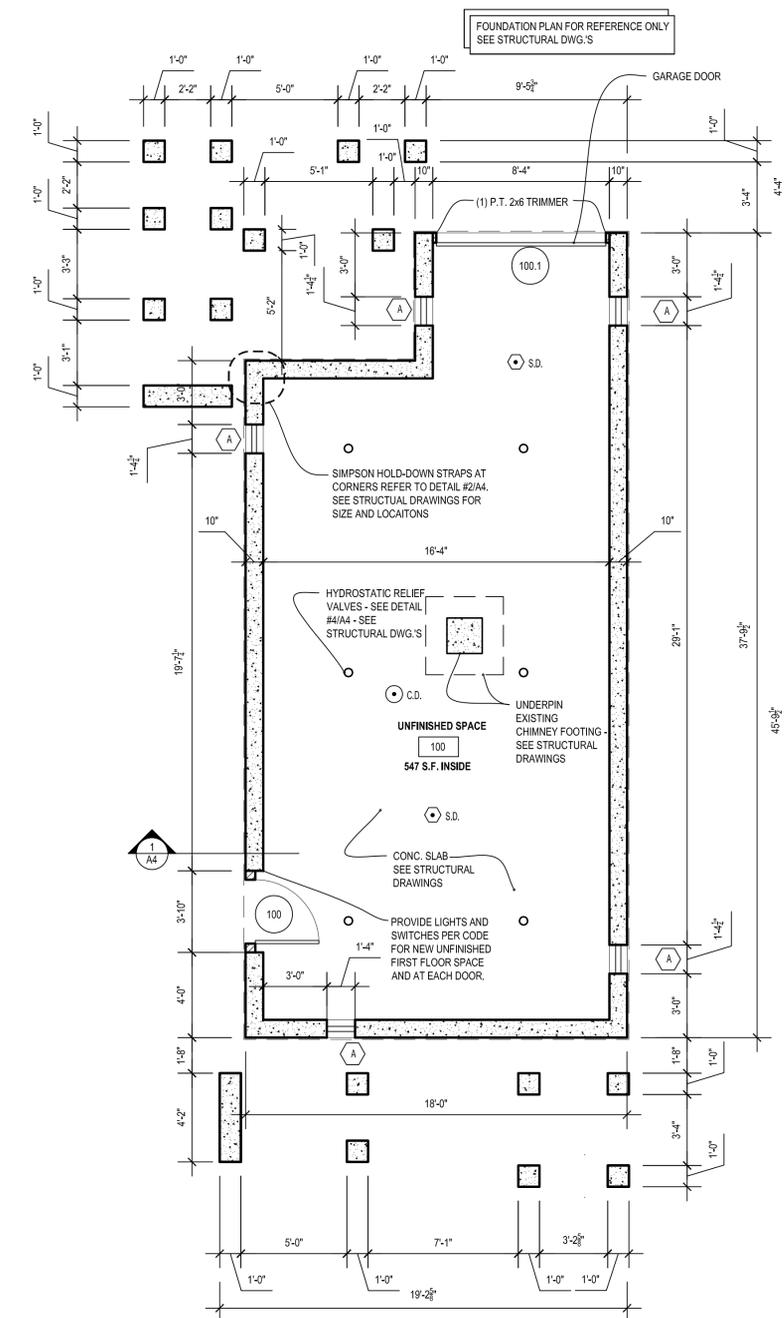
PROTECTING UTILITIES

- ALL WORK TO MEET THE NFIP REGULATIONS [SECTION 60.3a(3)].
1. COMPONENT PROTECTION - EXISTING (PROVIDED)
 2. ELECTRICAL - REFER TO ELECTRICAL DRAWINGS
 3. PLUMBING - HAVE BACKUP PREVENTION VALVES. SEE PLUMBING DWG.'S

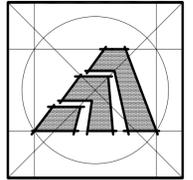
DIMENSION NOTE:
ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF STRUCTURAL FOUNDATION WALL. DIMENSIONS DO NOT INCLUDE 2" APPLIED VENEER. ADD TWO ADDITIONAL INCHES TO FACE OF FOUNDATION WALL FOR STONE VENEER.



2 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



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Sheet Title:
**THIRD FLOOR &
ROOF PLAN**

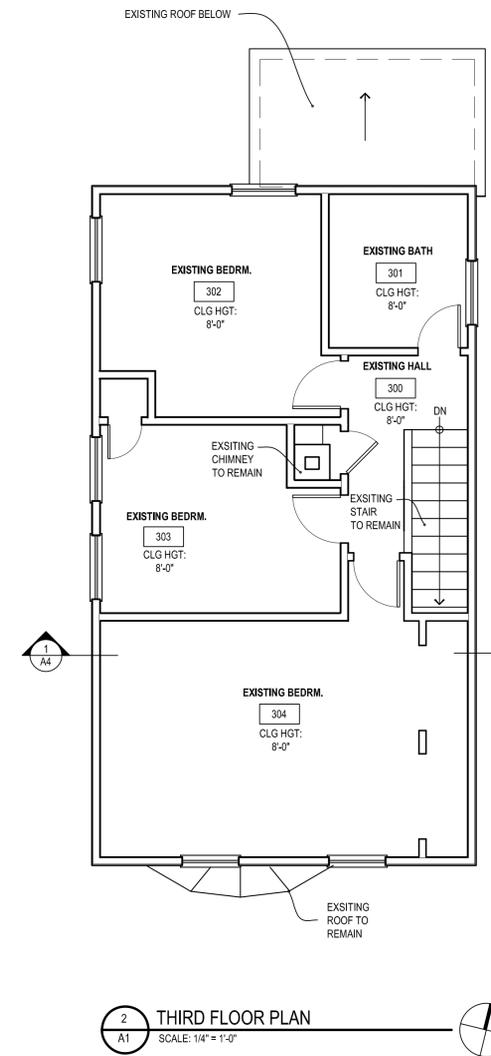
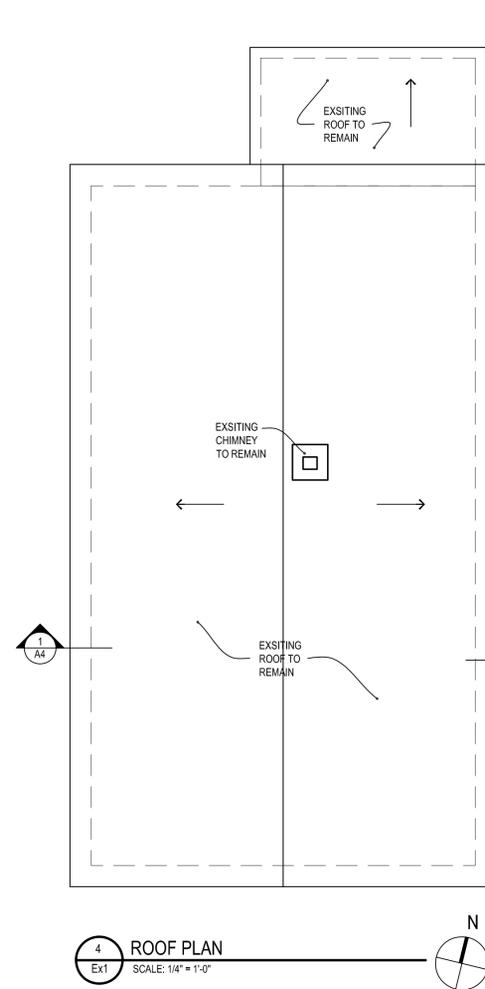
APPLICATION # 1252
**WITKIN-MARCUS
RESIDENCE**
39 Richard Street
Milford, Connecticut 06460

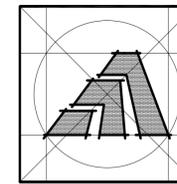
**STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
OWNER OCCUPIED REHABILITATION
AND REBUILDING PROGRAM (OORR)**

Date: 06/07/2014

Project Number: 1252
Drawn By: J.V.L.

Sheet Number:
A2





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American Institute of Architects

284 RACEBROOK RD. TEL: (203) 795 5656
ORANGE, CT 06477 FAX: (203) 799 3871

Sheet Title:
EXTERIOR ELEVATIONS

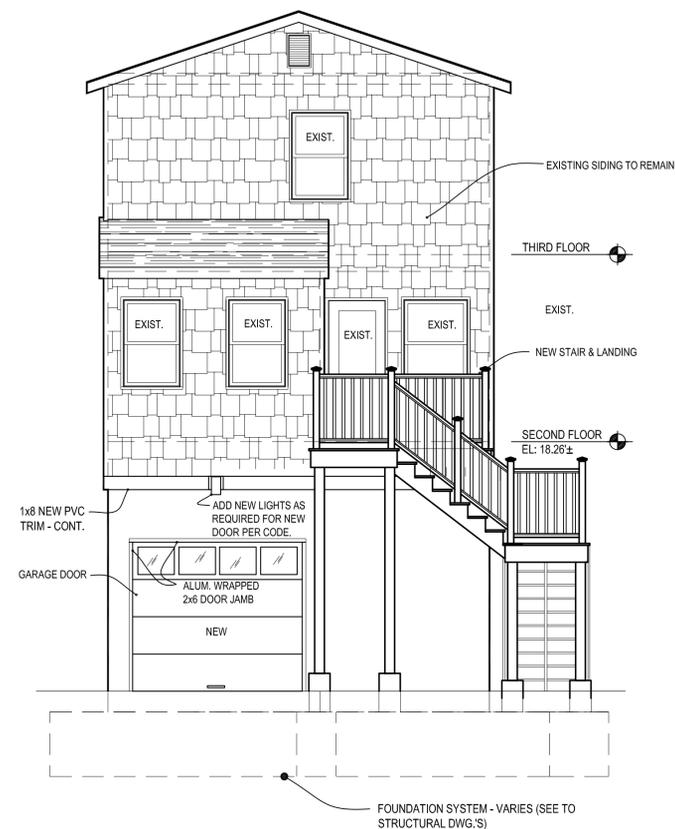
APPLICATION # 1252
**WITKIN-MARCUS
RESIDENCE**
39 Richard Street
Milford, Connecticut 06460

STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
OWNER OCCUPIED REHABILITATION
AND REBUILDING PROGRAM (OORR)

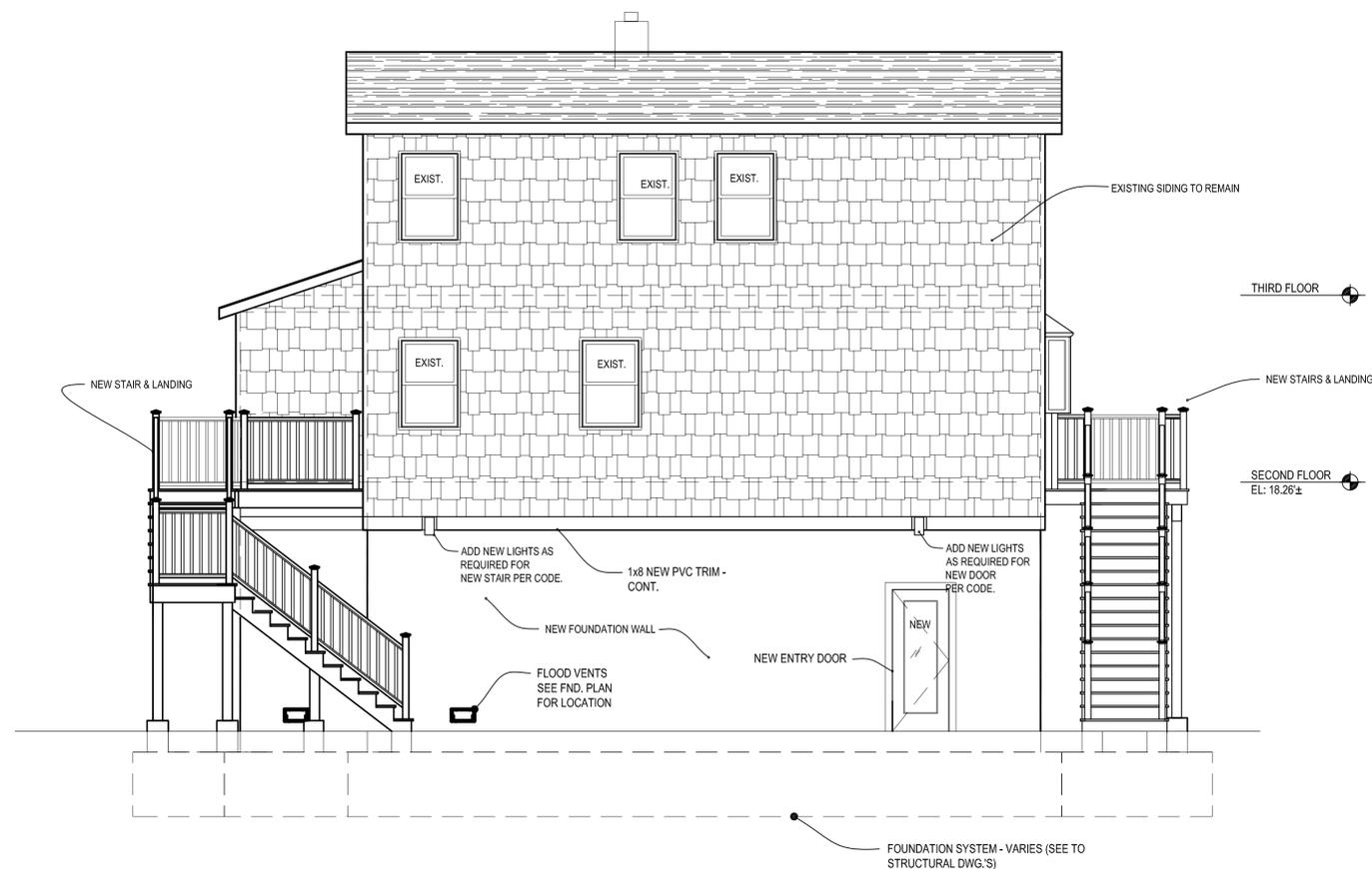
Date: 06/07/2014

Project Number: 1252
Drawn By: J.V.L.

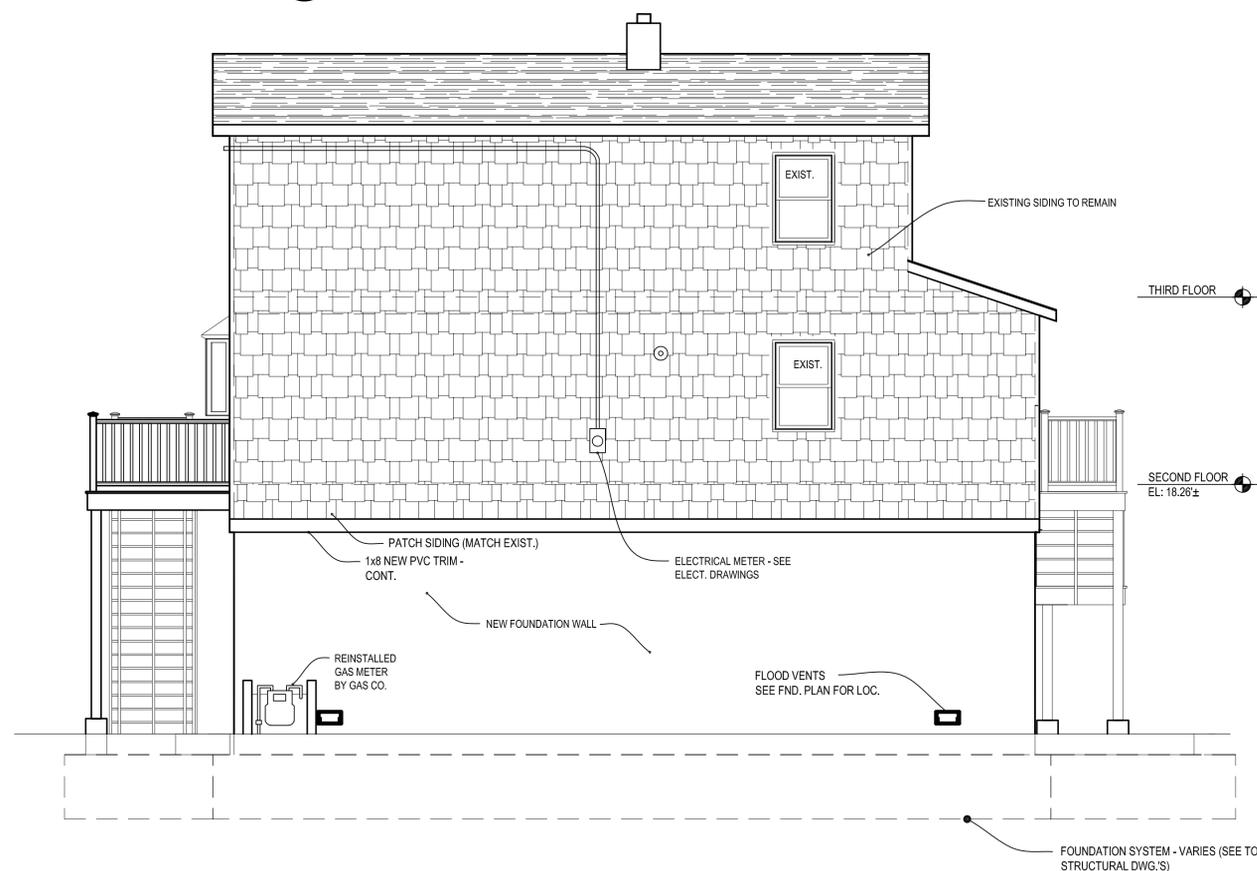
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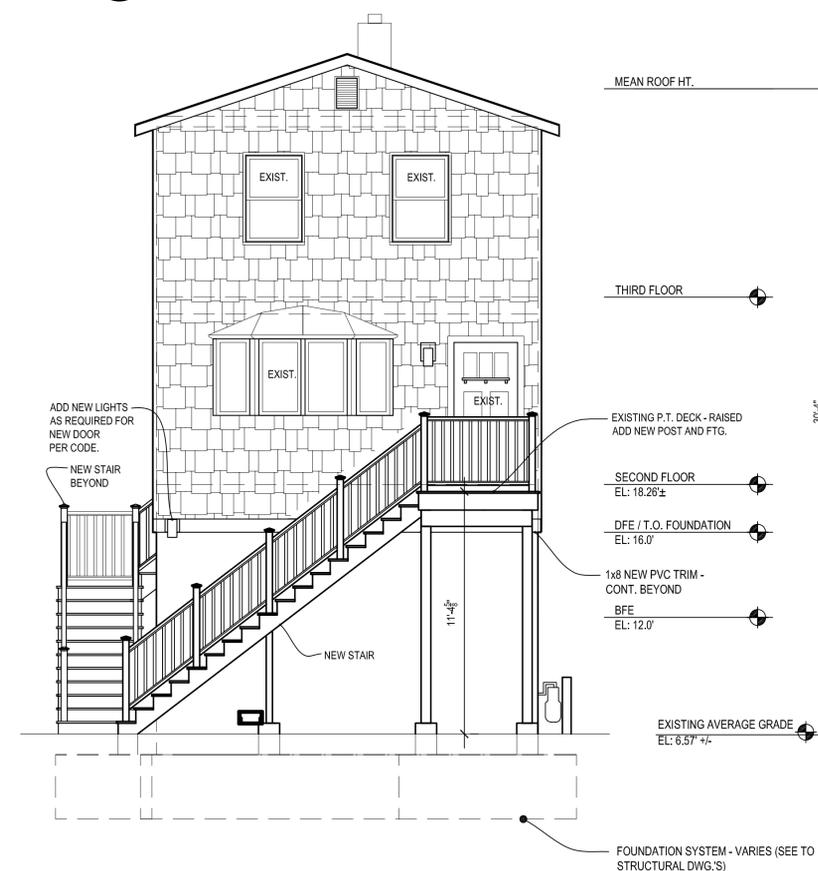
3 REAR ELEVATION
SCALE: 1/4" = 1'-0"



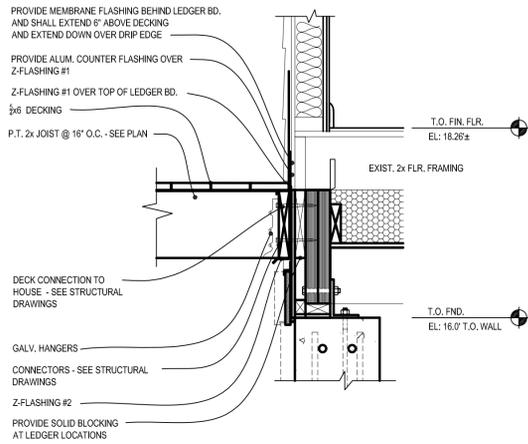
2 LEFT ELEVATION
SCALE: 1/4" = 1'-0"



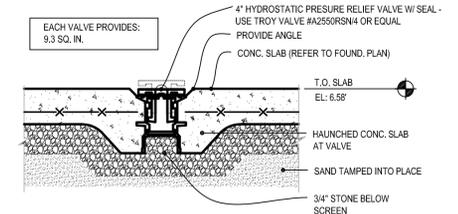
2 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



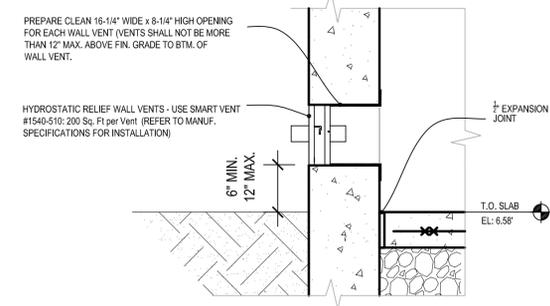
1 FRONT ELEVATION - Option-A
SCALE: 1/4" = 1'-0"



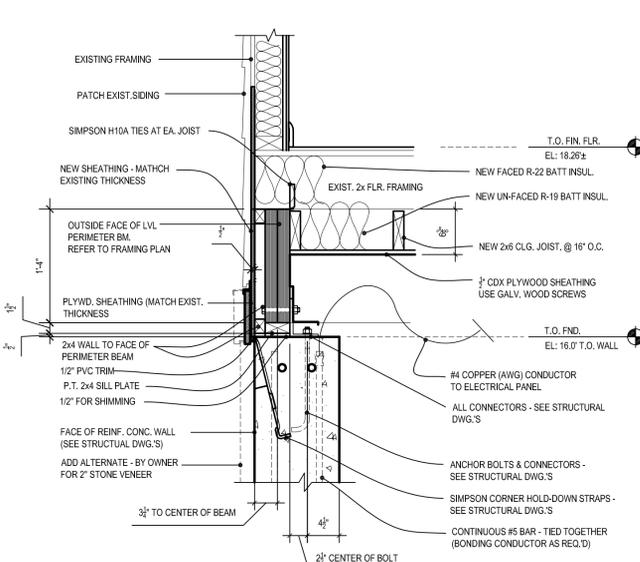
5 TYP. DECK DECK CONNECTION AT WALL
SCALE: 1" = 1'-0"



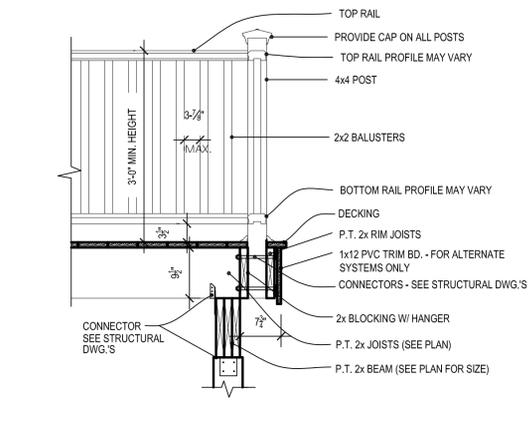
4 TYPICAL HYDRO PRESSURE RELIEF VALVE DETAIL
SCALE: 1" = 1'-0"



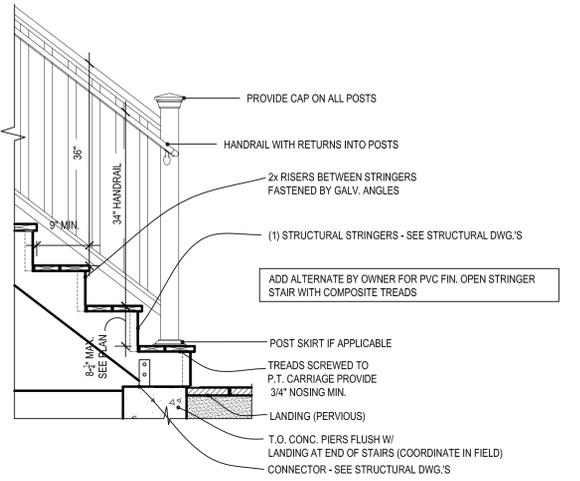
3 TYPICAL FLOOD VENT DETAIL
SCALE: 1" = 1'-0"



2 TYPICAL DETAIL
SCALE: 1" = 1'-0"



6 TYP. DECK RAIL DETAIL
SCALE: 3/4" = 1'-0"



7 DECK STAIR DETAIL
SCALE: 3/4" = 1'-0"

DOOR SCHEDULE

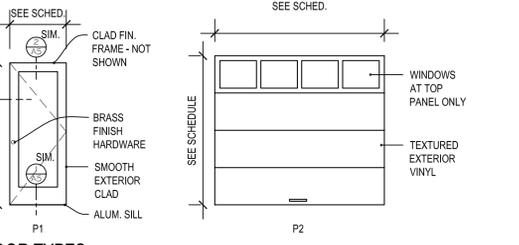
ABBREVIATIONS: CMST - COMPOSITE ALUM. - ALUMINUM WD. - WOOD MTL. - MILD STEEL - STANDARD P.P. - PRE PAINTED FGLS - FIBERGLASS PTP - PAINTED INT. - INTERIOR EXT. - EXTERIOR P.P. - PRE PAINTED

PERFORMANCE NOTE: EXTERIOR DOORS SHALL BE 0.31 U-FACTOR BETTER AND MIN. SP-50 RATING PROVIDE IMPACT RESISTANT GLASS AS REQ'D

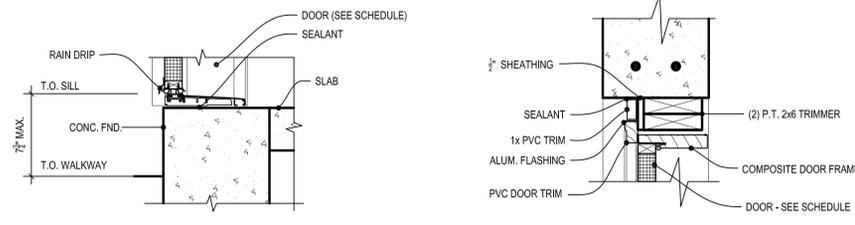
REV.#	DR. NUM.	ROOM NUMBER	DOOR SIZE OR UNIT NUMBER (WIDTH x HEIGHT)	DOOR TYPE	MAT. 1	FINISH	FRAME MAT. 1	FINISH	HEAD	JAMB	SILL	DETAILS	LABEL	HARDWARE SET	REMARKS
100	100		3'-0" x 8'-0" (SINGLE DOOR)	P1	CLAD	P.P.	CMST	P.P.	9/4"	9/4"	9/4"	1		1	
100.1	100		3'-0" x 8'-0" (SINGLE DOOR)	P2	VINYL	P.P.	N/A	N/A	9/4"	9/4"	9/4"	2		2	

*NOTE: DOOR SUPPLIER IS TO REVIEW ALL PLANS, ELEVATIONS & SCHEDULES. WINDOW & DOOR SUPPLIER IS TO REVIEW ALL ASPECTS OF DOOR SPECIFICATIONS & FUNCTIONS WITH THE OWNER AND/OR GENERAL CONTRACTOR. DOOR SUPPLIER IS TO PROVIDE SUBMITTALS FOR APPROVAL OF ALL SUPPLIED ITEMS BEFORE PLACING DOOR ORDER.

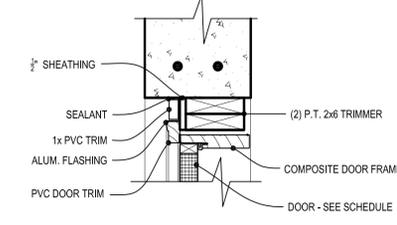
HARDWARE: 1# KEYPED ENTRY KNOB SET - SINGLE CYLINDER - BRASS



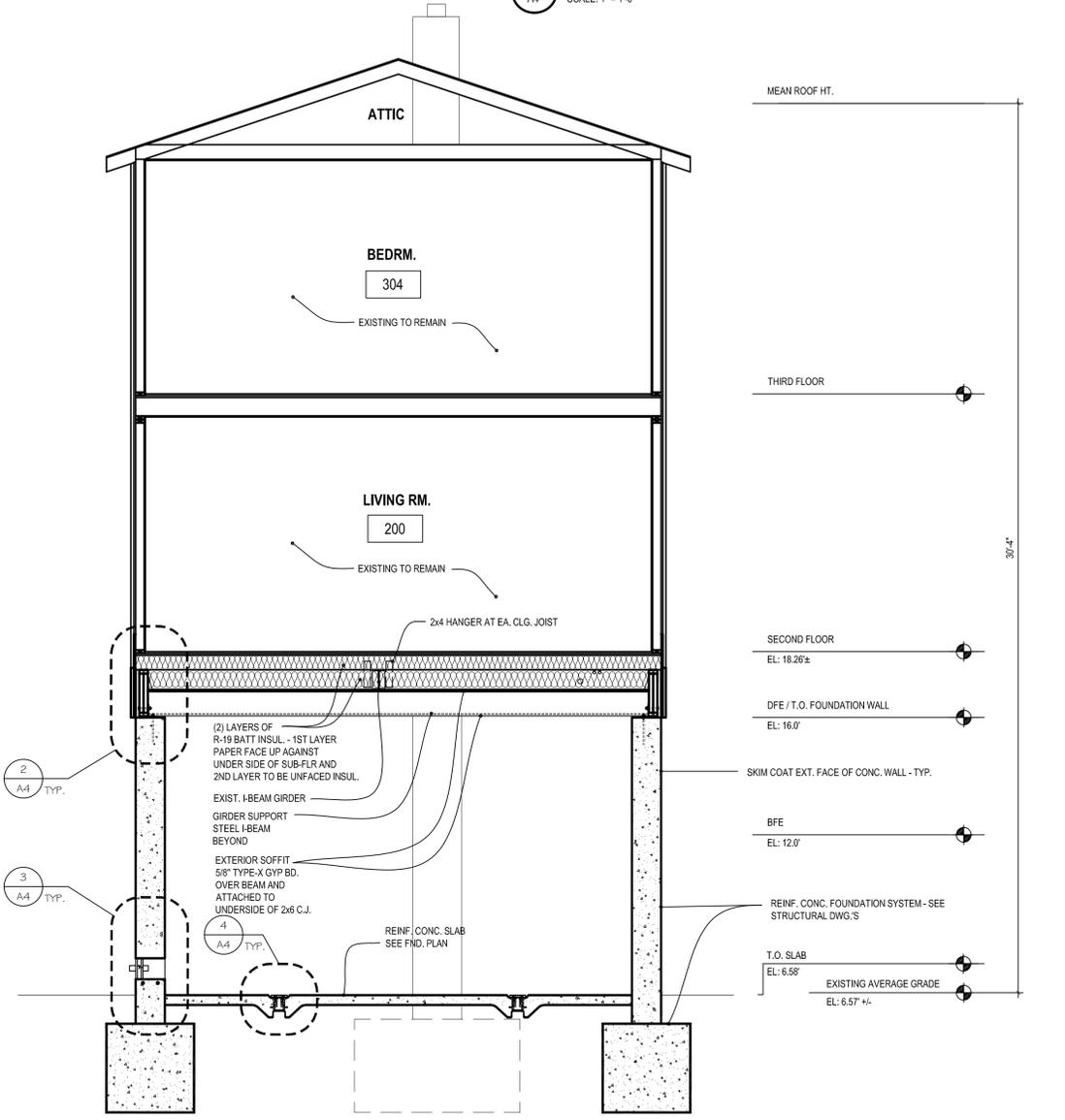
DOOR TYPES
SCALE: 1/4" = 1'-0"



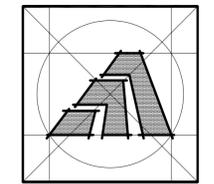
8 EXT. DOOR SILL DETAIL
SCALE: 1-1/2" = 1'-0"



9 EXT. HEAD DETAIL
SCALE: 1-1/2" = 1'-0"



1 BUILDING SECTION
SCALE: 3/8" = 1'-0"



Amaya Architects
American Institute of Architects

284 RACEBROOK RD. ORANGE, CT 06477
TEL: (203) 795 5656 FAX: (203) 799 3871

Sheet Title:
BUILDING SECTION AND DETAILS

APPLICATION # 1252
WITKIN-MARCUS RESIDENCE
39 Richard Street
Milford, Connecticut 06460

STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
OWNER OCCUPIED REHABILITATION AND REBUILDING PROGRAM (OORR)

Date: 06/07/2014

Project Number: 1252
Drawn By: J.V.L.

Sheet Number:
A4

