

SUPER STORM SANDY *Response and Recovery*

STATE OF CONNECTICUT DEPARTMENT OF HOUSING COMMUNITY DEVELOPMENT BLOCK GRANT DISASTER RECOVERY PROGRAM

**OWNER OCCUPIED REHABILITATION
AND REBUILDING PROGRAM (OORR)**

GOVERNOR OF CONNECTICUT:
DANNEL P. MALLOY



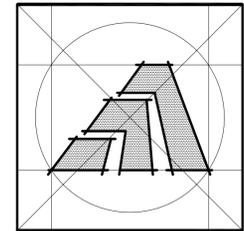
COMMISSIONER OF HOUSING:
EVONNE M. KLEIN

APPLICATION NO. 1249

**MIRMINA RESIDENCE
22 JAMES STREET
MILFORD, CONNECTICUT 06460
FEBRUARY 17, 2015
REVISED JUNE 04, 2015**



ARCHITECT:



Amaya Architects

American Institute of Architects
284 RACEBROOK RD. TEL (203) 795 5656
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S.M.E.P. ENGINEER:
LAND SURVEYOR:



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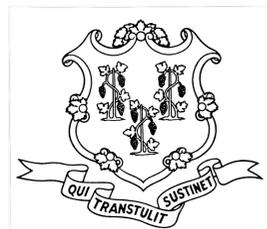
SUPER STORM SANDY RESPONSE AND RECOVERY

PROPOSED RENOVATION MIRMINA RESIDENCE

**ISSUED FOR BID
FEBRUARY 17, 2015
REVISED JUNE 4, 2015**

DRAWING LIST

C1	EXISTING/PROPOSED SITE PLAN	A6	PROPOSED BUILDING SECTIONS
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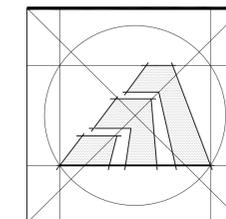
Constructed in cooperation with the
STATE OF CONNECTICUT
Dannel P. Malloy - GOVERNOR
Evonne M. Klein - COMMISSIONER OF HOUSING

DEPARTMENT OF HOUSING

Funded by a grant from the Community
Development Block Grant Disaster Recovery
Program

Owner Occupied Rehabilitation and Rebuilding
Program (OORR)

APPLICATION NO. 1249



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**PREPARED FOR:
MIRMINA RESIDENCE
22 JAMES STREET
MILFORD, CT 06460**

SITE INFORMATION

TAX MAP DESIGNATION: CITY OF MILFORD, PARCEL 27/456/11 VOL. 1414, PG. 172
STREET ADDRESS: 22 JAMES ST. MILFORD, CONNECTICUT
USE: EXISTING: RESIDENTIAL PROPOSED: RESIDENTIAL
ZONED: R5 - ONE FAMILY RESIDENTIAL

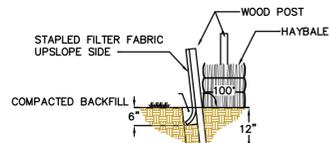
ZONING DATA

LOT AREA & BUILDING SETBACKS:	EXISTING	PROPOSED	ALLOWED/REQUIRED
LOT AREA	3,154 SF	NC	5,000 SF. MIN.
LOT WIDTH	35'	NC	50' MIN.
LOT DEPTH	90.15'	NC	70' MIN.
BUILDING			
FRONT YARD	9.5'	10'	10' MIN.
SIDE YARD	3.7' & 12.4'	3.7' & 12.3'	10' MIN. (ONE SIDE) 5' MIN. (OTHER SIDE)
REAR YARD	39.9'	NC	20' MIN.
BUILDING HEIGHT	21.68'	33'	3 STORIES OR 35' MAX.
BLDG. AREA AS % OF LOT	31.2%	36.1%	45% MAX.
LOT COVERAGE	53.7%	57.5%	65% MAX.

NOTES

- REFERENCE MAPS: PROPERTY SURVEY/PLOT PLAN FOR JOSEPH MIRMINA ADDRESS #22 JAMES STREET, MILFORD, CONNECTICUT 06460 PREPARED BY PAUL J. STOWELL LAND SURVEYING MILFORD, CT DATED JUNE 11, 2013. SCALE: 1"=10'
- ALL EXISTING SITE FEATURES SHALL REMAIN AS IS UNLESS NOTED ON DRAWINGS.
- STATE LAW REQUIRES: CALL BEFORE YOU DIG 1-800-922-4455 TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES.
- UTILITY INFORMATION SHOWN IS TAKEN FROM UTILITY COMPANY MAPS, OTHER MAPS, AND LIMITED FIELD SURVEY. CONTRACTOR IS RESPONSIBLE FOR FINAL VERIFICATION OF UTILITY LOCATIONS AFFECTING THE PROPOSED WORK. ANY DISCREPANCY BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER, THE OWNER, AND THE CITY ENGINEER. NO CHANGES TO THE PROPOSED CONSTRUCTION CAN BE MADE WITHOUT PRIOR APPROVAL.
- ANY ADDITIONAL EROSION/SEDIMENTATION CONTROL METHODS DEEMED NECESSARY BY CITY STAFF SHALL BE IMPLEMENTED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- ANY EXISTING WORK OR SITE DRAINAGE STRUCTURES OR UTILITIES, OTHER THAN THOSE CALLED OUT TO BE REPLACED OR MODIFIED, WHICH ARE DAMAGED BY THE CONTRACTOR DURING CONSTRUCTION, SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- ALL CONSTRUCTION AND EXCAVATION PROCEDURES TO BE IN ACCORDANCE WITH STANDARD CONSTRUCTION PRACTICES.
- ANY REFUSE OR DEBRIS MUST BE PROPERLY DISPOSED OF DAILY AT THE CONTRACTORS EXPENSE.
- ELEVATIONS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1988.
- ALL UTILITIES SHALL BE ADDRESSED WITH THE SUPPLIERS INDIVIDUALLY. ANY DAMAGE TO UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR. REPAIRS/REPLACEMENT SHALL BE PER UTILITY COMPANY STANDARDS.

UTILITY CO. CONTACT NUMBERS:
 GAS - SOUTHERN CONNECTICUT GAS - 1-800-659-8299
 SEWER - CITY OF MILFORD - JAMES COOPER - 203-783-3263
 WATER - SOUTH CENTRAL CONN. REGIONAL WATER AUTHORITY - 203-562-4020
 ELEC. - UNITED ILLUMINATING COMPANY - 1-800-722-5584
 OPTIMUM CONNECTICUT - 1-203-870-2584

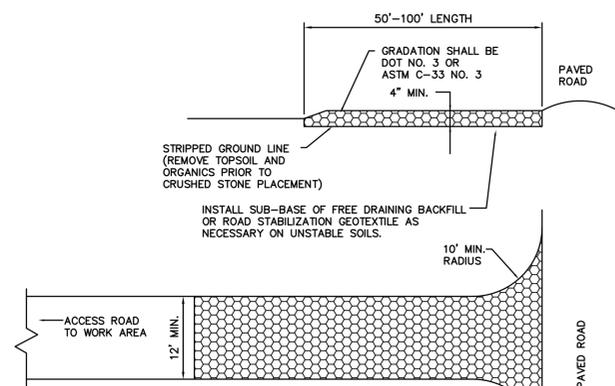


SILT FENCE DETAIL

- EXCAVATE 6"x6" TRENCH ON THE UPSLOPE SIDE OF THE FENCE LOCATION
- DRIVE SUPPORT POSTS ON THE DOWN SLOPE SIDE OF THE TRENCH TO A DEPTH OF AT LEAST 12" INTO ORIGINAL GROUND.
- ANGLE POSTS 10 DEGREES UPHILL TO OVER COMPENSATE FOR ANY SAGGING IN FENCE DUE TO PRESSURE FROM BUILT UP SEDIMENT.
- STAPLE OR SECURE GEOTEXTILE TO THE POSTS PER MANUFACTURERS RECOMMENDATIONS SUCH THAT 6" OF FABRIC LIES IN THE TRENCH.
- BACKFILL THE TRENCH WITH THE EXCAVATED TRENCH MATERIAL OVER THE FABRIC. TAMP TO COMPACT THE SOIL.

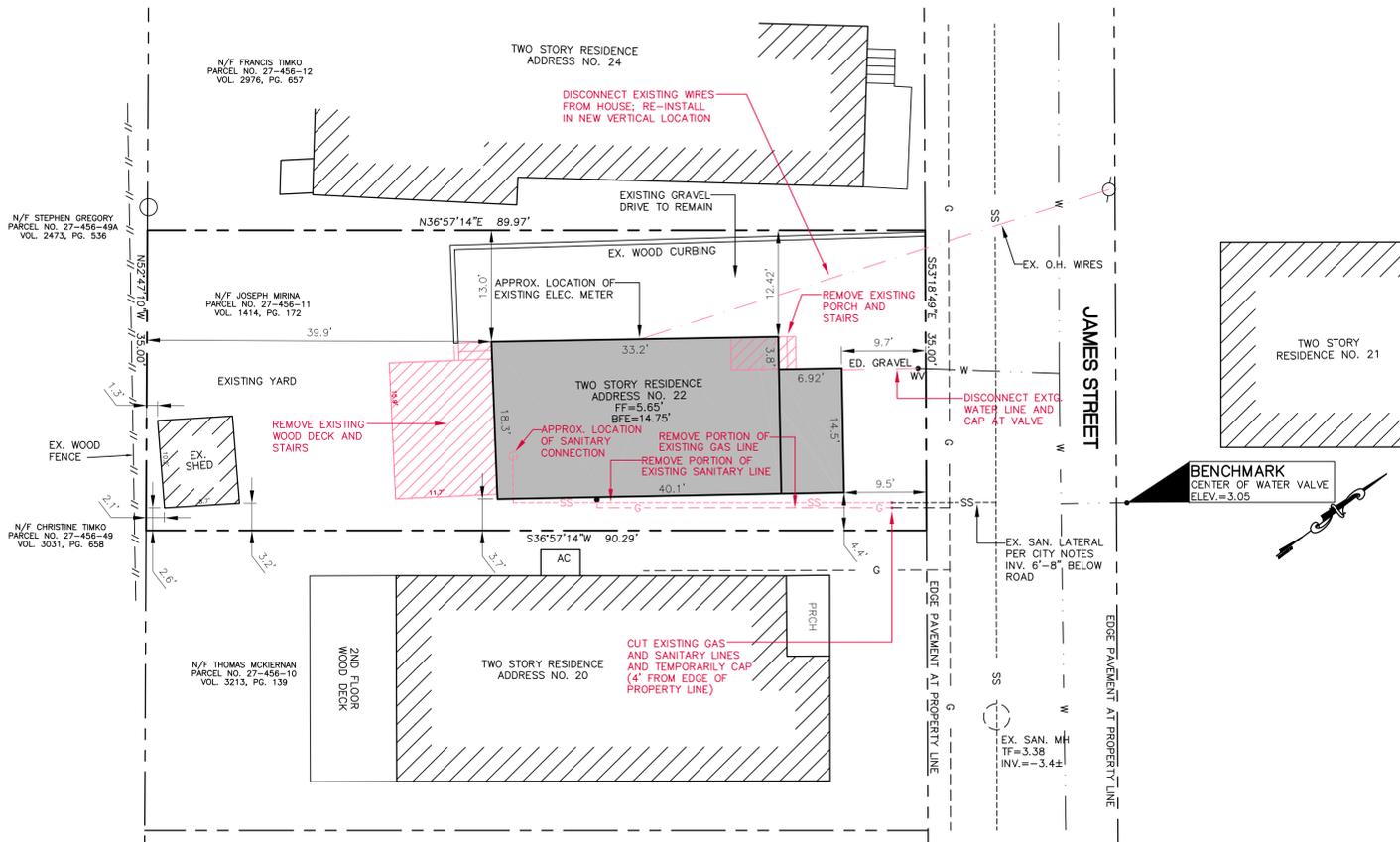
GEOTEXTILE SILT FENCE/HAYBALE DETAIL

NOT TO SCALE



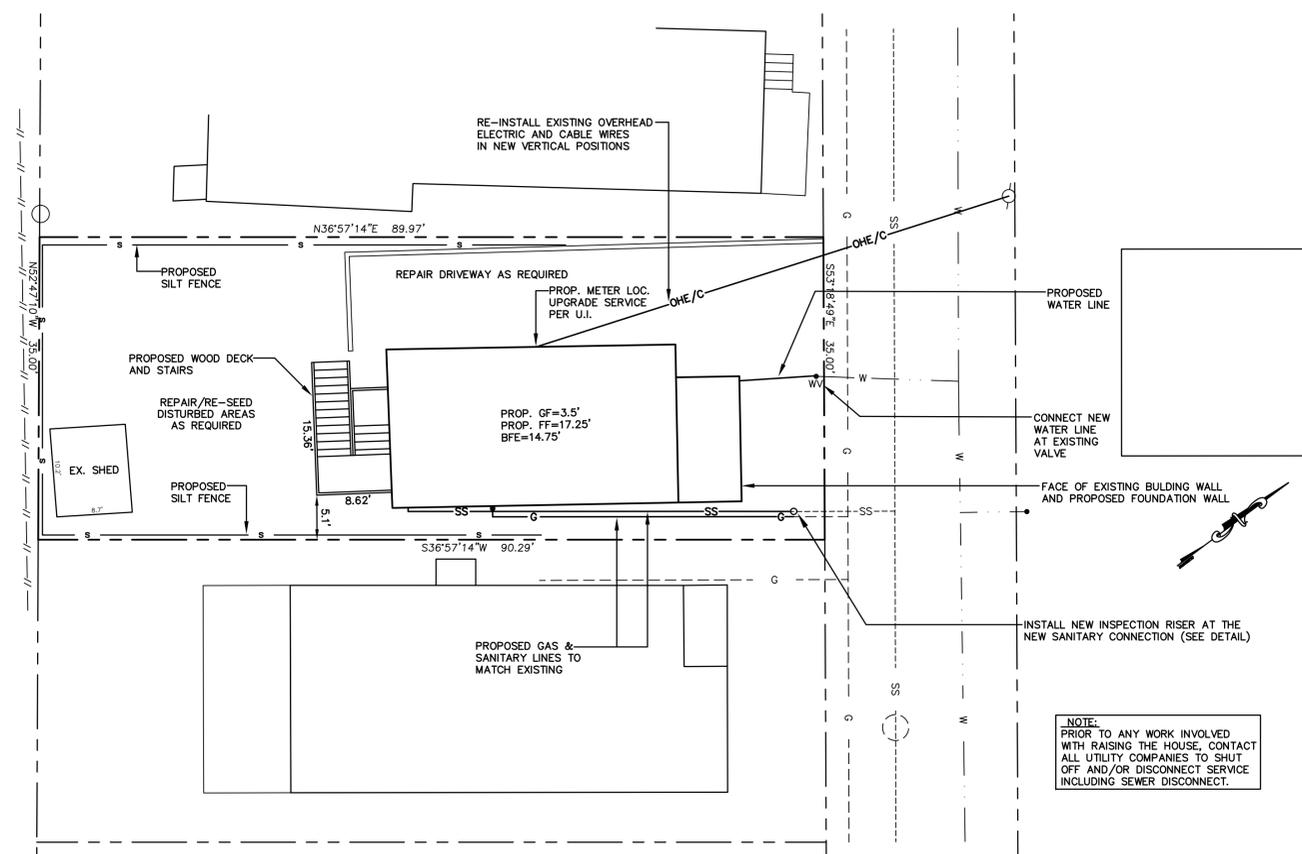
CONSTRUCTION ENTRANCE DETAIL

NOT TO SCALE



1 EXISTING SITE PLAN / DEMOLITION PLAN

SCALE: 1"=10'

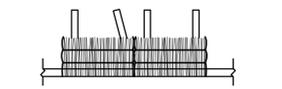


2 PROPOSED SITE PLAN

SCALE: 1"=10'

LEGEND

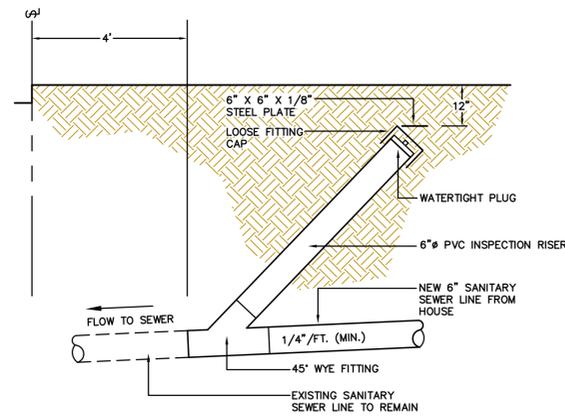
- STONE WALL
- WIRE FENCE
- NO PHYSICAL BOUNDARY
- DECIDUOUS TREE
- CONIFEROUS TREE
- FOLIAGE LINE
- RAIL FENCE
- STOCKADE OR BOARD FENCE
- CATCH BASIN
- RETAINING WALL
- WETLAND BOUNDARY
- EXISTING CONTOUR
- PROPOSED CONTOUR
- OBSERVATION PIT and/or PERCOLATION HOLE
- SILT FENCE
- PROPOSED SPOT ELEVATION
- APPROX. LIMIT OF DISTURBED AREA
- TO BE REMOVED
- EXISTING



- EXCAVATE 4" DEEP TRENCH WIDE ENOUGH FOR HAY BALES TO SIT IN.
- SET HAYBALES 4" DEEP INTO DISTURBED EXCAVATION AREA.
- HAYBALES SHALL BE STAKED IN PLACE WITH MIN. 2 STAKES PER BALE.
- ANGLE FIRST STAKE IN EACH BALE TOWARD PREVIOUSLY STAKED HAYBALE TO FORCE THE BALES TOGETHER.
- FILL ANY GAPS BETWEEN THE BALES WITH HAY OR STRAW TO PREVENT WATER FROM ESCAPING BETWEEN THE BALES.
- BACKFILL THE HAYBALE TRENCH WITH THE EXCAVATED TRENCH MATERIAL. TAMP TO COMPACT THE SOIL.

HAYBALE BARRIER DETAIL

NOT TO SCALE

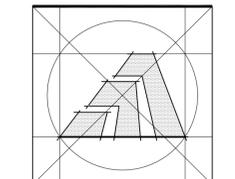


INSPECTION RISER DETAIL

NOT TO SCALE

NOTE: PRIOR TO ANY WORK INVOLVED WITH RAISING THE HOUSE, CONTACT ALL UTILITY COMPANIES TO SHUT OFF AND/OR DISCONNECT SERVICE INCLUDING SEWER DISCONNECT.

NOTE: CONTRACTOR IS RESPONSIBLE FOR SUPPORTING EXISTING STRUCTURE THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD INCLUDING RAISING AND SECURING THE STRUCTURE UPON THE PROPOSED FOUNDATION AT THE NEW ELEVATION.



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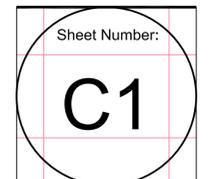
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EXISTING / PROPOSED SITE PLANS

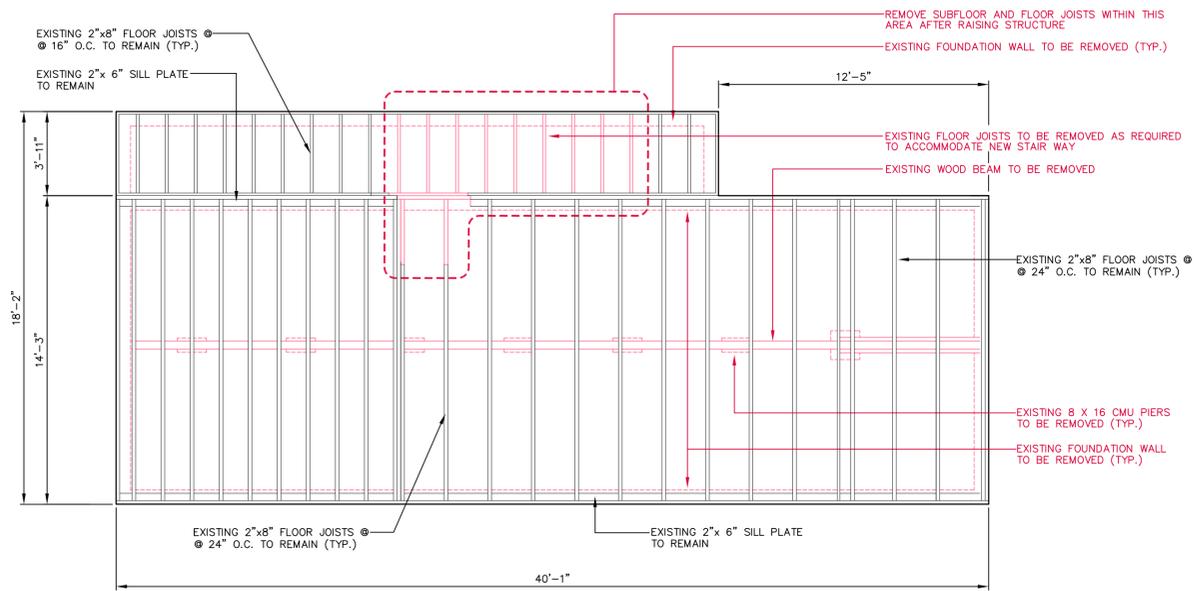
APPLICATION # 1249
MIRMINA RESIDENCE
 22 James Street
 Milford, Connecticut 06460

STATE OF CONNECTICUT
 DEPARTMENT OF HOUSING
 COMMUNITY DEVELOPMENT BLOCK GRANT
 DISASTER RECOVERY PROGRAM
 OWNER OCCUPIED REHABILITATION
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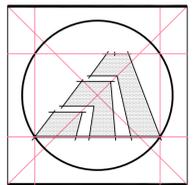
Date: ISSUED 2/17/2015
 REVISED 6/4/2015

Job Number: 588
 Drawn By: G.H.J.





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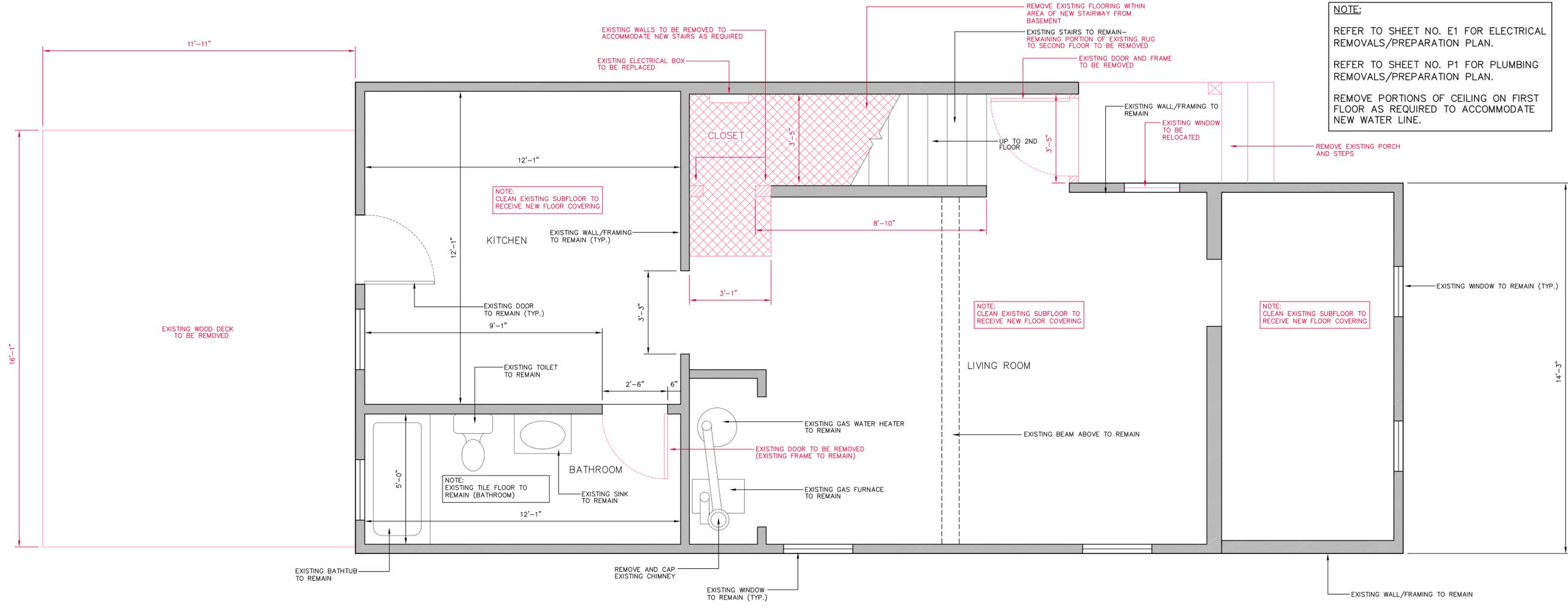
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1 EXISTING FIRST FLOOR FRAMING PLAN / DEMOLITION PLAN
 Ex1 SCALE: 1/4"=1'-0"



NOTE:
 REFER TO SHEET NO. E1 FOR ELECTRICAL
 REMOVALS/PREPARATION PLAN.
 REFER TO SHEET NO. P1 FOR PLUMBING
 REMOVALS/PREPARATION PLAN.
 REMOVE PORTIONS OF CEILING ON FIRST
 FLOOR AS REQUIRED TO ACCOMMODATE
 NEW WATER LINE.

Sheet Title:
**EXISTING FIRST FLOOR
 FRAMING PLAN &
 FIRST FLOOR PLAN**

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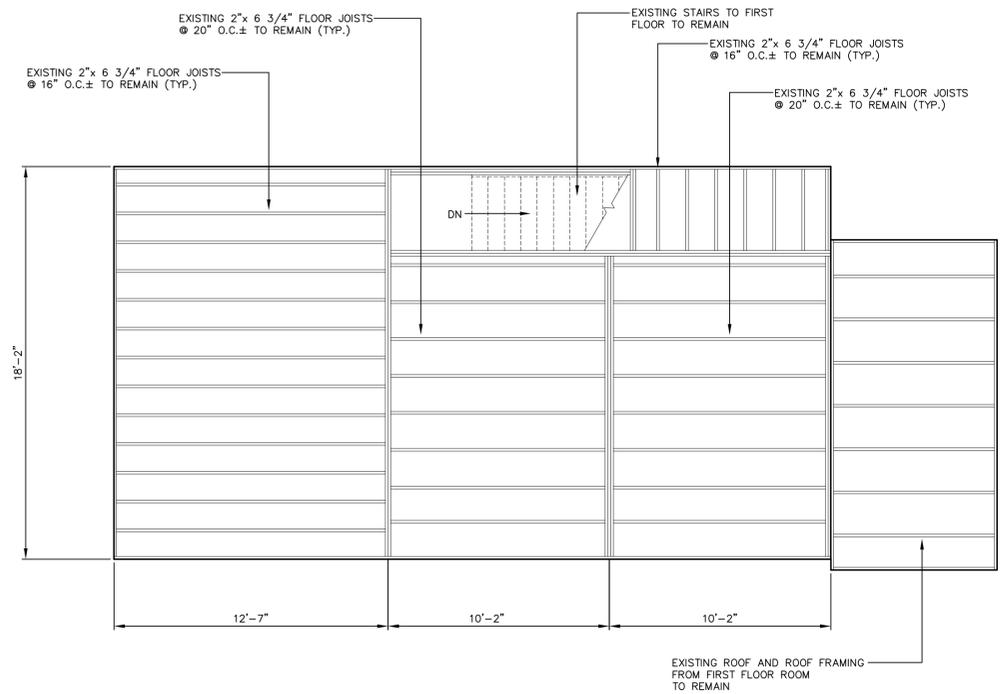
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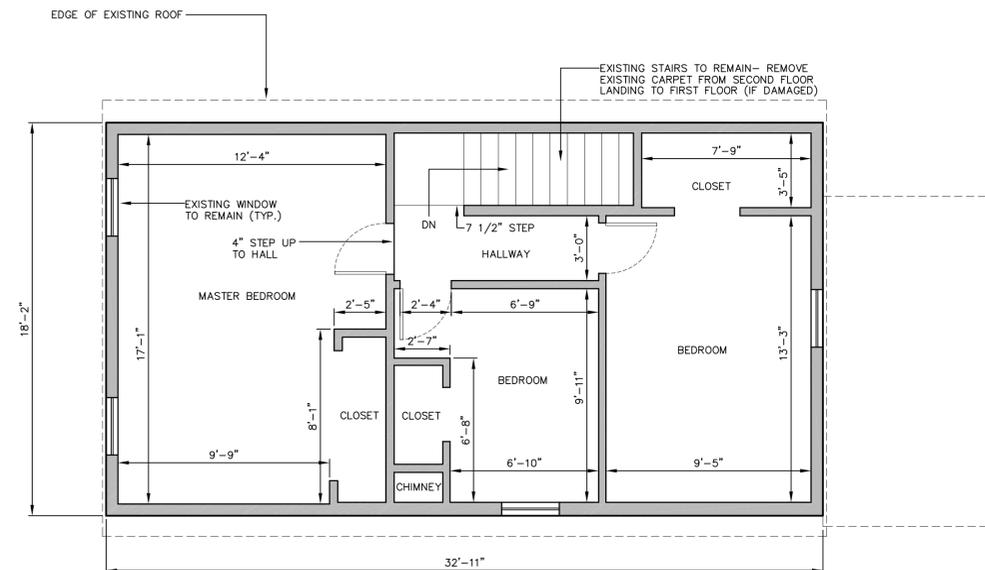
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Sheet Number:
Ex1

2 EXISTING FIRST FLOOR PLAN / DEMOLITION PLAN
 Ex1 SCALE: 1/2"=1'-0"

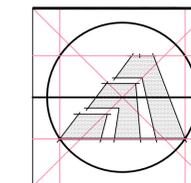


1 EXISTING SECOND FLOOR FRAMING PLAN
 Ex2 SCALE: 1/4"=1'-0"



2 EXISTING SECOND FLOOR PLAN
 Ex2 SCALE: 1/4"=1'-0"

NOTE:
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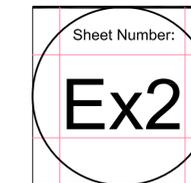
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**EXISTING SECOND FLOOR
 FRAMING PLAN &
 SECOND FLOOR PLAN**

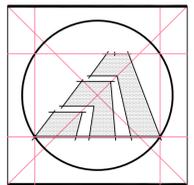
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Sheet Title:
EXISTING ELEVATIONS

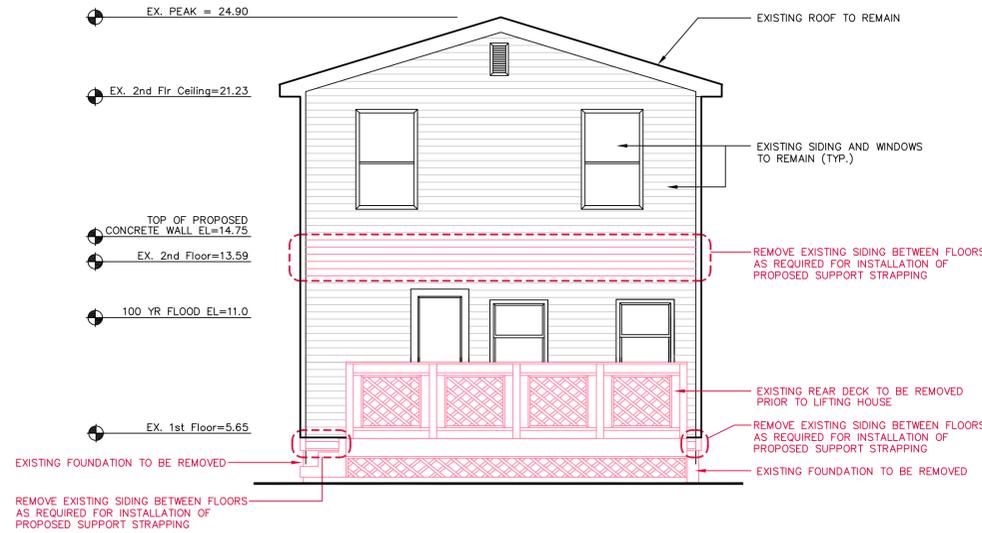
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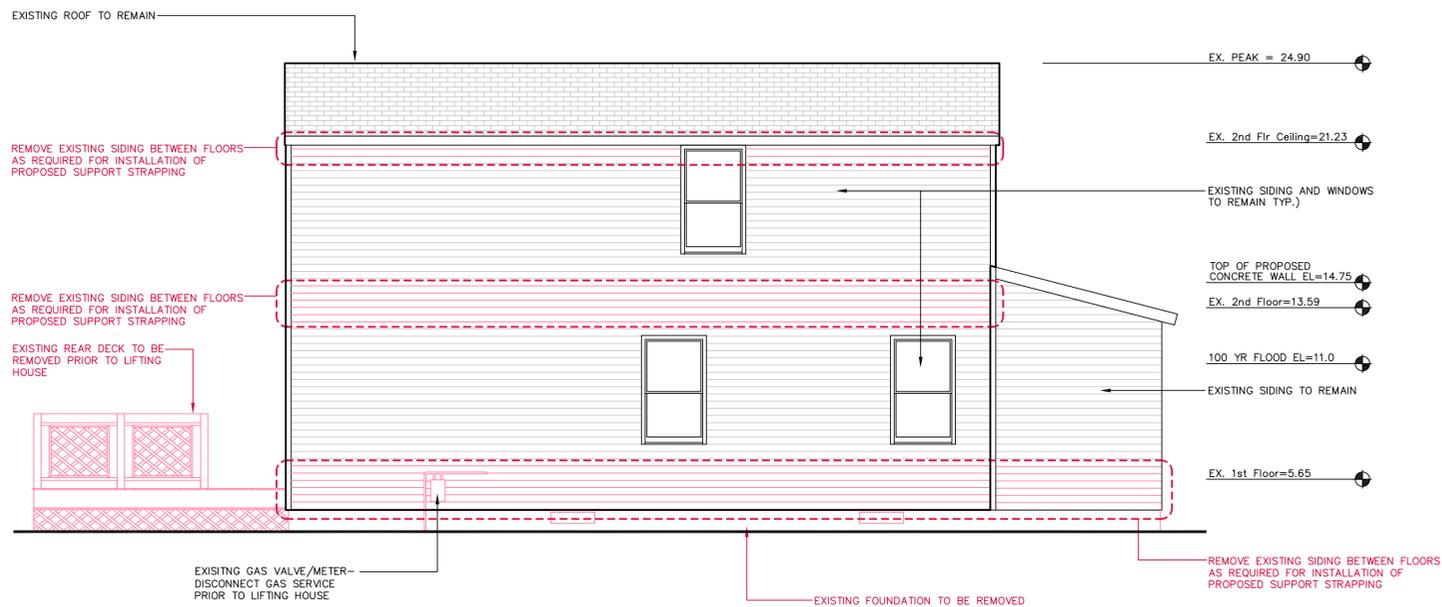
Job Number: 588
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Sheet Number:
Ex3



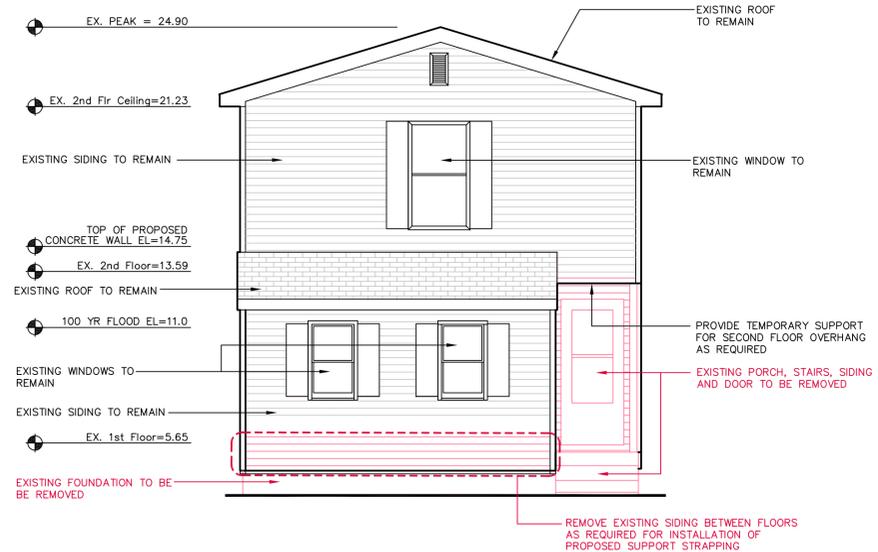
1 EXISTING SOUTH ELEVATION
SCALE: 1/4"=1'-0"

Ex3



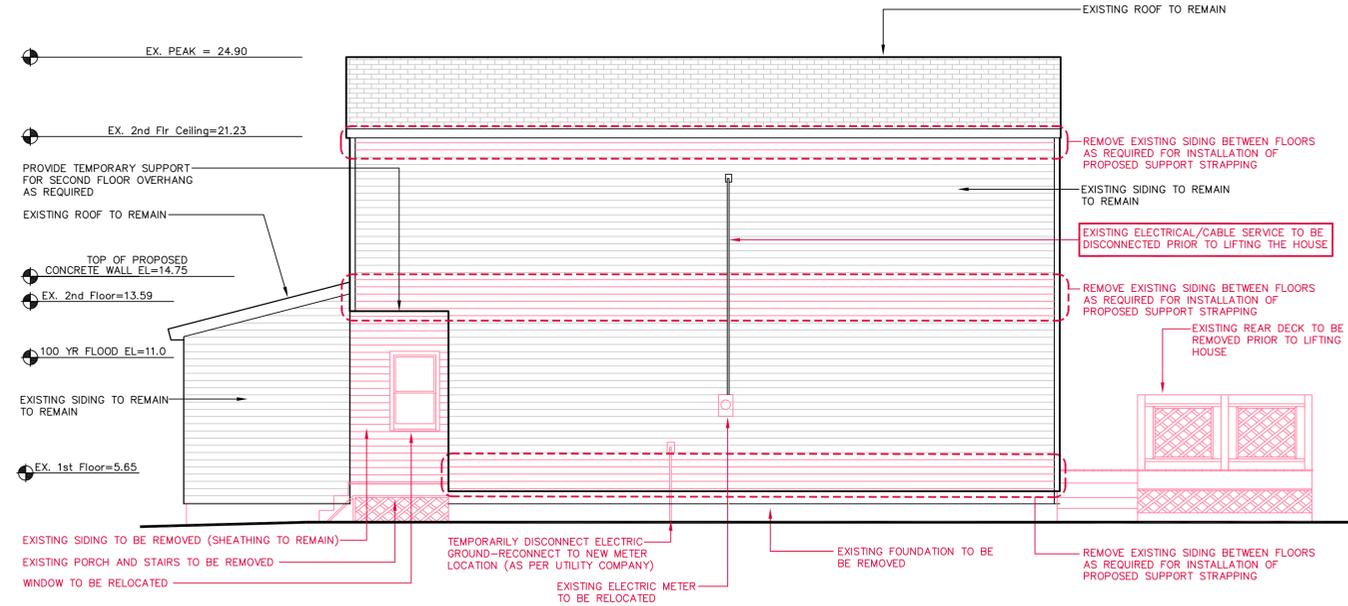
2 EXISTING EAST ELEVATION
SCALE: 1/4"=1'-0"

Ex3



3 EXISTING NORTH ELEVATION
SCALE: 1/4"=1'-0"

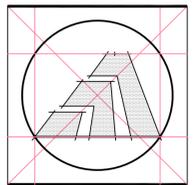
Ex3



4 EXISTING WEST ELEVATION
SCALE: 1/4"=1'-0"

Ex3

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Sheet Title:
PROPOSED FOUNDATION PLAN

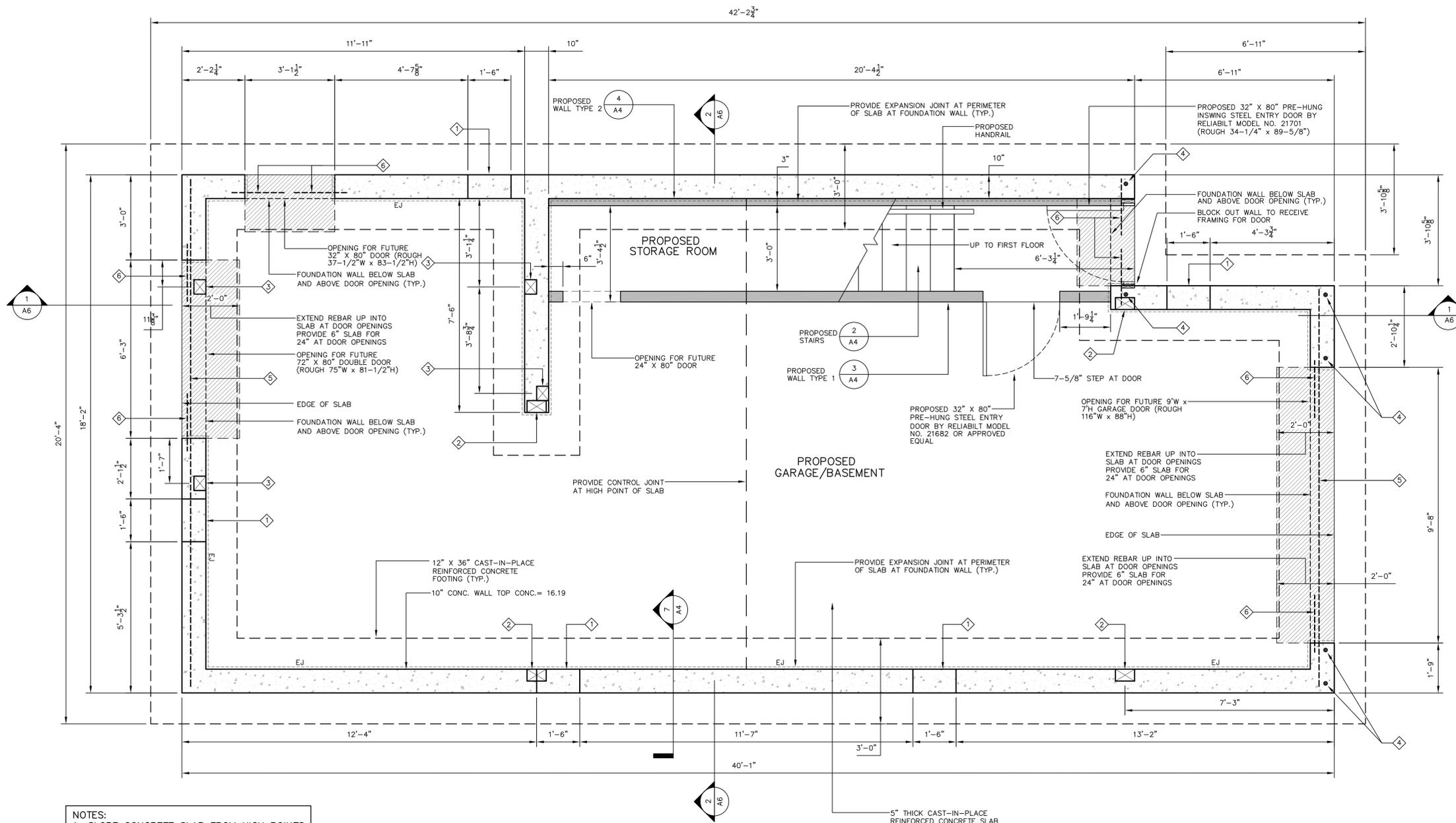
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Sheet Number:
A1



- NOTES:
1. SLOPE CONCRETE SLAB FROM HIGH POINTS TO LOW POINTS AT 1/4" PER FOOT MIN.-
 2. FOR ELECTRICAL AND PLUMBING LAYOUT REFER TO ELECTRICAL AND PLUMBING SHEETS (E1 AND P2)
 3. PROVIDE SKIM COAT FINISH TO EXPOSED EXTERIOR CONCRETE FOUNDATION WALL

NOTE:
FIELD VERIFY ALL FOUNDATION DEMENSIONS-
FOUNDATION IS BASED ON EXISTING HOUSE
FOOTPRINT.

1
A1 PROPOSED FOUNDATION/BASEMENT PLAN
SCALE: 1/2"=1'-0"

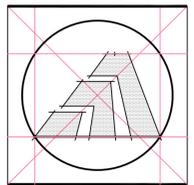
NOTES ON CONCRETE

1. CONTRACTOR SHALL HAVE PROJECT ENGINEER EVALUATE THE EXCAVATION FOR THE FOOTINGS TO DEPTH NOTED ON DRAWINGS PRIOR TO FORMING ANY FOOTINGS.
2. FOOTINGS ARE INTENDED TO BEAR ON UNDISTURBED MATERIAL. CONTRACTOR SHALL NOTIFY THE ENGINEER WHERE PROPOSED FOOTING ELEVATIONS WOULD BEAR ON UNSUITABLE MATERIAL AND PROCEED ONLY AS DIRECTED. THE BOTTOM OF ALL FOOTINGS SHALL BE MINIMUM OF 6'-6" BELOW FINISHED GRADE.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, QUANTITIES AND DETAILS.
4. DO NOT SCALE THESE DRAWINGS IN LIEU OF FIELD MEASUREMENTS.
5. MATERIALS/PROCEDURES: REFER TO SPECIFICATION SECTION 03300.
6. PROVIDE UTILITY SLEEVES AS DIRECTED BY THE OWNER.
7. COORDINATE ALL CONCRETE WORK WITH INSTALLATION OF UTILITY SLEEVES.
8. EXCAVATED DOWN THROUGH MUCK LAYER. INSTALL CONCRETE SLAB WHERE NOTED AND AS DETAILED ON DRAWINGS. INSTALL CONCRETE AND REINFORCEMENT TO REQUIRED LINE, GRADE AND CROSS SECTION. INSTALL REINFORCEMENT FABRIC AND BARS ON CHAIRS OR MASONRY BLOCKS. DO NOT PLACE REINFORCEMENT FABRIC DIRECTLY ON TOP OF THE BASE COURSE OR RAISE REINFORCEMENT BY HAND AFTER CONCRETE HAS BEEN PLACED.

FOUNDATION NOTE LEGEND

- | | | | |
|---|---|---|---|
| 1 | 16"x8" HIGH FOUNDATION FLOOD VENT. SMART VENT MODEL #1540-510 OR EQUIVALENT. PROVIDE (2) #5 x 36" REBAR OVER OPENINGS. BTM. ELEV. = 4.25' | 5 | PROVIDE (2) #6 HORIZONTAL REBAR FULL LENGTH OF WALL ABOVE OVERHEAD DOOR AND PASS DOORS. |
| 2 | 5"x8"x8-3/4" HIGH BEAM POCKET. BEND REBAR BEHIND POCKET. | 6 | PROVIDE (2) #6 BENT 24"x24" DOWELS AT TOP CORNERS ON OVERHEAD DOOR AND PASS DOORS. |
| 3 | 5"x6"x8-3/8" HIGH BEAM POCKET. BEND REBAR BEHIND POCKET. | | |
| 4 | PROVIDE (3) #6 VERTICAL REBAR AT THE CORNERS OF NORTH WALL AND AT EACH SIDE OF THE OVERHEAD DOOR AND PASS DOOR. PROVIDE STIRRUPS AS REQUIRED. | | |

NOTE:
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Sheet Title:
PROPOSED FIRST FLOOR PLAN

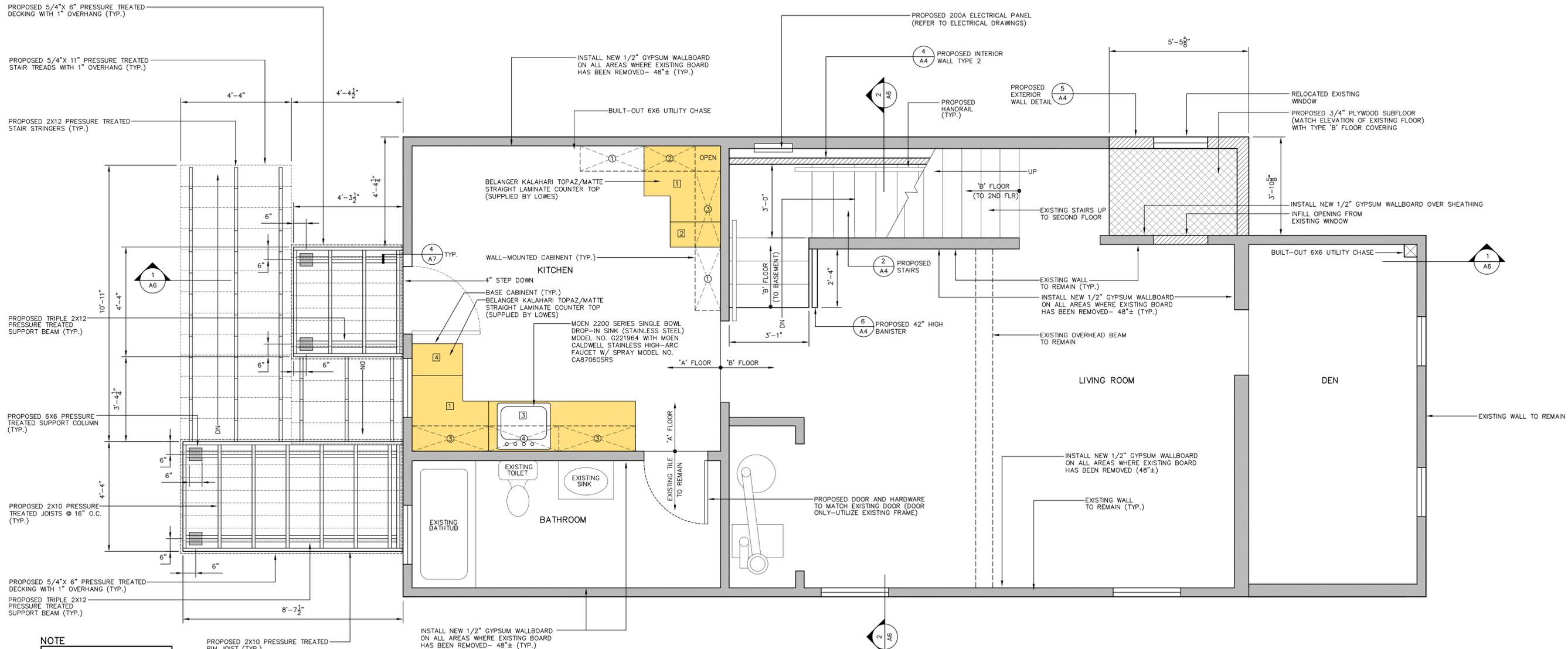
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Sheet Number:
A2



NOTE
REFER TO A3 FOR FINISH DECK PLAN

KITCHEN CABINET LEGEND

BASE CABINETS	WALL MOUNTED CABINETS
1 KITCHEN CLASSICS 36"W X 35"H X 23.75"D FINISHED PORTLAND OAK LAZY SUSAN BASE CABINET AS SUPPLIED BY LOWES	1 KITCHEN CLASSICS 30"W X 14"H X 12"D FINISHED PORTLAND OAK DOUBLE DOOR WALL CABINET AS SUPPLIED BY LOWES
2 KITCHEN CLASSICS 12"W X 35"H X 23.75"D FINISHED PORTLAND OAK DOOR AND DRAWER BASE CABINET AS SUPPLIED BY LOWES	2 KITCHEN CLASSICS 24"W X 30"H X 12"D FINISHED PORTLAND OAK SINGLE DOOR WALL CABINET AS SUPPLIED BY LOWES
3 KITCHEN CLASSICS 33"W X 35"H X 23.75"D FINISHED PORTLAND OAK SINK BASE CABINET AS SUPPLIED BY LOWES	3 KITCHEN CLASSICS 36"W X 30"H X 12"D FINISHED PORTLAND OAK DOUBLE DOOR WALL CABINET AS SUPPLIED BY LOWES
4 KITCHEN CLASSICS 15"W X 35"H X 23.75"D FINISHED PORTLAND OAK DOOR AND DRAWER BASE CABINET AS SUPPLIED BY LOWES	4 KITCHEN CLASSICS 33"W X 14"H X 12"D FINISHED PORTLAND OAK DOUBLE DOOR WALL CABINET AS SUPPLIED BY LOWES

FLOOR COVERING LEGEND

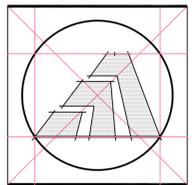
TYPE 'A' FLOOR COVERING	TYPE 'B' FLOOR COVERING
1 LOW-GLOSS SHEET VINYL FLOOR COVERING- COLOR AND FINISH TO BE SELECTED BY THE OWNER (INCLUDES ADHESIVE)	1 TEXTURED STAINMASTER LOW PILE INDOOR CARPETING- COLOR AND TEXTURE TO BE SELECTED BY THE OWNER (INCLUDES STAINMASTER CARPET PADDING)

NOTES:

- REFER TO ELECTRICAL AND PLUMBING SHEETS FOR ELECTRIC AND PLUMBING LAYOUT.
- REFER TO SHEET A3 FOR DECK RAILING LAYOUT.
- REFER TO SHEET S2 FOR FIRST FLOOR FRAMING PLAN.
- ALL WALLS TO BE PRIMED AND PAINTED WITH AN ACRYLIC LATEX PAINT (FLAT FINISH LIVING ROOM AND STAIRWAYS; SEMI-GLOSS IN BATHROOM AND KITCHEN)- COLOR TO BE SELECTED BY THE OWNER.
- REPLACE ALL DAMAGED/REMOVED INSULATION (48"±) ON ALL EXTERIOR WALLS ON THE FIRST FLOOR WITH R19 INSULATION.

1 PROPOSED FIRST FLOOR PLAN
A2 SCALE: 1/2"=1'-0"

NOTE:
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Sheet Title:
PROPOSED SECOND FLOOR PLAN

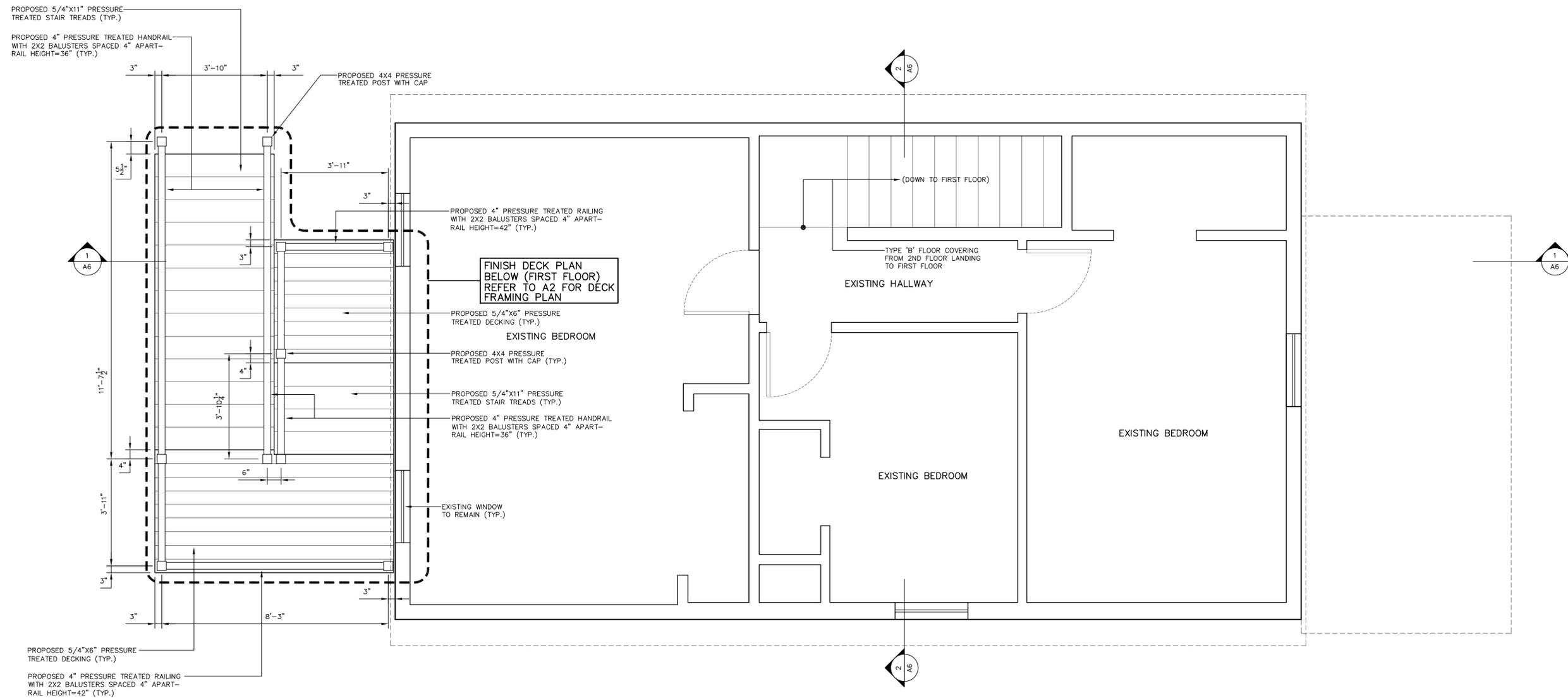
APPLICATION # 1249
MIRMINA RESIDENCE
22 James Street
Milford, Connecticut 06460

STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
OWNER OCCUPIED REHABILITATION
AND REBUILDING PROGRAM (OORR)

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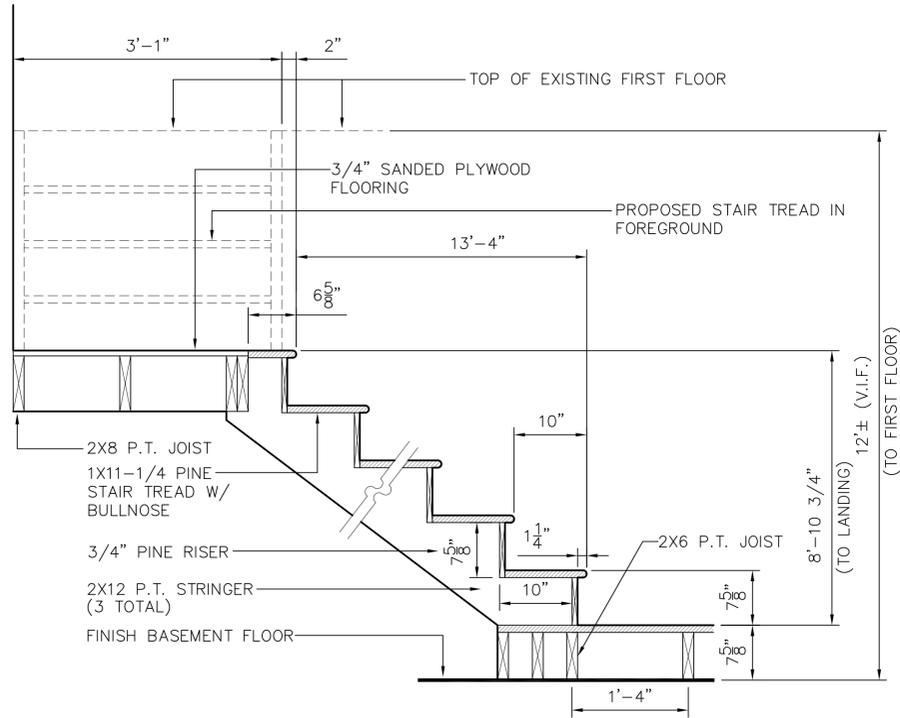
Job Number: 588
Drawn By: G.H.J.

Sheet Number:
A3

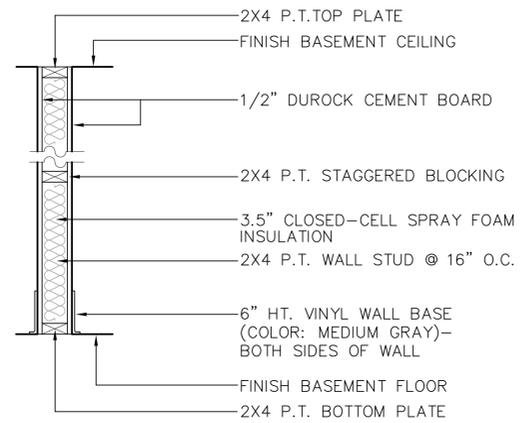


1 PROPOSED SECOND FLOOR PLAN
A3 SCALE: 1/2"=1'-0"

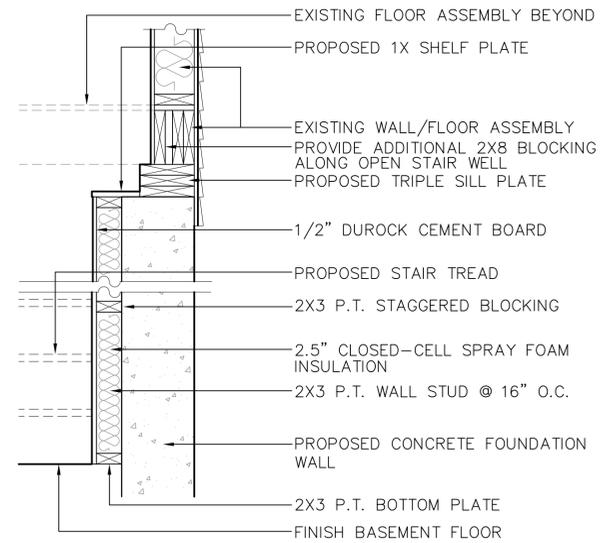
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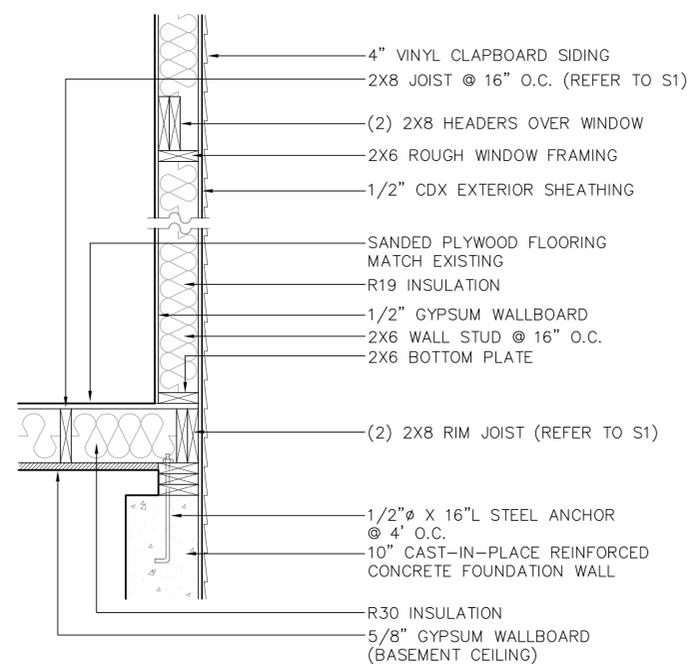
2 PROPOSED STAIR DETAIL
A4 SCALE: 1"=1'-0"



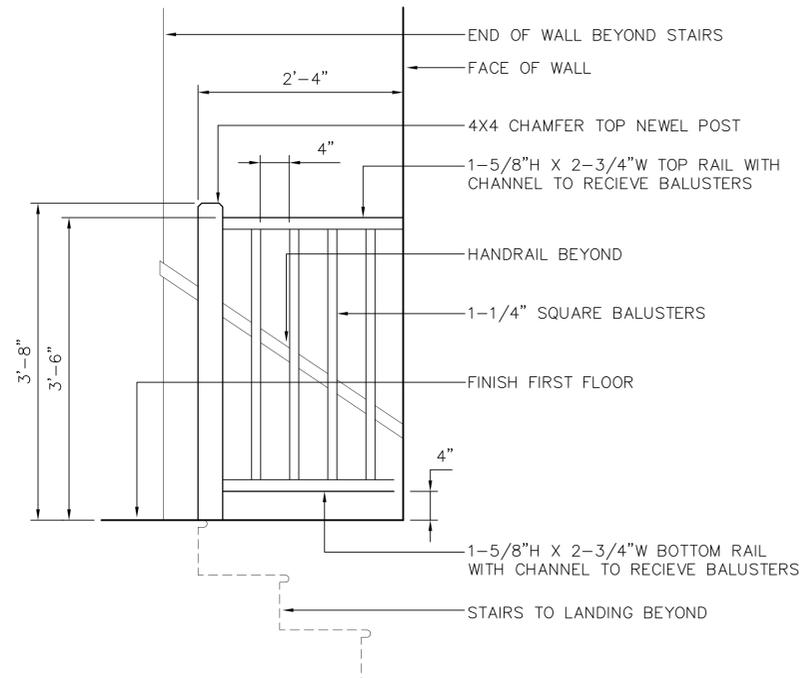
3 PROPOSED INTERIOR WALL (BASEMENT)- TYPE 1
A4 SCALE: 1"=1'-0"



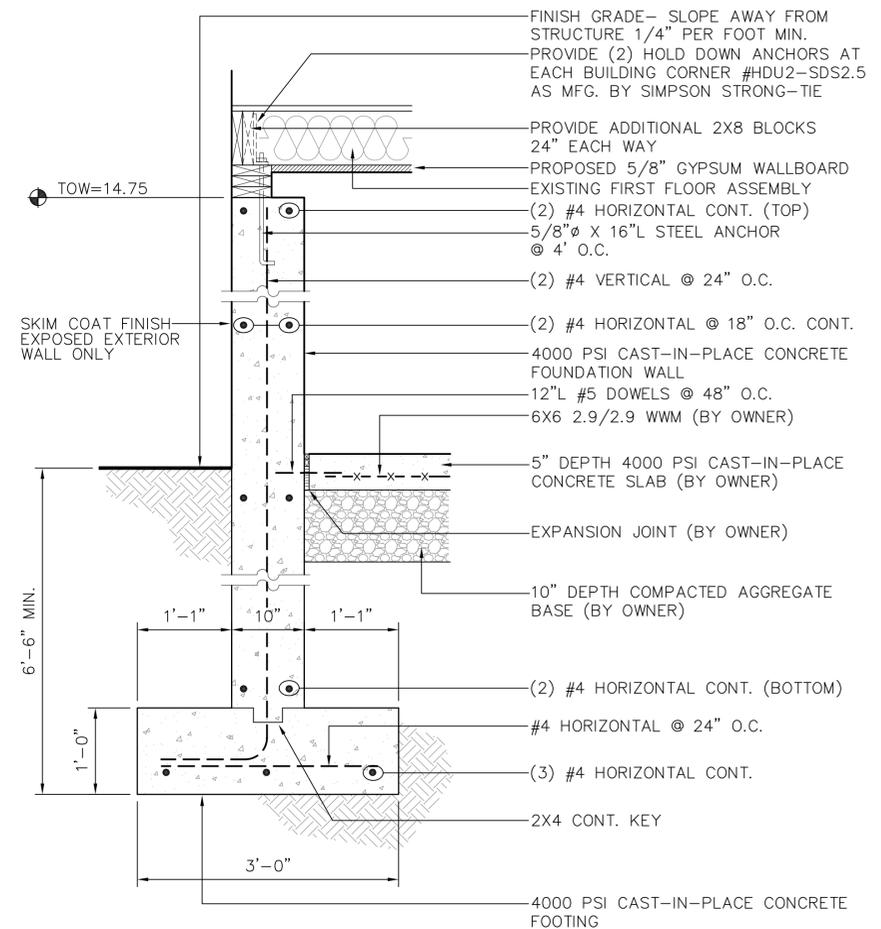
4 PROPOSED INTERIOR WALL (BASEMENT)- TYPE 2
A4 SCALE: 1"=1'-0"



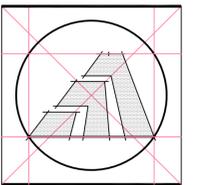
5 PROPOSED EXTERIOR WALL (LIVING ROOM)
A4 SCALE: 1"=1'-0"



6 PROPOSED 42" HT. BANISTER (LIVING ROOM)
A4 SCALE: 1"=1'-0"



7 PROPOSED CONCRETE FOUNDATION/FOOTING (TYP.)
A4 SCALE: 1"=1'-0"



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Sheet Title:

PROPOSED ENLARGEMENT PLAN AND DETAILS

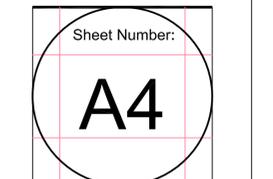
APPLICATION # 1249 MIRMINA RESIDENCE

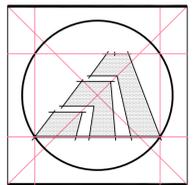
22 James Street Milford, Connecticut 06460

STATE OF CONNECTICUT DEPARTMENT OF HOUSING COMMUNITY DEVELOPMENT BLOCK GRANT DISASTER RECOVERY PROGRAM OWNER OCCUPIED REHABILITATION AND REBUILDING PROGRAM (OORR)

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Sheet Title:
PROPOSED ELEVATIONS

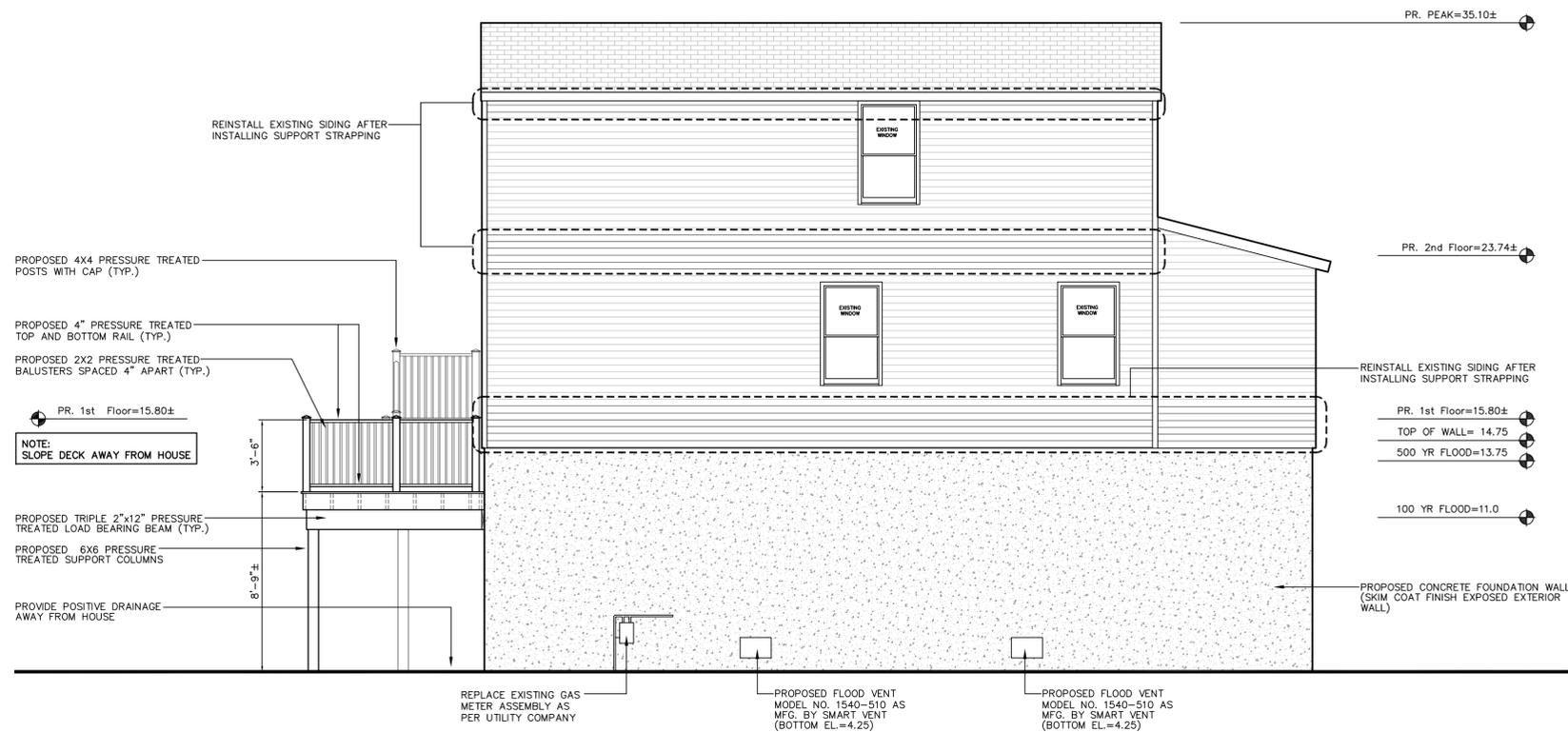
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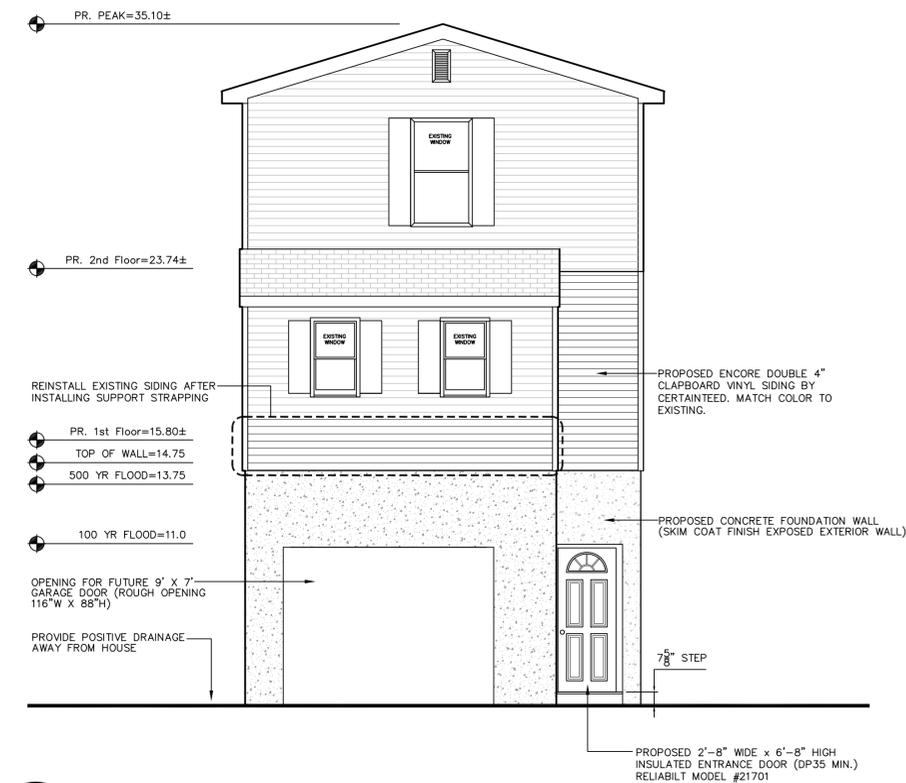
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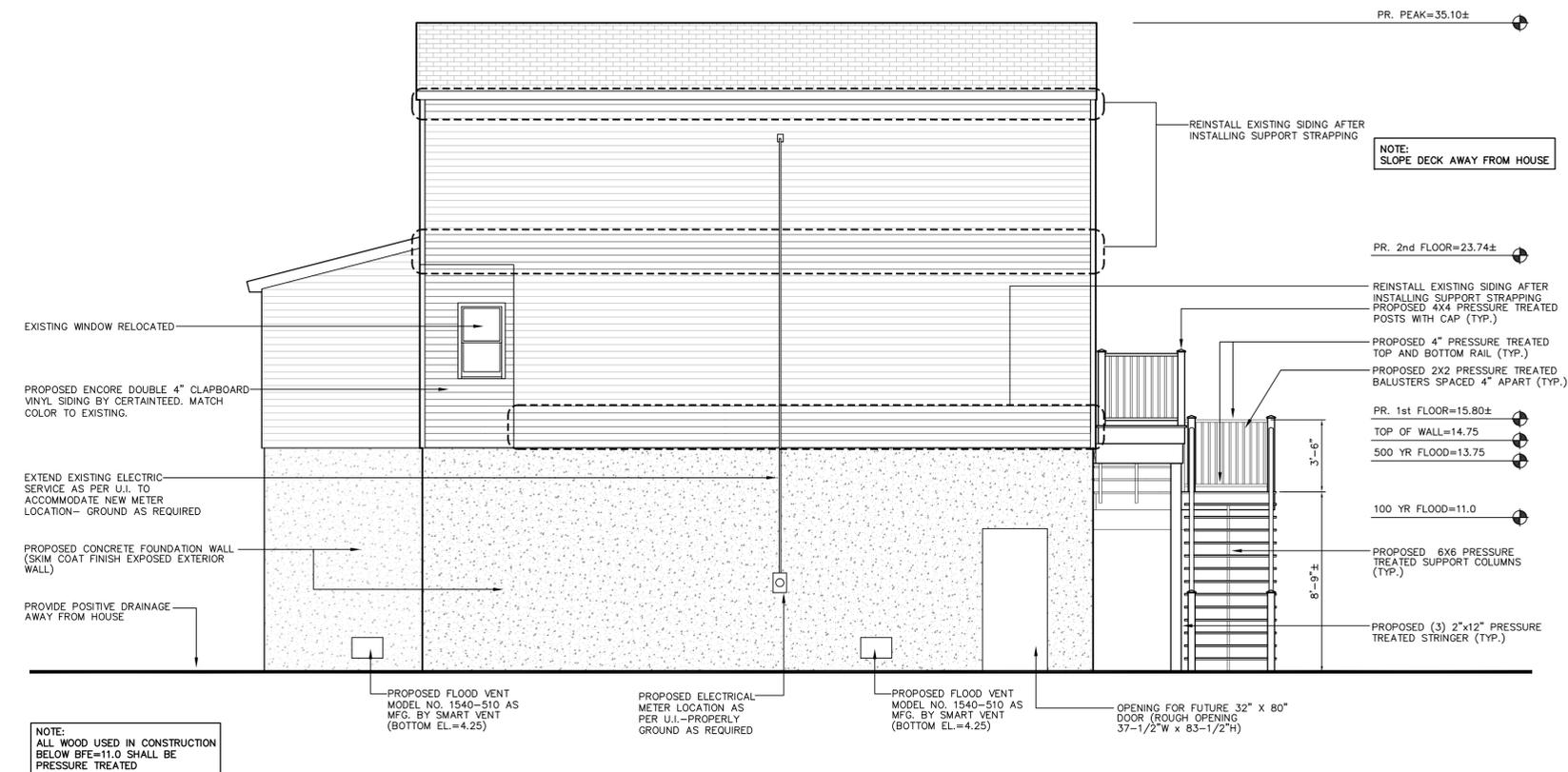
Sheet Number:
A5



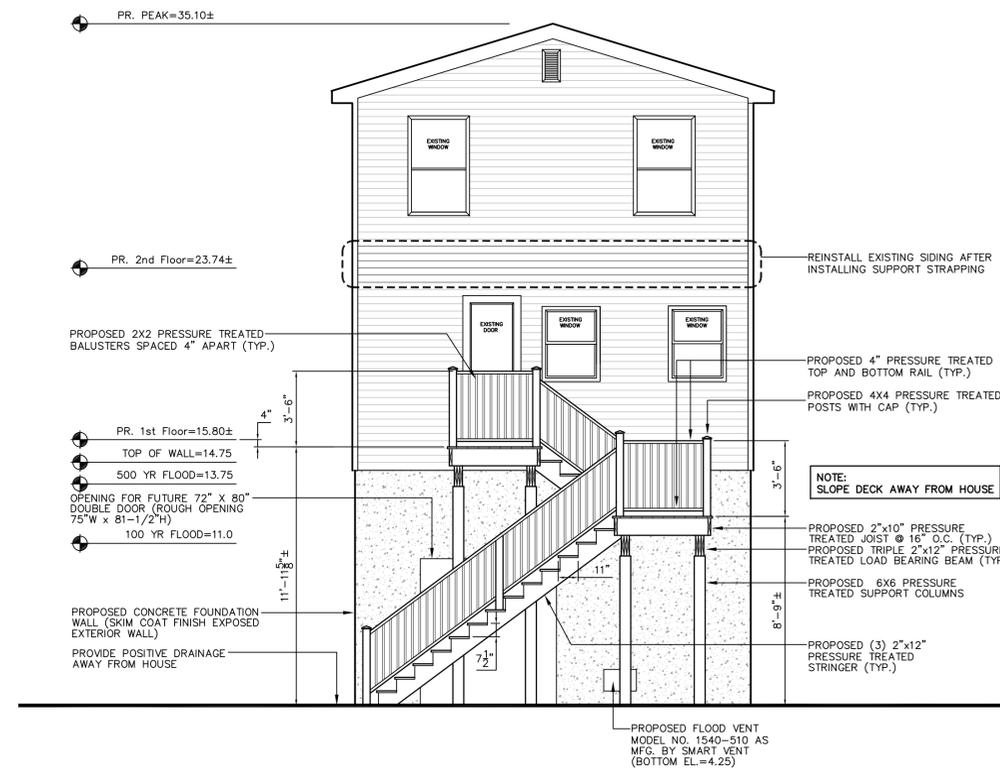
1 PROPOSED EAST ELEVATION
A5 SCALE: 1/4"=1'-0"



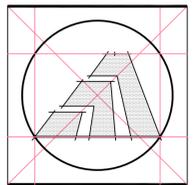
2 PROPOSED NORTH ELEVATION
A5 SCALE: 1/4"=1'-0"



3 PROPOSED WEST ELEVATION
A5 SCALE: 1/4"=1'-0"



4 PROPOSED SOUTH ELEVATION
A5 SCALE: 1/4"=1'-0"



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Sheet Title:

PROPOSED CROSS SECTIONS

APPLICATION # 1249
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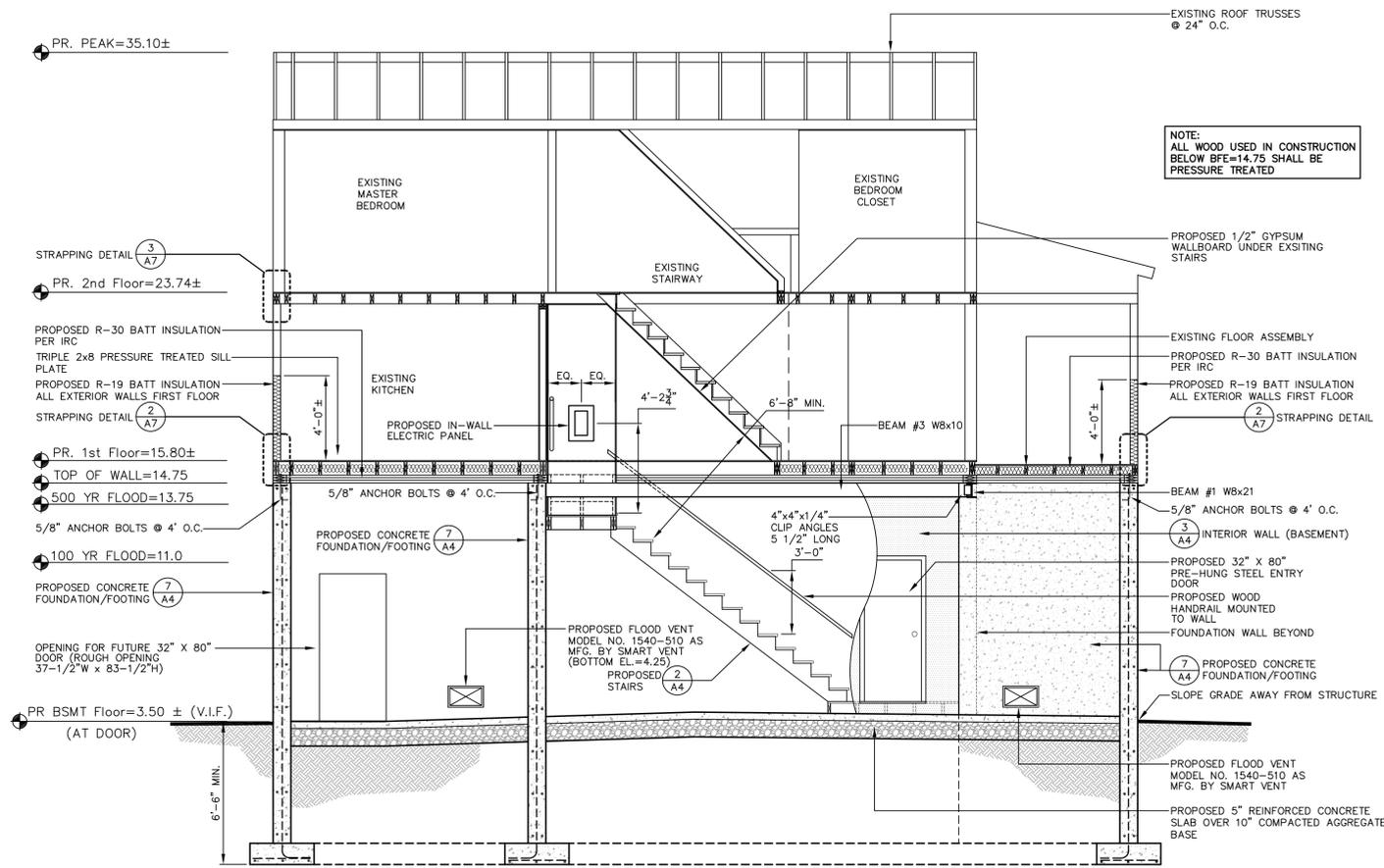
Job Number: 588
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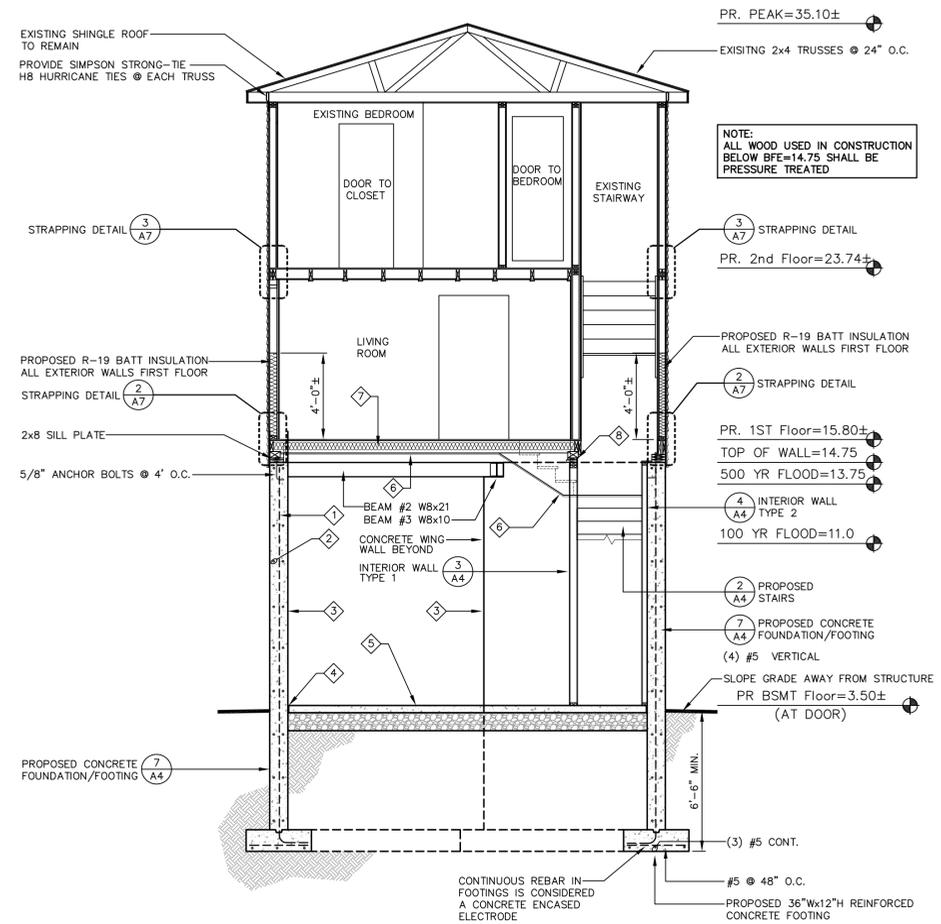
A6

SECTION NOTE LEGEND

- ① (2) #4 REBAR @ 24" O.C. VERTICAL
- ② (2) #4 REBAR @ 18" O.C. HORIZONTAL
- ③ 10" REINFORCED CONCRETE WALL.
- ④ EXPANSION JOINT AROUND PERIMETER OF FLOOR SLAB.
- ⑤ 5" THICK REINFORCED CONCRETE SLAB w/ 6"x6" 2.9x2.9 W/M . SLOPE SLAB TOWARD OVERHEAD DOORS @ 1/4" PER FT. MIN.
- ⑥ 5/8" TYPE X SHEETROCK.
- ⑦ PROPOSED R-30 BATT INSULATION PER IRC.
- ⑧ PROVIDE 2"x6" BLOCKING AS REQUIRED. BOLT FIRST 2"x6" TO FLANGE w/ 1/2" BOLTS @ 24" O.C. STAGGERED.

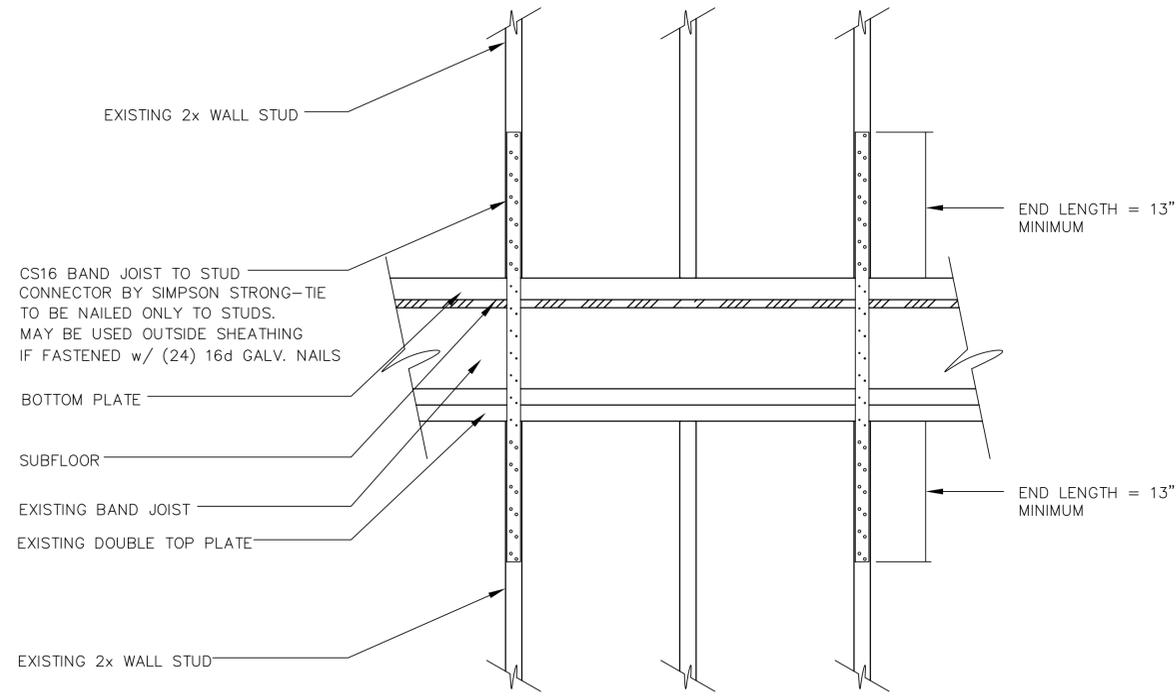


1 PROPOSED SECTION (NORTH-SOUTH)
A6 SCALE: 1/4"=1'-0"

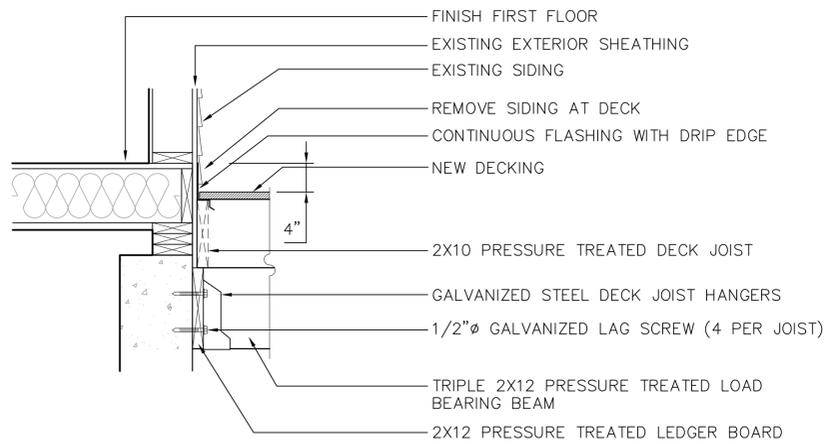


2 PROPOSED SECTION (EAST-WEST)
A6 SCALE: 1/4"=1'-0"

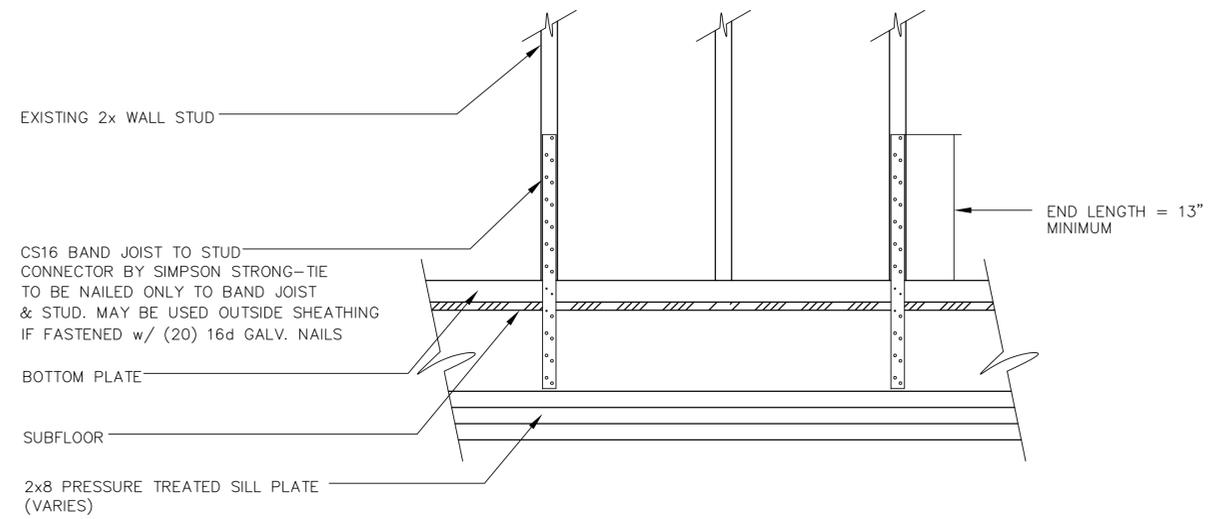
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3 STUD TO STUD CONNECTION DETAIL
A7 SCALE: 1-1/2"=1'-0"

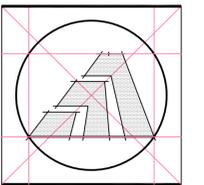


4 PROPOSED DECK LEDGER BOARD DETAIL
A7 SCALE: 1"=1'-0"



2 STUD TO BAND JOIST CONNECTION DETAIL
A7 SCALE: 1-1/2"=1'-0"

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Sheet Title:
STRAPPING DETAILS

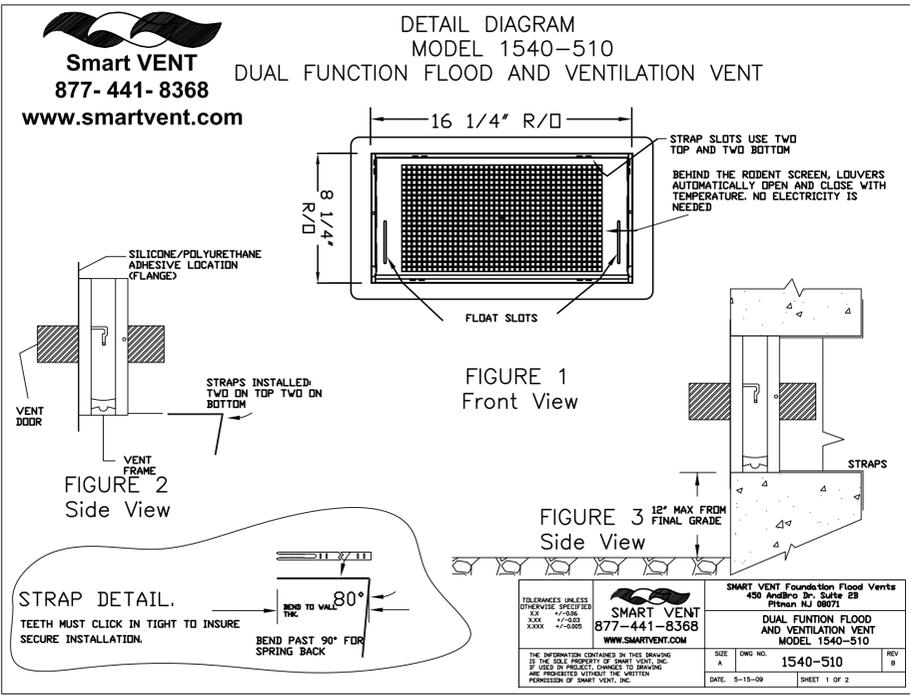
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Sheet Number:
A7



1 FLOOD VENT DETAIL DIAGRAM
A8 SCALE: NOT TO SCALE

Smart VENT
877-441-8368
www.smartvent.com

INSTALLATION INSTRUCTIONS & DETAILS
MODEL 1540-510
DUAL FUNCTION FLOOD AND VENTILATION VENT
REV. 5-15-09

INSTALLATION INSTRUCTIONS

1. Remove vent door from vent frame. (Turn upside down, rotate bottom of door outward and slide out)
2. Prepare a CLEAN 16.25" wide by 8.25" high rough opening (approx. 1 block wide X 1 block high) for each vent. Ensure the bottom of the rough opening is no more than 12" above the finished grade.
3. Apply a bead of silicone or polyurethane adhesive around the back of the flange on the vent frame. (FIG. 2)
4. Bend the 4 steel straps to the thickness of the wall measuring from the end with the teeth (see STRAP DETAIL)
5. Insert the top straps into the top two strap slots about two clicks.
6. Insert the vent frame in the cut opening. The bent strap ends go in then up behind the inside of the wall. Push the frame tight against the face of the wall. Ensure the frame is flush and square in the opening. (FIG. 3)
7. Reach through the vent opening and click the two straps in while holding the front of the vent against the wall face. The sharp point of the straps should not extend past the front of the vent face. Install the two remaining bottom straps.
8. Re-check that frame is square and slots are clear of debris, and caulk.
9. Install the door into frame by grasping the bottom of door (with float pins down) and front (small screen in front). Slide door into frame and rotate until it is latched.
10. To open the door insert two credit cards into the float slots as shown in the diagram. This will unlatch the door for removal and cleaning.

DETAILED SPECIFICATIONS/CALCULATIONS:
MATERIAL: STAINLESS STEEL
OPERATION FLOOD: AUTOMATIC NON-POWERED ACTIVATION AND OPERATION
VENT REMAINS CLOSED AND LOCKED UNTIL ACTIVATED
OPERATION AIR: AUTOMATIC LOUVERS FULLY OPEN AT 75 DEG. FULLY CLOSED AT 35 DEG. NO POWER REQUIRED
INSTALLATION: SECURED W/ 4 STAINLESS STEEL STRAPS SUPPLIED
HYDROSTATIC RELIEF: 200 Sq. Ft. FLOOR AREA per Vent (TOTAL FLOOR AREA 612± = 4 VENTS REQUIRED)
VENTILATION: 51 Sq. In. per Vent NOTE: VAPOR BARRIER ALLOWS FOR REDUCED VENTILATION
REQUIREMENTS FLOOD: MINIMUM OF 2 VENTS PER ENCLOSED AREA MOUNTED ON AT LEAST TWO DIFFERENT WALLS
COLORS: STAINLESS (STANDARD)
EXTERIOR POWDER COATED WHITE, WHEAT, GRAY, AND BLACK (AVAILABLE)

MEETS THE REQUIREMENTS FOR ENGINEERED OPENINGS AS SET FORTH BY:
FEMA, NFIP, ICC, & ASCE
SUPPORTIVE DOCUMENTS, TB 1-08, 44CFR 60.3(C)(5), ASCE 24-05
ICC EVALUATION # ESR-2074

SHEET 2 OF 2

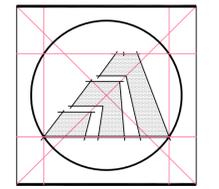
2 FLOOD VENT INSTALLATION INSTRUCTIONS
A8 SCALE: NOT TO SCALE

RelioBlitt 32-in x 80-in Morelight
Prehung Inswing Steel Entry Door
Model#: 21701

GLASS STYLE	DECORATIVE	READY TO INSTALL WITH FRAME	YES
GLASS CAMING	NO	TEMPERED GLASS	YES
GLASS INSERT SHAPE/STYLE	FAN LITE	LOWE'S EXCLUSIVE	YES
DOOR SWING	INSWING	WEATHERSTRIPPING TYPE	COMPRESSION
JAMB WIDTH (in.)	4.56	PREFINISH COLOR	NONE
DOOR WIDTH (in.)	32.0	OPTIONAL ADDITIONS AVAILABLE	NONE
DOOR HEIGHT (in.)	80.0	SIDELITE WIDTH (in.)	0.0
ROUGH OPENING HEIGHT (in.)	82.0	TRANSOM SHAPE	NONE
ROUGH OPENING WIDTH (in.)	34.25	DOOR STYLE	MORELIGHT
SILL TYPE	ADJUSTABLE	ENERGY STAR QUALIFIED	YES
SILL FINISH	MILL	NORTHERN ZONE	YES
WEATHERSTRIPPING	YES	ENERGY STAR QUALIFIED NORTH/CENTRAL ZONE	YES
LOCKSET BORE	YES	ENERGY STAR QUALIFIED SOUTH/CENTRAL ZONE	YES
WARRANTY	LIMITED LIFETIME	ENERGY STAR QUALIFIED	YES
PREFINISHED	NO	IRIS TECHNOLOGY	NO
PRIMED	YES	DOOR HANDING	LEFT
PAINTABLE	YES	NOMINAL WIDTH (in.)	32.0
STAINABLE	NO	NOMINAL HEIGHT (in.)	80.0
CONSTRUCTION	INSULATING CORE	ROT RESISTANT FRAME	NO
GLASS INSULATION	TRIPLE PANE	SLAB OR PREHUNG	PREHUNG
LOCKSET OPTION	READY FOR LOCKSET/DEADBOLT	HINGE FINISH	BLACK

3 PROPOSED ENTRY DOOR SPEC
A8 NOT TO SCALE

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Sheet Title:
DOOR/VENT SPECIFICATIONS

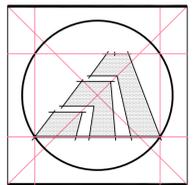
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A8



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Sheet Title:
FRAMING PLANS FIRST & SECOND FLOORS

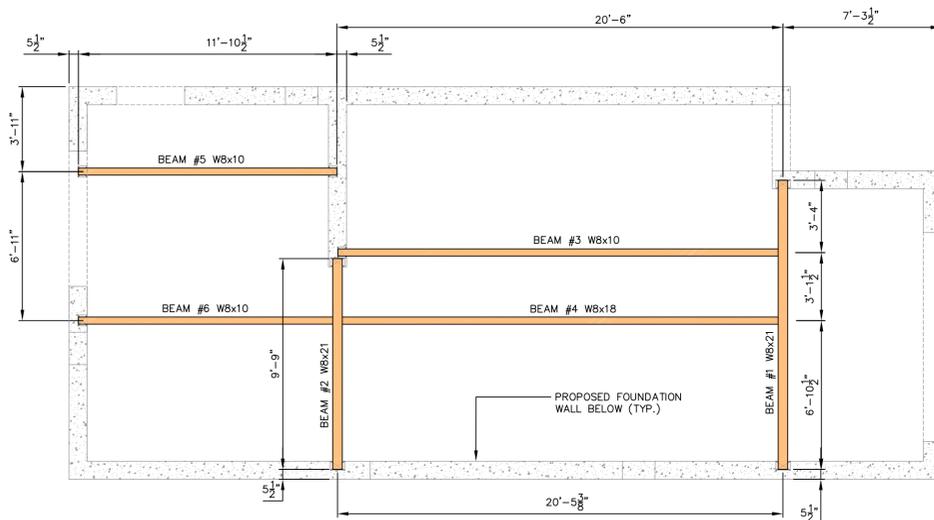
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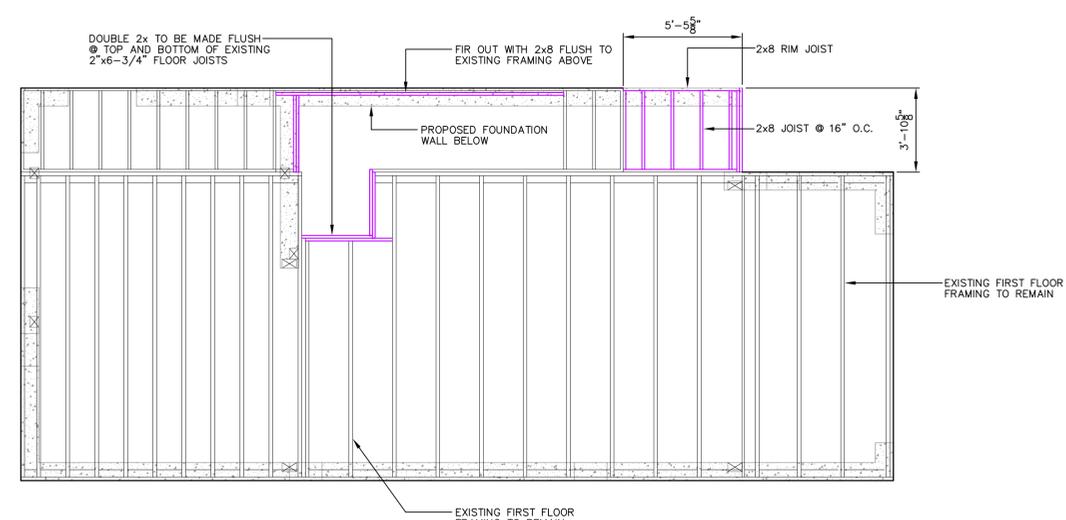
Sheet Number:
S1



1 PROPOSED STEEL FRAMING – 1ST FLOOR
S1 SCALE: 1/4"=1'-0"

NOTES

1. TOP OF ALL STEEL BEAMS TO BE FLUSH TO TOP OF FOUNDATION. SEE SHEET S2 FOR STEEL CONNECTION DETAILS.

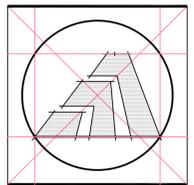


2 PROPOSED WOOD FRAMING – 1ST FLOOR
S1 SCALE: 1/4"=1'-0"

NOTES

1. PROVIDE SIMPSON STRONG-TIE JOIST ANCHORS AT ALL NEW WOOD FRAMING CONNECTIONS AS REQUIRED.
2. ALL SILL PLATES TO BE PRESSURE TREATED 2x8 FOLLOWING CONFIGURATION SET FORTH IN PROPOSED BUILDING SECTIONS 1/A6 & 2/A6.
3. ALL FRAMING DIMENSIONS TO BE VERIFIED IN FIELD AT TIME OF CONSTRUCTION.

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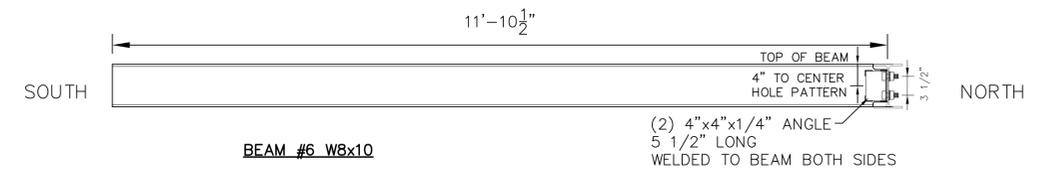
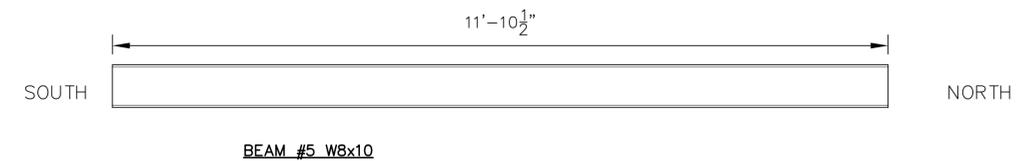
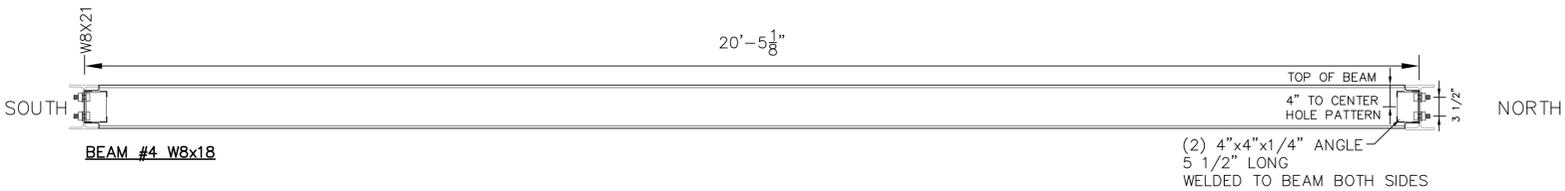
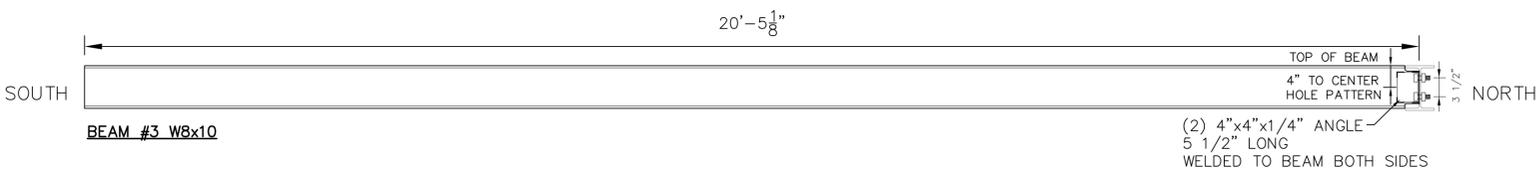
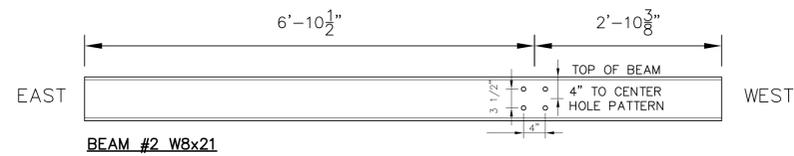
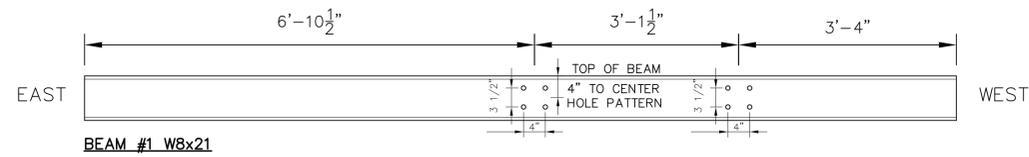
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1 STEEL BEAM DETAILS
S2 SCALE: 3/4"=1'-0"

Sheet Title:
STEEL BEAM
DETAILS

APPLICATION # 1249
MIRMINA RESIDENCE
22 James Street
Milford, Connecticut 06460

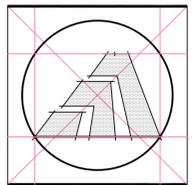
STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
OWNER OCCUPIED REHABILITATION
AND REBUILDING PROGRAM (OORR)

Date: ISSUED 2/17/2015
REVISED 6/4/2015
RELEASED FOR BID

Job Number: 588
Drawn By: G.H.J.

NOTE:
CONTRACTOR IS RESPONSIBLE FOR SUPPORTING
EXISTING STRUCTURE THROUGHOUT THE ENTIRE
CONSTRUCTION PERIOD INCLUDING RAISING AND
SECURING THE STRUCTURE UPON THE PROPOSED
FOUNDATION AT THE NEW ELEVATION.

Sheet Number:
S2



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ORANGE, CT 06477 FAX (203) 799 3871



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860-824-1400 860-824-1401 fax
allied-engineering@snet.net

Sheet Title:
EXISTING FIRST FLOOR ELECTRIC PLAN/ DEMOLITION PLAN

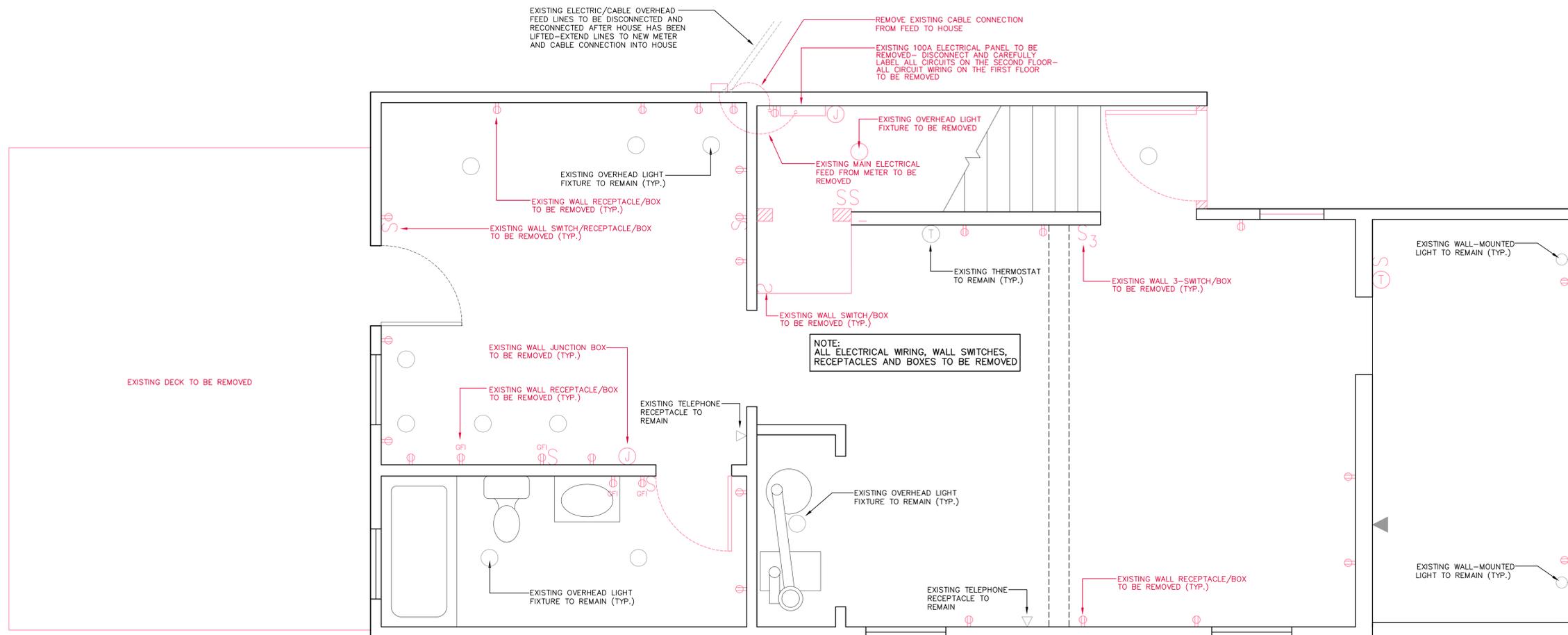
APPLICATION # 1249
MIRMINA RESIDENCE
22 James Street
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STATE OF CONNECTICUT
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Drawn By: G.H.J.

Sheet Number:
E1



1 EXISTING FIRST FLOOR ELECTRICAL PLAN / DEMOLITION PLAN
E1 SCALE: 1/2"=1'-0"

ELECTRICAL LEGEND

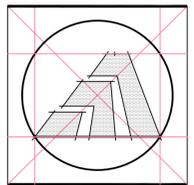
S	SINGLE-POLE SWITCH	⊕	QUAD-RECEPTACLE
S ₃	THREE-WAY SWITCH	⊕	DRYER RECEPTACLE
S ₄	FOUR-WAY SWITCH	⊕	THERMOSTAT
⊕	DUPLEX RECEPTACLE	⊕	JUNCTION BOX
⊕	GFI DUPLEX RECEPTACLE	⊕	CEILING FAN & LIGHT
⊕	CABLE OUTLET		
⊕	PHONE OUTLET		
⊕	CEILING MOUNTED LIGHT FIXTURE		
⊕	WALL MOUNTED LIGHT FIXTURE		

PLAN COLOR LEGEND:

⊕ EXISTING ELECTRICAL FIXTURE TO BE REMOVED

⊕ PROPOSED ELECTRICAL FIXTURE

⊕ EXISTING ELECTRICAL FIXTURE TO REMAIN



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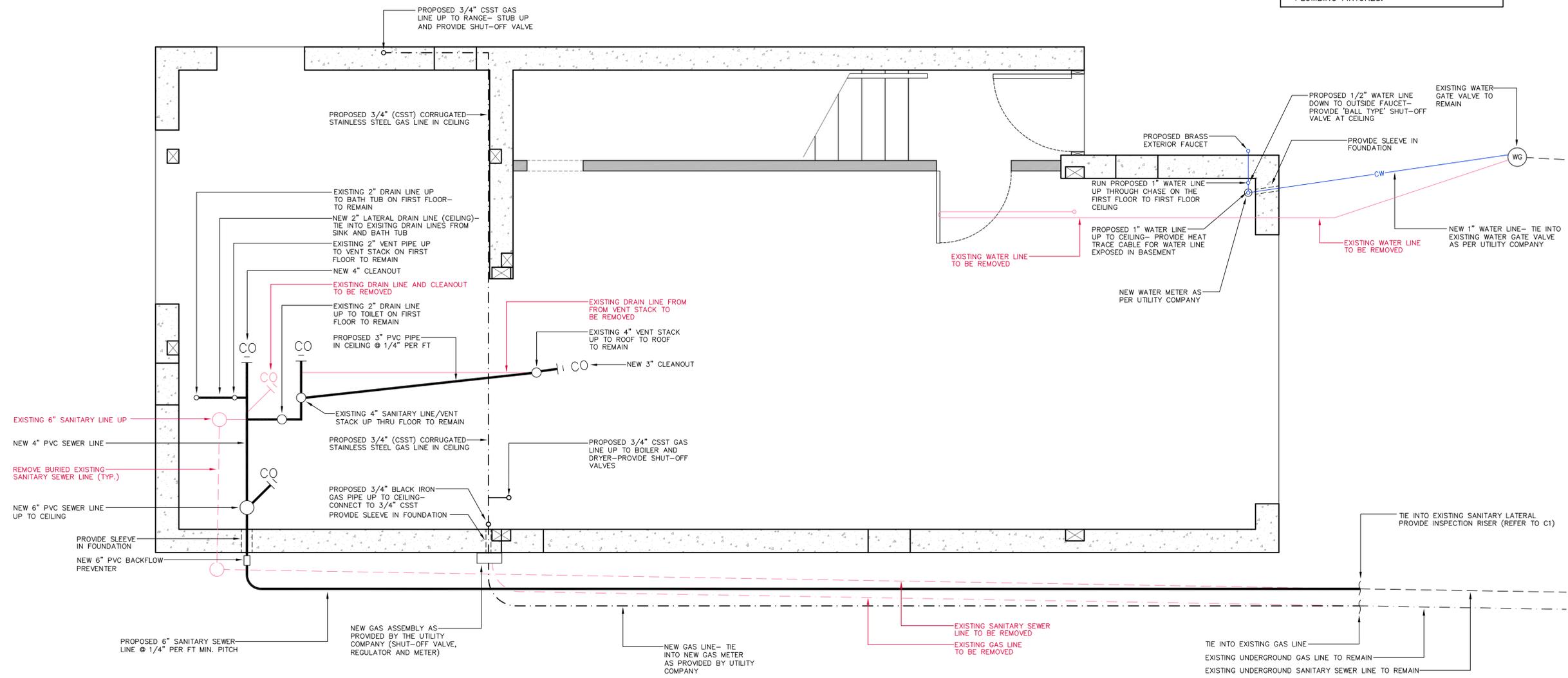
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NOTE:
1. REFER TO SPECIFICATION SECTION 22100 FOR PLUMBING PIPING.
2. REFER TO SPECIFICATION SECTION 22400 FOR PLUMBING FIXTURES.



1 PROPOSED BASEMENT PLUMBING PLAN
P1 SCALE: 1/2"=1'-0"

Sheet Title:
PROPOSED BASEMENT
PLUMBING PLAN

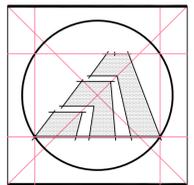
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Sheet Number:
P1



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Sheet Title:
**FIRST FLOOR
PLUMBING PLAN**

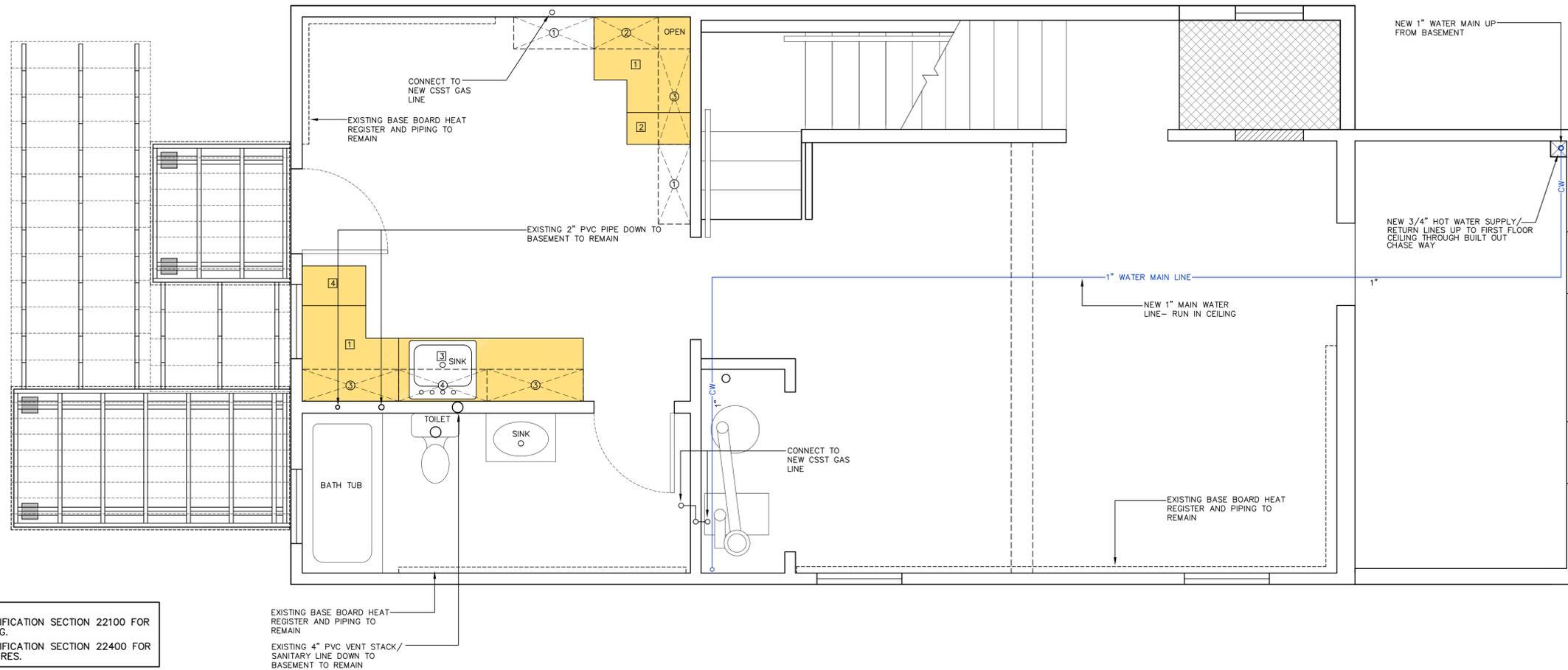
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Sheet Number:
P2



NOTE:
1. REFER TO SPECIFICATION SECTION 22100 FOR PLUMBING PIPING.
2. REFER TO SPECIFICATION SECTION 22400 FOR PLUMBING FIXTURES.

EXISTING BASE BOARD HEAT REGISTER AND PIPING TO REMAIN
EXISTING 4" PVC VENT STACK/SANITARY LINE DOWN TO BASEMENT TO REMAIN

1 FIRST FLOOR PLUMBING PLAN
P2 SCALE: 1/2"=1'-0"