



Quisenberry Arcari Architects, LLC  
318 Main Street  
Farmington, CT 06032

[www.qa-architects.com](http://www.qa-architects.com)

(860) 677 – 4594 office

(860) 677 – 8534 facsimile

FACSIMILE COVER PAGE

DATE : 05/29/15	JOB # : 1215 QA1346-20
RE: <b>13 James Street Milford, CT</b>	
(CDBG-DR) & (OORR) Programs	
ADDENDUM #1	

**PLEASE COMPLETE SECTION BELOW AND FAX BACK TO 860-677-8534**

Received (Addendum #1)

CONTRACTOR : \_\_\_\_\_

SIGNED : \_\_\_\_\_ Date: \_\_\_\_\_

NUMBER OF PAGES INCLUDING COVER PAGE: 10

FROM: Rocco Petitto

If the attached is incomplete, kindly notify us at once

**Community Development Block Grant Disaster Recovery Program (CDBG-DR)  
Owner Occupied Rehabilitation and Rebuilding Program (OORR)**

**13 JAMES STREET, MILFORD, CT**

**Addendum # 01  
May 29, 2015**

**GENERAL / CLARIFICATIONS**

Pre-Bid Attendance List	(see attached)
Revised Bid Form	(see attached)
Revised pages for section 012300	(see attached)
Revised D1.1	(see attached)
Revised A1.1	(see attached)
Revised A1.1a	(see attached)
E1.1 SK-1	(see attached)

1. **Alternates**

Alternates listed are to be per the Bid Form ***not*** per the project manual. New alternate section pages attached.

**END OF ADDENDUM #1**



Quisenberry Arcari Architects, LLC  
318 Main Street  
Farmington, CT 06032

Project: 13 James Street Milford, CT

Date: May 28, 2015 – 10:00 am

#	Contact Name & Company	Address	Phone & Fax	E-mail
1	Matthew Willard Banton Construction	339 Washington Ave North Haven, CT	p203.234.2353 f203.234.0010	<a href="mailto:mwillard@bantonconstruction.com">mwillard@bantonconstruction.com</a>
2	Ken Esposito Madison Properties	15 Wintergreen Drive Easton, CT	203.218.4141	<a href="mailto:espokie@aol.com">espokie@aol.com</a>
3	Clay Markham	805 East Broadway Milford, CT	203.877.0686	<a href="mailto:highcal@optonline.net">highcal@optonline.net</a>
4	DSW Homes Brock	58 River Street Milford, CT	203.859.2629	<a href="mailto:brock.mouser@dswhomes.com">brock.mouser@dswhomes.com</a> <a href="mailto:laurie.foss@dswhomes.com">laurie.foss@dswhomes.com</a> <a href="mailto:ron.meares@dswhomes.com">ron.meares@dswhomes.com</a>
5	Glen Markovics	58 River Street Milford,CT	203.212.1546	
6	Jim Russo J.R. Russo, LLC/CA rep for QA	107 Oakwood Drive Glastonbury, CT	860.205.4472	<a href="mailto:Rjames2980@aol.com">Rjames2980@aol.com</a>
7	Suzanne Mazzotta DOH			
9	Rocco Petitto QA	318 Main St Farmington CT	860.677.4594	<a href="mailto:rocco@qga-architects.com">rocco@qga-architects.com</a>

NOTE: E-mail address listed should be for person responsible to receive direct communication regarding this project, specifically with regard to questions, procedures or bidding information.

**BID FORM (REVISED)**

The undersigned, being familiarized with the local conditions affecting the cost of the work and with the Drawings, Specifications, Invitation to Bidders, Instructions to Bidders, General Conditions, Bid Form, Form of Contract and Form of Bonds for Project No. **1215** and Addenda No. \_\_\_ and \_\_\_ thereto, as prepared by Quisenberry Arcari Architects, LLC at 318 Main Street, Farmington, CT 06032, and on file in the office of DOH, hereby proposes to furnish all permits, labor, materials, tools, equipment, and related items required for the rehabilitation and reconstruction including general construction, site improvements, plumbing, heating, electrical, and finish items for said Project No. **1215** located at **13 James Street** in **Milford**, State of Connecticut, all in accordance with the Drawings and Specifications, for the sum of:

\_\_\_\_\_ Dollars (\$ \_\_\_\_\_)

ALTERNATE PROPOSALS

The undersigned bidder further proposes and agrees that should any or all of the following Alternates be accepted and included in the Contract, the amount of the Base Bid, as heretofore stated, shall be adjusted by the amount stated for each Alternate. All materials and workmanship shall be in strict accordance with the Drawings and Specifications and shall be in-place prices.

Allowances

#1 **\$15,000.00 For Miscellaneous Improvements**

\_\_\_\_\_  
Contractor to initial to acknowledge  
inclusion of allowance in base bid price

Alternates

#1 **Deck Stairs Removed Deck Area Added**

\$ \_\_\_\_\_

#2 **Dumbwaiter Car and Mechanicals**

\$ \_\_\_\_\_

Supervision

**Full time Supervision**

\_\_\_\_\_  
Contractor to initial to acknowledge  
inclusion of full time supervision in bid price

The undersigned agrees to commence the work on a date to be specified in the contract and to complete such work within **150** consecutive calendar days.

The undersigned agrees that if within the period of thirty (30) calendar days after the opening of bids, or when extended to the next work day immediately following said period, notice of the acceptance of this bid shall be mailed, or delivered to him/her at the business address given below, or at any time thereafter before this bid is withdrawn. Quisenberry Arcari Architects will within fifteen (15) calendar days thereafter deliver to DOH, where directed, a contract properly executed in such number of counterparts as may be required by said DOH, on the forms annexed, with such changes therein as shall have been made by the DOH, prior to the time named for delivery of this proposal, together with a 100% Performance Bond of a Surety Company, which Surety must be authorized to transact business in the State of Connecticut, and duly qualified therefore, and in the form constituting part of the Specification and a letter indicating those Small/Minority Business Enterprises that will perform work and/or provide materials, equipment or services as part of the contract.

In submitting this bid, it is understood that the right is reserved by the abovementioned DOH to reject any and all bids; and it is agreed that this bid may not be withdrawn for a period of thirty calendar (30) days from the date of bid opening or until the next work day immediately following said period if such period ends on weekend or a State holiday.

Security in the sum of \_\_\_\_\_ Dollars (\$ \_\_\_\_\_ )  
in the form of \_\_\_\_\_ is submitted herewith in accordance with the Specifications.

The undersigned bidder agrees to comply with the Section 3 plan included herein and all Federal requirements pertaining to conditions of employment to be observed and minimum wage rates to be paid under the contract, Segregated Facilities, Section 109 and Executive Order 11246.

Attached hereto is an affidavit, in proof that the undersigned has not entered into any collusion with any person in respect to this proposal, or any other proposal, or the submitting of proposals for the above Project. Also attached is a statement of contractor's qualifications, Certification of Bidder Regarding Equal Employment Opportunity, Certification of Bidder Regarding Section 3 and Segregated Facilities.

Acknowledgement of Bidder

I, THE UNDERSIGNED AS AN AUTHORIZED OFFICER OF:

_____ (Company Name)	_____ (Date)
_____ (Address)	_____ (Telephone)
_____ (City/State/Zip)	_____ (Fax No.)
_____ (FEIN)	

I HEREBY SUBMIT THE FOLLOWING PRICES FOR THE PROJECT IDENTIFIED ABOVE:  
(Indicate in words and numerals)

BASE BID PRICE: \$ \_\_\_\_\_

AMOUNT IN WORDS: \_\_\_\_\_

\_\_\_\_\_  
(Signature) (Date)

\_\_\_\_\_  
(Printed Name) (Title/Position)

\_\_\_\_\_  
(Email address)

**DEPT. OF HOUSING, CDBG DISASTER RECOVERY PROGRAM (OORR)**  
**13 JAMES STREET MILFORD, CT**

---

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF ALTERNATES

A. Alternate No. 1: Deck stairs removed deck area added

1. Remove stairs at street side deck and replace with deck area

B. Alternate No. 2: Dumbwaiter mechanical and electrical.

1. Furnish and install dumbwaiter, including car, finishes, and electrical components

END OF SECTION 012300



**QUISENBERRY ARCARI ARCHITECTS, LLC**  
 www.qa-architects.com  
 T (860) 677-4594  
 F (860) 677-8534  
 318 Main Street  
 Farmington, CT 06032

REHABILITATION/RECONSTRUCTION WORK FOR:

**CAROLE FRANKLIN**

APPLICANT # (1215)

13 JAMES STREET MILFORD, CONNECTICUT

Sheet Description:

**DEMOLITION FLOOR PLAN**

Issue Dates:

05.18.2015

rv 05.29.2015

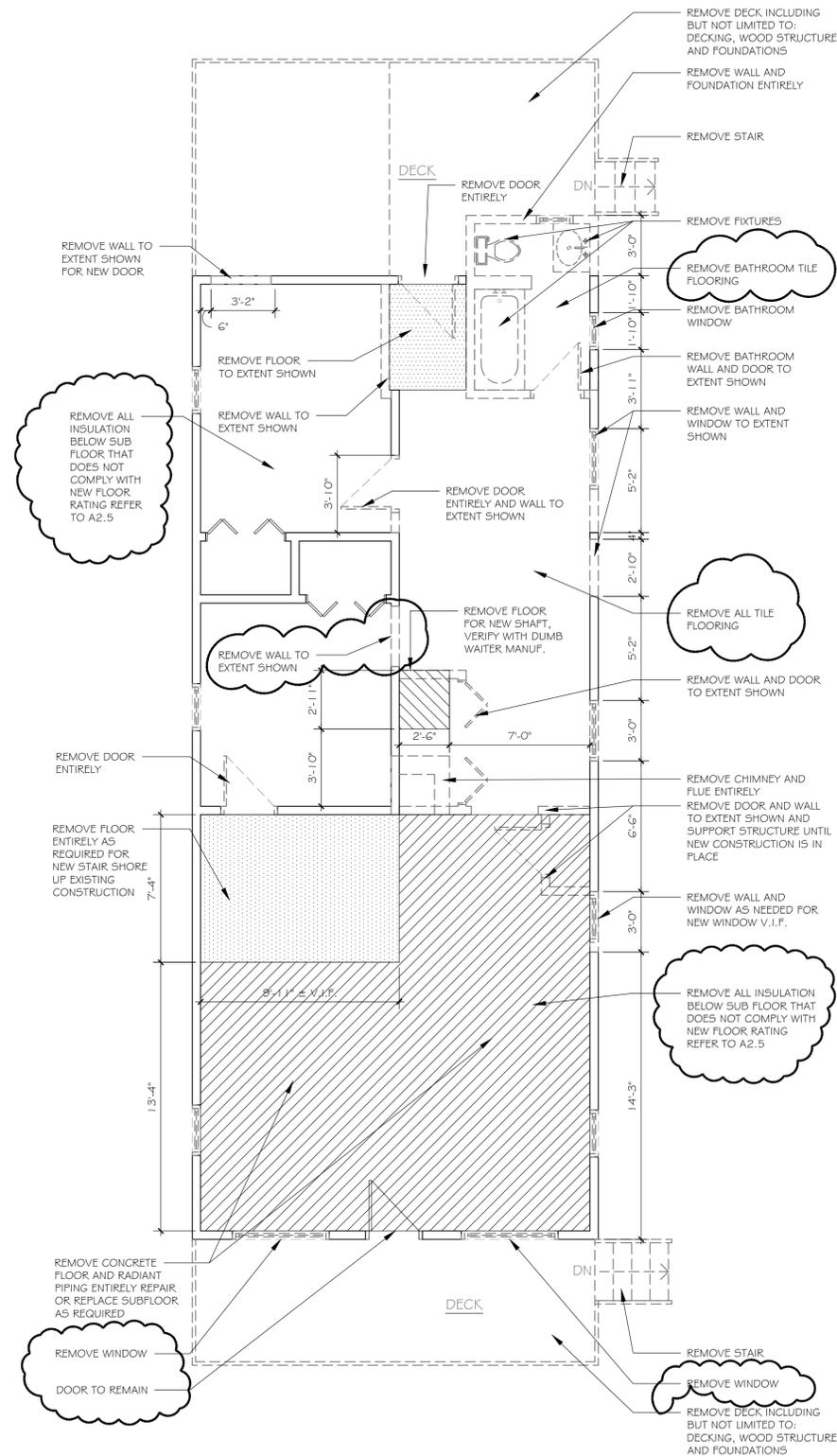
Scale: 1/4" = 1'-0"

Project #: 1215

Drawn By: RAP

Sheet #:

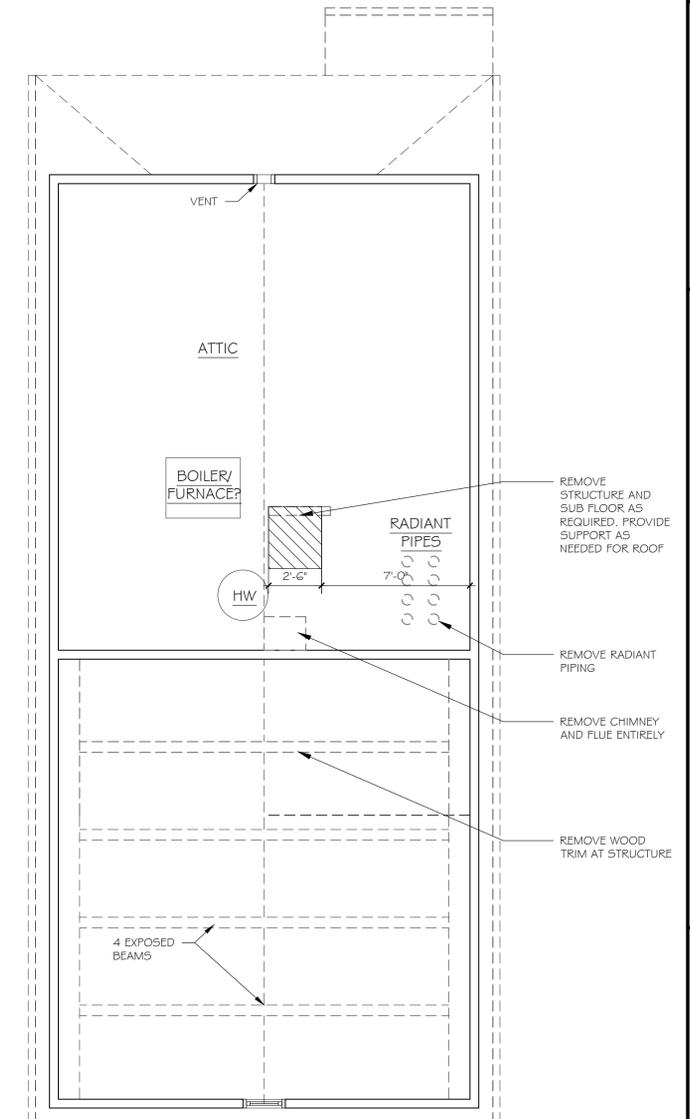
**D1.1**



**MAIN LEVEL FLOOR PLAN**

SCALE: 1/4" = 1'-0"

1



**ATTIC LEVEL FLOOR PLAN**

SCALE: 1/4" = 1'-0"

2



**QUISENBERRY ARCARI ARCHITECTS, LLC**  
 www.qa-architects.com  
 T (860) 677-4594  
 F (860) 677-8534  
 318 Main Street  
 Farmington, CT 06032

REHABILITATION/RECONSTRUCTION WORK FOR:

**CAROLE FRANKLIN**  
 APPLICANT # (1215)

MILFORD, CONNECTICUT  
 13 JAMES STREET

Sheet Description:

**FLOOR PLAN**

Issue Dates:

05.18.2015

rv 05.29.2015

Scale: 1/4" = 1'-0"

Project #:

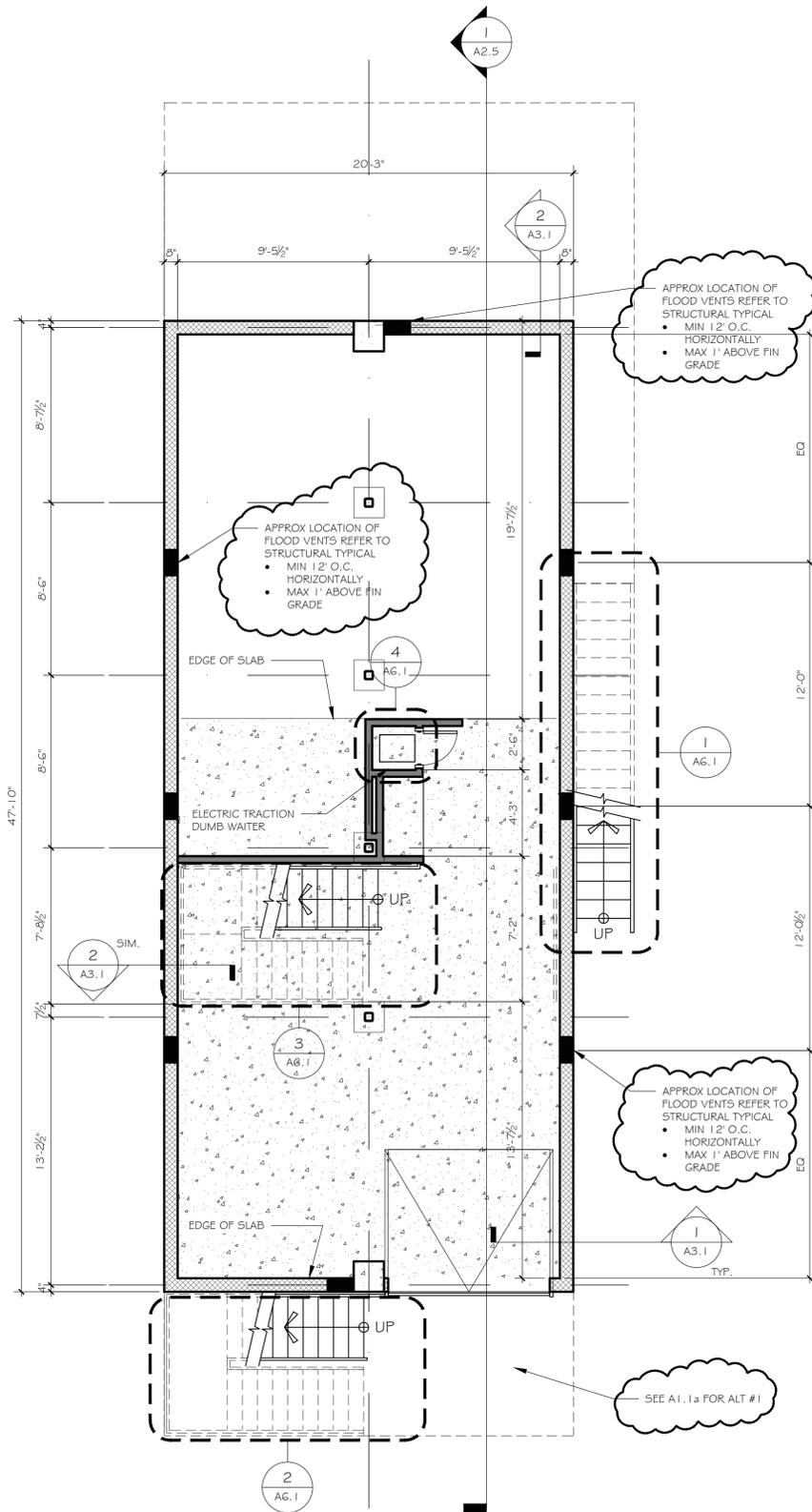
1215

Drawn By:

RAP

Sheet #:

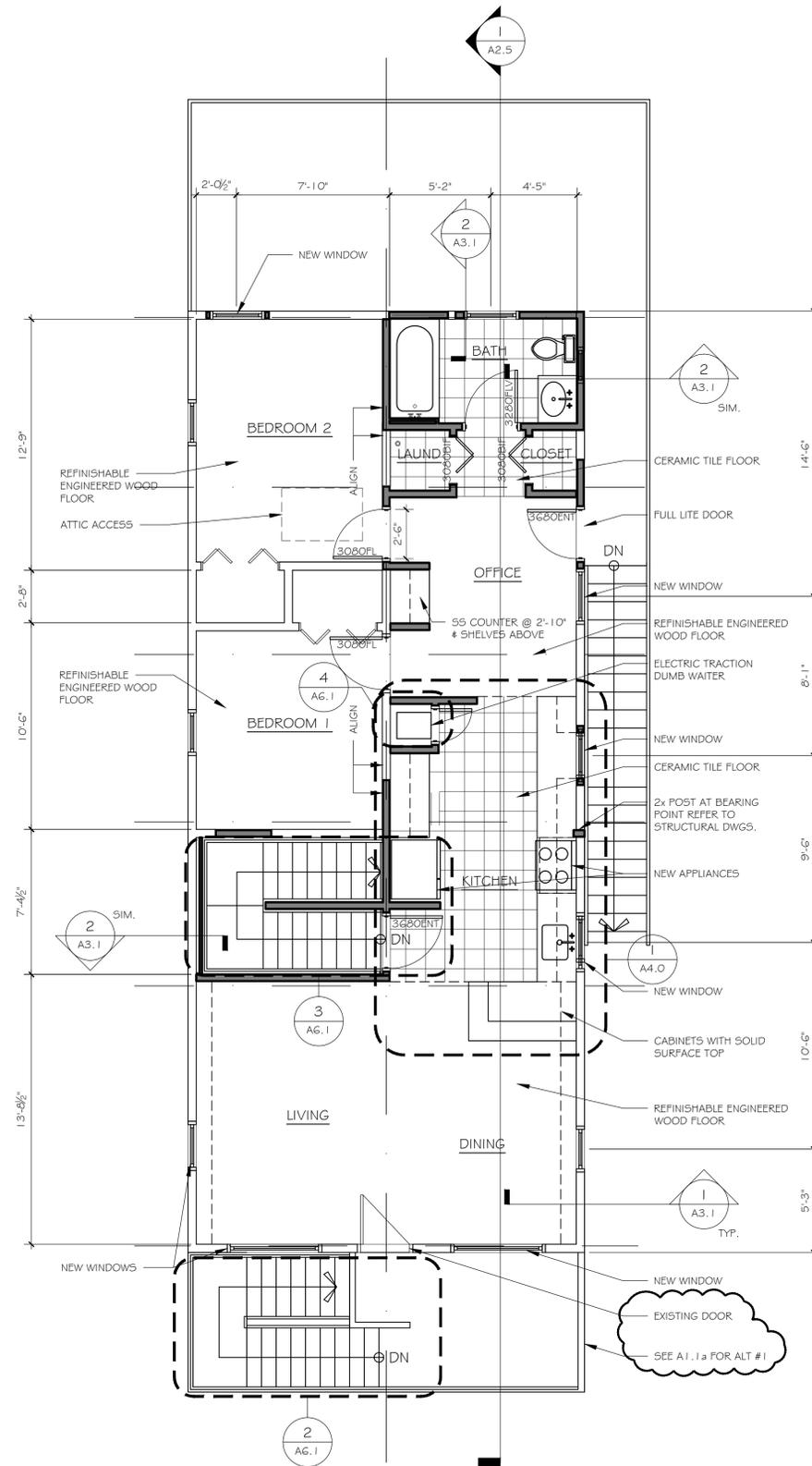
**A1.1**



**LOWER LEVEL FLOOR PLAN**

SCALE: 1/4" = 1'-0"

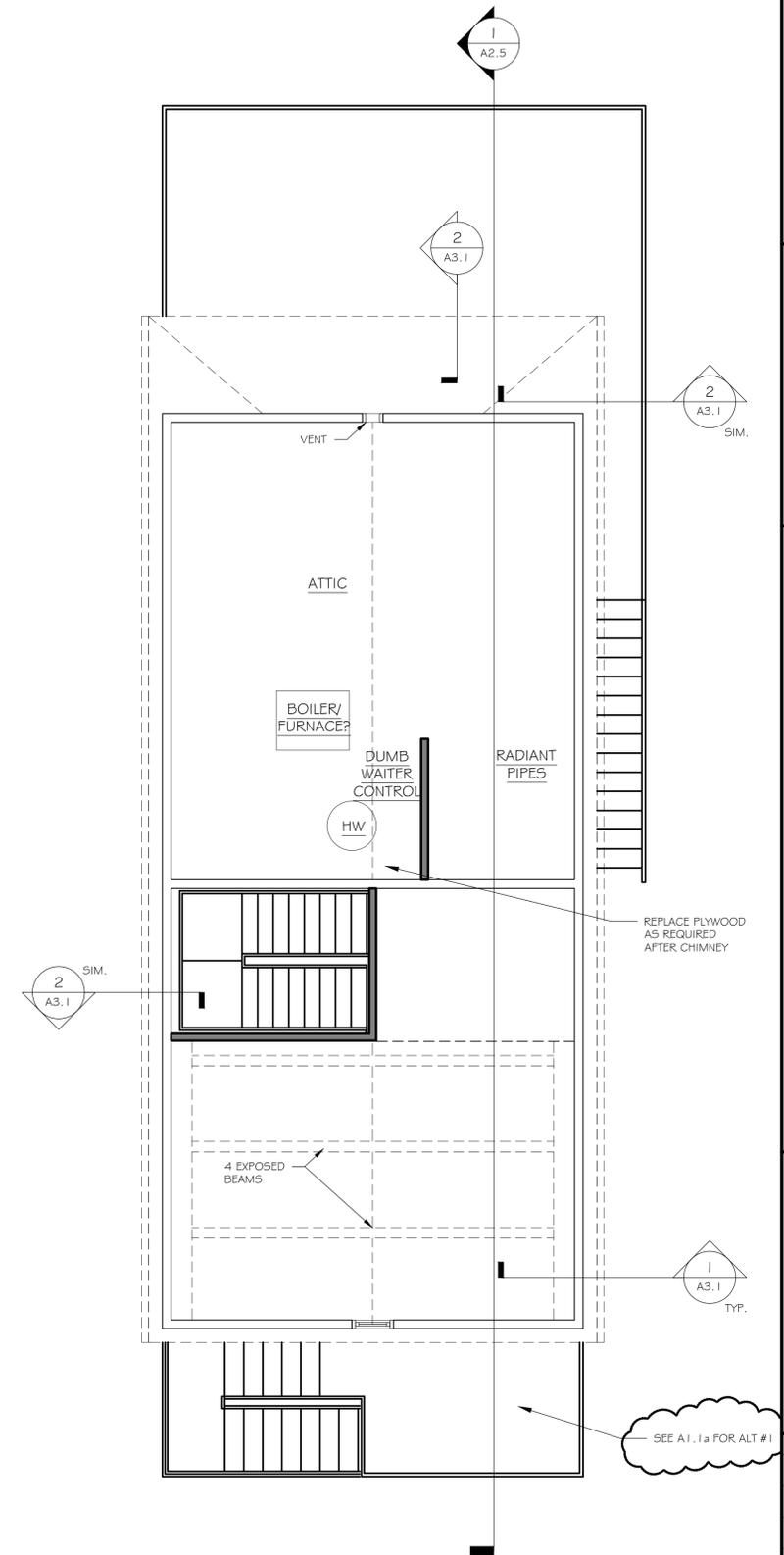
1



**MAIN LEVEL FLOOR PLAN**

SCALE: 1/4" = 1'-0"

2



**ATTIC LEVEL FLOOR PLAN**

SCALE: 1/4" = 1'-0"

3



QUISENBERRY ARCARI  
ARCHITECTS, LLC  
www.qa-architects.com  
T (860) 677-4594  
F (860) 677-8534  
318 Main Street  
Farmington, CT 06032

REHABILITATION/RECONSTRUCTION WORK FOR:

**CAROLE FRANKLIN**

APPLICANT #(1215)

13 JAMES STREET MILFORD, CONNECTICUT

Sheet Description:

FLOOR PLAN  
DEDUCT  
ALTERNATE

Issue Dates:

05.18.2015

rv 05.29.2015

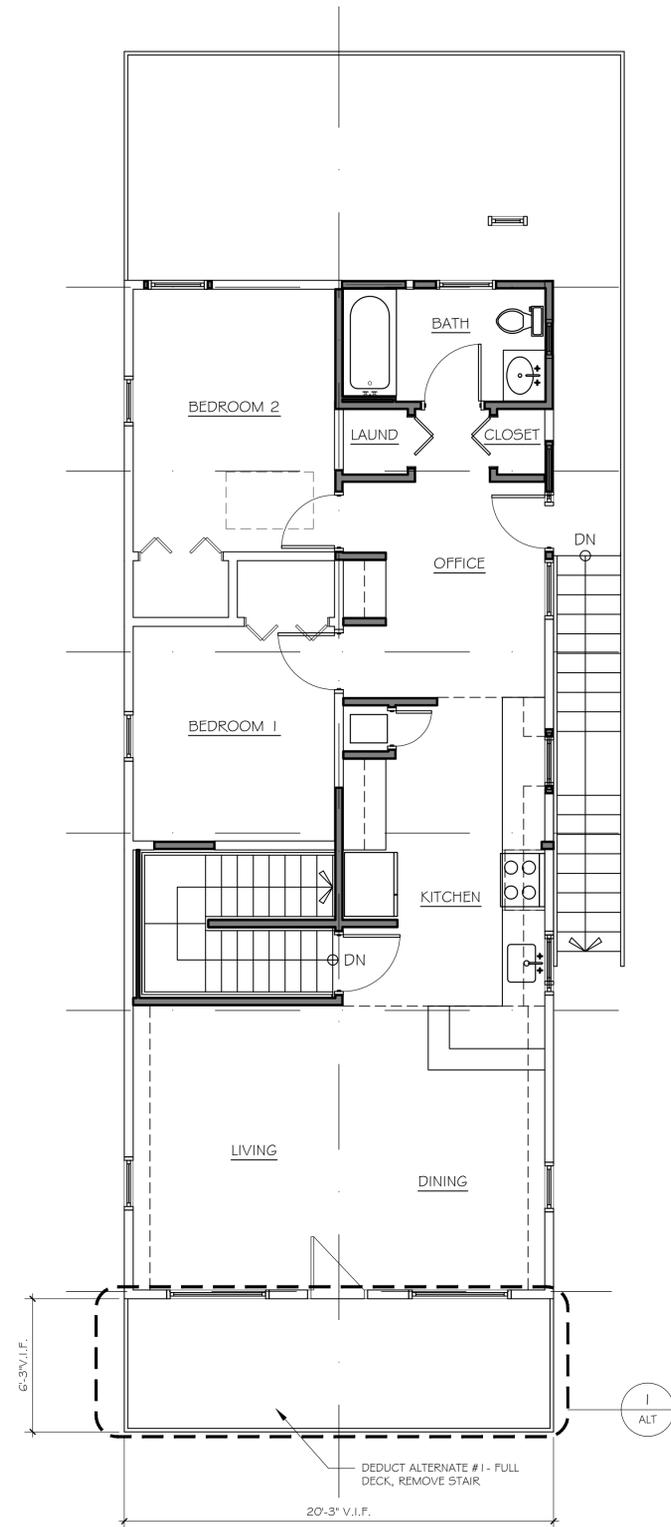
Scale: 1/4" = 1'-0"

Project #:  
1215

Drawn By:  
RAP

Sheet #:

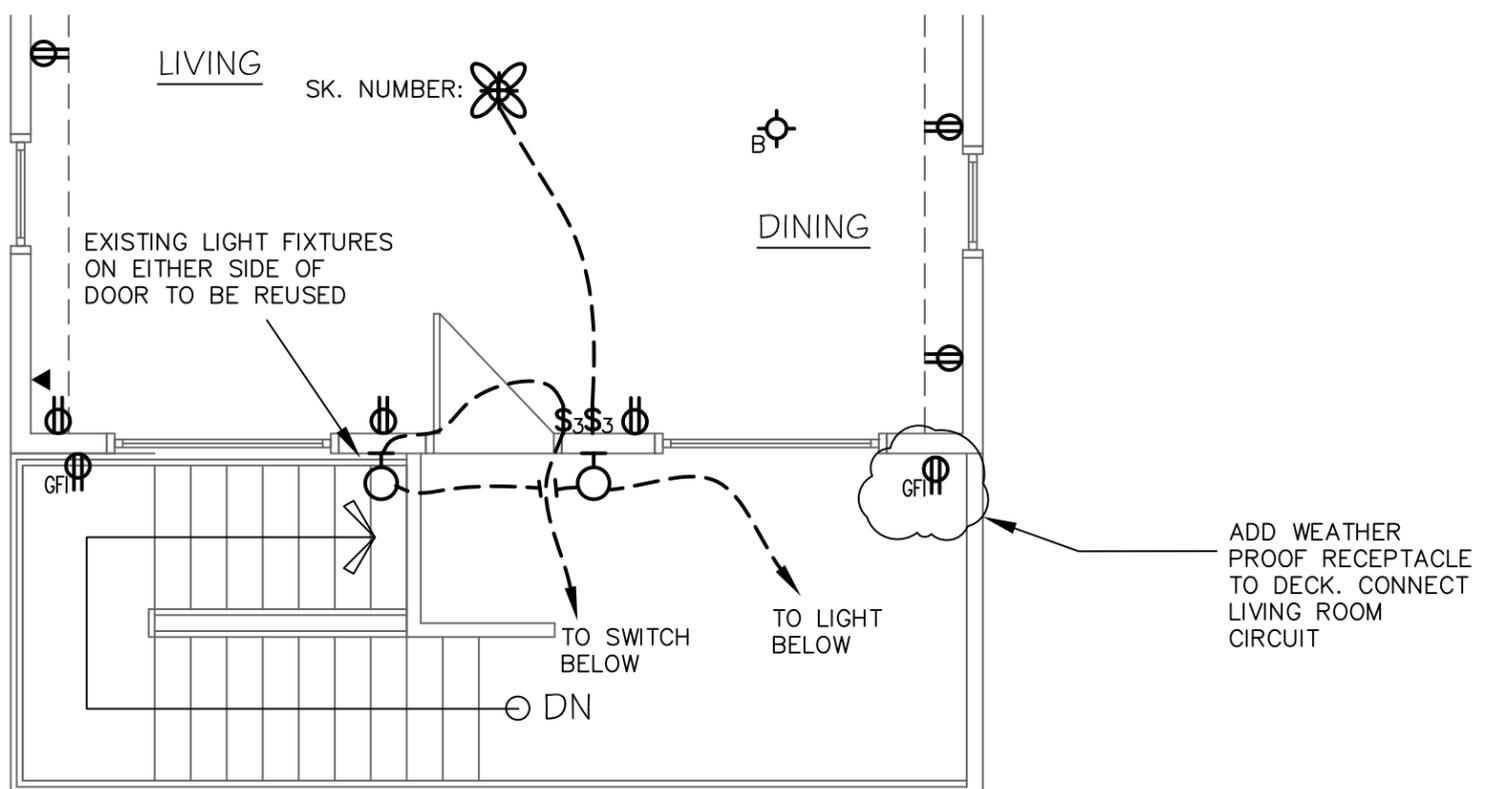
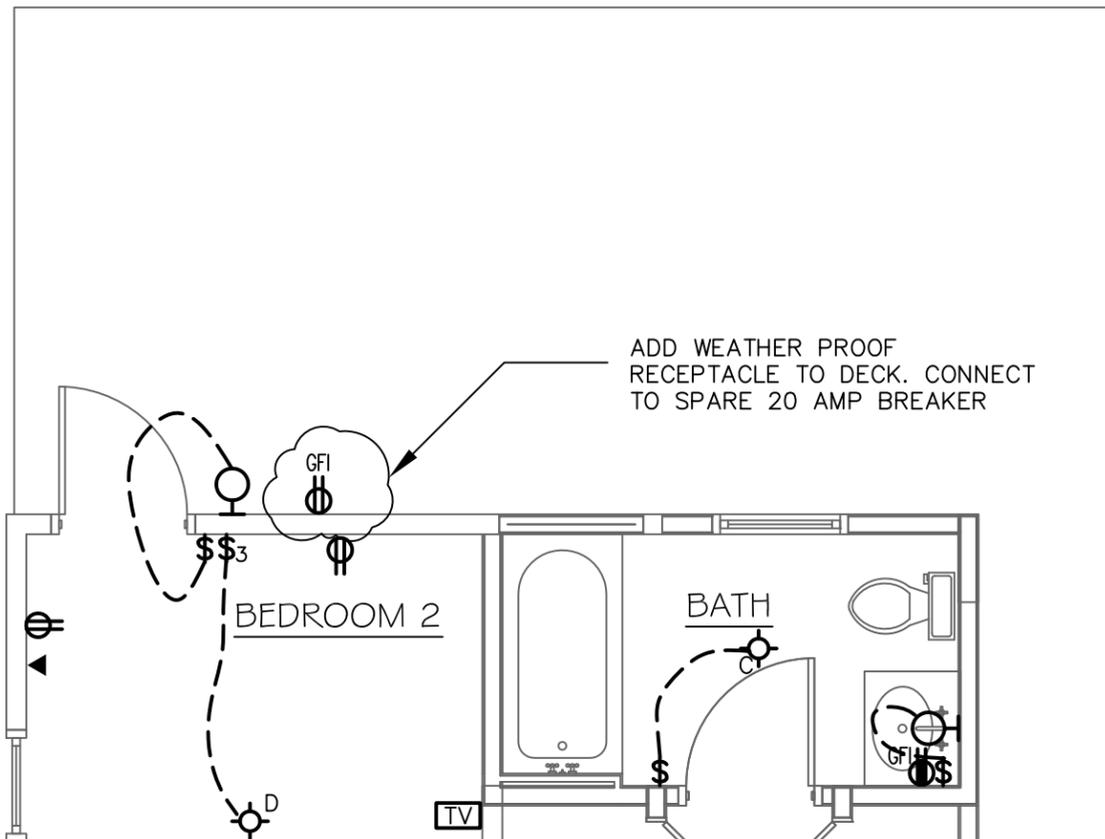
**A1.1a**



**MAIN LEVEL FLOOR PLAN**

SCALE: 1/4" = 1'-0"

1



PART FLOOR PLAN

SCALE: NTS

DWG. REFERENCE:	INITIAL/DATE	05-26-2015
<b>E-1.1</b>	PROJ. #	14107
<b>SK-1</b>	PROJ. DES:	SS
	SCALE:	AS NOTED

PROJECT:  
13 JAMES ST  
MILFORD, CT