



# QUISENBERRY ARCARI ARCHITECTS, LLC

318 Main Street, Farmington, CT 06032    www.qa-architects.com    t (860) 677 - 4594    f (860) 677 - 8534

REHABILITATION / RECONSTRUCTION WORK FOR:

## SHARI & MOSHE IFRACH

APPLICANT #1244

ISSUE DATE: FEBRUARY 6, 2015

25 JARVIS COURT

FAIRFIELD, CT

### CONSULTANTS



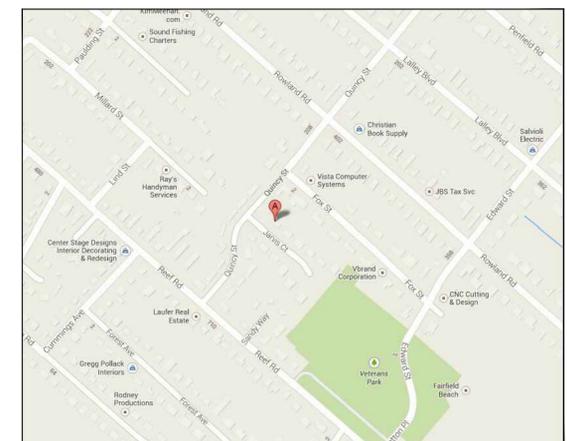
COMMUNITY DEVELOPMENT BLOCK GRANT  
DISASTER RECOVERY PROGRAM (CDBG-DR)

OWNER OCCUPIED REHABILITATION  
& REBUILDING PROGRAM (OORR)

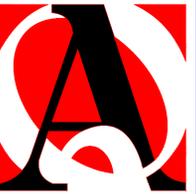
SPONSORED IN CONJUNCTION WITH FUNDING FROM  
THE CONNECTICUT DEPARTMENT OF HOUSING



### LOCATION MAP







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REHABILITATION/RECONSTRUCTION WORK FOR:

**MOSHE IFRACH**

APPLICANT #1224

FAIRFIELD, CT

25 JARVIS COURT

Sheet Description:

HAZARDOUS  
MATERIALS  
ABATEMENT  
—  
FIRST  
FLOOR

Issue Dates:

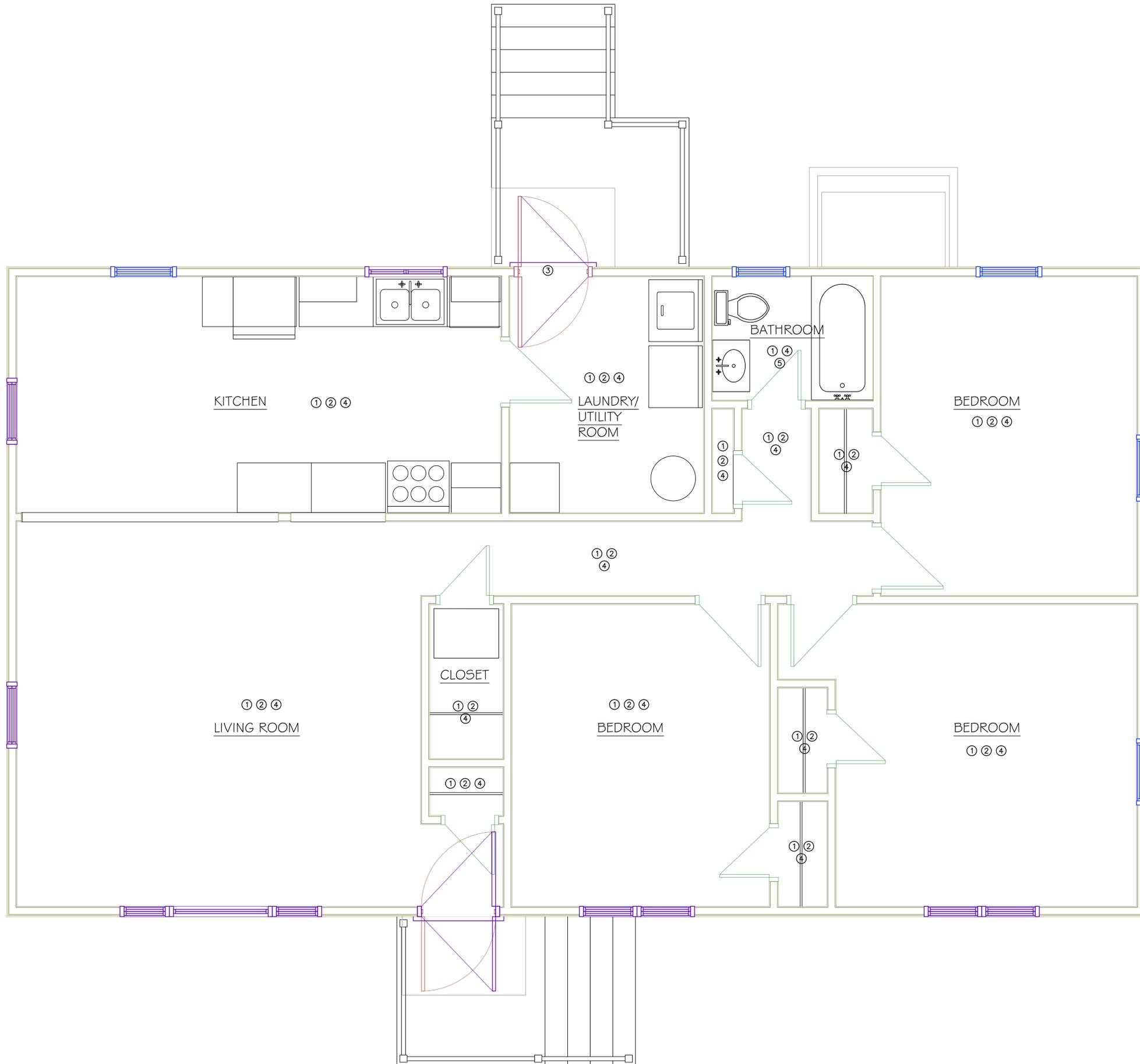
JUNE 2014

Project #:  
QA 1346-18

Drawn By:  
AAT

Sheet #:

HM-01



**HAZARDOUS MATERIALS ABATEMENT NOTES:**

- ① THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE ASBESTOS CONTAINING JOINT COMPOUND AND ASSOCIATED SHEETROCK AS REQUIRED BASED ON RENOVATION ACTIVITIES SCHEDULED AND DISPOSE OF AS GENERAL CONSTRUCTION AND DEMOLITION DEBRIS ONCE OUTSIDE THE BUILDING.
- ② THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE AND DISPOSE OF TAN 9"x9" FLOOR TILE AS ACM.
- ③ THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL SCRAPE TO INTACT AND ENCAPSULATE LEAD BASED PAINT ON DOOR AND JAMBS.
- ④ THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE LEAD CONTAINING WALLS AND DOOR JAMBS (IF REQUIRED BASED ON SCOPE OF RENOVATIONS). DISPOSAL SHALL BE AS REQUIRED BASED ON TCLP SAMPLING TO BE PERFORMED BY CONTRACTOR. FOLLOWING REMOVAL, FLOORS SHALL BE WASHED WITH TSP AND HEPA VACUUMED PRIOR TO RE-OCCUPANCY CLEARANCE WIPE SAMPLING.
- ⑤ THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE SHEET FLOORING, DISPOSE OF AS GENERAL CONSTRUCTION AND DEMOLITION DEBRIS, AND CLEAN MOLD CONTAMINATED SUBFLOOR.

**GENERAL PROJECT NOTES:**

THIS PROJECT MAY REQUIRE MULTIPLE MOBILIZATIONS. WORK IS TO BE COORDINATED WITH BUILDING OWNER AND OTHER TRADES.

THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING CONSTRUCTION AND FOR TEMPORARY PROTECTION.

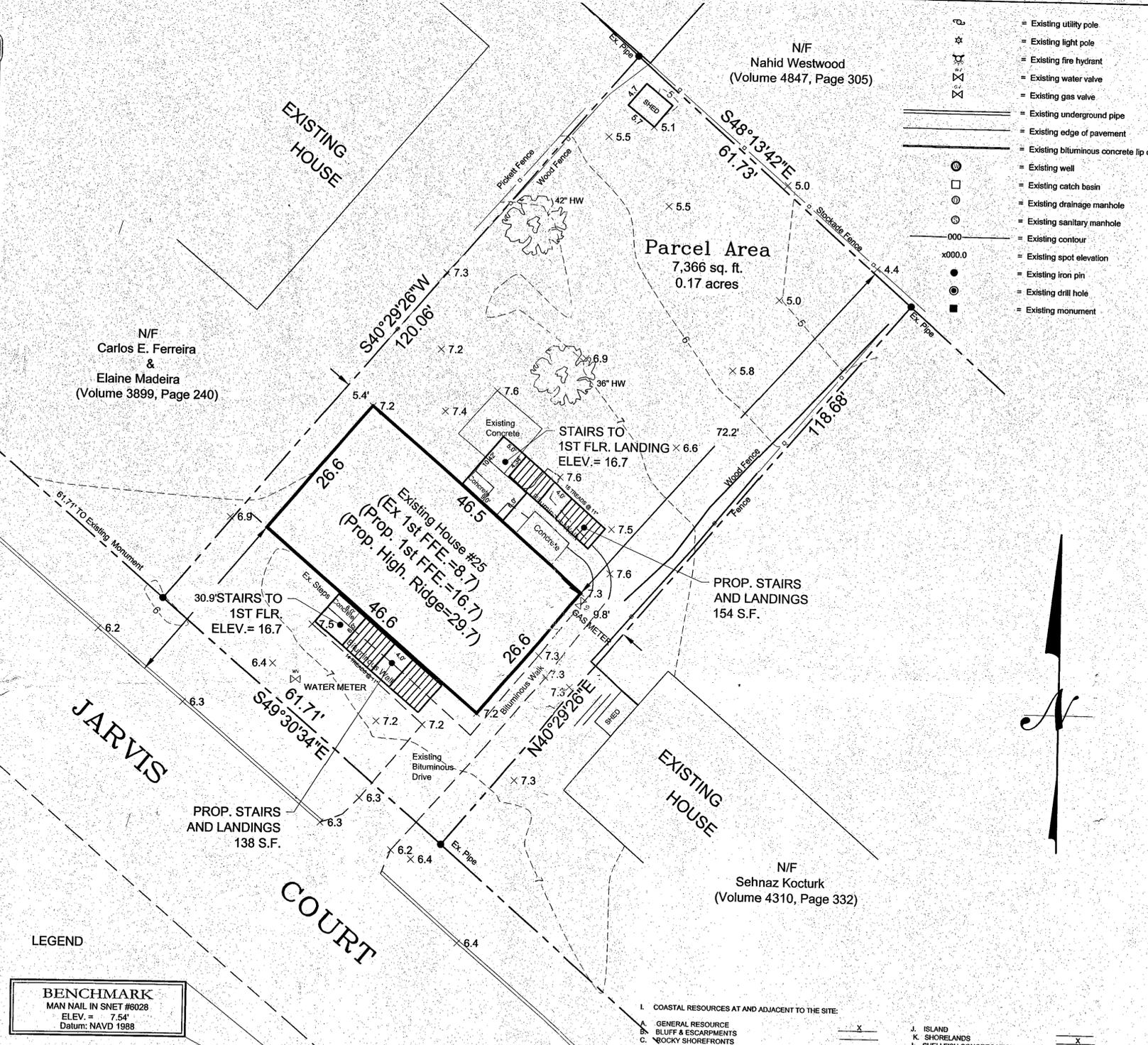
THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF ALL EXISTING CONDITIONS AND QUANTITIES, AND FOR NOTIFYING THE CONSULTANT OF ANY DISCREPANCIES PRIOR TO FINALIZING BID.

**ZONING DATA**

Zoning Information -- Zone "B" Residential				
STATUS	REQUIRED	EXISTING CONDITION	PROPOSED	AS-BUILT CONDITION
MINIMUM LOT AREA	6,000 S.F.	7,366 S.F.	7,366 S.F.	
MIN. SQUARE ON LOT	60'	61'	61'	
MINIMUM LOT FRONTAGE	60'	61.71'	61.71'	
DENSITY: MIN. LOT AREA PER DWELLING UNIT				
ONE FAMILY	6,000 S.F.	7,366 S.F.	7,366 S.F.	
TWO FAMILY				
THREE FAMILY				
FOUR FAMILY				
EACH ADDITIONAL UNIT				
MINIMUM SETBACKS:				
FROM STREET LINE	20'	30.4'	30.4'	
SIDE PROPERTY LINES (MORE THAN ONE STORY)	15'	15.2'	15.2'	
ONE SIDE PROPERTY LINE	5'	5.4'	5.4'	
REAR PROPERTY LINE	20'	72.2'	72.2'	
ONE STREET LINE ON COR. (ONE STORY)	12'			
(MORE THAN ONE STORY)	17'			
MINIMUM FLOOR AREA:				
ONE STORY BUILDING	750 S.F.	1,239 S.F.	1,239 S.F.	
SPLIT LEVEL BUILDING	1,000 S.F.			
TWO OR MORE STORY BLDG TOTAL FLOOR AREA	1,000 S.F.			
GROUND FLOOR AREA	650 S.F.	1,239 S.F.	1,239 S.F.	
FLOOR AREA PER APARTMENT	500 S.F.			
MAX. HEIGHT FOR BUILDING	32'	32'	29.7'	
MAX. NO. STORIES FOR BUILDING	2-1/2	2	2	
MAX. BLDG LOT COVERAGE (% OF LOT AREA)	30%	16.8%	16.8%	
MAX. BLDG FLOOR AREA (% OF LOT AREA)	50%			
MINIMUM FIRST FLOOR ELEVATION	FIRM FFE= 11'	FFE= 8.7'	FFE= 16.7'	

**SURVEY NOTES:**

- This map has been prepared pursuant to the Regulation of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
- Type of survey performed: Property Survey
- Boundary determination category: Dependent Resurvey
- Class of accuracy:  
Horizontal: A-2  
Vertical: T-2
- The intent of this map is to depict or note the position of boundaries with respect to: (A) locations of all boundary monumentation found or set; (B) Apparent improvements and features, including as a minimum: dwellings, barns, garages, sheds, driveways, roadways, surface utilities, visible bodies of water and swimming pools; (C) record easements and visible means of ingress and egress; (D) record and apparent means of ingress and egress; (E) lines of occupation, including as a minimum: fences, walls, hedges and yards; (F) deed restrictions pertaining to the location of buildings or other apparent improvements; (G) unresolved conflicts with record deed descriptions and maps; (H) all apparent boundary encroachments; and (I) monumentation required to be set at all corners created by a deflection angle of not less than 70 degrees between two consecutive courses at an intervals not to exceed 600 feet (180 meters) along the boundaries between said corners, except where natural or man-made monumentation defines or occupies the line.
- Map References:  
a) Subdivision Map prepared for Town of Fairfield, Reef Road, Fairfield, Connecticut, Dated: March 14, 2005, Scale: 1"=40', by The Huntington Company, LLC, Consulting Engineers & Surveyors, 140 Sherman St. Fairfield, Connecticut.
- Per agreement with property owner no boundary corners were set by this survey unless noted hereon. All monumentation found is depicted or noted hereon.
- Zone: B
- Total area: 7,366 S.F. / 0.17 Ac.
- hafi Ifrach & Moshe Ifrach
- Town of Fairfield Assessors Map #183 Lot #116-I
- Filed in Volume 4310, Page 330 of the Town Clerk's office.
- Contours are established from field topography.
- Vertical Datum is NAVD 1988 and based on the CGS Mon LX 0935.
- There are no wetlands located on the property or within 250' of the boundaries.
- The subject property is situated in Zone "AE", (Elevation 11.0') which is a "Special Flood Hazard Area" subject to inundation by 1% annual-chance flood event determined by FEMA. The 500 Year Flood Event elevation is 13.75' (Firm) Map 090007 Panel 438 Suffix G/ Effective date of June 10, 2010)
- This survey does not include the location of any underground improvements or encroachments, subsurface utility lines or buried debris. Nor does it necessarily reflect the existence of any waste dumps or hazardous materials. The underground items depicted or noted are approximate and are not guaranteed. Notify "CALL BEFORE YOU DIG" 1-800-922-4455 prior to any excavation operations.



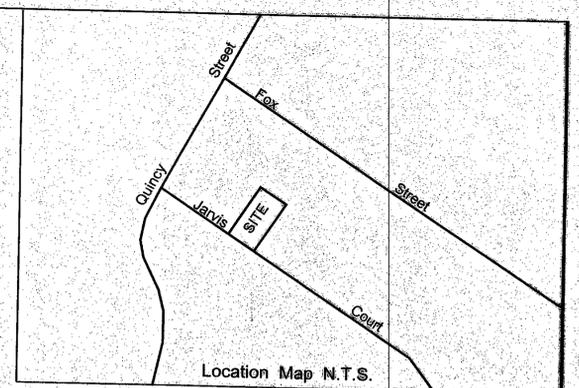
**BENCHMARK**  
MAN NAIL IN SNET #6028  
ELEV. = 7.54'  
Datum: NAVD 1988

APPROVED FOR RECORDING  
FOR EL. EX. ONE STY. ONE FAM. D.  
W/ NEW ASSOCIATED LANDING & STAIRS;  
THE LOWEST HAB. FL. & ALL MECHS. INCL.  
THE BOT. OF ALL BUST. WK. & WIRING SHALL  
BE CONST. ABOVE EL. 13.75 M.A.V.D. 1988  
PROPOSED 1ST FL. EL. 16.73  
Zoning Enforcement Officer *E. Burchard*  
1-28-2015

**COASTAL RESOURCES AT AND ADJACENT TO THE SITE:**

I. COASTAL RESOURCES AT AND ADJACENT TO THE SITE:		
A. GENERAL RESOURCE		X
B. BLUFF & ESCARPMENTS		
C. ROCKY SHOREFRONTS		
D. BEACHES & DUNES		
E. INTERTIDAL FLATS		
F. TIDAL WETLANDS		
G. FRESHWATER WETLANDS & WATERCOURSE		
H. COASTAL HAZARD AREAS		X
I. DEVELOPED SHOREFRONT		
II. COASTAL RESOURCES NOT IMMEDIATELY ADJACENT TO THE SITE, BUT BECAUSE OF DOWNSTREAM LOCATION, OFF-SITE DRAINAGE, TIDAL INFLUENCE, CURRENTS AND OTHER FACTORS, MAY BE IMPACTED BY THE PROPOSED USE/ACTIVITY:		
A. GENERAL RESOURCE		X
B. BLUFF & ESCARPMENTS		
C. ROCKY SHOREFRONTS		
D. BEACHES & DUNES		
E. INTERTIDAL FLATS		
F. TIDAL WETLANDS		
G. FRESHWATER WETLANDS & WATERCOURSE		X
H. COASTAL HAZARD AREAS		X
I. DEVELOPED SHOREFRONT		
III. THE FOLLOWING COASTAL POLICIES ARE APPLICABLE TO THE USE/ACTIVITY AS PROPOSED:		
A. GENERAL DEVELOPMENT		X
B. SEWER & WATER LINES		X
C. WATER DEPENDENT USES		X
D. FISHERIES		X
E. BOATING		X
F. FUEL, CHEMICALS, AND HAZARDOUS MATERIALS		X
G. DREDGING & NAVIGATION		X
H. CULTURAL RESOURCES		X
J. ISLAND		
K. SHORELANDS		X
L. SHELLFISH CONGREGATION AREA		
EASTERN OYSTER		
HARD CLAM		
M. NEARSHORE COASTAL WATER		
N. OFFSHORE COASTAL WATER		
O. ESTUARINE EMBAYMENT		
P. AIR RESOURCE & AIR QUALITY		
I. COASTAL STRUCTURES AND FILLING		
J. PORT AND HARBORS		
K. SOLID WASTE		
L. OPEN SPACE & AGRICULTURAL LANDS		
M. COASTAL RECREATION AND ACCESS		
N. DAMS, DIKES AND RESERVOIRS		
O. TRANSPORTATION		
P. ENERGY FACILITIES		

INITIALS OF TOWN PLAN & ZONING STAFF MEMBER



**TITLE BLOCK**

F.E.M.A. STANDARDS - ONLY IF IN FLOOD HAZARD AREAS

ZONING COMPLIANCE PREDICATED ON A, B, C, & D.

A. All new construction and substantial improvements shall:

- Be designed or modified and adequately anchored to prevent flotation, collapse, or lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including effects of buoyancy.
- Be constructed with materials resistant to flood damage.
- Be constructed by methods and practice that minimized flood damage.
- Be constructed with electrical, heating, ventilation, plumbing and air-conditioning equipment and other services facilities that are designed and/or located so as to prevent water from entering or accumulating within the components during conditions of flooding.

B. New and replacement water supply systems shall be designed to minimize or eliminate infiltration of flood waters into the system.

C. New and replacement sanitary sewage systems shall be designed to minimize or eliminate infiltration of flood waters into the systems and discharges from the system into flood waters and on-site waste disposal systems shall be located and constructed to avoid impairment to them or contamination from them during flooding.

D. All new construction and substantial improvements shall have the lowest floor, including the basement elevated to or above the base flood level and if constructed with a fully enclosed area below this lowest floor shall be designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for entry and exit of flood waters.

**TITLE BLOCK**

- STREET ADDRESS: **25 JARVIS COURT**
- ASSESSORS MAP # 183, PARCEL # 116
- MAP: "B" RESIDENTIAL DISTRICT
- APPLICANT: SHARI AND MOSHE IFRACH  
25 OLD JARVIS COURT  
FAIRFIELD, CONNECTICUT 06824
- OWNER: SHARI AND MOSHE IFRACH  
25 OLD JARVIS COURT  
FAIRFIELD, CONNECTICUT 06824
- DESCRIPTIVE TITLE: ELEVATING AN EXISTING ONE STORY ONE FAMILY DWELLING WITH ASSOCIATED DECKS
- ORIGINAL DATE OF PLANS AND ANY SUBSEQUENT REVISION DATES LABELED FIRST, SECOND, ETC., AND NOTE THE PURPOSE AND LOCATION OF THE REVISION:  
NOVEMBER 20, 2014
- PREPARED BY: JEREMY LOVATO  
HARRY E. COLE # SON  
876 SOUTH MAIN STREET  
PLANTVILLE, CONNECTICUT 06479  
(860) 628-4484
- To the best of my knowledge and belief these drawings are substantially correct as noted hereon.

*Stephen M. Gudice, L.S.*

# "STRUCTURAL GENERAL NOTES"

## A. CODES AND STANDARDS:

1. THE FOLLOWING CODES AND STANDARDS, INCLUDING ALL SPECIFICATIONS WITHIN, SHALL APPLY TO THE DESIGN, CONSTRUCTION, QUALITY CONTROL AND SAFETY OF ALL WORK PERFORMED ON THE PROJECT. USE THE LATEST EDITIONS UNLESS NOTED OTHERWISE.
  - a. 2005 CONNECTICUT STATE BUILDING CODE
    - (1) "2009 INTERNATIONAL RESIDENTIAL BUILDING CODE"
    - (2) 2009/2011/2013 CONNECTICUT AMENDMENT
  - b. "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE, ACI 318", (LATEST EDITION) AMERICAN CONCRETE INSTITUTE.
  - c. HOT WEATHER CONCRETING, ACI 305R AND COLD WEATHER CONCRETING ACI 306R (LATEST EDITION).

## B. DESIGN DATA:

1. GRAVITY - FLOOR LIVE LOADS
  - a. ROOMS 40 PSF
  - b. ATTIC WITHOUT STORAGE 10 PSF
2. GRAVITY - SNOW LOADS
  - a. GROUND SNOW LOAD (Pg) 30 PSF
  - b. SNOW EXPOSURE FACTOR (Ce) 0.9
  - c. THERMAL FACTOR (Ct) 1.0
  - d. SNOW LOAD IMPORTANCE FACTOR (I) 1.0
  - e. FLAT-ROOF SNOW LOAD (Pf) 30 PSF (NON-REDUCIBLE ROOF LIVE LOAD)
3. LATERAL LOADS - WIND
  - a. MAIN WIND-FORCE RESISTING SYSTEM:
    - (1) BASIC WIND SPEED, 3 SECOND GUST (V35): 100 MPH EXPOSURE: D
4. LATERAL LOADS - SEISMIC
  - a. SEISMIC DESIGN CATEGORY: B

## C. FOUNDATIONS/GEOTECHNICAL REPORT:

1. FOUNDATIONS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE 06/02/14 GNCB CONSULTING ENGINEERS, P.C. (130 ELM STREET, OLD SAYBROOK, CT) GEOTECHNICAL ENGINEERING REPORT. SEE THAT REPORT FOR ADDITIONAL REQUIREMENTS.

## D. MATERIALS:

1. THE FOLLOWING ASTM STANDARDS AND DESIGN STRESSES SHALL BE USED FOR THE APPROPRIATE MATERIALS USED IN CONSTRUCTION OF THIS PROJECT.
2. CEMENT: ASTM C150; TYPE I OR III
3. AGGREGATES: ASTM C33 (NORMAL WEIGHT)
4. CONCRETE: ALL CONCRETE SUBJECT TO EXPOSURE SHALL BE AIR-ENTRAINED 5% +/- 1-1/2% BY VOLUME. AIR-ENTRAINING ADMIXTURE TO COMPLY WITH ASTM C-260
 

APPLICATION	f'c @ 28 DAYS	WT (PCF)
a. FOOTINGS/PIERS/FOUNDATION WALLS	3000	145
b. CONCRETE SLABS	4000	145
5. REINFORCEMENT:
  - a. DEFORMED REINFORCING BARS ASTM A615, GRADE 60
  - b. WELDED WIRE FABRIC (WWF) ASTM A185

## E. CONSTRUCTION:

1. GENERAL:
  - a. REPRODUCTION OF ANY PORTION OF THE STRUCTURAL CONTRACT DRAWINGS FOR RESUBMITTAL AS SHOP DRAWINGS IS PROHIBITED. SHOP DRAWINGS PRODUCED IN SUCH A MANNER WILL BE REJECTED AND RETURNED.
  - b. SUBMIT SHOP DRAWINGS AT LEAST 15 DAYS BEFORE DATE REVIEWED SUBMITTALS WILL BE NEEDED. SHOP DRAWINGS SHALL BEAR THE CONTRACTOR'S STAMP OF APPROVAL WHICH SHALL CONSTITUTE CERTIFICATION THAT THE CONTRACTOR HAS VERIFIED ALL FIELD MEASUREMENTS, CONSTRUCTION CRITERIA, MATERIALS AND SIMILAR DATA AND HAS CHECKED EACH DRAWING FOR COMPLETENESS, COORDINATION AND COMPLIANCE WITH THE CONTRACT DOCUMENTS.
  - c. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALLOWABLE CONSTRUCTION LOADS AND TO PROVIDE PROPERLY DESIGNED FORMWORK, STAGINGS, BRACING, SHEETING, SHORING, ETC.
  - d. IMPLEMENTING JOB SAFETY, CONSTRUCTION PROCEDURES AND TEMPORARY SHORING ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
  - e. CONTRACTOR SHALL REFER TO ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR SIZE AND LOCATIONS OF OPENINGS, SLEEVES, CONCRETE HOUSEKEEPING PADS, INSERTS, AND DEPRESSIONS.
  - f. HOUSE RAISING CONTRACTOR SHALL VERIFY ALL CONDITIONS PRIOR TO BEGINNING WORK. VERIFY EXISTING BEARING WALLS ARE PLATFORM FRAMED, NOT BALLOON FRAMED. CONTRACTOR IS SOLELY RESPONSIBLE TO SHOW ALL SHORING AND BRACING, AS REQUIRED TO STABILIZE THE HOUSE DURING THE LIFTING PROCESS (INCLUDING DURING EXISTING FOUNDATION DEMOLITION AND REMOVAL, AND DURING NEW FOUNDATION SYSTEM INSTALLATION).

- g. DISCONNECT ALL UTILITIES AND WALL SILL ANCHORAGE BEFORE LIFTING HOUSE. WORK. VERIFY EXISTING BEARING WALLS ARE PLATFORM FRAMED, NOT BALLOON FRAMED. CONTRACTOR IS SOLELY RESPONSIBLE TO SHOW ALL SHORING AND BRACING, AS REQUIRED TO STABILIZE THE HOUSE DURING THE LIFTING PROCESS.
- h. EXCAVATE AROUND FOUNDATION AND CUT HOLES IN FOUNDATION AND HOUSE WALLS ARE REQUIRED TO INSTALL LIFTING BEAMS. RAISE HOUSE WITH JACKS.
  - i. CONTRACTOR IS RESPONSIBLE FOR REPAIR ALL WALL AND FLOOR FRAMING AND FINISHES CRACKED OR DAMAGED AS A RESULT OF THE HOUSE LIFTING PROCESS.
  - j. IN CASE OF CONFLICT BETWEEN THE GENERAL NOTES, DETAILS AND SPECIFICATIONS, THE MOST RIGID REQUIREMENTS SHALL GOVERN.
  - k. CONTRACTOR SHALL FURNISH DIMENSIONED SHOP DRAWINGS AT ALL LEVELS LOCATING FLOOR AND ROOF EDGES FOR REVIEW BY THE ARCHITECT AND STRUCTURAL ENGINEER.
  - l. ONCE THE EXISTING SUPERSTRUCTURE IS DISENGAGED FROM THE FOUNDATION AND PROPERLY LIFTED AND BRACED, REMOVE EXISTING FOUNDATION.
  - m. THE EXISTING SUPERSTRUCTURE HAS NOT BEEN RETROFITTED TO MEET CURRENT CODE REQUIREMENTS.

## F. FOUNDATIONS + STRUCTURAL EARTHWORK:

1. GENERAL:
  - a. SEE THE 06/02/14 GEOTECHNICAL REPORT BY GNCB CONSULTING ENGINEERS, P.C. FOR FOUNDATION SYSTEM REQUIREMENTS. REQUIREMENTS CONTAINED IN THE GEOTECHNICAL REPORT ARE PART OF THIS WORK.
  - b. CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS THAT MAY AFFECT THE INSTALLATION OF THE FOUNDATION SYSTEM AS SHOWN PRIOR TO STARTING WORK.
  - c. EXISTING UTILITIES KNOWN TO BE IN THE CONSTRUCTION AREA HAVE BEEN INDICATED. THE SIZE, LOCATION AND DEPTH OF THE UTILITIES ARE NOT KNOWN EXACTLY AND MAY VARY SIGNIFICANTLY FROM THAT INDICATED. OTHER UNKNOWN UTILITIES NOT INDICATED MAY ALSO BE PRESENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES, WHETHER INDICATED OR NOT, WHICH MAY BE AFFECTED BY THE CONSTRUCTION PROCESS.
  - d. ALL FOUNDATION FOOTINGS SHALL BE PLACED ON UNDISTURBED SOIL, CRUSHED STONE OR COMPACTED STRUCTURAL FILL. VERIFICATION OF BEARING CONDITIONS SHALL BE MADE BY A QUALIFIED GEOTECHNICAL ENGINEER PRIOR TO CONCRETE PLACEMENT.
  - e. CONCRETE FOR FOUNDATIONS SHALL BE PLACED ON THE SAME DAY SUBGRADE APPROVAL IS GIVEN BY THE GEOTECHNICAL ENGINEER.
  - f. EXCAVATIONS SHALL BE DEWATERED TO ALLOW INSTALLATION OF FOOTINGS IN DRY ATMOSPHERE.
  - g. ALL SHORING, SHEETING, AND DEWATERING SHALL BE THE TOTAL RESPONSIBILITY OF THE CONTRACTOR. SHEETING AND SHORING SHALL BE DESIGNED BY THE CONTRACTOR'S ENGINEER REGISTERED IN THE PROJECT'S JURISDICTION. ALL SUBMITTALS SHALL BEAR CONTRACTOR'S /ENGINEERING SEAL AND SIGNATURE.
  - h. NOTIFY GEOTECHNICAL ENGINEER OF UNEXPECTED SUBSURFACE CONDITIONS AND DISCONTINUE AFFECTED WORK IN AREA UNTIL NOTIFIED TO RESUME WORK.
2. BACKFILL
  - a. ALL BACKFILL SHALL BE PER THE 06/02/14 GNCB CONSULTING ENGINEERS, P.C. GEOTECHNICAL REPORT, WITH OPTIMUM MOISTURE CONTENT FOR COMPACTING.
  - b. NO BACKFILL MATERIAL SHALL BE PLACED AGAINST FOUNDATION WALLS UNTIL THE CONCRETE/ GROUTED MASONRY WALLS HAVE REACHED DESIGN STRENGTH.
  - c. WHERE THE FINAL GRADE ELEVATIONS ARE APPROXIMATELY EQUAL ON BOTH SIDES OF A WALL, BACKFILL IN LIFTS TO MAINTAIN LEVEL ELEVATIONS WITHIN 12" ON BOTH SIDES AT ANY TIME.
3. STRUCTURAL FILL
  - a. REFER TO 06/02/14 GNCB CONSULTING ENGINEERS, P.C. GEOTECHNICAL REPORT REQUIREMENTS FOR COMPACTED STRUCTURAL FILL. REQUIREMENTS CONTAINED IN THE GEOTECHNICAL REPORT ARE PART OF THIS WORK. INSPECTION OF THE PLACEMENT OF COMPACTED STRUCTURAL FILL SHALL BE BY AN EXPERIENCED, QUALIFIED GEOTECHNICAL ENGINEER.

## G. CONCRETE:

1. CAST-IN-PLACE
  - a. REINFORCING STEEL CLEAR COVER SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE:
 

NON-POST-TENSIONED CONCRETE:	
CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH	3"
CONCRETE EXPOSED TO EARTH OR WEATHER	2"
#6 BARS AND LARGER	1-1/2"
#5 AND SMALLER	
CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND	
SLABS, WALL, JOISTS:	3/4"
#11 BARS OR SMALLER	
  - b. ALL FORMWORK, SHORING AND RESHORING SHALL BE DESIGNED BY THE CONTRACTOR'S ENGINEER REGISTERED IN THE PROJECT'S JURISDICTION. ALL SUBMISSIONS SHALL BEAR THE ENGINEER'S SEAL AND SIGNATURE.
  - c. NO SLEEVE SHALL BE PLACED THROUGH ANY CONCRETE ELEMENT UNLESS SHOWN ON THE STRUCTURAL DRAWINGS, APPROVED SLEEVING SHOP DRAWINGS OR SPECIFICALLY AUTHORIZED IN WRITING BY THE STRUCTURAL ENGINEER.
  - d. CORE DRILLING OF FOUNDATIONS AND SLABS SHALL NOT BE PERMITTED, UNLESS AUTHORIZED IN WRITING BY THE STRUCTURAL ENGINEER.

- e. NO SPLICES OF REINFORCEMENT SHALL BE PERMITTED EXCEPT AS DETAILED OR AUTHORIZED BY THE STRUCTURAL ENGINEER. MAKE BARS CONTINUOUS AROUND CORNERS.
- f. WHEN INSTALLING EXPANSION BOLTS OR ADHESIVE ANCHORS, THE CONTRACTOR SHALL TAKE MEASURES TO AVOID DRILLING OR CUTTING OF ANY EXISTING REINFORCING AND DESTRUCTION OF CONCRETE. HOLES SHALL BE BLOWN CLEAN PRIOR TO PLACING BOLTS OR ADHESIVE ANCHORS.
- g. ANY STOP IN CONCRETE MUST BE MADE WITH VERTICAL BULKHEADS AND HORIZONTAL KEYS, UNLESS OTHERWISE SHOWN. ALL REINFORCING IS TO BE CONTINUOUS THROUGH JOINTS.
- h. THE CONCRETE SLABS SHALL BE FINISHED FLAT AND LEVEL WITHIN TOLERANCE, TO THE ELEVATION INDICATED ON THE DRAWINGS.
- i. WELDED WIRE FABRIC REINFORCEMENT SHALL BE SUPPLIED IN SHEETS. LAP TWO FULL MESH LENGTHS AT SPLICES AND WIRE TOGETHER.
- j. ALL CONTINUOUS REINFORCING BARS SHALL BE LAPPED 48 BAR DIAMETERS, UNLESS NOTED OTHERWISE.
- k. WELDED WIRE FABRIC SHALL BE PLACED IN THE UPPER 1/3 OF THE SLAB ON GRADE AND SHALL CONFORM TO SECTION "MATERIALS" ITEM #5 ON THIS DRAWING.
- l. PRODUCTS: 1.) WATER SHALL BE FRESH, DRINKABLE 2.) AIR-ENTRAINING AGENT: CONFORMING TO ASTM C260 3.) WATER-REDUCING, SET-CONTROLLING ADMIXTURE CONFORMING TO ASTM C494 MANUFACTURED BY MASTER BUILDERS, SONNEBORN, EUCLID, OR W.R. GRACE COMPANIES.
- m. VAPOR RETARDER SHALL BE INSTALLED UNDER CONCRETE SLABS ON GRADE WHERE INDICATED AND SHALL BE 10 MIL POLYETHYLENE. IT SHALL BE INSTALLED IN WIDEST PRACTICAL WIDTH. ALL JOINTS SHALL BE LAPPED A MINIMUM OF SIX (6) INCHES, AND ALL BREAKS OR HOLES SHALL BE PATCHED PRIOR TO POURING THE CONCRETE. WATER VAPOR RETARDER: ASTM E-1745 THAT MEETS OR EXCEEDS CLASS C.
- n. IMMEDIATELY FOLLOWING PLACEMENT, CONCRETE SHALL BE PROTECTED FROM PREMATURE DRYING, HOT AND COLD TEMPERATURES, RAIN, FLOWING WATER AND MECHANICAL INJURY.
- o. FORMS FOR WALLS SHALL BE LEFT IN PLACE FOR A MINIMUM OF 3 DAYS. FINAL CURING SHALL CONTINUE FOR NOT LESS THAN 7 DAYS.
- p. ALL CONCRETE FLOOR SLABS SHALL BE STEEL TROWELED TO A SMOOTH UNIFORM FINISH, FREE FROM DEFECTS AND BLEMISHES, NOTHING TO BE ADDED TO EITHER WET OR DRY FINISH. STEEL TROWELING SHALL NOT BE DONE UNTIL CONCRETE HAS HARDENED SUFFICIENTLY TO PREVENT FINE MATERIAL FROM WORKING TO THE SURFACE. ALL EXTERIOR CONCRETE FLOOR SLABS SHALL HAVE A BROOM FINISH.



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REHABILITATION/RECONSTRUCTION WORK FOR:

**SHARI & MOSHE IFRACH**

APPLICANT #1224

25 JARVIS COURT

FAIRFIELD, CT

Sheet Description:

**STRUCTURAL GENERAL NOTES**

Issue Dates:

**FEBRUARY 6, 2015**

Project #: QAI346/18

Drawn By: S.A.L.

Sheet #:

S-01



**PERRONE & ZAJDA ENGINEERS LLC**  
 SOUTHWAY EXECUTIVE PARK, UNIT #511  
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REHABILITATION/RECONSTRUCTION WORK FOR:

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FAIRFIELD, CT

25 JARIYS COURT

Sheet Description:

**FOUNDATION PLAN**

Issue Dates:

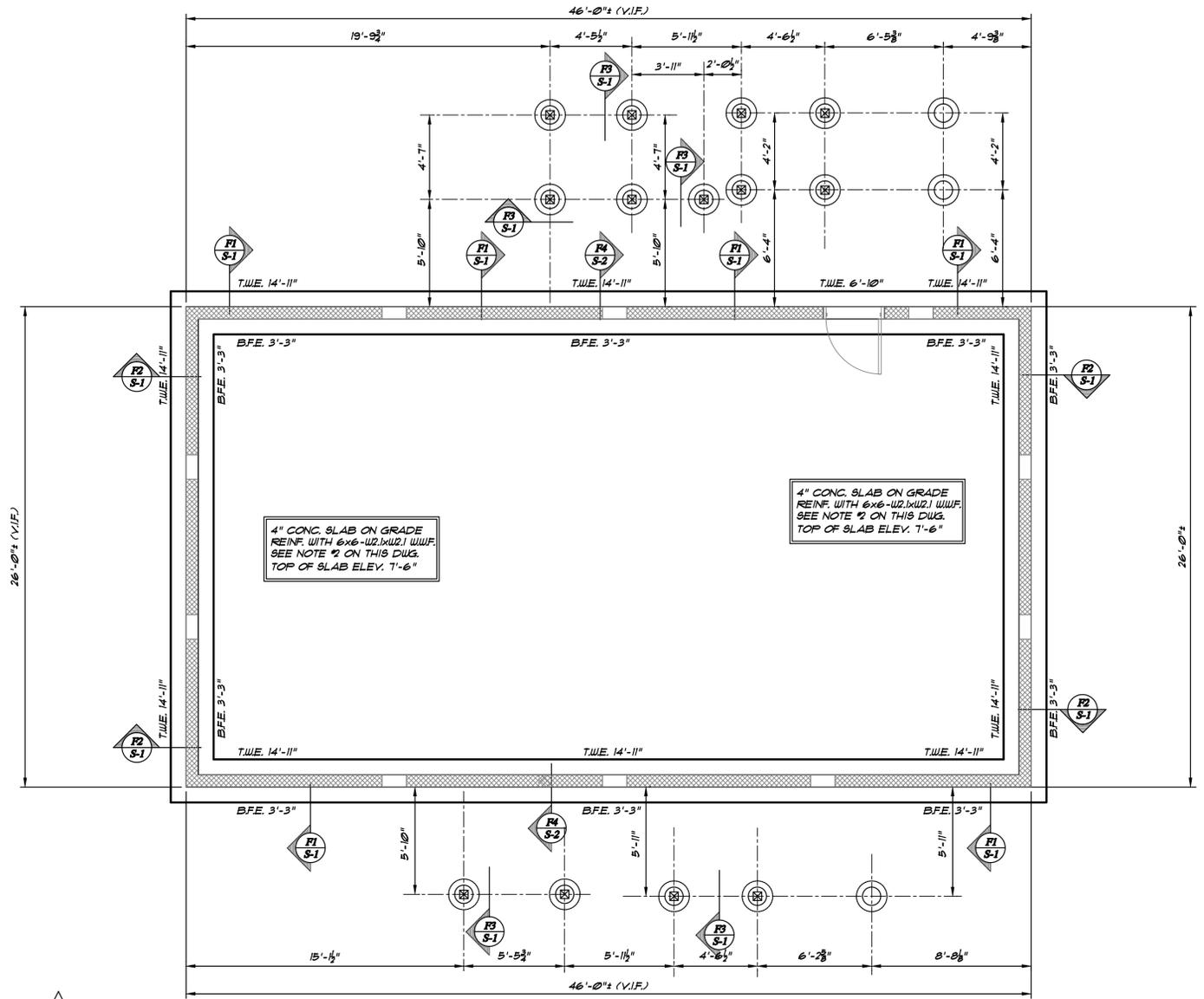
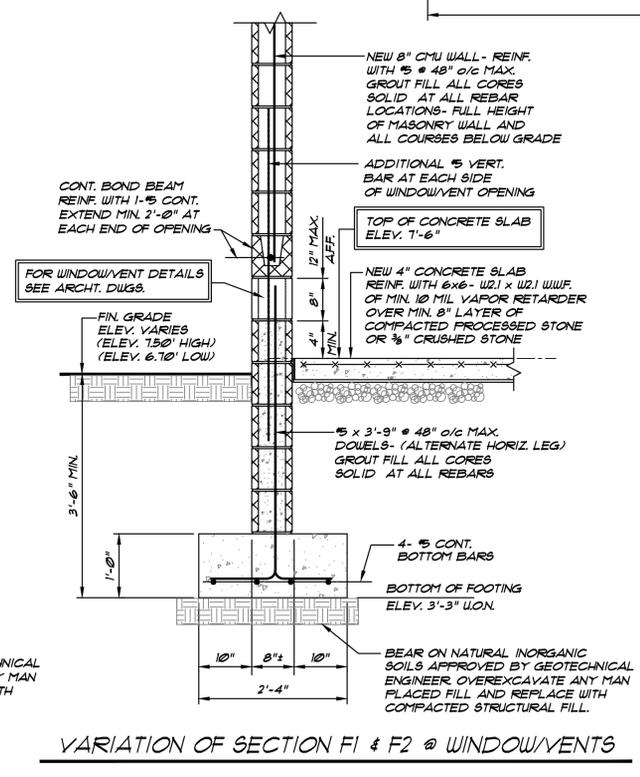
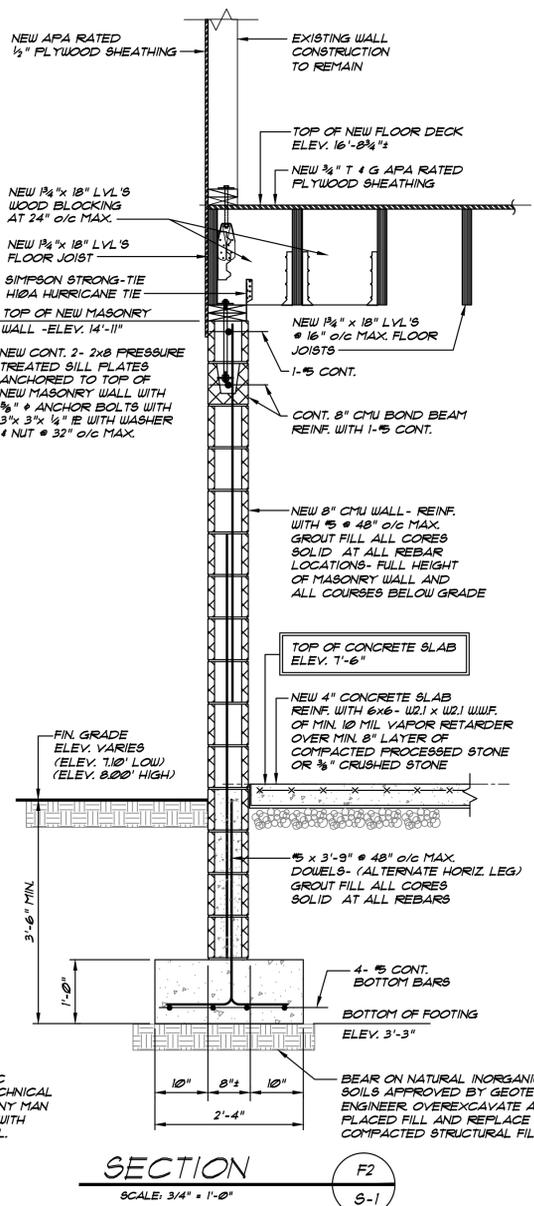
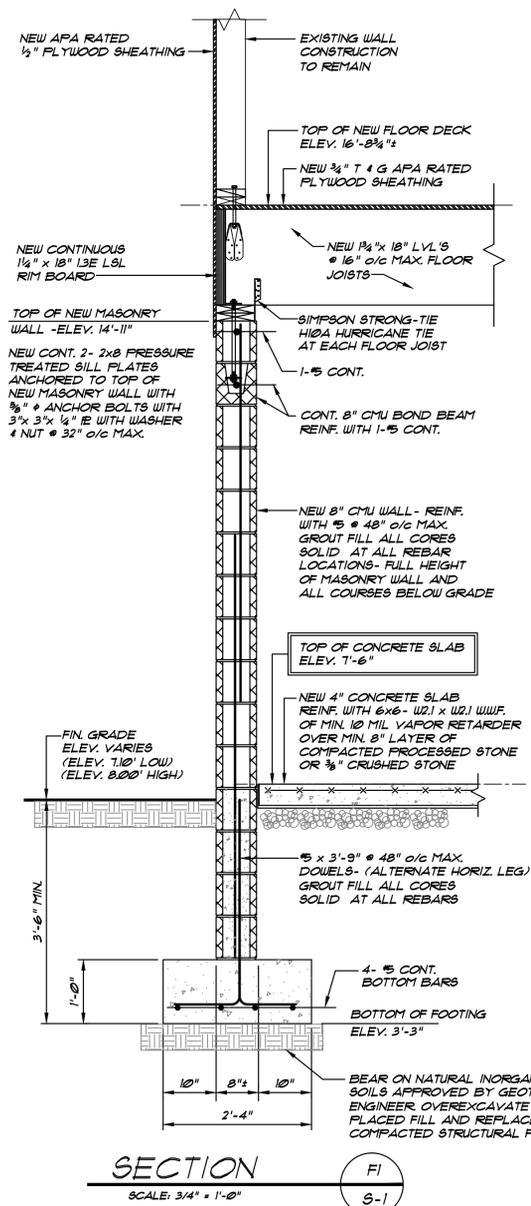
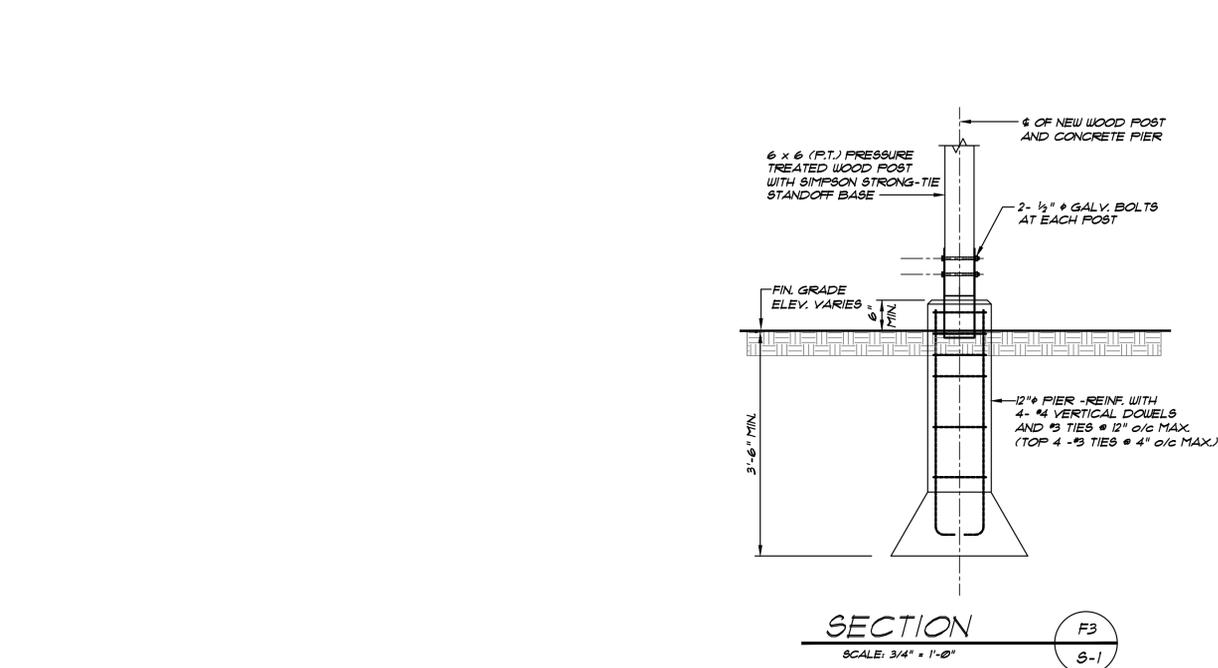
FEBRUARY 6, 2015

Project #:  
QA1346/18

Drawn By:  
S.A.L.

Sheet #:

**S-1**



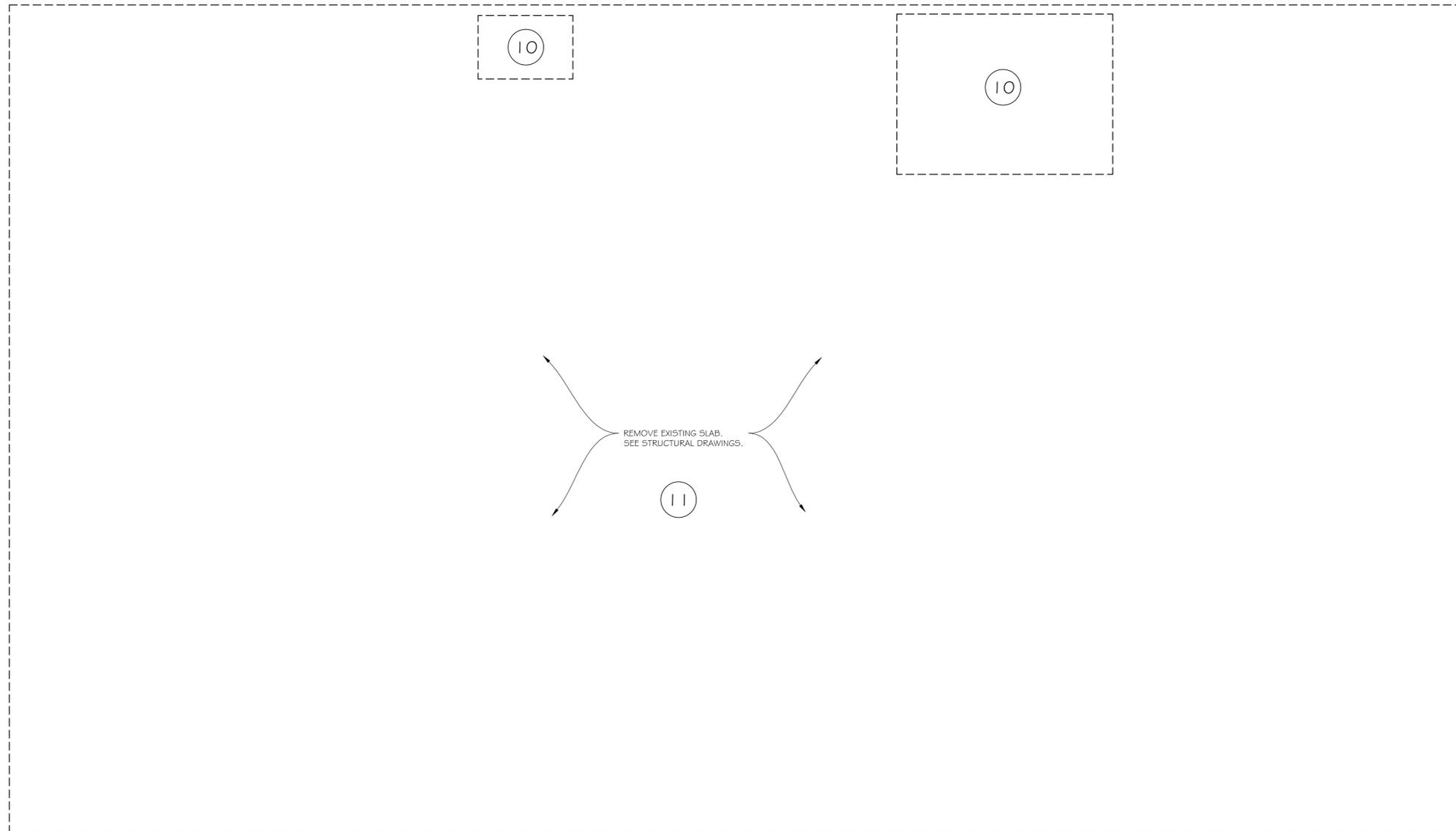
- NOTES:**
1. VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO STARTING FABRICATION AND INSTALLATION OF ANY NEW MATERIALS. NOTIFY ARCHITECT AND ENGINEER OF ANY DISCREPANCIES FOR POSSIBLE FURTHER INSTRUCTIONS AS MAY BE REQUIRED.
  2. NEW SLAB SHALL BE 4" CONCRETE SLAB REINF. WITH 6 x 6- 42.1 x 42.1 WWF. CAST ON MINIMUM 10 MIL VAPOR RETARDER OVER MINIMUM 8" LAYER OF COMPACTED PROCESSED STONE OR 3/8" CRUSHED STONE.
  3. B.F.E. INDICATES BOTTOM OF FOOTING ELEVATION.
  4. T.W.E. INDICATES TOP OF WALL ELEVATION.
  5. ALL FOOTINGS TO BEAR ON NATURAL INORGANIC SOILS APPROVED BY GEOTECHNICAL ENGINEER. OVEREXCAVATE ANY MAN PLACED FILL AND REPLACE WITH STRUCTURAL FILL.
  6. NEW FOUNDATION WALL SHALL BE 8" CMU WALL REINF. WITH 1-5 @ 48" O/C MAXIMUM. FULL HEIGHT OF WALL WITH CONTINUOUS 8" BOND BEAM REINF WITH CONTINUOUS 1-5 AT TOP OF WALL. GROUT FILL ALL CORES SOLID AT ALL REBAR. ALSO GROUT FILL ALL CORES SOLID BELOW EXTERIOR FIN. GRADE.

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# SLAB DEMOLITION PLAN

SCALE: 1/2" = 1'-0"



1

## DEMO PLAN KEY

DASHED LINES INDICATE EXISTING ITEMS TO BE REMOVED, SEE NOTED BELOW FOR MORE INFO

ABATE AND PROPERLY DISPOSE OF ALL EXISTING ASBESTOS CONTAINING ITEMS. SEE HAZMAT REPORT FOR LOCATION, PROPER REMOVAL AND DISPOSAL PROCEDURES.

REMOVE LOWER PORTION OF EXTERIOR SHEATHING WERE REQUIRED TO ACCOMMODATE NEW MINIMUM 1/2" APA RATED WALL SHEATHING. MATCH EXISTING WALL SHEATHING THICKNESS.

1 REMOVE ALL EXISTING INTERIOR DRYWALL AND INSULATION TO AN ELEVATION OF 4'-0" ABOVE FINISH FLOOR. TYPICAL

2 REMOVE ALL EXISTING INTERIOR FLOORING, INCLUDING 3/4" PLYWOOD, 1" RIGID INSULATION & ACT. TYPICAL

3 REMOVE EXISTING STORM DOOR ASSEMBLY. REMOVE EXISTING ALL ELEMENTS AS REQUIRED TO INSTALL NEW STORM DOOR PACKAGE SEE DOOR ELEVATION & DETAILS

4 REMOVE EXISTING ENTRY DOOR ASSEMBLY. REMOVE EXISTING DRYWALL RETURNS AS REQUIRED TO INSTALL NEW INTERIOR WINDOW TRIM PACKAGE SEE DOOR ELEVATION & DETAILS

5 REMOVE EXISTING REAR ENTRY DOOR ASSEMBLY. REMOVE EXISTING DRYWALL RETURNS AS REQUIRED TO INSTALL NEW INTERIOR WINDOW TRIM PACKAGE SEE DOOR ELEVATION & DETAILS

6 REMOVE EXISTING WINDOW ASSEMBLY, REMOVE EXISTING DRYWALL RETURNS AS REQUIRED TO INSTALL NEW INTERIOR WINDOW TRIM PACKAGE, SEE WINDOW ELEVATION & DETAILS

7 REMOVE EXISTING VINYL SIDING AND HOUSE WRAP DOWN TO EXISTING SHEATHING.

8 REMOVE EXISTING CONCRETE STOOP AND STAIR ASSEMBLY. INFILL HOLE WITH NEW COMPACTED STRUCTURAL FILL. GRADE TO MATCH EXISTING ADJACENT AREAS

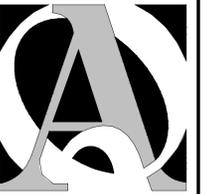
9 REMOVE ALL BUILT-IN ELEMENTS AND APPLIANCES PRIOR TO RAISING THE HOUSE. WORK TO INCLUDE, BUT NOT LIMITED TO (CABINETS, COUNTERS, VANITY, TUB/ SHOWER ASSEMBLIES, TOILET, ECT.). GC TO PROPERLY STORE IN A STORAGE TRAILER PROTECTED FROM THE ELEMENTS. ITEMS TO BE RE-INSTALLED AFTER NEW FLOOR CONSTRUCTED.

10 ALL PLUMBING TO BE CUT AND CAPPED AT SLAB LEVEL. REFER TO MEP DRAWINGS FOR ADDITIONAL DEMOLITIONS NOTES.

11 REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL DEMOLITIONS NOTES.

## DEMO NOTES

EXISTING HOUSE STRUCTURE IS TO BE RAISED. DEMO AND MAKE PREPARATIONS AS REQUIRED TO SUPPORT THE RAISING, EQUIPMENTS, SUPPORTS AND SHORING PILES. G.C. TO COORDINATE WITH ARCHITECT, ENGINEER AND RAISING CONTRACTOR IN THE FIELD PRIOR TO START OF WORK.



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REHABILITATION/RECONSTRUCTION WORK FOR:

**SHARI & MOSHE IFRACH**

APPLICANT #1224

FAIRFIELD, CT

25 JARVIS COURT

Sheet Description:

**SLAB DEMOLITION PLAN**

Issue Dates:

FEBRUARY 6, 2015

1/2" = 1'-0"

Project #: QA 1346-18

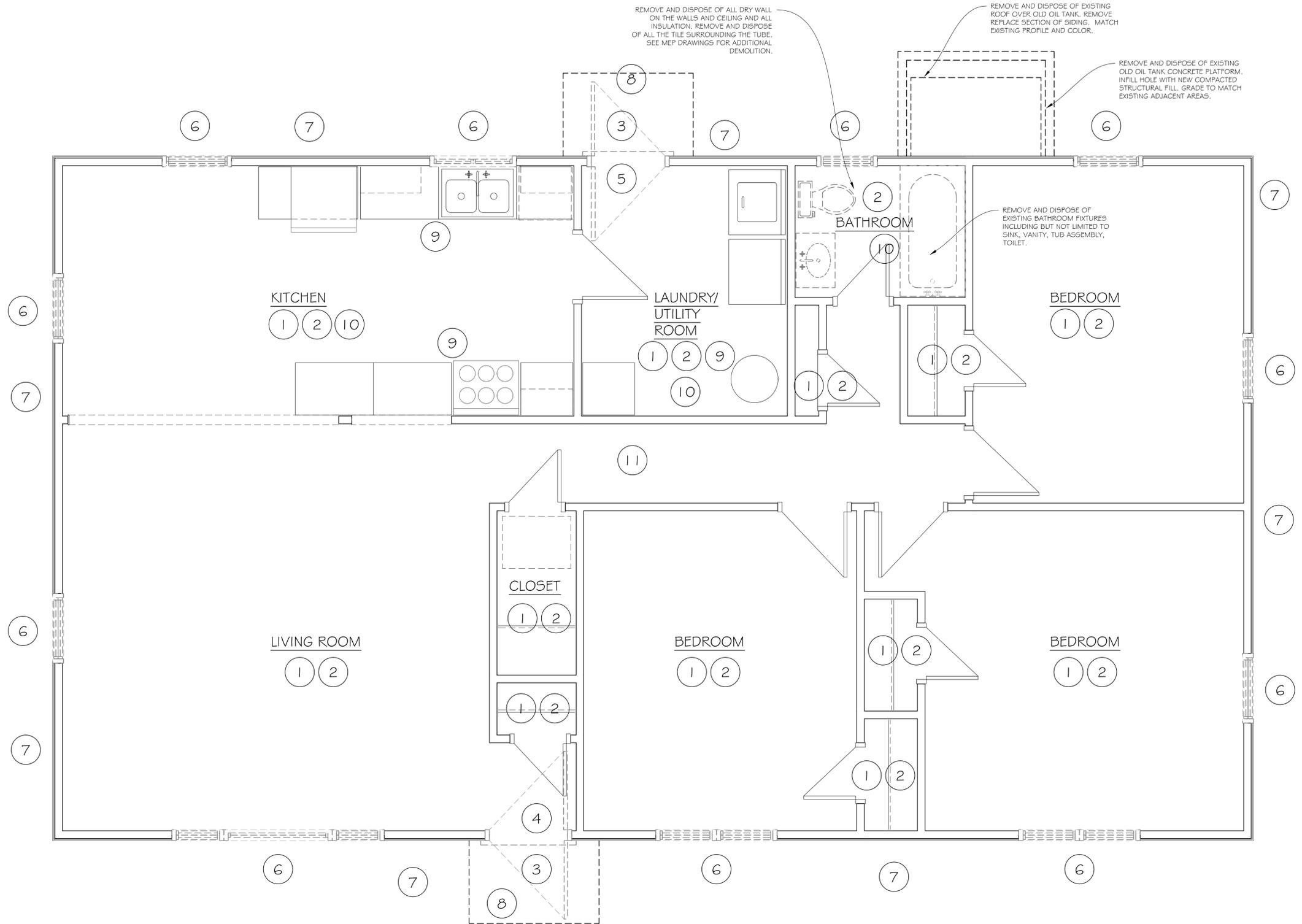
Drawn By: MPM

Sheet #:

**D1.0**

# DEMOLITION FLOOR PLAN

SCALE: 1/2" = 1'-0"



1

## DEMO PLAN KEY

DASHED LINES INDICATE EXISTING ITEMS TO BE REMOVED, SEE NOTED BELOW FOR MORE INFO

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- 6 REMOVE EXISTING WINDOW ASSEMBLY, REMOVE EXISTING DRYWALL RETURNS AS REQUIRED TO INSTALL NEW INTERIOR WINDOW TRIM PACKAGE, SEE WINDOW ELEVATION & DETAILS
- 7 REMOVE EXISTING VINYL SIDING AND HOUSE WRAP DOWN TO EXISTING SHEATHING.
- 8 REMOVE EXISTING CONCRETE STOOP AND STAIR ASSEMBLY. INFILL HOLE WITH NEW COMPACTED STRUCTURAL FILL. GRADE TO MATCH EXISTING ADJACENT AREAS
- 9 REMOVE ALL BUILT-IN ELEMENTS AND APPLIANCES PRIOR TO RAISING THE HOUSE. WORK TO INCLUDE, BUT NOT LIMITED TO (CABINETS, COUNTERS, VANITY, TUB/ SHOWER ASSEMBLIES, TOILET, ECT..). GC TO PROPERLY STORE IN A STORAGE TRAILER PROTECTED FROM THE ELEMENTS. ITEMS TO BE RE-INSTALLED AFTER NEW FLOOR CONSTRUCTED.
- 10 ALL PLUMBING TO BE CUT AND CAPPED AT SLAB LEVEL. REFER TO MEP DRAWINGS FOR ADDITIONAL DEMOLITIONS NOTES.
- 11 REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL DEMOLITIONS NOTES.

## DEMO NOTES

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 APPLICANT #1224  
 25 JARVIS COURT  
 FAIRFIELD, CT

Sheet Description:  
**DEMOLITION PLAN**

Issue Dates:  
 FEBRUARY 6, 2015

1/2" = 1'-0"

Project #: QA 1346-18  
 Drawn By: MPM

Sheet #:  
**D1.1**



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**SHARI & MOSHE IFRACH**  
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 25 JARVIS COURT  
 FAIRFIELD, CT

Sheet Description:  
**STORAGE FLOOR PLAN**

Issue Dates:  
**FEBRUARY 6, 2015**

Project #: **QA 1346-18**  
 Drawn By: **MPM**

Sheet #:  
**A1.0**

**PLAN KEY**

- |           |  |          |  |
|-----------|--|----------|--|
| <b>12</b> | REFER TO STRUCTURAL DRAWINGS FOR ALL INFORMATION PERTAINING TO THE NEW FLOOR STRUCTURE, FOUNDATION AND FOOTINGS. | <b>1</b> | PROVIDE # INSTALL NEW DRYWALL TO AN ELEVATION OF 4'-0" A.F.F., R-15 BATT INSULATION ON ALL EXTERIOR WALLS AND WOOD TRIM. REMEDIATE ALL MOLD IN WALLS. NEW DRYWALL TO RECEIVE (1) COAT OF PRIMER # WHOLE ROOM (2) COATS OF FINISH PAINT. WALL AND TRIM COLOR TO BE CHOSEN BY OWNER. |
| <b>13</b> | PROVIDE # INSTALL NEW PORCELAIN TILE # PORCELAIN TILE BASE-REFER TO INTERIOR SPECS                               | <b>2</b> | PROVIDE # INSTALL NEW LAMINATE FLOORING # WOOD BASE-REFER TO INTERIOR SPECS  |
| <b>14</b> | PROVIDE # INSTALL NEW PORCELAIN TILE # WOOD BASE-REFER TO INTERIOR SPECS   | <b>3</b> | PROVIDE # INSTALL NEW STORM DOORS PER MANUFACTURERS REQUIREMENTS, SEE DOOR SCHEDULE # ELEVATIONS FOR MORE INFORMATION. ROUGH OPENING SIZE IS TO BE VERIFIED IN THE FIELD, BY THE CONTRACTOR. REFER TO SHEET 4.0  |

**PLAN NOTES**

EXISTING HOUSE STRUCTURE IS TO BE RAISED. DEMO AND MAKE PREPARATIONS AS REQUIRED TO SUPPORT THE RAISING, EQUIPMENTS, SUPPORTS AND SHORING PILES. G.C. TO COORDINATE WITH ARCHITECT, ENGINEER AND RAISING CONTRACTOR IN THE FIELD PRIOR TO START OF WORK.

REFER TO HAZMAT DRAWING AND SPECIFICATION FOR ALL HAZARDOUS MATERIAL INFORMATION.

CONTRACTOR TO TAKES AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE PRIOR TO THE START OF WORK.

**TITLE BLOCK**

F.E.M.A. STANDARDS - ONLY IF IN FLOOD HAZARD AREAS  
 ZONING COMPLIANCE PREDICATED ON A, B, C, # D.

A. All new construction and substantial improvements shall:

- Be designed or modified and adequately anchored to prevent flotation, collapse, or lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including effects of buoyancy.
- Be constructed with materials resistant to flood damage.
- Be constructed by methods and practice that minimized flood damage.
- Be constructed with electrical, heating, ventilation, plumbing and air-conditioning equipment and other services facilities that are designed and/or located so as to prevent water from entering or accumulating within the components during conditions of flooding.

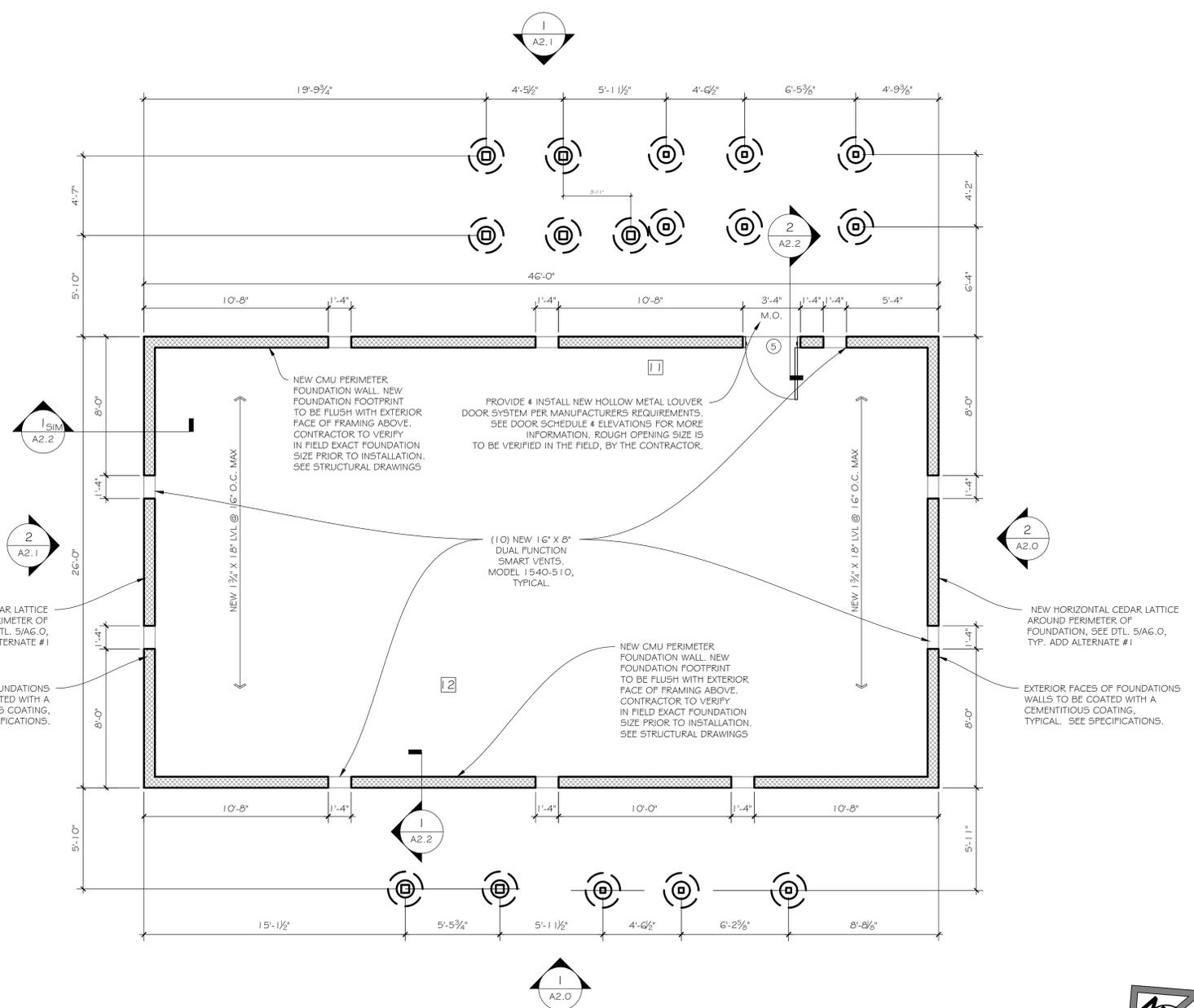
B. New and replacement water supply systems shall be designed to minimize or eliminate infiltration of flood waters into the system.

C. New and replacement sanitary sewage systems shall be designed to minimize or eliminate infiltration of flood waters into the systems and discharges from the system into flood waters and on-site waste disposal systems shall be located and constructed to avoid impairment to them or contamination from them during flooding.

D. All new construction and substantial improvements shall have the lowest floor, including the basement elevated to or above the base flood level and if constructed with a fully enclosed area below this lowest floor shall be designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for entry and exit of flood waters.

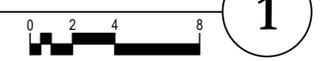
**TITLE BLOCK**

1. STREET ADDRESS: #25 JARVIS COURT  
 2. ASSESSORS MAP # 183, PARCEL # 116  
 3. MAP: "B" RESIDENTIAL DISTRICT  
 4. APPLICANT: SHARI AND MOSHE IFRACH  
 25 OLD JARVIS COURT  
 FAIRFIELD, CONNECTICUT 06824  
 5. OWNER: SHARI AND MOSHE IFRACH  
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 6. DESCRIPTIVE TITLE: ELEVATING AN EXISTING ONE STORY ONE FAMILY DWELLING WITH ASSOCIATED DECKS  
 7. ORIGINAL DATE OF PLANS AND ANY SUBSEQUENT REVISION DATES LABELED FIRST, SECOND, ETC., AND NOTE THE PURPOSE AND LOCATION OF THE REVISION:  
 November 20, 2014  
 8. PREPARED BY: MICHAEL MEMMOTT - PROJECT MANAGER  
 QUISENBERRY ARCARI ARCHITECTS  
 318 MAIN STREET  
 FARMINGTON, CONNECTICUT 06032  
 (860) 677-4594 EX 15  
 9. To the best of my knowledge and belief these drawings are substantially correct as noted hereon.  
 Michael Memmott



**STORAGE FLOOR PLAN**

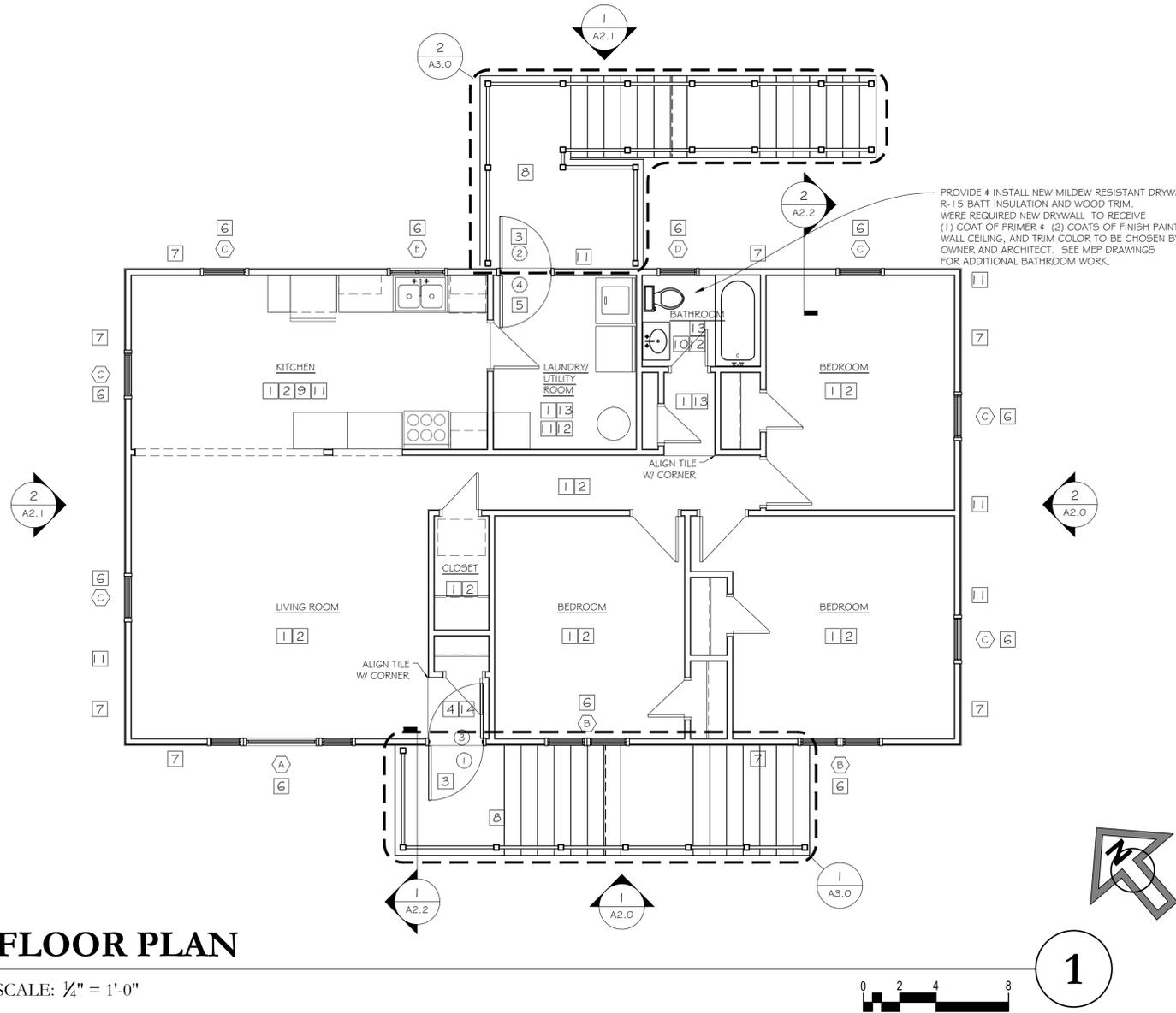
SCALE: 1/4" = 1'-0"



**FLOOD VENTS**  
 (2009 INTERNATIONAL BUILDING CODE W/ 2013 CONNECTICUT AMENDMENT TO THE STATE BUILDING CODE.)  
 R322.2.2 ENCLOSED AREA BELOW DESIGN FLOOD ELEVATION  
 R322.2.2 - 2.1 - MIN. REQUIRED FLOOD VENTS = 2. PROPOSED NUMBER OF FLOOD VENTS = 10  
 R322.2.2 - 2.2 - TOTAL NET AREA OF FLOOD VENTS  
 MIN. = 1 SQ INCH FOR EACH SQUARE FOOT OF ENCLOSED SPACE.  
 ENCLOSED SPACE = 1106 SQ FT.  
 MIN FLOOD VENT NET AREA REQUIRED = 1106 SQ. INCHES  
 PROPOSED FLOOD VENTS = (10) AT 128 SQ. INCHES EA.  
 TOTAL FLOOD VENTILATION = 1280 SQ. INCHES.  
 R322.2.2 - 2.3 - GRADE ELEVATION  
 MAX. HEIGHT ABOVE GRADE = 1'-0"  
 PROPOSED FLOOD VENT HEIGHT - 5"  
 R322.2.2 - 2.4 - OPENING SIZE  
 MIN. FLOOD VENT OPENING SIZE = 3" IN ANY DIRECTION IN THE PLANE OF THE WALL.  
 PROPOSED FLOOD VENT SIZE = 8" X 16"  
 R322.2.2 - 2.5 - OPENING COVERS  
 OPENING COVERS SHALL ALLOW THE AUTOMATIC FLOW OF FLOODWATERS. (SCREENS, LOUVERS ETC)  
 PROPOSED OPENING COVERS - NONE

# FLOOR PLAN

SCALE: 1/4" = 1'-0"



PROVIDE # INSTALL NEW MILDEW RESISTANT DRYWALL, R-15 BATT INSULATION AND WOOD TRIM. WERE REQUIRED NEW DRYWALL TO RECEIVE (1) COAT OF PRIMER # (2) COATS OF FINISH PAINT. WALL CEILING, AND TRIM COLOR TO BE CHOSEN BY OWNER AND ARCHITECT. SEE MEP DRAWINGS FOR ADDITIONAL BATHROOM WORK.

## PLAN KEY

- |    |  |   |  |
|----|--|---|--|
| 12 | REFER TO STRUCTURAL DRAWINGS FOR ALL INFORMATION PERTAINING TO THE NEW FLOOR STRUCTURE, FOUNDATION AND FOOTINGS. | 1 | PROVIDE # INSTALL NEW DRYWALL TO AN ELEVATION OF 4'-0" A.F.F., R-15 BATT INSULATION ON ALL EXTERIOR WALLS AND WOOD TRIM. REMEDIATE ALL MOLD IN WALLS. NEW DRYWALL TO RECEIVE (1) COAT OF PRIMER # WHOLE ROOM (2) COATS OF FINISH PAINT. WALL AND TRIM COLOR TO BE CHOSEN BY OWNER. |
| 13 | PROVIDE # INSTALL NEW PORCELAIN TILE # PORCELAIN TILE BASE-REFER TO INTERIOR SPECS                               | 2 | PROVIDE # INSTALL NEW LAMINATE FLOORING # WOOD BASE-REFER TO INTERIOR SPECS  |
| 14 | PROVIDE # INSTALL NEW PORCELAIN TILE # WOOD BASE-REFER TO INTERIOR SPECS   | 3 | PROVIDE # INSTALL NEW STORM DOORS PER MANUFACTURERS REQUIREMENTS, SEE DOOR SCHEDULE # ELEVATIONS FOR MORE INFORMATION. ROUGH OPENING SIZE IS TO BE VERIFIED IN THE FIELD, BY THE CONTRACTOR. REFER TO SHEET 4.0  |

## PLAN NOTES

- EXISTING HOUSE STRUCTURE IS TO BE RAISED. DEMO AND MAKE PREPARATIONS AS REQUIRED TO SUPPORT THE RAISING, EQUIPMENTS, SUPPORTS AND SHORING PILES. G.C. TO COORDINATE WITH ARCHITECT, ENGINEER AND RAISING CONTRACTOR IN THE FIELD PRIOR TO START OF WORK.
- REFER TO HAZMAT DRAWING AND SPECIFICATION FOR ALL HAZARDOUS MATERIAL INFORMATION.
- CONTRACTOR TO TAKES AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE PRIOR TO THE START OF WORK.
- 4 PROVIDE # INSTALL NEW FIBERGLASS FRONT ENTRY DOOR SYSTEM PER MANUFACTURERS REQUIREMENTS. PROVIDE AND INSTALL NEW 1X4 PERIMETER BLOCKING AND 3/4 X 4 PVC TRIM WITH RABBETED EDGE. PROVIDE # INSTALL 2 1/2" INTERIOR DOOR TRIM # EXTENSION JAMBS. SEE DOOR SCHEDULE # ELEVATIONS FOR MORE INFORMATION. ROUGH OPENING SIZE IS TO BE VERIFIED IN THE FIELD, BY THE CONTRACTOR. REFER TO A4.0
- 5 PROVIDE # INSTALL NEW FIBERGLASS REAR ENTRY DOOR SYSTEM PER MANUFACTURERS REQUIREMENTS. PROVIDE AND INSTALL NEW 1X4 PERIMETER BLOCKING AND 3/4 X 4 PVC TRIM WITH RABBETED EDGE. PROVIDE # INSTALL 2 1/2" INTERIOR DOOR TRIM # EXTENSION JAMBS. SEE DOOR SCHEDULE # ELEVATIONS FOR MORE INFORMATION. ROUGH OPENING SIZE IS TO BE VERIFIED IN THE FIELD, BY THE CONTRACTOR. REFER TO A4.0
- 6 PROVIDE # INSTALL NEW VINYL CLAD WINDOW SYSTEM PER MANUFACTURERS REQUIREMENTS, PROVIDE AND INSTALL NEW 1X4 PERIMETER BLOCKING AND 3/4 X 4 PVC TRIM WITH CONCEALED EDGE. PROVIDE # INSTALL 2 1/2" INTERIOR WINDOW TRIM WITH STUOL, AFRON # EXTENSION JAMBS. SEE WINDOW SCHEDULE # SPECIFICATIONS FOR MORE INFORMATION. SIZE TO MATCH WINDOW SIZE, STYLE, TYPE, AND ROUGH OPENING SIZE IS TO BE VERIFIED IN THE FIELD, BY THE CONTRACTOR. REFER TO SHEETS A5.0 AND A5.1
- 7 PROVIDE # INSTALL NEW MOISTURE BARRIER, 3/8" POLYISOCYANURATE INSULATION WITH ALL NECESSARY BLOCKING AND VINYL SIDING AND TRIM ASSEMBLIES. PROFILE AND COLOR TO BE CHOSEN BY OWNER AND ARCHITECT.
- 8 PROVIDE # INSTALL NEW LANDING AND STAIRS, FOOTINGS AND PIERS. FOOTING TO MIN. 3'-6" BELOW GRADE. SEE SHEET A.3.0. AND STRUCTURAL DRAWINGS. ALL EXISTING GRADES TO BE VERIFIED IN THE FIELD, BY THE CONTRACTOR.
- 9 REINSTALL ALL BUILT-IN ELEMENTS # APPLIANCES (CABINETS, COUNTERS, ECT..) IN SAME LOCATIONS.
- 10 REFER TO MEP DRAWINGS FOR ALL INFORMATION PERTAINING TO THE NEW TUB/ SHOWER, TUB SURROUND, TOILET AND VANITY. PROVIDE AND INSTALL MILDEW RESISTANT GYPSUM BOARD IN BATHROOM
- 11 REFER TO MEP DRAWINGS FOR ALL INFORMATION PERTAINING TO THE CONNECTING OF POWER, STORM, SANITARY LINES, ETC..

## TITLE BLOCK

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*Michael Memmott*  
Michael Memmott



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REHABILITATION/RECONSTRUCTION WORK FOR:  
**SHARI & MOSHE IFRACH**  
APPLICANT #1224  
25 JARVIS COURT  
FAIRFIELD, CT

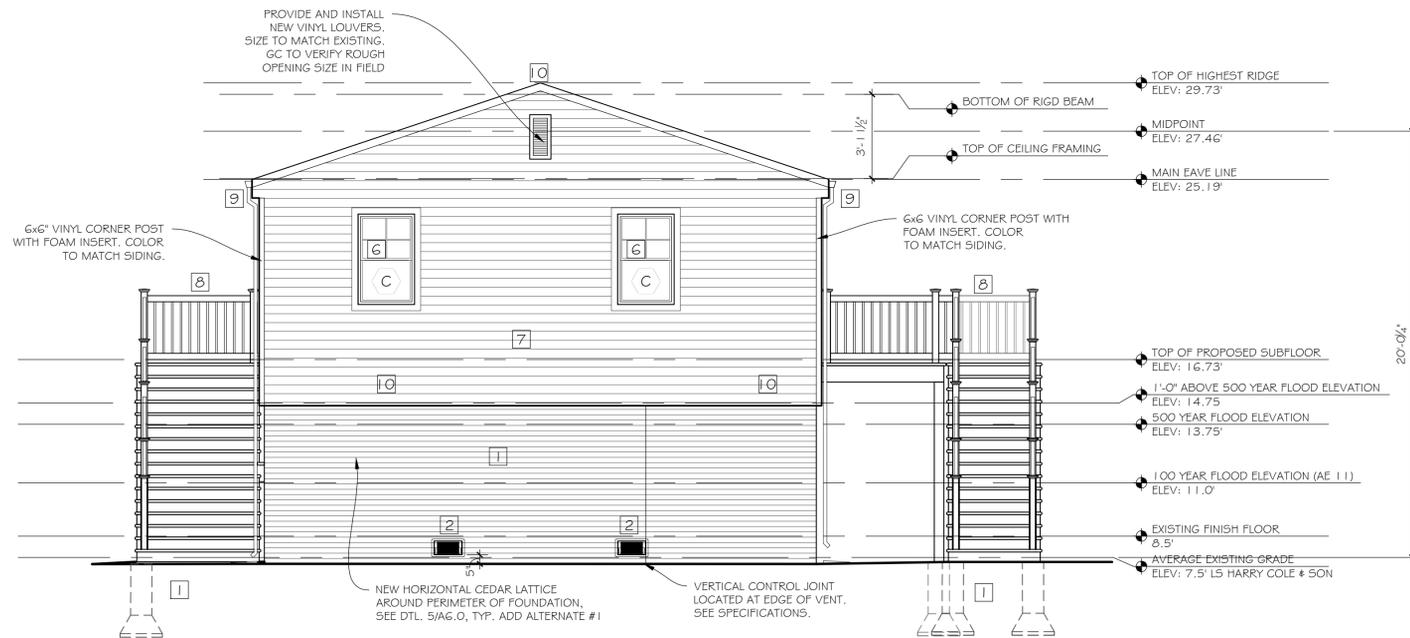
Sheet Description:  
**FLOOR PLAN**

Issue Dates:  
FEBRUARY 6, 2015

1/4" = 1'-0"

Project #: QA 1346-18  
Drawn By: MPM

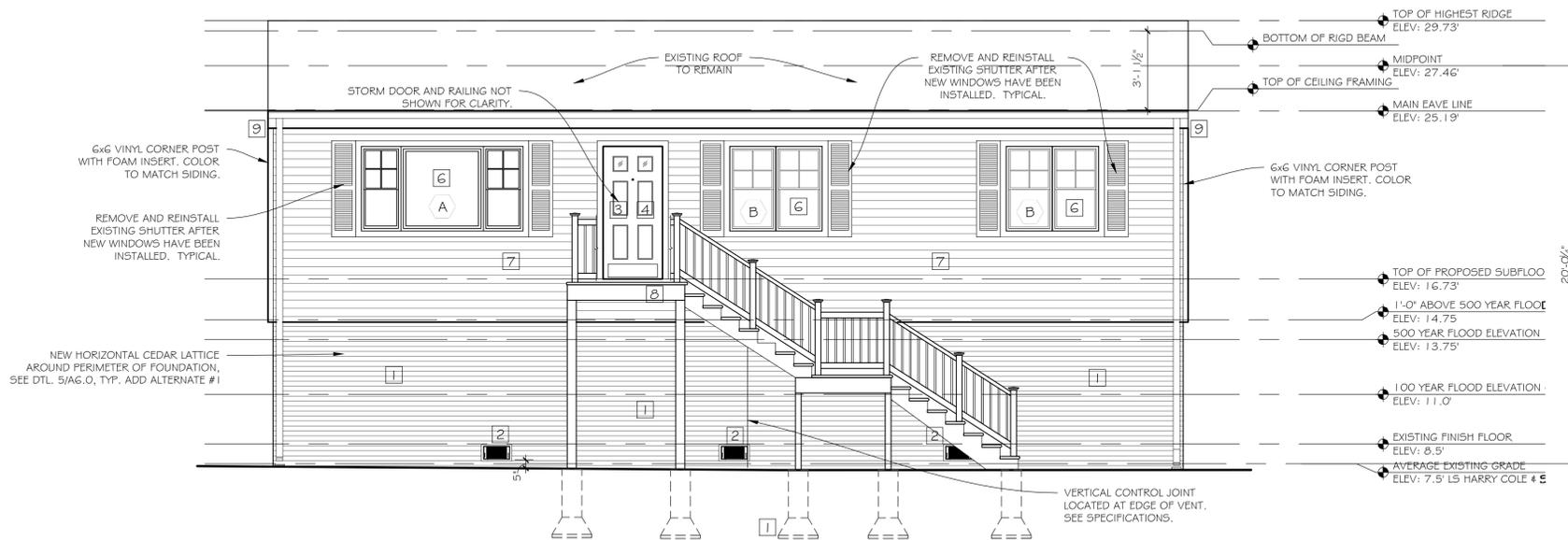
Sheet #:  
**A1.1**



## EAST ELEVATION

SCALE: 1/4" = 1'-0"

2



## SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



1

### PLAN NOTES

EXISTING HOUSE STRUCTURE IS TO BE RAISED. DEMO AND MAKE PREPARATIONS AS REQUIRED TO SUPPORT THE RAISING, EQUIPMENTS, SUPPORTS AND SHORING PILES. G.C. TO COORDINATE WITH ARCHITECT, ENGINEER AND RAISING CONTRACTOR IN THE FIELD PRIOR TO START OF WORK.

REFER TO A4.0 FOR DOOR INFORMATION.

REFER TO A5.0 - A5.1 FOR WINDOW INFORMATION.

### PLAN KEY

1 REFER TO STRUCTURAL DRAWINGS FOR ALL INFORMATION PERTAINING TO THE NEW FLOOR STRUCTURE, FOUNDATION, FOOTINGS AND PIERS.

2 PROVIDE & INSTALL SMART VENT DUAL FUNCTION FLOOD AND VENTILATION VENT MODEL 1540-510. REFER TO FLOOR PLANS FOR VENT LOCATIONS. CONTRACTOR TO COORDINATE EXACT COURSING LOCATIONS WITH MASONRY CONTRACTOR. REFER TO 4/AG.0 FOR DETAILS AND SPECIFICATIONS.

3 PROVIDE & INSTALL NEW STORM DOORS PER MANUFACTURERS REQUIREMENTS, SEE DOOR SCHEDULE & ELEVATIONS FOR MORE INFORMATION. ROUGH OPENING SIZE IS TO BE VERIFIED IN THE FIELD, BY THE CONTRACTOR.

4 PROVIDE & INSTALL NEW FIBERGLASS FRONT ENTRY DOOR SYSTEM PER MANUFACTURERS REQUIREMENTS. PROVIDE AND INSTALL NEW 1X4 PERIMETER BLOCKING AND 3/4" X 4 PVC TRIM WITH RABBETED EDGE. PROVIDE & INSTALL 2 1/2" INTERIOR DOOR TRIM & EXTENSION JAMBS. SEE DOOR SCHEDULE & ELEVATIONS FOR MORE INFORMATION. ROUGH OPENING SIZE IS TO BE VERIFIED IN THE FIELD, BY THE CONTRACTOR.

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6 PROVIDE & INSTALL NEW VINYL WINDOW SYSTEM PER MANUFACTURERS REQUIREMENTS. PROVIDE AND INSTALL NEW 1X4 PERIMETER BLOCKING AND 3/4" X 4 PVC TRIM WITH RABBETED EDGE. PROVIDE & INSTALL 2 1/2" INTERIOR WINDOW TRIM WITH STOOL, APRON & EXTENSION JAMBS. SEE WINDOW SCHEDULE & SPECIFICATIONS FOR MORE INFORMATION. SIZE TO MATCH WINDOW SIZE, STYLE, TYPE, AND ROUGH OPENING SIZE IS TO BE VERIFIED IN THE FIELD, BY THE CONTRACTOR.

7 PROVIDE & INSTALL NEW MOISTURE BARRIER, 3/4" POLYISOCYANURATE INSULATION WITH ALL NECESSARY BLOCKING, VINYL SIDING AND TRIM ASSEMBLIES. INSTALL SIDING, TRIM, AND ASSEMBLIES PER MANUFACTURED INSTALLATION INSTRUCTIONS. PROFILE AND COLOR TO WILL BE CHOSEN BY OWNER AND ARCHITECT.

8 PROVIDE & INSTALL NEW LANDING, STAIRS, FOOTINGS AND PIERS. FOOTING TO MIN. 3'-6" BELOW GRADE. SEE DETAILING ON SHEET A3.0. ALL EXISTING GRADES TO BE VERIFIED IN THE FIELD, BY THE CONTRACTOR.

9 REMOVE ALL EXISTING GUTTERS, DOWNSPOUTS & ASSOCIATED MOUNTING HARDWARE. PROVIDE ALL NEW ALUMINUM GUTTERS, MESH SCREEN, DOWNSPOUTS & ASSOCIATED MOUNTING HARDWARE (CONCEALED), NEW GUTTERS TO BE 5" (.032) WITH 3" X 4" (.024) DOWNSPOUTS, COLOR TO BE WHITE. SEE SPECIFICATIONS FOR MORE INFORMATION, PROVIDE SPLASH BLOCKS AT ALL DOWNSPOUT OUTLETS AT GRADE, TYPICAL, SEE DETAIL 2 & 3/AG.0. LOCATE DOWNSPOUTS IN SAME LOCATIONS.

10 REFER TO MEP DRAWINGS FOR ALL INFORMATION PERTAINING TO THE CONNECTING OF POWER, STORM, SANITARY LINES, ETC..

### TITLE BLOCK

F.E.M.A. STANDARDS - ONLY IF IN FLOOD HAZARD AREAS  
ZONING COMPLIANCE PREDICATED ON A, B, C, & D.

- A. All new construction and substantial improvements shall:
- Be designed or modified and adequately anchored to prevent flotation, collapse, or lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including effects of buoyancy.
  - Be constructed with materials resistant to flood damage.
  - Be constructed by methods and practice that minimized flood damage.
  - Be constructed with electrical, heating, ventilation, plumbing and air-conditioning equipment and other services facilities that are designed and/or located so as to prevent water from entering or accumulating within the components during conditions of flooding.
- B. New and replacement water supply systems shall be designed to minimize or eliminate infiltration of flood waters into the system.
- C. New and replacement sanitary sewage systems shall be designed to minimize or eliminate infiltration of flood waters into the systems and discharges from the system into flood waters and on-site waste disposal systems shall be located and constructed to avoid impairment to them or contamination from them during flooding.
- D. All new construction and substantial improvements shall have the lowest floor, including the basement elevated to or above the base flood level and if constructed with a fully enclosed area below this lowest floor shall be designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for entry and exit of flood waters.

### TITLE BLOCK

- STREET ADDRESS: #25 JARVIS COURT
  - ASSESSORS MAP # 183, PARCEL # 116
  - MAP: "B" RESIDENTIAL DISTRICT
  - APPLICANT: SHARI AND MOSHE IFRACH  
25 OLD JARVIS COURT  
FAIRFIELD, CONNECTICUT 06824
  - OWNER: SHARI AND MOSHE IFRACH  
25 OLD JARVIS COURT  
FAIRFIELD, CONNECTICUT 06824
  - DESCRIPTIVE TITLE: ELEVATING AN EXISTING ONE STORY ONE FAMILY DWELLING WITH ASSOCIATED DECKS
  - ORIGINAL DATE OF PLANS AND ANY SUBSEQUENT REVISION DATES LABELED FIRST, SECOND, ETC., AND NOTE THE PURPOSE AND LOCATION OF THE REVISION:  
November 20, 2014
  - PREPARED BY: MICHAEL MEMMOTT - PROJECT MANAGER  
QUISENBERRY ARCARI ARCHITECTS  
318 MAIN STREET  
FARMINGTON, CONNECTICUT 06032  
(860) 677-4594 EX 15
  - To the best of my knowledge and belief these drawings are substantially correct as noted hereon.
- Michael Memmott



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FAIRFIELD, CT

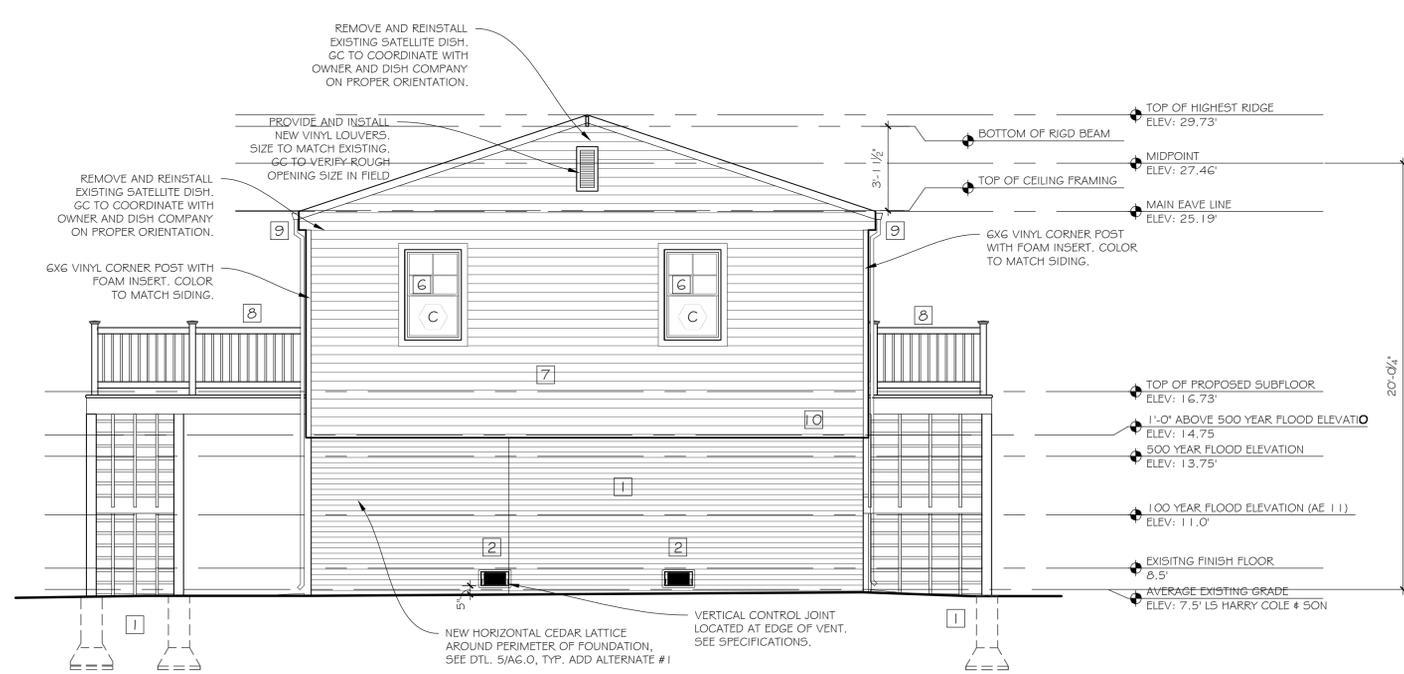
Sheet Description:  
**ELEVATION**

Issue Dates:  
FEBRUARY 6, 2015

Project #:  
QA 1346-18

Drawn By:  
MPM

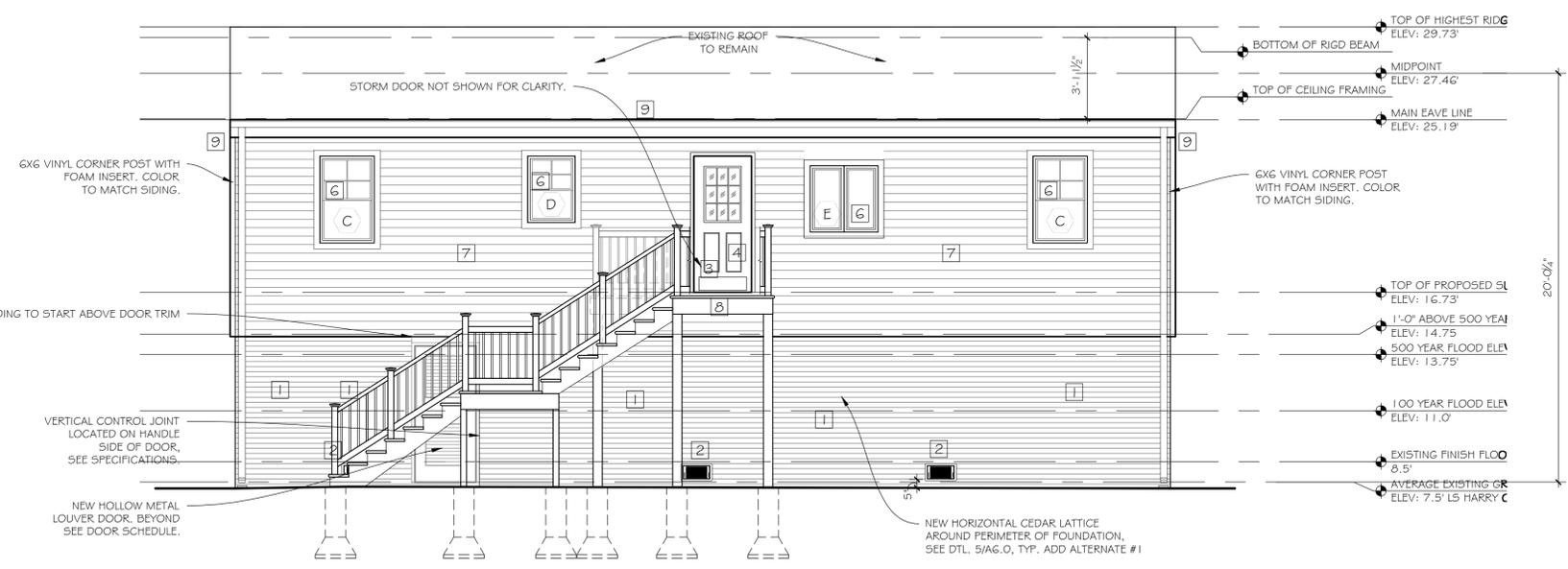
Sheet #:  
**A2.0**



## WEST ELEVATION

SCALE: 1/4" = 1'-0"

2



## NORTH ELEVATION

SCALE: 1/4" = 1'-0"

1



### PLAN NOTES

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2. ASSESSORS MAP # 183, PARCEL # 116

3. MAP: "B" RESIDENTIAL DISTRICT

4. APPLICANT: SHARI AND MOSHE IFRACH  
25 OLD JARVIS COURT  
FAIRFIELD, CONNECTICUT 06824

5. OWNER: SHARI AND MOSHE IFRACH  
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November 20, 2014

8. PREPARED BY: MICHAEL MEMMOTT - PROJECT MANAGER  
QUISENBERRY ARCARI ARCHITECTS  
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9. To the best of my knowledge and belief these drawings are substantially correct as noted hereon.

*Michael Memmott*  
Michael Memmott



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FAIRFIELD, CT

Sheet Description:  
**ELEVATION**

Issue Dates:  
FEBRUARY 6, 2015

as noted

Project #: QA 1346-18  
Drawn By: MPM

Sheet #:  
**A2.1**



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 APPLICANT #1224  
 25 JARVIS COURT  
 FAIRFIELD, CT

Sheet Description:

**WALL SECTIONS**

Issue Dates:

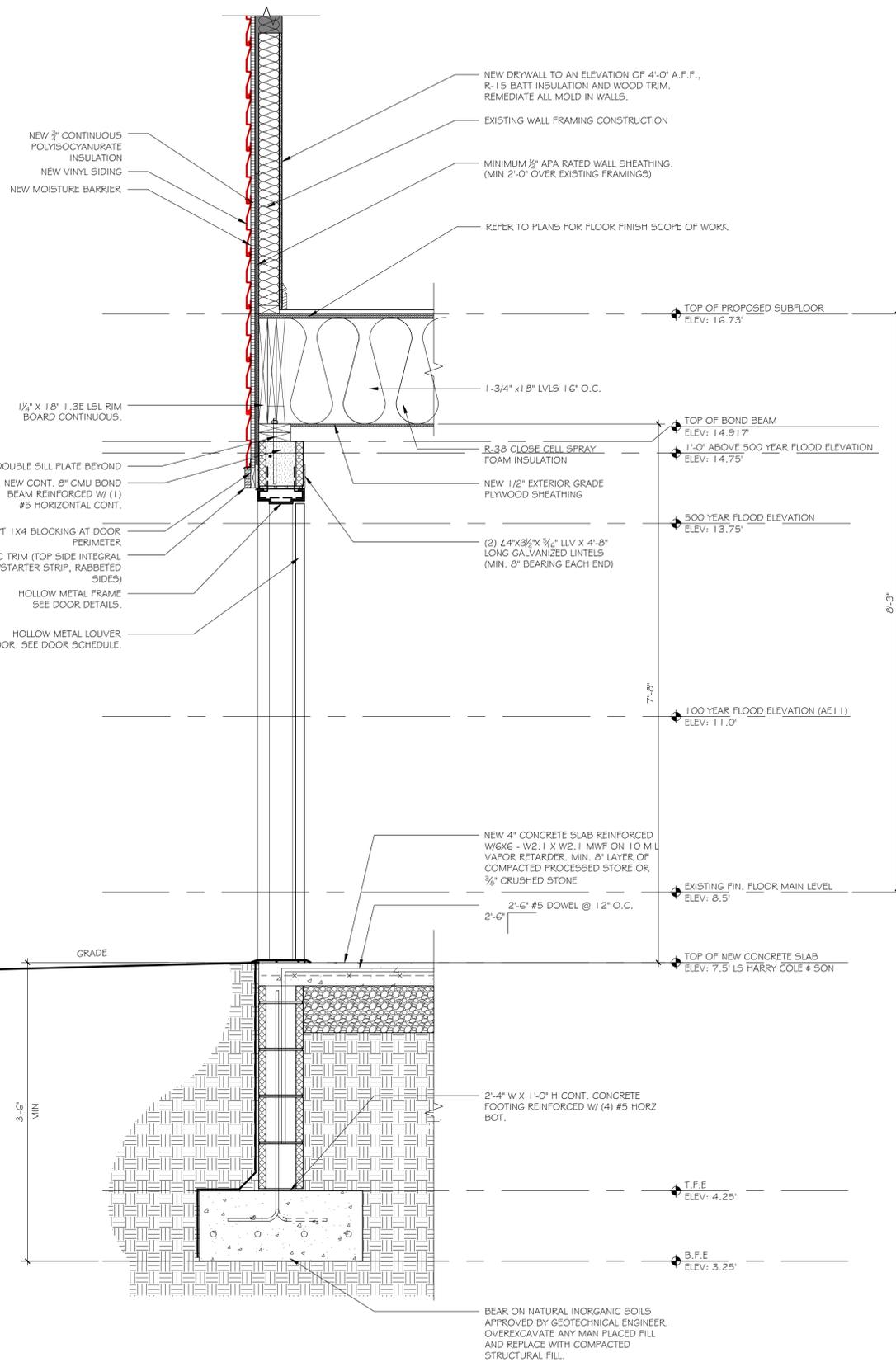
FEBRUARY 6, 2015

1" = 1'-0"

Project #: QA 1346-18  
 Drawn By: MPM

Sheet #:

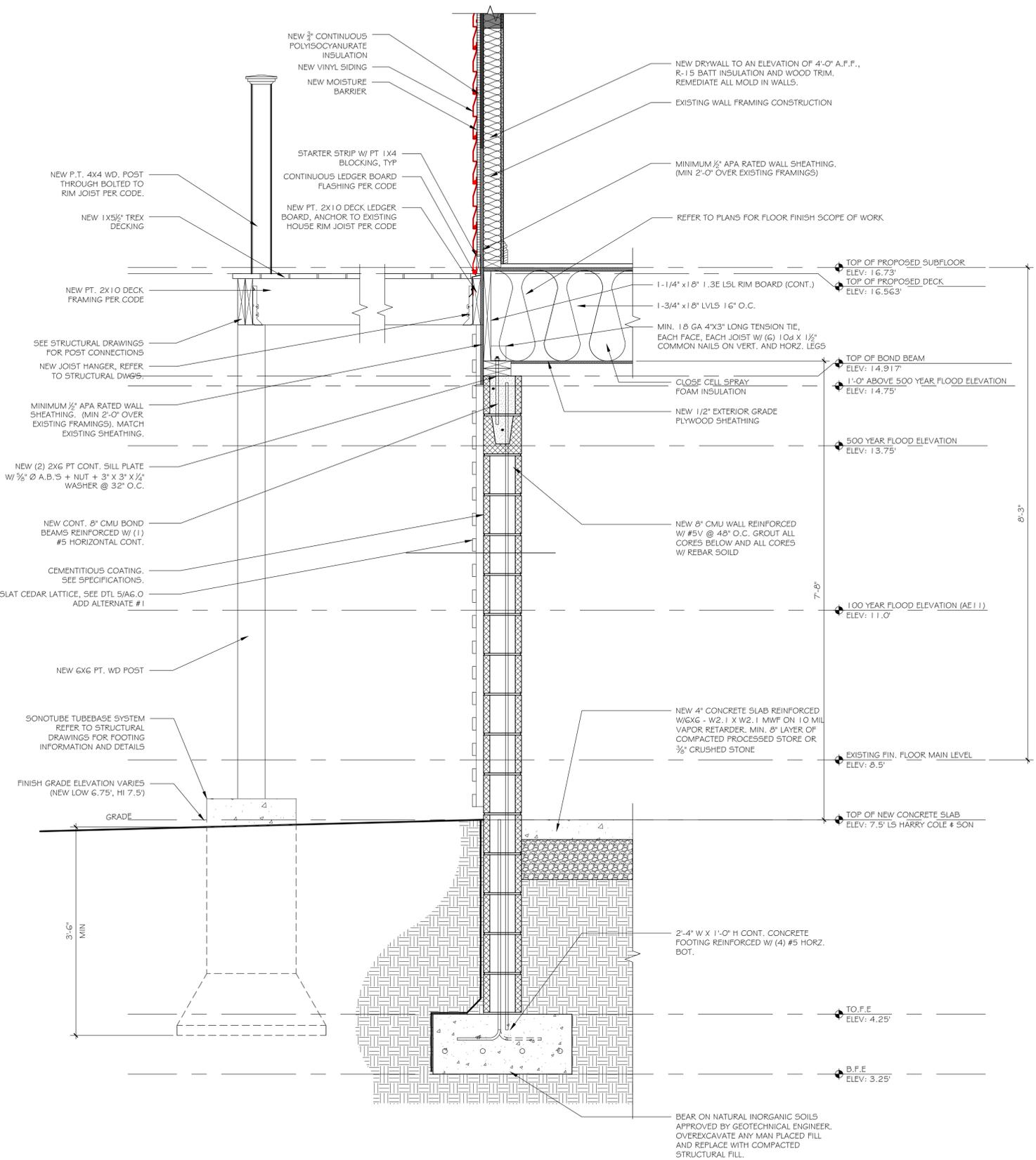
**A2.2**



**WALL SECTION @ BASEMENT DOOR**

SCALE: 1" = 1'-0"

2



**WALL SECTION**

SCALE: 1" = 1'-0"

1



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 FAIRFIELD, CT

Sheet Description:

**EXTERIOR DECKS PLANS**

Issue Dates:

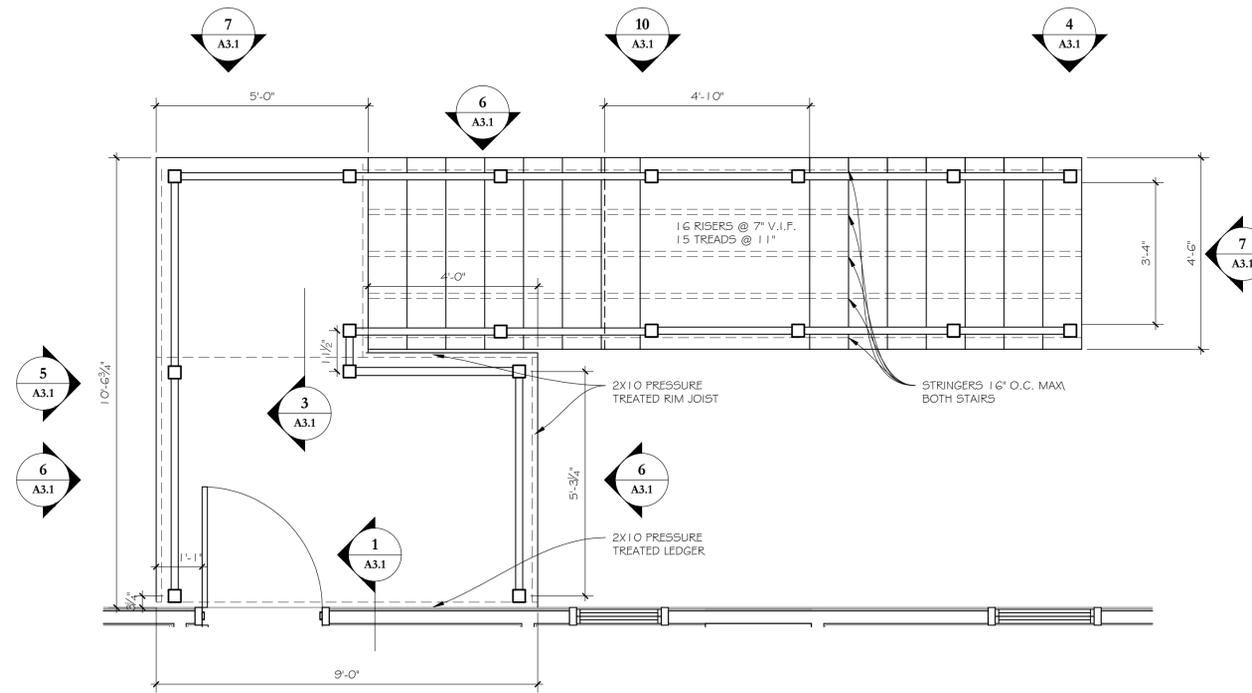
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 MPM

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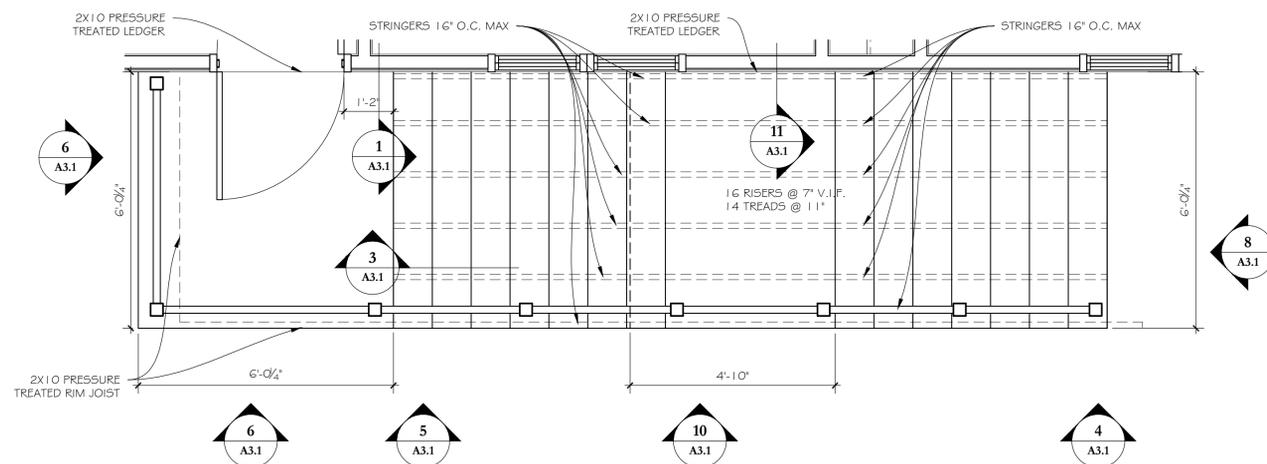
**A3.0**



**REAR STAIR AND LANDING PLAN**

SCALE: 1/2" = 1'-0"

2



**FRONT STAIR AND LANDING PLAN**

SCALE: 1/2" = 1'-0"

1



**TITLE BLOCK**

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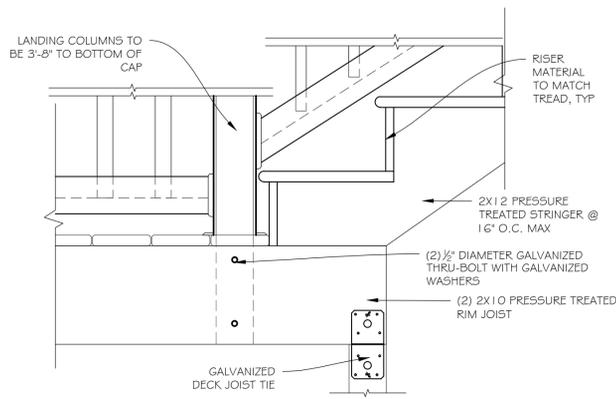
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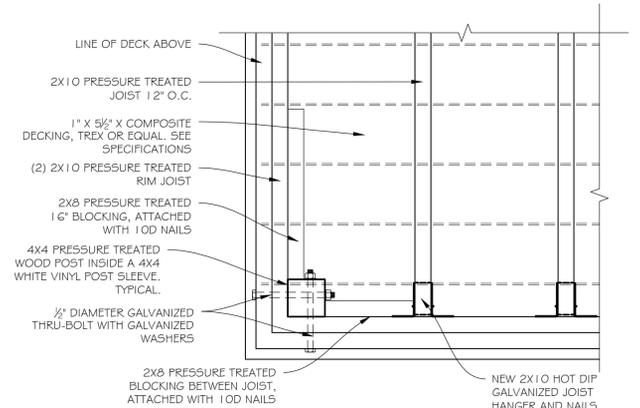
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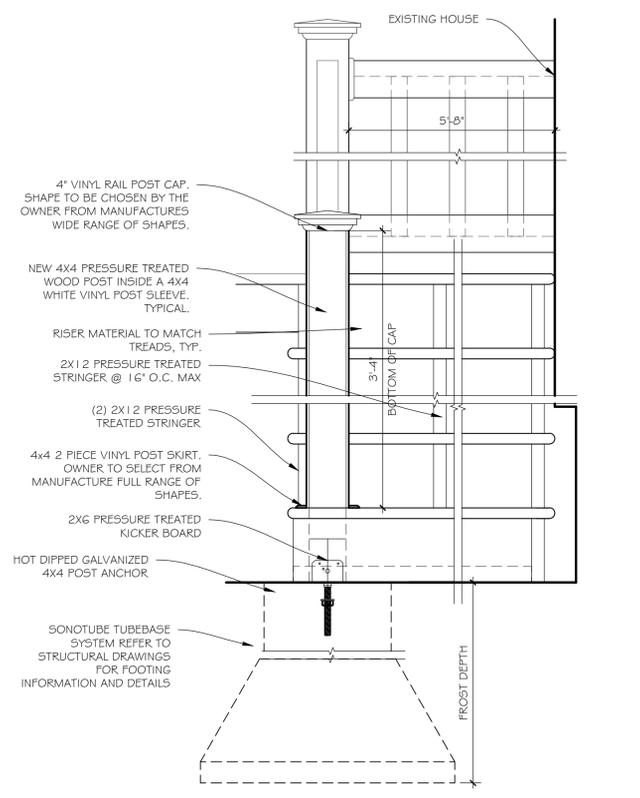
*Michael Memmott*  
 Michael Memmott



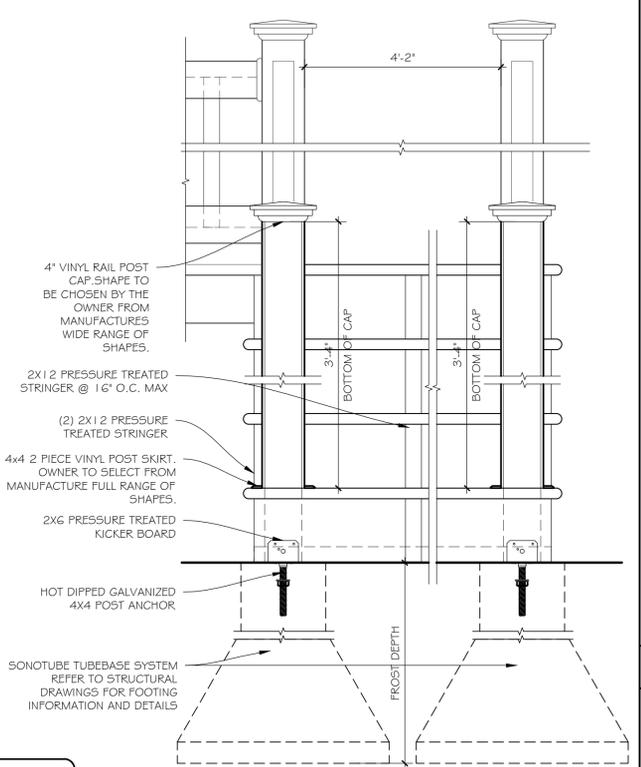
10 STAIR LANDING DETAIL



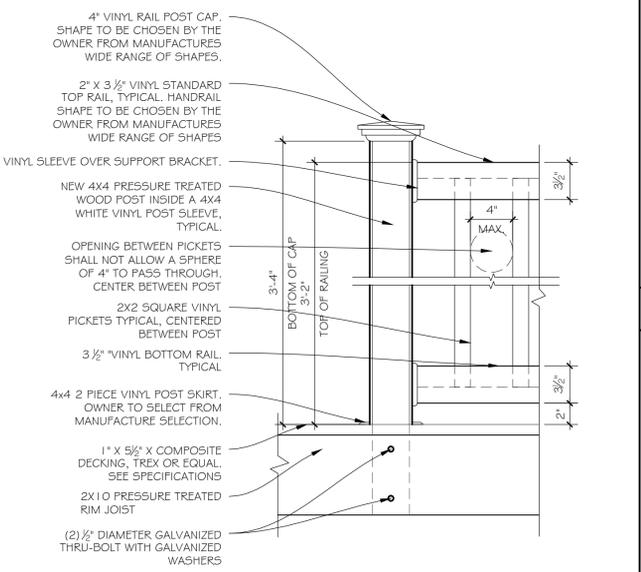
9 INSIDE CORNER POST WITH BLOCKING



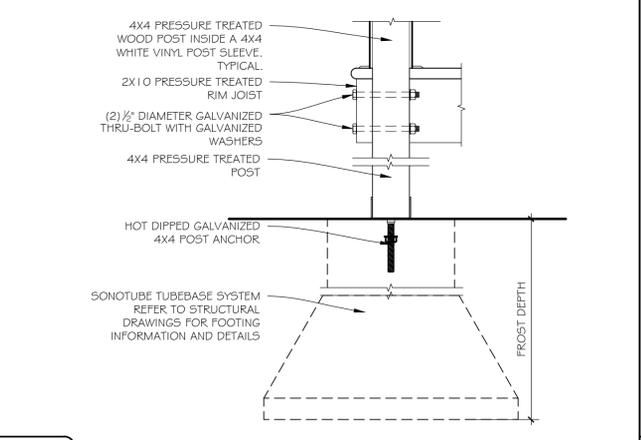
8 STAIR DETAIL



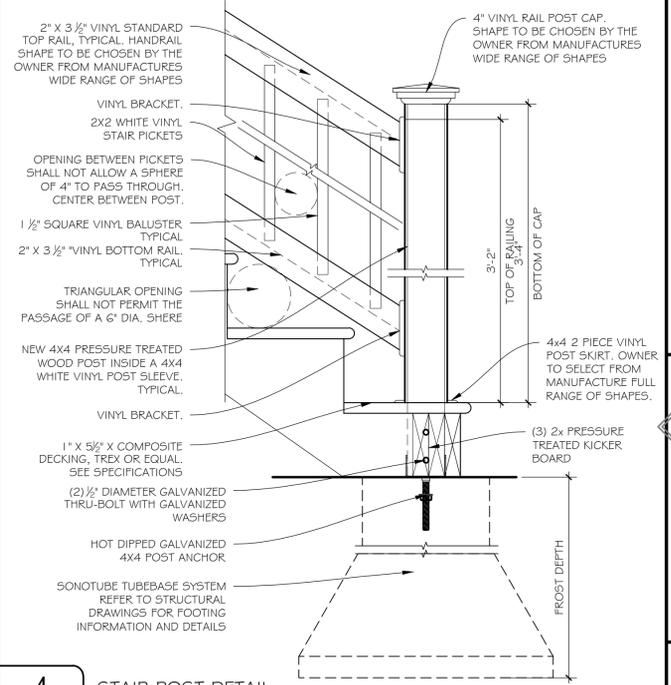
7 STAIR DETAIL



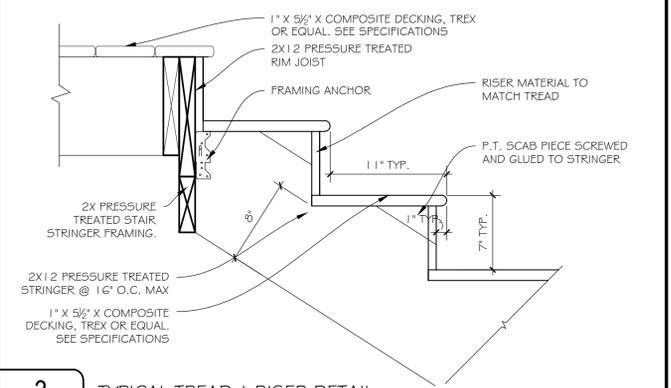
6 RAILING AND POST DETAIL



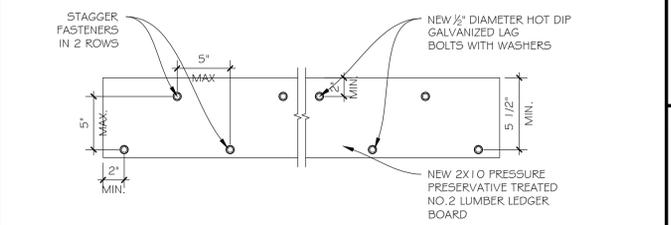
5 POST ANCHOR DETAIL



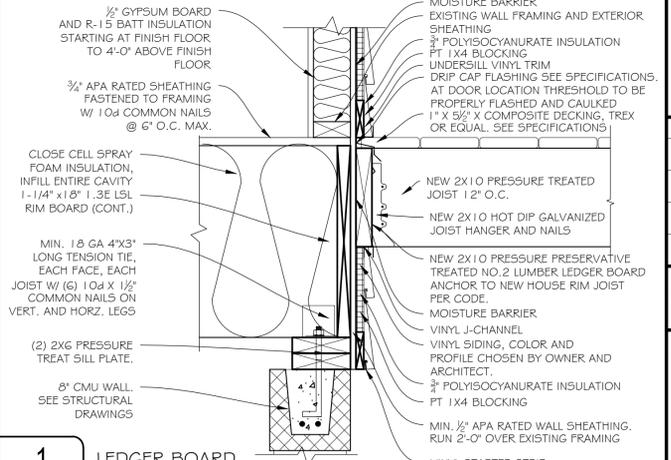
4 STAIR POST DETAIL



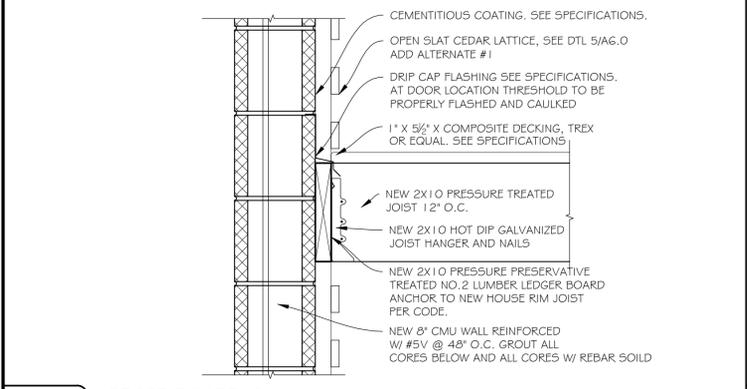
3 TYPICAL TREAD & RISER DETAIL



2 LEDGER BOARD FASTENER SPACING & CLEARANCES



1 LEDGER BOARD



11 LEDGER BOARD @ LANDING

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Sheet Description:  
**EXTERIOR DECKS DETAILS**

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Project #:  
 QA 1346-18

Drawn By:  
 MPM

Sheet #:  
**A3.1**



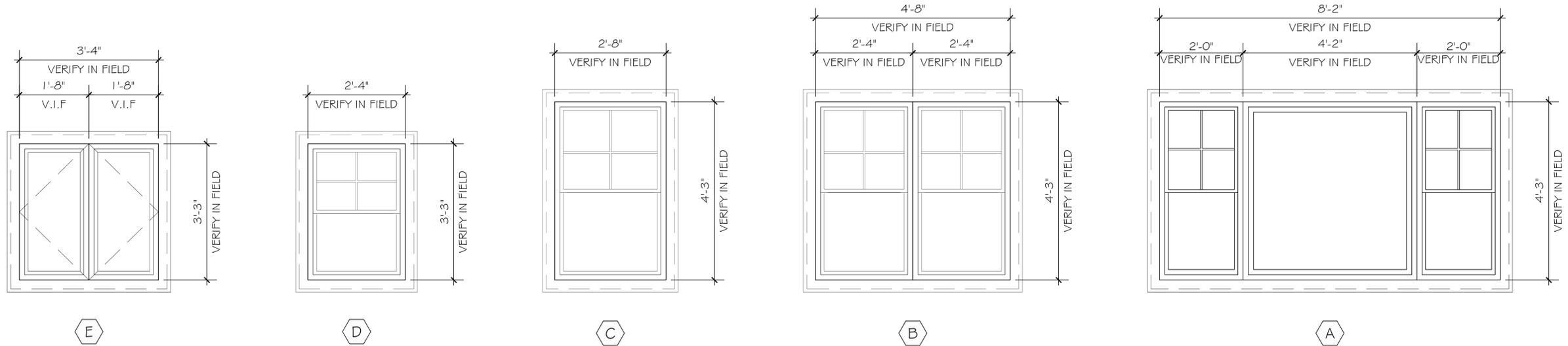
- GENERAL NOTES:
- GENERAL CONTRACTOR IS TO PROVIDE A CONSTRUCTION SCHEDULE & COORDINATE WITH THE OWNER
  - ALL WINDOWS MUST BE REMOVED & NEW UNITS INSTALLED WITHIN THE SAME DAY
  - CONTRACTOR TO EXECUTE COMPLETE WINDOW REPLACEMENT AS A MOCK UP FOR FORMAL REVIEW PRIOR TO DIRECTIVE TO EXECUTE ALL THE WORK. UPON REVIEW & ACCEPTANCE FROM THE OWNER.
  - WINDOW SIZES ARE APPOINTED FOR PURPOSES OF BIDDING AND ARE FOR REFERENCE ONLY. CONTRACTOR SHALL FIELD VERIFY ALL OPENINGS PRIOR TO BIDDING, ORDERING & CONSTRUCTION
  - GENERAL CONTRACTOR & WINDOW MANUFACTURER'S REPRESENTATIVE TO FIELD VERIFY ALL CONDITIONS & SIZES PRIOR TO BIDDING AND CONSTRUCTION
  - SEE BELOW FOR WINDOW ASSEMBLIES ELEVATIONS
  - REMOVE EXISTING WINDOW UNIT AS REQUIRED, PREPARE OPENING TO RECEIVE NEW CONSTRUCTION WINDOW UNIT, SEE DETAILS
  - GENERAL CONTRACTOR TO PATCH, REPAIR & REPAINT ADJACENT FINISHES DISTURBED BY WINDOW INSTALLATION AS REQUIRED & REPAIR DRYWALL OR PLASTER AS REQUIRED TO MATCH EXISTING ADJACENT FINISH
  - REMOVE AND REINSTALL EXISTING INTERIOR WINDOW ACCESSORIES TO INCLUDE BUT ARE NOT LIMITED TO CURTAIN RODS, CURTAIN HOLD BACKS, ETC... PROVIDE ALL NECESSARY HARDWARE FOR REINSTALLATION, FIELD VERIFY PRIOR TO BIDDING
  - SEE SPECIFICATIONS FOR NEW VINYL WINDOWS, COLOR TO BE WHITE.
  - INTERIOR TRIM IS TO BE PREMANUFACTURED TRIM WITH EXTENSION JAMBS AS ONE PIECE FROM CLEAR PINE. PRE-PRIMED ON ALL SIDES & PAINTED, COLOR TO BE WHITE (SEMI GLOSS) TOUCH UP IN FIELD AFTER INSTALLATION
  - WINDOWS ARE TO BE DOUBLE GLAZED WITH LOW-E & ARGON (U VALUE OF 0.30 MINIMUM TO MEET ENERGY STAR REQUIREMENTS)
  - WINDOWS ARE TO BE GRIDS BETWEEN THE GLASS (5/8") COLOR TO BE WHITE
  - WINDOWS ARE TO HAVE HALF SCREENS (FIBERGLASS)
  - WINDOW HARDWARE TO BE WHITE
  - INSULATE AROUND FULL PERIMETER OF WINDOW UNIT WITH MINIMAL EXPANDING FOAM INSULATION

WINDOW ID	STATIONARY OPERABLE	TYPE	WINDOW SIZE (WxH)	DETAIL NUMBER			NOTES
				HEAD DETAIL	SILL DETAIL	JAMB DETAIL	
A	●	DOUBLE HUNG WINDOW	2'-0" x 4'-3"	H-1	S-1	J-1	FACTORY MILLED UNIT
	●	PICTURE	4'-2" x 4'-3"	H-1	S-1	J-1	
B	●	DOUBLE HUNG WINDOW	2'-4" x 4'-3"	H-1	S-1	J-1	(2) DOUBLE HUNG WINDOW UNITS WITH COMMON JAMB
C	●	DOUBLE HUNG WINDOW	2'-8" x 4'-3"	H-1	S-1	J-1	
D	●	DOUBLE HUNG WINDOW	2'-4" x 3'-3"	H-1	S-1	J-1	
E	●	CASEMENT WINDOW	1'-8" x 3'-3"	H-2	S-2	J-2	(2) CASEMENT WINDOW UNITS WITH COMMON JAMB

## WINDOW SCHEDULE & NOTES

SCALE: N.T.S.

2



## WINDOW ELEVATIONS

SCALE: 3/4" = 1'-0"

1



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REHABILITATION/RECONSTRUCTION WORK FOR:

**SHARI & MOSHE IFRACH**

APPLICANT #1224

25 JARVIS COURT FAIRFIELD, CT

Sheet Description:

**WINDOW  
ELEVATIONS  
& SCHEDULE**

Issue Dates:

FEBRUARY 6, 2015

3/4" = 1'-0"

Project #:  
QA 1346-18

Drawn By:  
MPM

Sheet #:

**A5.0**



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APPLICANT #1224

FAIRFIELD, CT

25 JARVIS COURT

Sheet Description:

**WINDOW DETAILS**

Issue Dates:

FEBRUARY 6, 2015

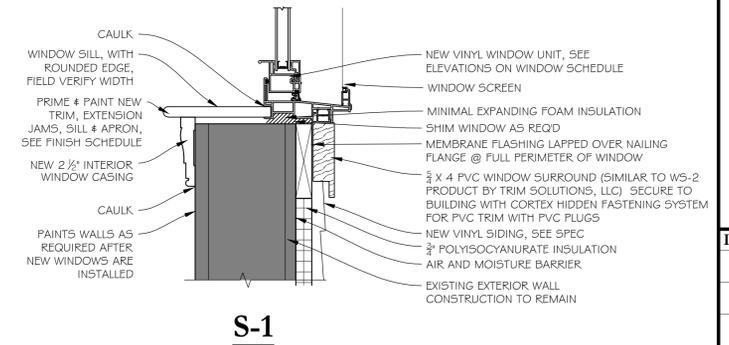
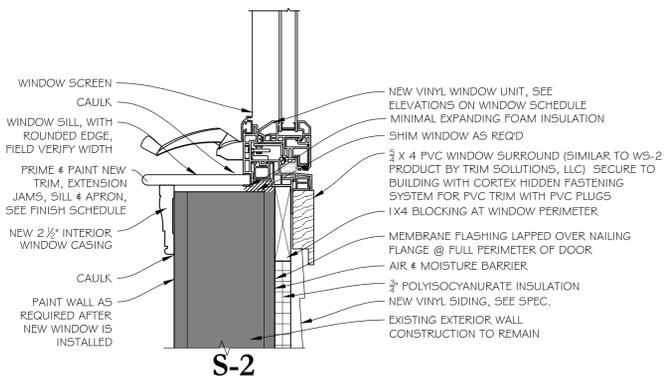
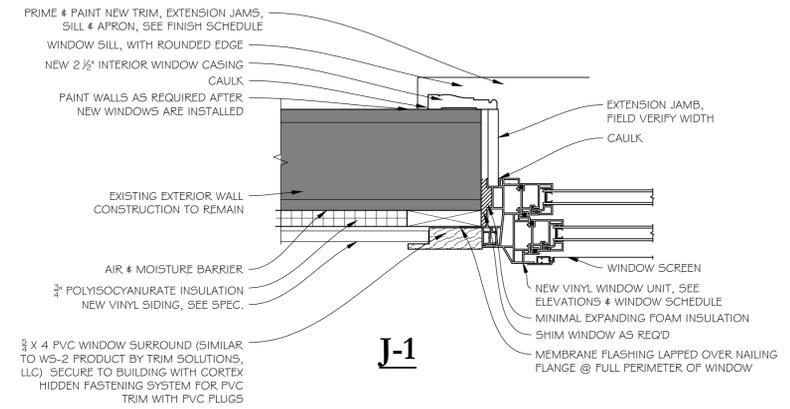
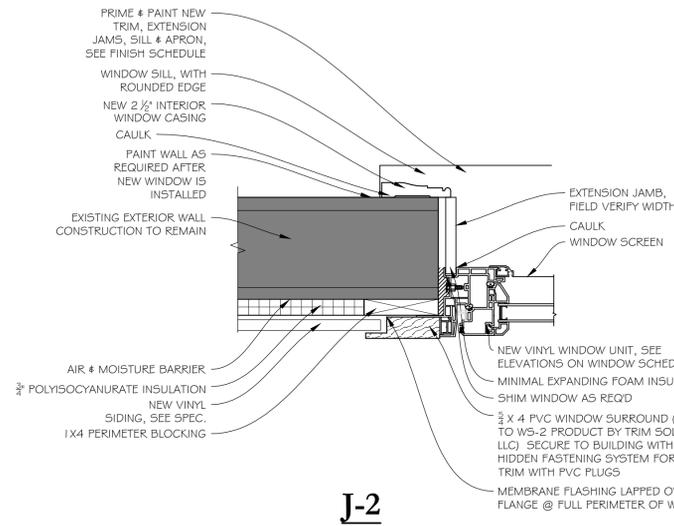
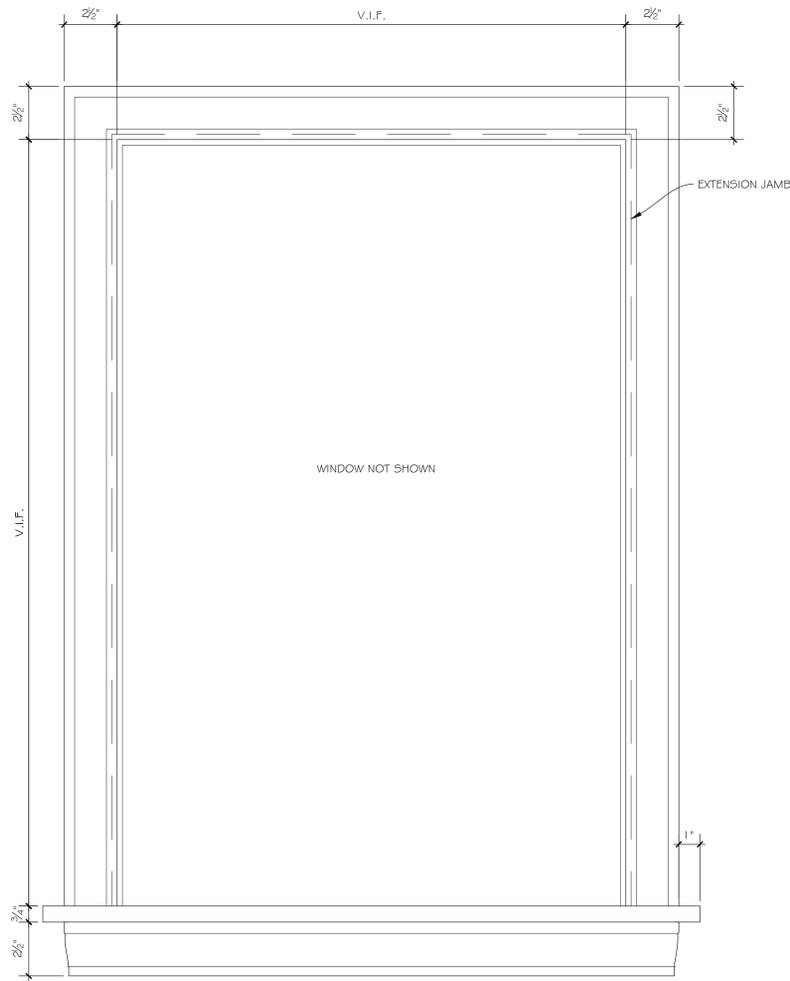
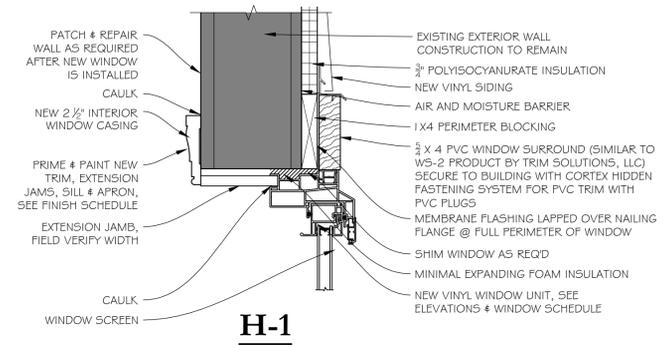
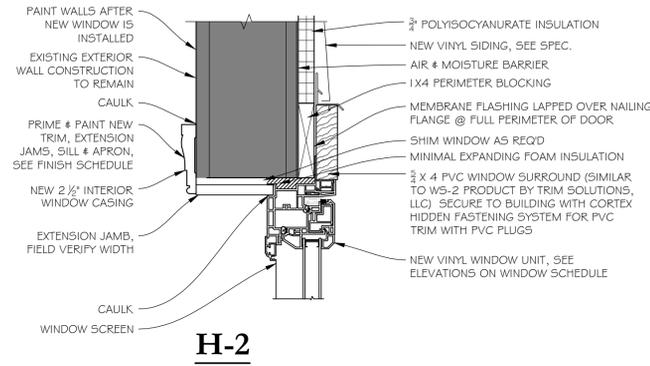
3" = 1'-0"

Project #:  
QA 1346-18

Drawn By:  
MPM

Sheet #:

**A5.1**



**INTERIOR WINDOW CASING**

SCALE: 3" = 1'-0"

2

**WINDOW DETAILS**

SCALE: 3" = 1'-0"

1



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Sheet Description:  
**MISCELLANEOUS DETAILS**

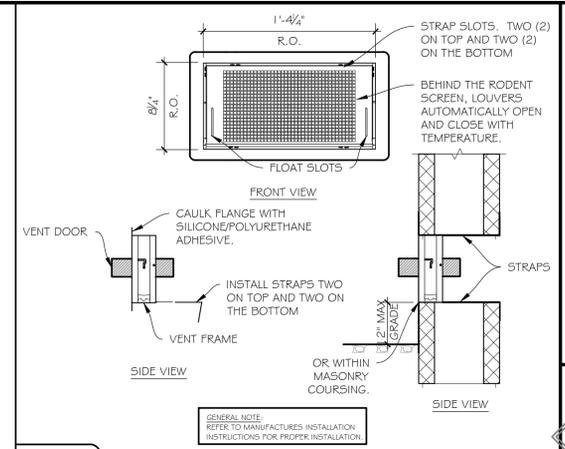
Issue Dates:  
 FEBRUARY 6, 2015

as noted

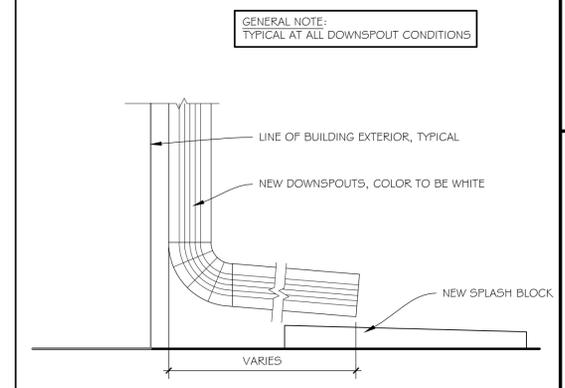
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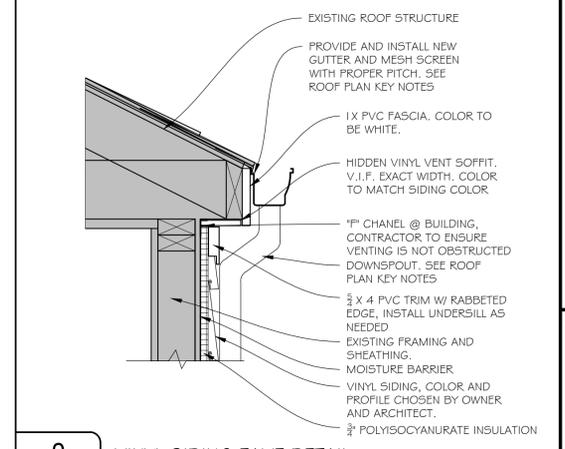
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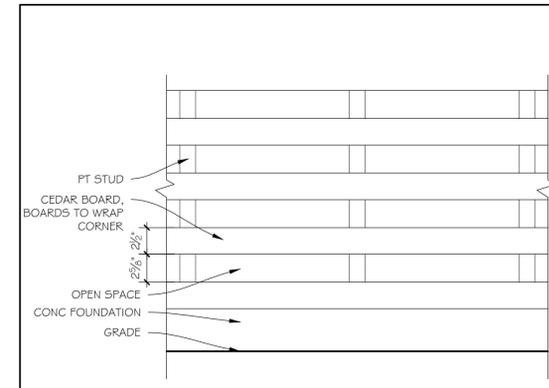
**4 DUAL FUNCTION FLOOD AND VENTILATION VENT**



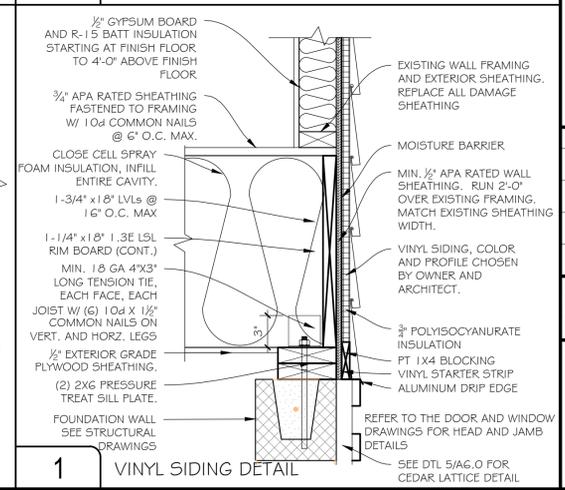
**3 TYPICAL DOWNSPOUT & SPLASH PAD**



**2 VINYL SIDING EAVE DETAIL**



**5 OPEN SLATE CEDAR BOARD LATTICE  
 ADD ALTERNATE #1**



**1 VINYL SIDING DETAIL**

## PLUMBING FIXTURE SCHEDULE

<b>TOILET:</b>	KOHLER K-11464 VITREOUS CHINA, ROUND BOWL, 1.28 GPF WITH SEAT, COVER, WAX RING, POLISHED CHROME TRIP LEVER AND FLOOR HARDWARE, COLOR: WHITE. PROVIDE K-7637 CHROME PLATED ANGLE SUPPLY WITH STOP.
<b>LAVATORY:</b>	VANITY WITH PRE-MOLDED TOP/BASIN BY OTHER TRADE. DELTA B510LF-PPU SINGLE LEVER FAUCET WITH POP-UP DRAIN, 1.5 GPM, CHROME PLATED LEAD-FREE BRASS. PROVIDE CHROME PLATED BRASS P-TRAP, ANGLE STOPS AND SUPPLIES.
<b>TUB/SHOWER:</b>	STERLING 7114 AFD BATH AND WALL SURROUND, MODULAR 4-PIECE DESIGN WITH SNAP TOGETHER CAULK-LESS SEAMS, COMPRESSION MOLDED SOLID VIKRELL MATERIAL, WALL SURROUND WITH GLAZED TILE APPEARANCE. DELTA 134900 TUB AND SHOWER PRESSURE BALANCED MIXING VALVE WITH 2.0 GPM SHOWER HEAD AND TUB SPOUT. DELTA 59348-20-PK 4-SPRAY 2.0 GPM WALL MOUNT HAND SHOWER WITH DELTA U4922-PK SHOWER ARM DIVERTER. KOHLER K-7213 CABLE DRAIN ASSEMBLY.

MINIMUM PLUMBING FIXTURE CONNECTION SCHEDULE				
FIXTURE	HOT	COLD	SOIL OR WASTE	VENT
TOILET	-	1/2"	3"	2"
LAVATORY	1/2"	1/2"	1-1/2"	1-1/2"
SINK	1/2"	1/2"	1-1/2"	1-1/2"
TUB/SHOWER	1/2"	1/2"	2"	1-1/2"
CLOTHES WASHER	1/2"	1/2"	2"	1-1/2"



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Sheet Description:

**MECHANICAL PLANS**

Issue Dates:

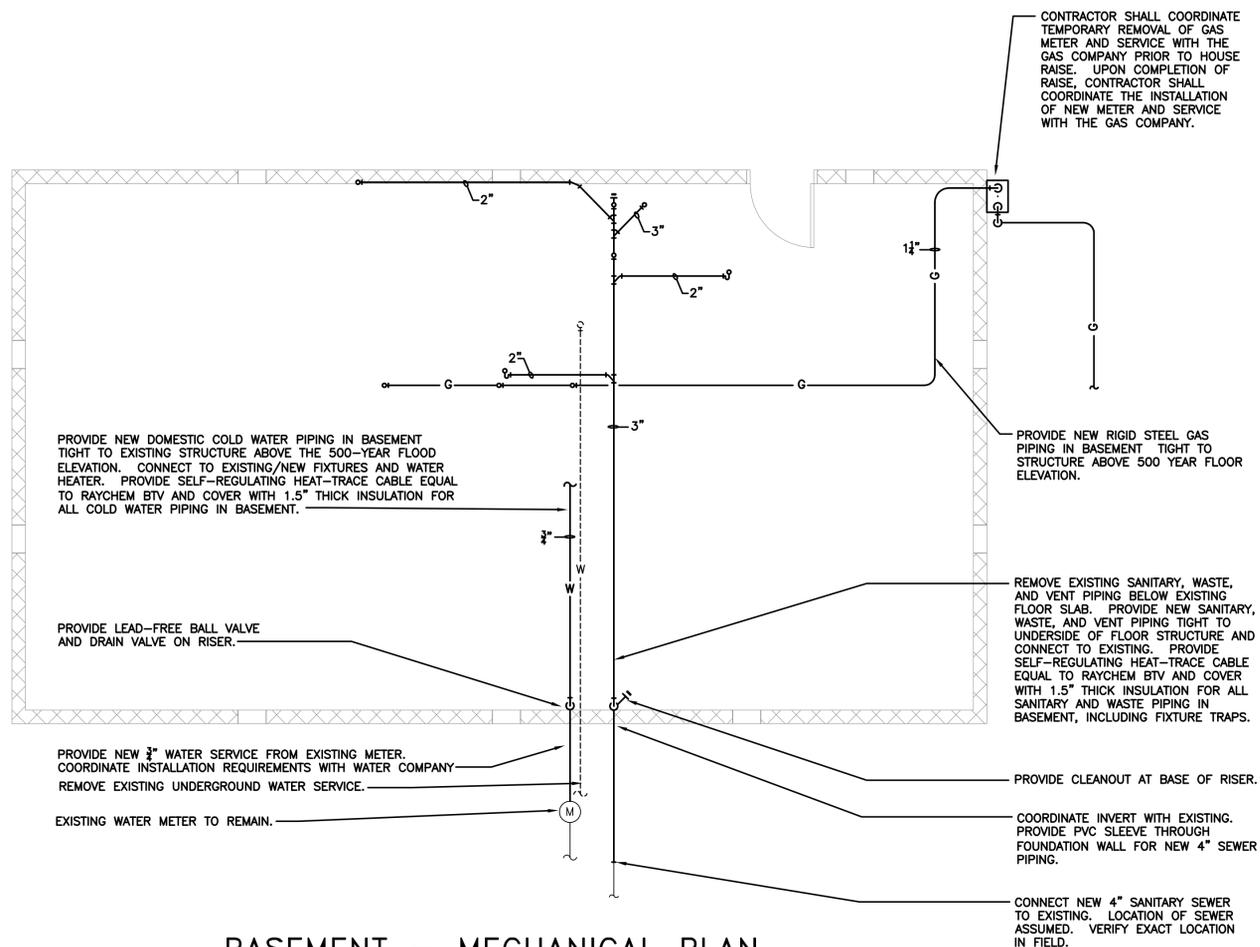
FEBRUARY 6, 2015

SCALE: AS NOTED

Project #: QA 1346-18  
Drawn By: KAH

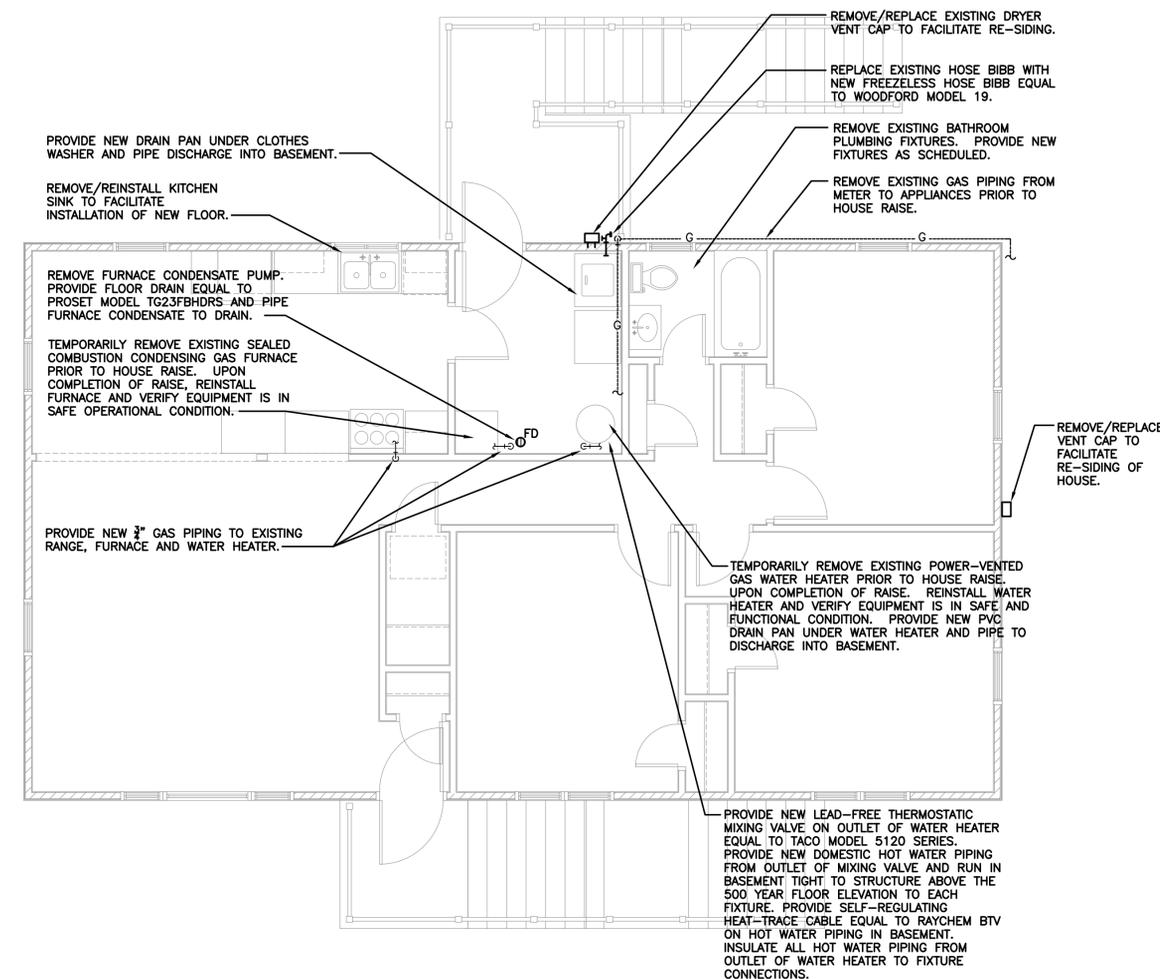
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**M1.1**



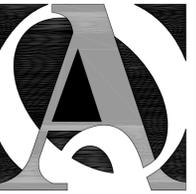
## BASEMENT - MECHANICAL PLAN

SCALE: 1/4"=1'-0"



## FIRST FLOOR - MECHANICAL PLAN

SCALE: 1/4"=1'-0"



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Sheet Description:  
**ELECTRICAL PLANS**

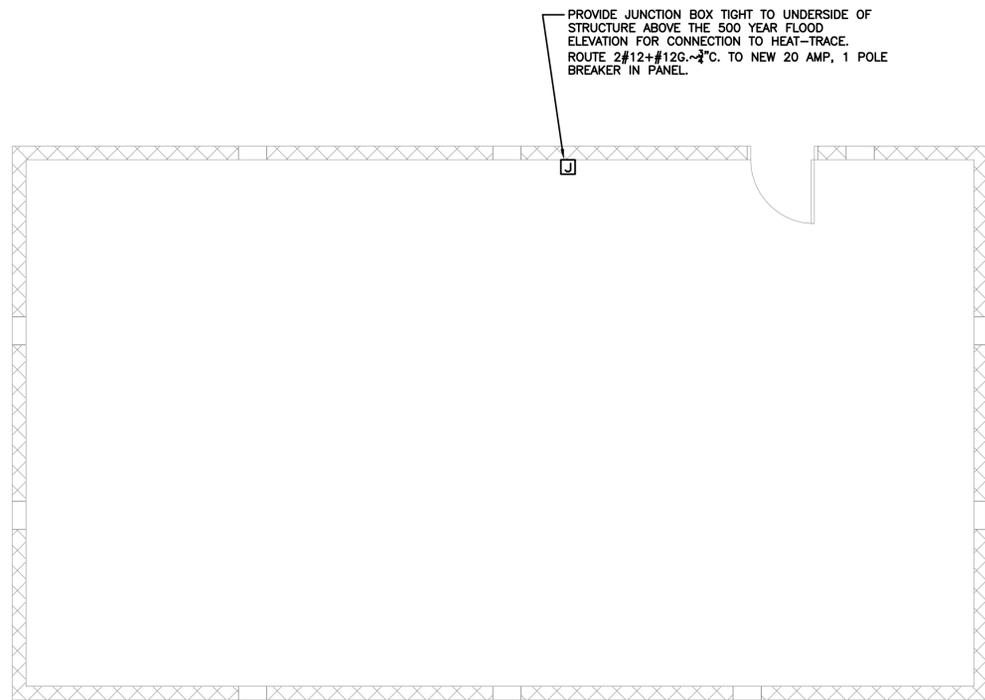
Issue Dates:  
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SCALE: AS NOTED

Project #: QA 1346-18  
 Drawn By: KAH

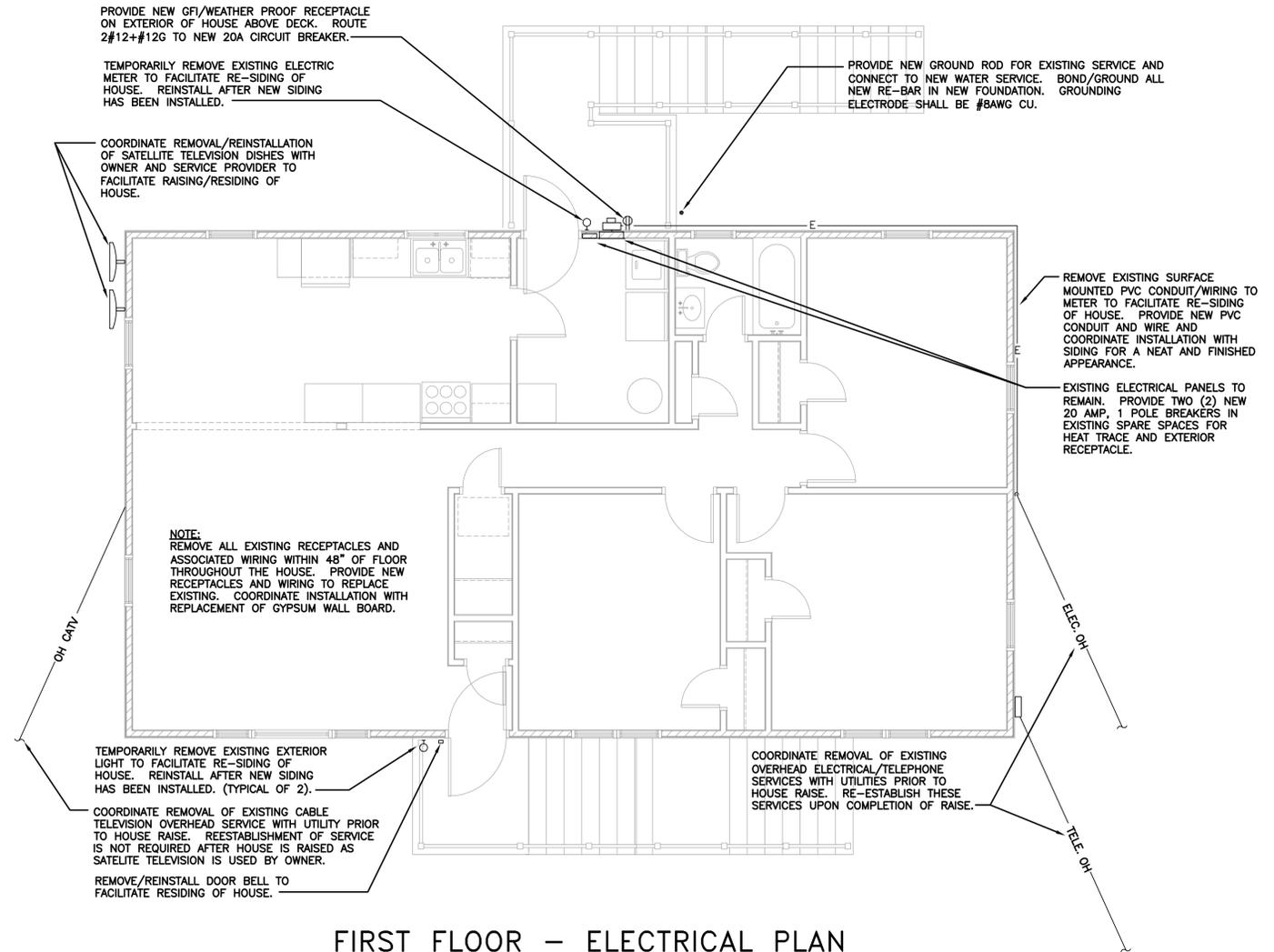
Sheet #:

**E1.1**



**BASEMENT – ELECTRICAL PLAN**

SCALE: 1/4"=1'-0"



**FIRST FLOOR – ELECTRICAL PLAN**

SCALE: 1/4"=1'-0"