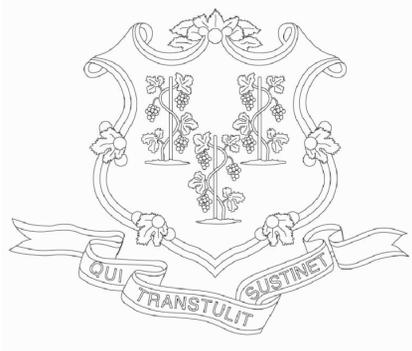


# STATE OF CONNECTICUT DEPARTMENT OF HOUSING CDBG–COMMUNITY DEVELOPMENT BLOCK GRANT SUPERSTORM SANDY DISASTER RECOVERY PROGRAM



**SPONSOR**  
State of Connecticut  
Department of Housing  
505 Hudson Street  
Hartford, Connecticut 06106

**OWNER**  
Application No. 1191  
Carole LaCroix  
11 Sibley Lane, aka 1  
East Haven, Connecticut 06512

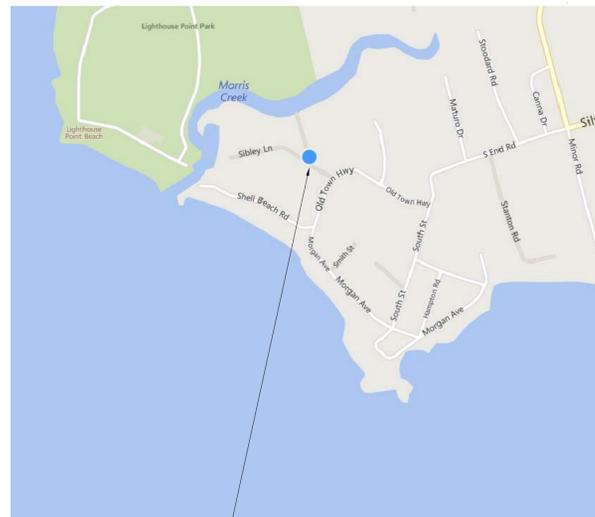
**ARCHITECT:**  
**Lothrop Associates LLP**  
333 Westchester Avenue, White Plains, New York 10604  
510 Clinton Square, Rochester, New York 14620  
125 Half Mile Road, Suite 200, Red Bank, New Jersey 07701  
100 Pearl Street, 14th Floor, Hartford, Connecticut 06103

**ENVIRONMENTAL ENGINEER:**  
**Fuss & O'Neill**  
146 Hartford Road, Manchester, Connecticut 06040  
56 Quarry Rd, Trumbull, Connecticut 06611

**STRUCTURAL ENGINEER:**  
**Cuoco Structural Engineers, LLC**  
60 Katona Drive, Fairfield, Connecticut 06824

**SURVEYOR:**  
**Freeman Companies, LLC**  
36 John Street, Hartford, Connecticut 06106

## AREA MAP



PROJECT SITE

## GENERAL NOTES

- LEAD AND ASBESTOS: NO ABATEMENT OPERATIONS ARE REQUIRED FOR THIS PROJECT. SEE SELECTIVE DEMOLITION SPECIFICATIONS FOR MORE INFORMATION.
- DO NOT OBSTRUCT ACCESS TO THE SITE.
- PROTECT ALL AREAS FROM FALLING DEBRIS.
- MAINTAIN ALL EXISTING SITE ELEMENTS (PAVING, FENCES, BUILDINGS, ETC.) AND PLANTINGS & LAWNS. CONTRACTOR SHALL REPLACE OR REPAIR ALL DAMAGE, AT THE CONTRACTORS EXPENSE.
- MAINTAIN A SECURED AREA FOR ALL CONSTRUCTION MATERIALS & EQUIPMENT STORED ON SITE.
- PROVIDE TARPED DUMPSTER FOR REMOVAL OF ALL RUBBISH AND CONSTRUCTION DEBRIS. DUMPSTER SHOULD BE ADEQUATELY PROTECTED DURING PROJECT. CONTRACTOR IS RESPONSIBLE FOR ALL TRASH PLACED IN AND AROUND DUMPSTER. DUMPSTER PERMIT COSTS TO BE INCLUDED IN THE BASE BID.
- WORK SHALL COMPLY WITH ALL STATE & LOCAL CODES, REGULATIONS AND ORDINANCES.
- AT PROJECT COMPLETION, REMOVE ALL CONSTRUCTION DEBRIS AND PATCH/REPAIR ALL SURFACES DAMAGED BY CONTRACTOR ACTIVITIES. THOROUGHLY CLEAN ALL WORK AREAS OF ALL DEBRIS RESULTING FROM WORK OF THIS CONTRACT.
- DISCONNECT AND RECONNECT ALL UTILITIES AS REQUIRED. COORDINATE WITH UTILITY COMPANIES AND AUTHORITIES HAVING JURISDICTION.
- THE SPECIFICATION BOOK IS AN INTEGRAL PART OF THE DOCUMENTS AND SHALL BE CONSIDERED AS PART OF THESE DRAWINGS.

## DRAWING LIST

### ARCHITECTURAL

- G-001 COVER SHEET
- G-002 SITE PLAN AND ZONING DATA
- AD-101 FOUNDATION DEMOLITION PLAN
- AD-102 FIRST FLOOR DEMOLITION PLAN, DEMO ELEVATION AND HAZ-MAT ABATEMENT
- AD-103 SECOND FLOOR DEMOLITION PLAN AND ELEVATION
- AD-201 DEMOLITION ELEVATIONS
- A-101 FOUNDATION PLAN
- A-102 FIRST FLOOR PLAN
- A-103 SECOND FLOOR PLAN
- A-201 BUILDING ELEVATIONS I
- A-202 BUILDING ELEVATIONS II
- A-301 MISCELLANEOUS DETAILS

### STRUCTURAL

- S-101 STRUCTURAL FOUNDATION PLAN
- S-102 STRUCTURAL FIRST FLOOR FRAMING PLAN
- S-103 STRUCTURAL SECTIONS AND DETAILS
- S-104 STRUCTURAL SECTIONS AND DETAILS
- S-105 STRUCTURAL SECTIONS AND DETAILS
- S-106 STRUCTURAL GENERAL NOTES AND SOIL BORINGS LOGS

## ABBREVIATIONS

ADJ	ADJACENT	MAX	MAXIMUM
ALUM	ALUMINUM	MC	MEDICINE CABINET
APPROX	APPROXIMATE	MI	MIRRORED MEDICINE CABINET
ARCH	ARCHITECTURAL	MIN	MINIMUM
BTM	BOTTOM	MO	MASONRY OPENING
B.O.	BOTTOM OF	MV	MICROWAVE
CJ	CEILING JOISTS	NIC	NOT IN CONTRACT
CL	CENTERLINE	OA	OVERALL
CLOS	CLOSET	OC	ON CENTER
CMU	CONCRETE MASONRY UNIT	OPP	OPPOSITE
COL	COLUMN	PSL	PARALLEL STRAND LUMBER
CONC	CONCRETE	PT	PRESSURE TREATED
CONT	CONTINUOUS	REINF	REINFORCED
COORD	COORDINATE	RO	ROUGH OPENING
CT	CERAMIC TILE	RM	ROOM
DW	DISHWASHER	RR	ROOF RAFTERS
DWG	DRAWING	SD	SMOKE DETECTOR
E/F	EXHAUST FAN	SIM	SIMILAR
EX	EXISTING	SPEC	SPECIFICATIONS
EL	ELEVATION	STD	STANDARD
EP	ELECTRICAL PANEL	STL	STEEL
EQ	EQUAL	STRUCT	STRUCTURAL
EQUIP	EQUIPMENT	T.O.	TOP OF
EQUIV	EQUIVALENT	TYP	TYPICAL
FIN	FINISH	VCT	VINYL COMPOSITE TILE
FDN	FOUNDATION	VERT	VERTICAL
FJ	FLOOR JOISTS	VIF	VERIFY IN FIELD
FLR	FLOOR	W/D	WASHER/ DRYER COMBO
FLHB	FROST PROOF HOSE BIB	WD	WOOD
FV	FLOOD VENT	WP	WEATHERPROOF
GALV	GALVANIZED	WWF	WELDED WIRE FABRIC (MESH)
GBI	GRADE BEAM 1	U/C	UNDER CABINET (LIGHTING)
GFCI	GROUND FAULT CIRCUIT INTERRUPTER		
GWB	GYP SUM WALL BOARD		
GYP	GYP SUM		
HDWD	HARDWOOD FLOORING		
HM	HOLLOW METAL		
HORIZ	HORIZONTAL		
HWH	HOT WATER HEATER		
JB	JUNCTION BOX		
LO	LINE OF		
LVL	LAMINATE VENEER LUMBER		

## SYMBOLS LEGEND

	EXISTING PARTITION/ WALL TO REMAIN		DETAIL TAG: SECTION NUMBER DRAWING NUMBER
	NEW PARTITION/ WALL		SECTION KEY: SECTION NUMBER DRAWING NUMBER
	NEW FOUNDATION WALL AND FOOTINGS		ELEVATION KEY: ELEVATION NUMBER DRAWING NUMBER
	EXISTING TO BE REMOVED		KEYED NOTE TAG
	EXISTING ITEM ABOVE		ROOF SLOPE
	EXISTING WINDOW TO REMAIN		REVISION
	NEW WINDOW		SETBACK LINE
	NEW DOOR		SILT BARRIER
	EXISTING DOOR TO REMAIN		CONSTRUCTION FENCE
	NEW "SMART VENT" FLOOD VENT (PLAN VIEW)		PROPERTY LINE
	GAS METER		
	WATER METER		
	PLYWOOD		
	CONCRETE		
	RIGID INSULATION		
	GRAVEL		
	WOOD DECKING		



Lothrop Associates LLP Architects  
100 Pearl Street  
14th Floor  
Hartford, Connecticut 06103  
860-249-7251

White Plains Rochester Red Bank Hartford

### STRUCTURAL ENGINEER:



### SURVEYOR:



### ENVIRONMENTAL ENGINEER:



ISSUE NO.	ISSUE DATE	DESCRIPTION
1	26 MARCH 2015	ISSUED FOR BID

State Of Connecticut  
Department Of Housing  
505 Hudson Street  
Hartford, Connecticut 06106

Application No. 1191

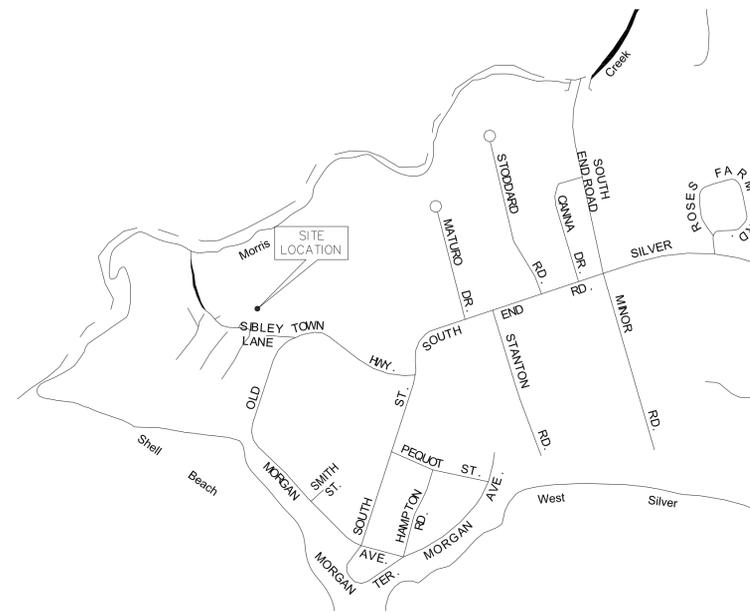
HAZARDOUS MATERIAL ABATEMENT  
CONSTRUCTION OF NEW FOUNDATIONS  
RAISING EXISTING RESIDENCE  
FOR  
CAROLE LaCROIX  
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## COVER SHEET

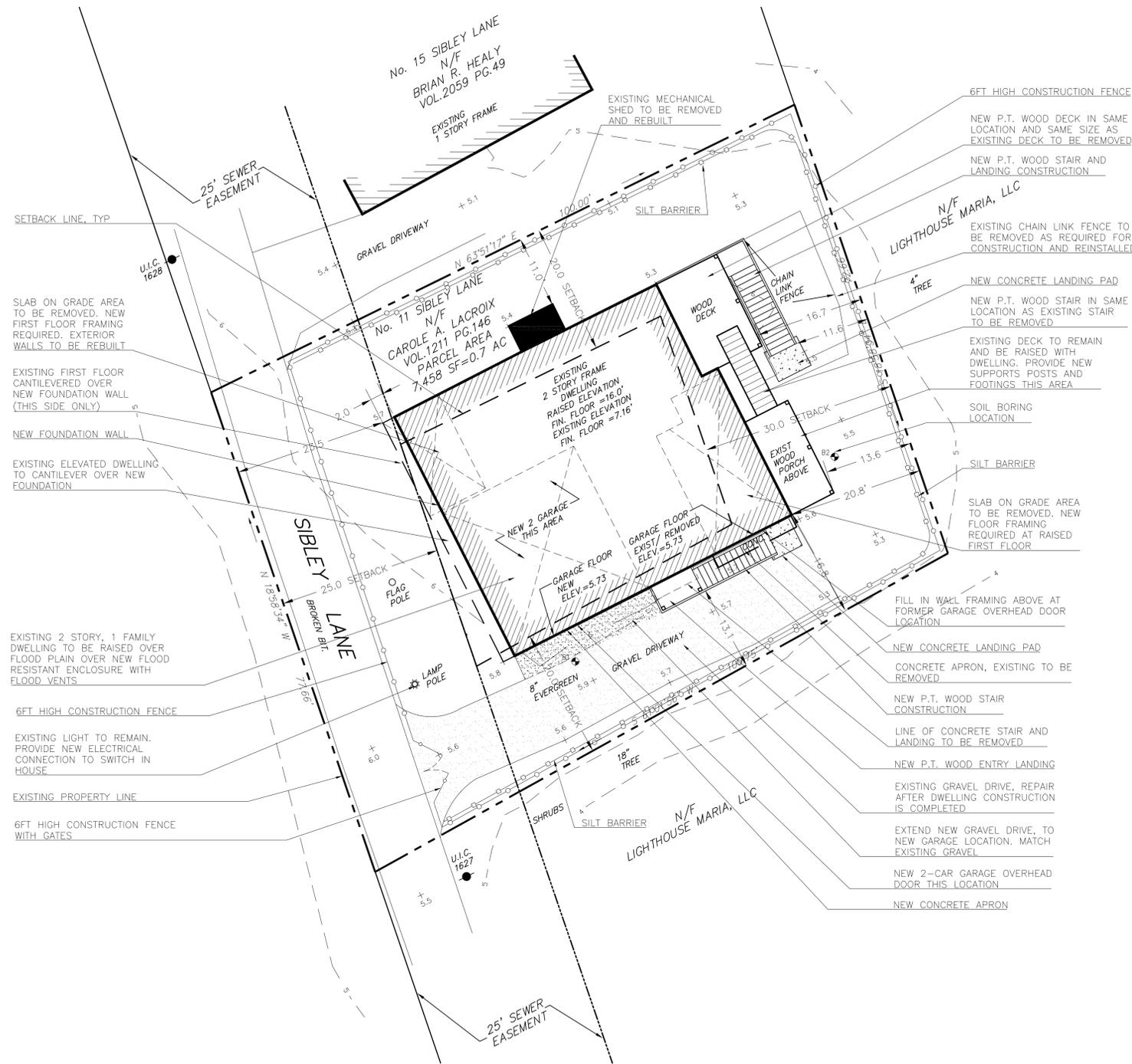
PROJECT NO.: 1524-21 AS NOTED SCALE

DRAWING NO.:

# G-001



2 LOCATION MAP  
1"=500'



1 SITE PLAN  
SCALE: 1" = 10"

ZONING DATA			
R-3 ZONE	REQUIRED	EXISTING	PROPOSED
LOT AREA	20,000 SF	7,458 SF	7,458 SF EXISTING NON CONFORMANCE
LOT FRONTAGE	100 FEET	77.66 FEET	77.66 FEET, EXISTING NON CONFORMANCE
MAX BUILDING HEIGHT	40 FEET, 30 FEET WITH SETBACK RESTRICTION	23.17 FEET	33 FEET VARIANCE REQUIRED
SETBACK-STREET LINE	25 FEET	23.5 FEET	23.5 FEET EXISTING NONCONFORMANCE
SETBACK-REAR	30 FEET	13.6 FEET @ DECK	11.6 FEET @ NEW STAIR, VARIANCE REQUIRED
SETBACK-SIDE	20 FEET EA	11.0 FEET NORTH 16.8 FEET SOUTH	11.9 FEET NORTH 13.1 FEET SOUTH @ NEW RAISED ENTRY LANDING VARIANCE REQUIRED
MAX LOT COVERAGE	20%	31%	33% VARIANCE REQUIRED
MIN SQUARE DIMENSION	100 FEET	72.2 FEET	72.2 FEET EXISTING NONCONFORMANCE
MAX NUMBER OF STORIES	3	2	2
MAX FLOOR AREA	40%	36%	36%
MIN FLOOR AREA PER DWELLING UNIT	900 SF	2655.5 SF	2655.5 SF

SITE PLAN INFORMATION TAKEN FROM A SURVEY  
PREPARED BY FREEMAN COMPANIES, LLC  
MAP, BLOCK AND LOT: 010-0302-011

# Lothrop

Lothrop Associates LLP Architects  
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14th Floor  
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860-249-7251

White Plains Rochester Red Bank Hartford

STRUCTURAL ENGINEER:



SURVEYOR:



ENVIRONMENTAL ENGINEER:



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SITE PLAN AND  
ZONING DATA

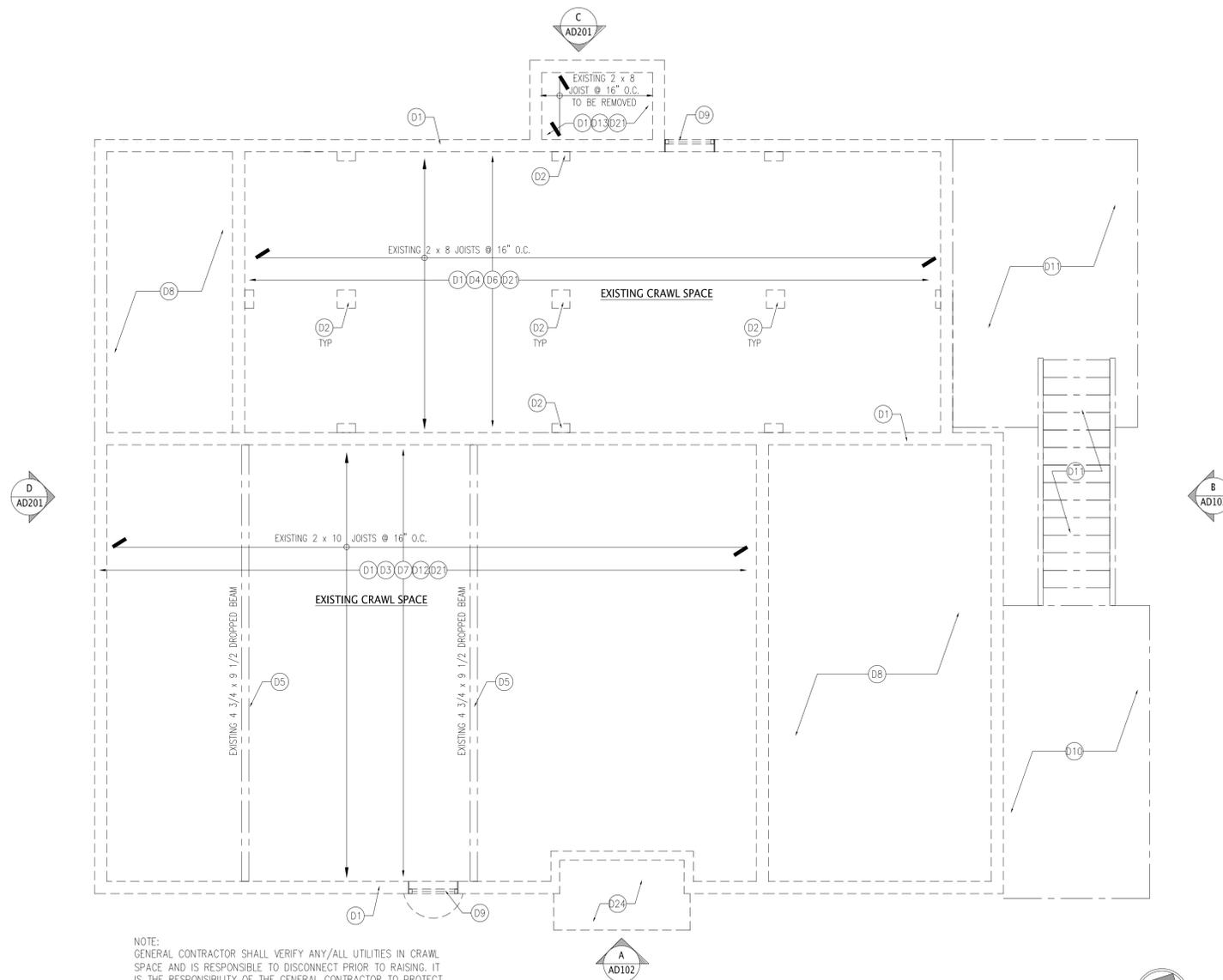
PROJECT NO.: 1524-21 AS NOTED SCALE

DRAWING NO.:

G-002

**DEMOLITION KEYED NOTES**

- D1 REMOVE EXISTING FOUNDATION WALLS AND FOOTINGS
- D2 REMOVE EXISTING CONCRETE PIERS
- D3 REMOVE EXISTING CONCRETE FLOOR SLAB
- D4 EXISTING DIRT FLOOR
- D5 EXISTING DROPPED BEAM. REMOVE EXISTING LOOSENED BLOCK PIERS
- D6 EXISTING FIRST FLOOR JOISTS TO BE SAVED AND RAISED. REMOVE DAMAGED BATT INSULATION. BATT INSULATION IS MISSING IN SOME AREAS OF CRAWL SPACE. SOME AREAS HAVE EXISTING SPRAY URETHANE INSULATION TO REMAIN
- D7 EXISTING FIRST FLOOR JOISTS AND DECK TO BE SAVED AND RAISED IN IT'S ENTIRETY. REMOVE DAMAGED BATT INSULATION. BATT INSULATION IS MISSING IN SOME AREAS OF CRAWL
- D8 REMOVE EXISTING CONCRETE SLAB ON GRADE
- D9 EXISTING WINDOW, FRAME AND WINDOW WELL TO BE REMOVED
- D10 EXISTING WOOD DECK CONSTRUCTION TO BE RETAINED AND RAISED WITH THE DWELLING. EXISTING DECKING AND SUPPORT BEAMS TO REMAIN. REMOVE EXISTING DECK SUPPORT POSTS AND PIERS IN THEIR ENTIRETY. PROVIDE TEMPORARY SUPPORT AS NECESSARY
- D11 EXISTING WOOD DECK CONSTRUCTION AND STAIRS TO BE REMOVED IN IT'S ENTIRETY
- D12 EXISTING HARD AND FLEXIBLE DUCTWORK TO REMAIN, WHERE POSSIBLE. PROTECT FROM DAMAGE DURING DEMOLITION PROCESS RECONNECT TO HVAC SYSTEM
- D13 EXISTING MECHANICAL SHED ENCLOSURE TO BE REMOVED INCLUDING BUT NOT LIMITED TO WALLS, FLOOR FRAMING, DOOR, ROOF CONSTRUCTION, CMU, CONCRETE SLAB, FOUNDATION AND FOOTINGS. ALL EXISTING H.V.A.C EQUIPMENT TO BE RETAINED FOR RELOCATION IN NEW BUILT ENCLOSURE. EQUIPMENT INCLUDING BUT NOT LIMITED TO DUCTWORK, H.V.A.C. UNIT, CHIMNEYS, ETC. CONTRACTOR SHALL VERIFY IN FIELD ALL ITEMS TO BE RETAINED AS SALVAGE MUCH AS POSSIBLE. PRIOR TO COMMENCEMENT OF DEMOLITION WORK. SEE NEW CONSTRUCTION PLANS FOR NEW MECHANICAL SHED. REMOVE AND PROPERLY DISPOSE OF EXISTING FUEL OIL TANK
- D14 EXISTING HOT WATER HEATER TO BE REMOVED AND RETAINED FOR REINSTALLATION AFTER NEW MECHANICAL ROOM'S FLOOR DEMOLITION AND CONSTRUCTION IS COMPLETED. REMOVE EXHAUST VENT PIPE
- D15 EXISTING ELECTRICAL SERVICE PANEL REMAIN
- D16 EXISTING H.V.A.C UNIT TO BE REMOVED AND RETAINED FOR REINSTALLATION AFTER NEW MECHANICAL ROOM'S FLOOR DEMOLITION AND CONSTRUCTION IS COMPLETED. HARD AND FLEXIBLE DUCTWORK TO REMAIN
- D17 EXISTING ELECTRICAL METER PAN TO BE RELOCATED AS DIRECTED BY UTILITY COMPANY. REPLACE IF REQUIRED WIRE TO BE REMOVED DURING LIFTING OPERATIONS
- D18 REMOVE EXISTING DAMAGED SLIDING DOOR GLAZING WHERE SEALS HAVE BEEN BROKEN
- D19 EXISTING GARAGE DOOR TO BE REMOVED. REMOVE ALL ASSOCIATED HARDWARE
- D20 REMOVE WATER DAMAGED PADDED LEATHER WET BAR UPHOLSTERY AND PADDING, AND REPLACE WITH NEW
- D21 EXISTING DUCTWORK IN CRAWL SPACES IN NOT USED AND SHALL BE REMOVED
- D22 REMOVE EXISTING SLIDING DOORS IN THEIR ENTIRETY. REMOVE EXISTING EXTERIOR WALL CONSTRUCTION. TEMPORARILY SUPPORT ROOF ABOVE. PREPARE FOR NEW WALL CONSTRUCTION
- D23 REMOVE AND RETAIN EXISTING GAS METER FOR REINSTALLATION
- D24 REMOVE EXISTING CONCRETE SLAB FRONT STOOP
- D25 REMOVE EXISTING AIR CONDITIONER UNIT BELOW WINDOW
- D26 REMOVE EXISTING HVAC VENT STACK



NOTE:  
GENERAL CONTRACTOR SHALL VERIFY ANY/ALL UTILITIES IN CRAWL SPACE AND IS RESPONSIBLE TO DISCONNECT PRIOR TO RAISING. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROTECT & RECONNECT TO ORIGINAL WORKING CONDITION.

**1** FOUNDATION PLAN - DEMOLITION  
1/4" = 1'-0"



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100 Pearl Street  
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White Plains Rochester Red Bank Hartford

**STRUCTURAL ENGINEER:**



**SURVEYOR:**



**ENVIRONMENTAL ENGINEER:**



ISSUE NO.	ISSUE DATE	DESCRIPTION
1	26 MARCH 2015	ISSUED FOR BID

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Application No. 1191  
**HAZARDOUS MATERIAL ABATEMENT  
CONSTRUCTION OF NEW FOUNDATIONS  
RAISING EXISTING RESIDENCE  
FOR  
CAROLE LaCROIX  
11 Sibley Lane, aka 1  
East Haven, Connecticut 06512**

**FOUNDATION  
DEMOLITION PLAN**

PROJECT NO.: 1524-21 AS NOTED SCALE

DRAWING NO.:  
**AD-101**



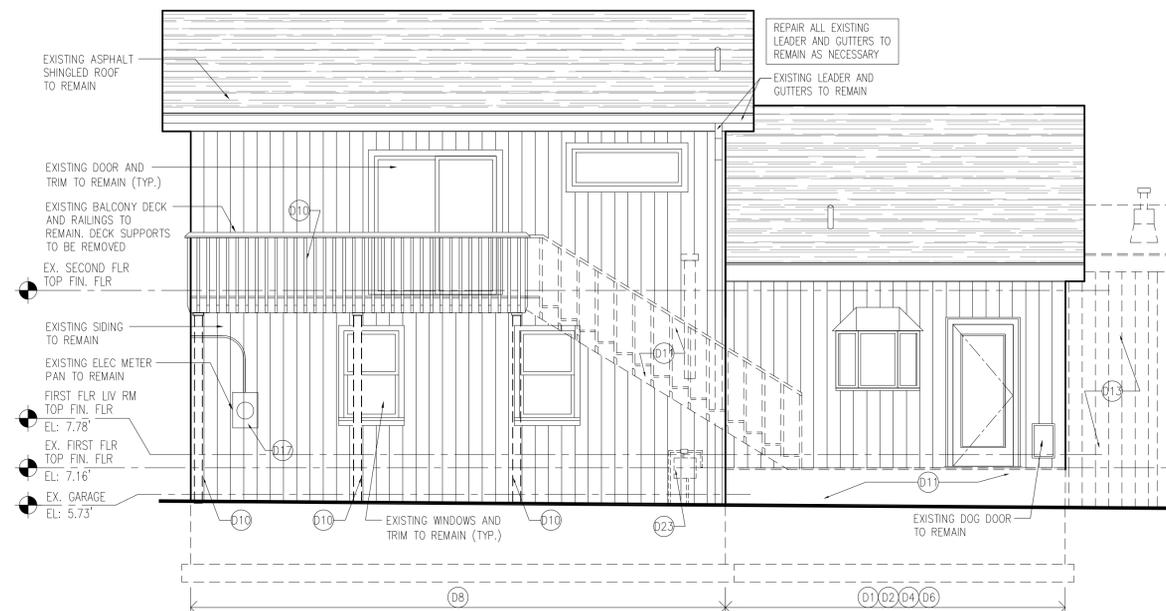
**STRUCTURAL ENGINEER:**



**SURVEYOR:**

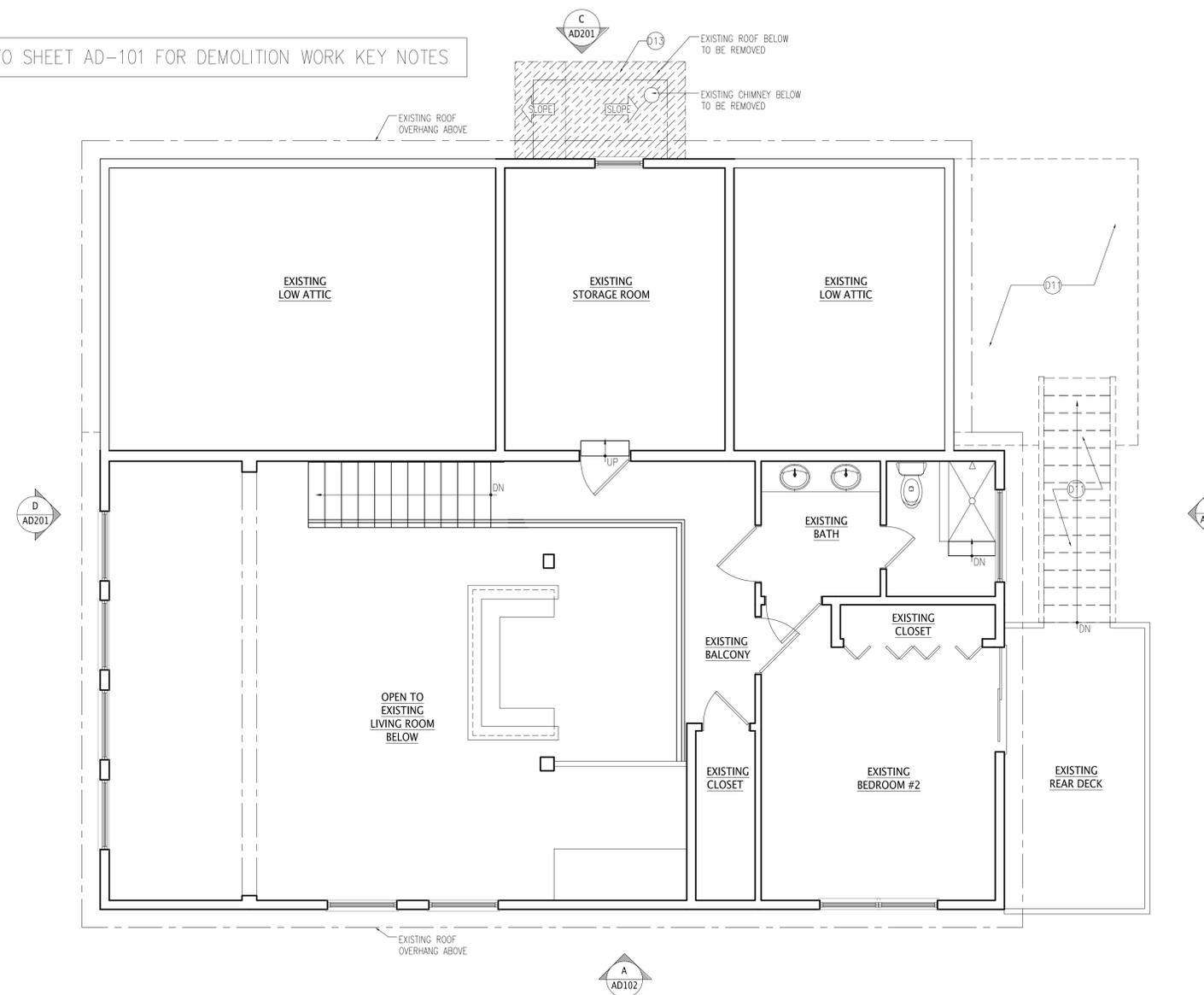


**ENVIRONMENTAL ENGINEER:**



**B** ELEVATION - DEMOLITION  
 1/4" = 1'-0"

REFER TO SHEET AD-101 FOR DEMOLITION WORK KEY NOTES



**1** SECOND FLOOR PLAN - DEMOLITION  
 1/4" = 1'-0"

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**SECOND FLOOR  
 DEMOLITION PLAN AND  
 ELEVATION**

PROJECT NO.: 1524-21 AS NOTED SCALE

DRAWING NO.:

**AD-103**

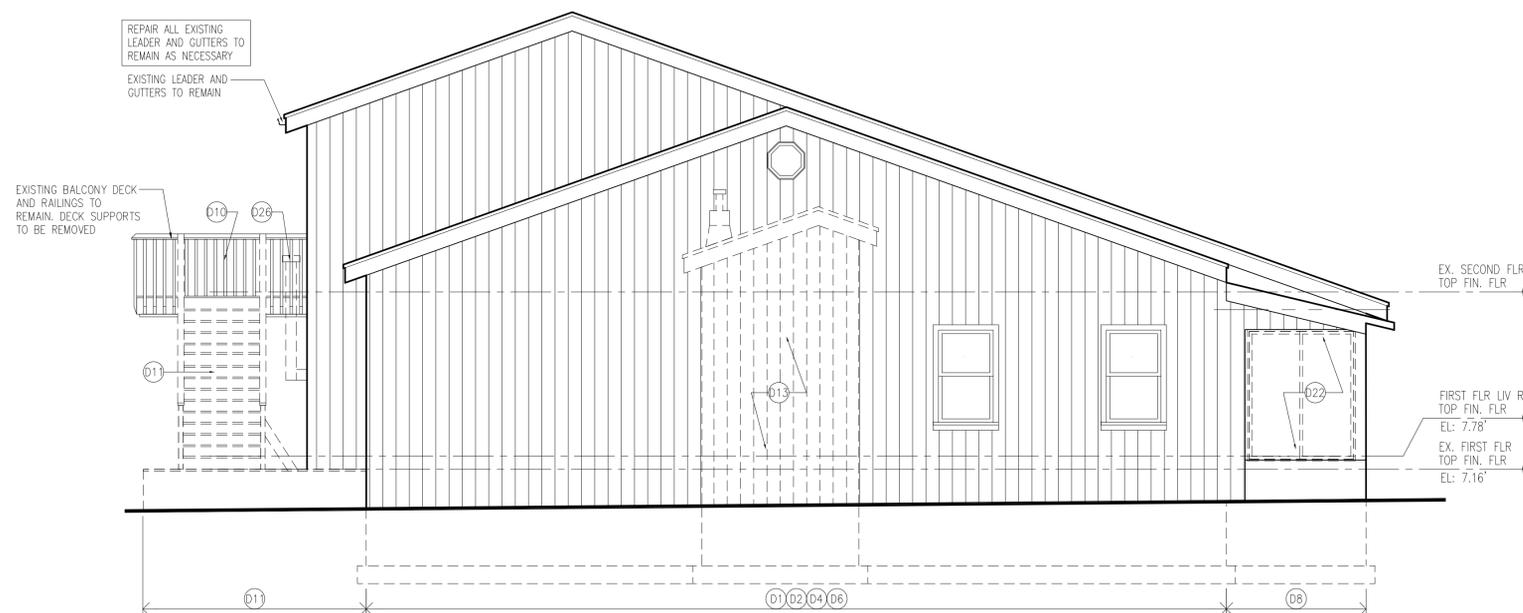
**STRUCTURAL ENGINEER:**



**SURVEYOR:**

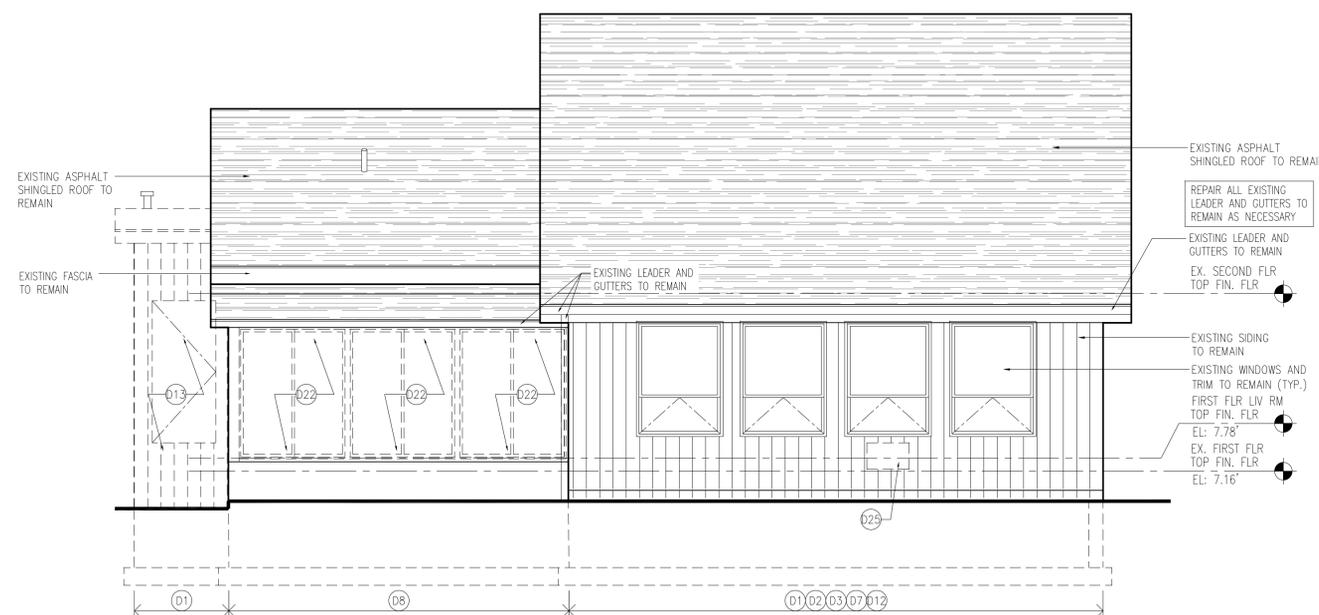


**ENVIRONMENTAL ENGINEER:**



**C** ELEVATION - DEMOLITION  
 1/4" = 1'-0"

REFER TO SHEET AD-101 FOR DEMOLITION WORK KEY NOTES



**D** ELEVATION - DEMOLITION  
 1/4" = 1'-0"

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FOR  
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**DEMOLITION ELEVATIONS**

PROJECT NO.: 1524-21 AS NOTED SCALE

DRAWING NO.:

**AD-201**

**CONSTRUCTION KEYED NOTES**

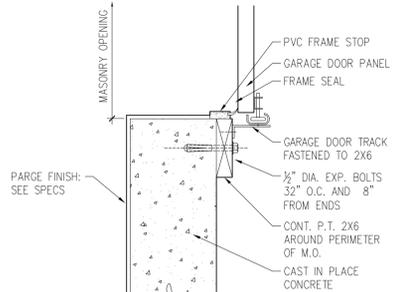
- (C1) EXISTING FIRST FLOOR CONSTRUCTION TO BE RAISED IN IT'S ENTIRETY WITH DWELLING. PROVIDE NEW BATT INSULATION WHERE INSULATION HAS BEEN DAMAGED OR IS MISSING. THIS AREA HAS EXISTING SPRAY FOAM URETHANE INSULATION
- (C2) EXISTING FIRST FLOOR CONSTRUCTION TO BE RAISED IN IT'S ENTIRETY WITH DWELLING. PROVIDE NEW BATT INSULATION WHERE INSULATION HAS BEEN DAMAGED OR IS MISSING
- (C3) PROVIDE NEW CONCRETE FLOOR SLAB; SEE STRUCTURAL DRAWINGS
- (C4) EXISTING WOOD DECK CONSTRUCTION TO BE RETAINED AND RAISED WITH THE DWELLING. EXISTING DECKING AND SUPPORT BEAMS TO REMAIN. PROVIDE NEW DECK SUPPORT POSTS AND PIERS. PROVIDE ADDITIONAL BALUSTERS AS NECESSARY TO CONFORM TO CODE REQUIREMENTS SEE STRUCTURAL DRAWINGS AND ELEVATIONS
- (C5) PROVIDE NEW WOOD DECK, STAIR LANDING, AND STAIRS. PROVIDE NEW STAIR SUPPORT POSTS AND PIERS. SEE STRUCTURAL DRAWINGS
- (C6) NEW FINISHED GYPSUM WALL BOARD AND SPRAY FOAM INSULATION AT EXTERIOR WALL LOCATIONS HAS ALREADY BEEN PROVIDED BY OWNER IN THIS AREA PRIOR TO CONSTRUCTION.  
\*ALL GYPSUM WALL BOARD FINISH WORK SHALL BE PROVIDED BY THE OWNER'S SEPARATE DRYWALL CONTRACTOR AFTER THE COMPLETION OF WORK UNDER THIS CONTRACT. GYPSUM WALL BOARD IS NOT INCLUDED IN THIS CONTRACT\*
- (C7) NEW FINISHED GYPSUM BOARD AT CEILINGS HAS BEEN ALREADY PROVIDED BY OWNER IN THIS AREA PRIOR TO COMMENCEMENT OF CONSTRUCTION.  
\*ALL GYPSUM WALL BOARD FINISH WORK SHALL BE PROVIDED BY THE OWNER'S SEPARATE DRYWALL CONTRACTOR AFTER THE COMPLETION OF WORK UNDER THIS CONTRACT. GYPSUM WALL BOARD IS NOT INCLUDED IN THIS CONTRACT\*
- (C8) NEW FINISH FLOOR MATERIAL PROVIDED BY THE OWNER, NOT IN CONTRACT
- (C9) PROVIDE NEW CERAMIC TILE 4x4 FLOORING IN BATHROOM. COLOR TO BE SELECTED BY OWNER. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION
- (C10) PROVIDE NEW VCT FLOORING. COLOR TO BE SELECTED BY OWNER. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION
- (C11) CONTRACTOR TO COMPLETE INSTALLATION OF OWNER PURCHASED POCKET DOOR AT BATHROOM
- (C12) PROVIDE NEW POSTS IN WALL. NEW WALL FINISH PROVIDED BY OWNER, NOT INCLUDED IN CONTRACT
- (C13) PROVIDE NEW PRE-HUNG INTERIOR DOORS INCLUDING ALL ASSOCIATED DOOR HARDWARE. PROVIDE NEW DOOR TRIM. DOORS STYLE SHALL MATCH EXISTING. DOOR HARDWARE PROVIDED UNDER CONTRACT ALLOWANCE
- (C14) CONTRACTOR SHALL PROVIDE R-19 WALL BATT INSULATION AT INFILL EXTERIOR WALL LOCATIONS. NEW FINISHED GYPSUM BOARD WALLS AND CEILINGS PROVIDED BY OWNER
- (C15) CONTRACTOR SHALL PROVIDE NEW WINDOWS AS SHOWN
- (C16) AREA OF NEW FLOOR CONSTRUCTION TO MATCH ADJACENT EXISTING FLOOR HEIGHT
- (C17) NEW KITCHEN CABINERY ITEMS AND APPLIANCES PROVIDED BY OWNER AND ARE NOT IN CONTRACT
- (C18) PROVIDE NEW INTERIOR STAIRS, STAIR LANDINGS AND SUPPORT POSTS, FROM FOUNDATION LEVEL TO FIRST FLOOR LEVEL. SEE INTERIOR DETAILS
- (C19) PROVIDE NEW PADDED LEATHER AT EXISTING WET BAR TO REMAIN. EXISTING COUNTERTOPS AND SINK TO REMAIN
- (C20) NEW PLUMBING FIXTURES, INCLUDED BUT NOT LIMITED TO WATER CLOSET, VANITY SINK, FAUCETS, SHOWER/TUB COMBO UNIT, SHOWER HEADS, ETC ARE PROVIDED BY OWNER AND ARE NOT IN CONTRACT
- (C21) EXISTING HARD AND FLEXIBLE DUCTWORK TO REMAIN. PROTECT FROM DAMAGE DURING DEMOLITION PROCESS. RECONNECT TO HVAC SYSTEM DURING WORK
- (C22) EXISTING H.V.A.C UNIT PREVIOUSLY REMOVED SHALL BE REINSTALLED (SEE DEMOTION PLANS FOR FURTHER INFORMATION)
- (C23) PROVIDE NEW DUCTWORK GRILLES AND REGISTERS FOR EXISTING DUCTWORK
- (C24) EXISTING HOT WATER HEATER TO REMAIN TO BE REMOVED AND RETAINED FOR REINSTALLATION AFTER NEW MECHANICAL ROOM'S FLOOR DEMOLITION AND CONSTRUCTION IS COMPLETED
- (C25) EXISTING ELECTRICAL SERVICE PANEL REMAIN. REPLACE ANY WIRING THAT HAS BEEN DAMAGED OR EXPOSED TO SALT WATER OR IS OTHERWISE AT FAULT
- (C26) EXISTING H.V.A.C UNIT TO BE REMOVED AND RETAINED FOR REINSTALLATION AFTER NEW MECHANICAL ROOM'S FLOOR DEMOLITION AND CONSTRUCTION IS COMPLETED. HARD AND FLEXIBLE DUCTWORK TO REMAIN. DISCONNECT AND RECONNECT
- (C27) EXISTING ELECTRICAL METER PAN TO BE RELOCATED AND REINSTALLED AS DIRECTED BY UTILITY COMPANY. REPLACE IF REQUIRED. WIRE TO BE REMOVED DURING LIFTING OPERATIONS AND RECONNECTED
- (C28) PROVIDE NEW DUPLEX OUTLET AS ELECTRICAL PANEL LOCATION
- (C29) CONTRACTOR SHALL PROVIDE NEW WALL INFILL WHERE AIR CONDITIONER UNIT WAS REMOVED. PROVIDE NEW WOOD STUD FRAMING AND R-19 BATT INSULATION. NEW FINISHED GYPSUM BOARD WALLS PROVIDED BY OWNER.  
\*ALL GYPSUM WALL BOARD FINISH WORK SHALL BE PROVIDED BY THE OWNER'S SEPARATE DRYWALL CONTRACTOR AFTER THE COMPLETION OF WORK UNDER THIS CONTRACT. GYPSUM WALL BOARD IS NOT INCLUDED IN THIS CONTRACT\*

**ELECTRICAL & MECHANICAL LEGEND**

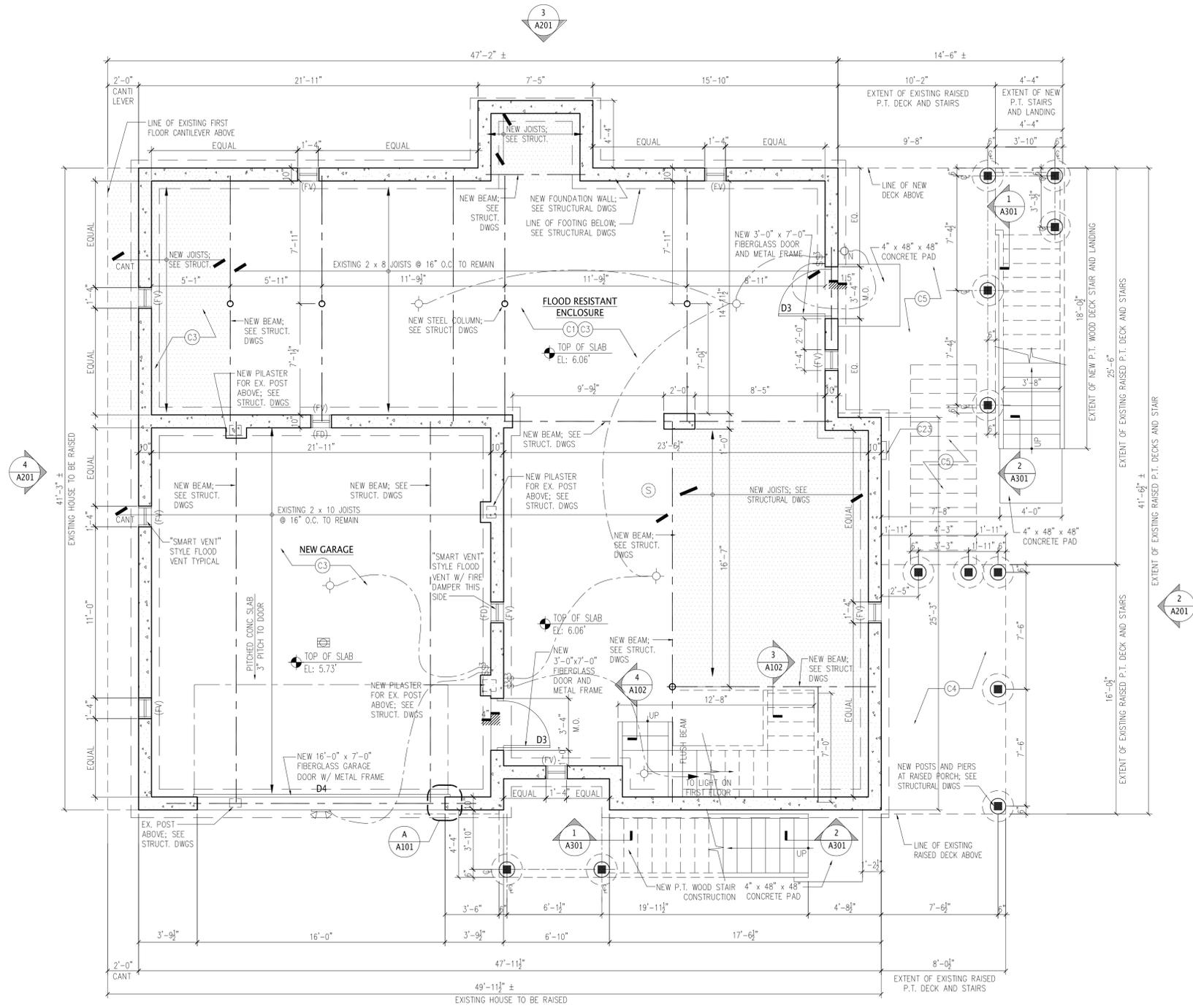
- EP ELECTRICAL PANEL
- E DUPLX OUTLET - EXISTING
- N DUPLX OUTLET - NEW
- GFCI DUPLX OUTLET - GROUND FAULT CIRCUIT INTERRUPTER
- S DEDICATED OUTLET - STOVE
- DW DUPLX OUTLET - DISHWASHER
- MV DUPLX OUTLET - MICROWAVE
- WP DUPLX OUTLET - WEATHER PROOF
- DUPLX OUTLET - CEILING MOUNTED FOR OWNER PROVIDED AUTOMATIC GARAGE DOOR OPENER
- TV NEW TV/ CABLE JACK
- NEW TELEPHONE/ DATA JACK
- N NEW GAS CONNECTION
- NEW SWITCH
- NEW 3 WAY SWITCH
- WIRING
- S NEW CEILING MOUNTED SMOKE DETECTOR
- CO NEW CEILING MOUNTED CARBON MONOXIDE DETECTOR
- E/F NEW CEILING MOUNTED EXHAUST FAN WITH LIGHT
- U/C NEW UNDER CABINET TASK LIGHTING
- NEW RECESSED DOWN LIGHT
- NEW WALL MOUNTED LIGHT
- NEW WALL MOUNTED EXTERIOR LIGHT
- NEW JUNCTION BOX FOR CEILING MOUNTED FAN WITH LIGHT (AS PROVIDED BY OWNER)
- NEW WALL MOUNTED DRIVEWAY LIGHT ON SENSOR

**GENERAL CONSTRUCTION NOTES**

- 1. DIMENSIONS ARE TAKEN TO FACE OF GYPSUM WALL BOARD OR CONCRETE UNLESS OTHERWISE NOTED.
- 2. AT VARIOUS FIRST FLOOR LOCATIONS THE OWNER HAS PROVIDED NEW GYPSUM WALL BOARD AND SPRAY FOAM INSULATION AT ALL EXTERIOR WALLS. THE OWNER HAS PROVIDED NEW GYPSUM WALL BOARD. THE OWNER HAS PROVIDED NEW GYPSUM BOARD CEILINGS. THE OWNER HAS PROVIDED ELECTRICAL. FINISHING OF THESE ITEMS IS BY OWNER AND NOT IN CONTRACT.
- 3. OWNER HAS PROVIDED NEW GYPSUM BOARD CEILINGS AND LIGHTING IN KITCHEN THAT SHALL REMAIN. CONNECT TO NEW ELECTRICAL PANELS.
- 4. PROVIDE NEW 4"x4" BATHROOM CERAMIC TILE FLOORING WITH CERAMIC TILE BASE AS LISTED. CORIAN THRESHOLD AT DOOR TO MATCH TILE. SELECTION. ALL FINAL SELECTIONS SHALL BE APPROVED BY OWNER. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 5. INSTALL NEW VINYL COMPOSITE TILE (VCT) AND VINYL WALL BASE AT MECHANICAL ROOM. ALL FINAL SELECTIONS SHALL BE APPROVED BY OWNER. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 6. EXISTING ELECTRICAL DEVICES IN LIVING ROOM AND DINING ROOM AREAS IS APPROXIMATE AND SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY IN FIELD AND DETERMINE WATER DAMAGE TO ALL EXISTING DEVICES. REPLACE ALL DAMAGED ELECTRICAL DEVICES AND ASSOCIATED WIRING.
- 7. PROVIDE NEW HANGER RODS AND SHELVES IN CLOSETS WHERE MISSING.
- 8. PROVIDE GAS CONNECTION AT NEW STOVE.
- 9. PROVIDE GAS CONNECTION AT NEW DRYER.
- 10. INSTALL EXISTING HOT WATER HEATER AT LOCATION SHOWN AND CONNECT TO EXISTING HEATING SYSTEM TO BE REINSTALLED.
- 11. INSTALL EXISTING FURNACE UNIT AND H.V.A.C. SYSTEM, ACCORDING TO MANUFACTURER'S SPECIFICATIONS.



**A OVERHEAD DOOR JAMB DETAIL**  
1 1/2" = 1'-0"



**1 FOUNDATION PLAN**  
1/4" = 1'-0"

**Lothrop**

**Lothrop Associates LLP Architects**  
100 Pearl Street  
14th Floor  
Hartford, Connecticut 06103  
860-249-7251

White Plains Rochester Red Bank Hartford

**STRUCTURAL ENGINEER:**



**SURVEYOR:**



**ENVIRONMENTAL ENGINEER:**



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1	26 MARCH 2015	ISSUED FOR BID

**State Of Connecticut  
Department Of Housing**  
505 Hudson Street  
Hartford, Connecticut 06106

Application No. 1191

**HAZARDOUS MATERIAL ABATEMENT  
CONSTRUCTION OF NEW FOUNDATIONS  
RAISING EXISTING RESIDENCE  
FOR  
CAROLE LaCROIX**  
11 Sibley Lane, aka 1  
East Haven, Connecticut 06512

**FOUNDATION PLAN**

PROJECT NO.: 1524-21 AS NOTED SCALE

DRAWING NO.:

**A-101**







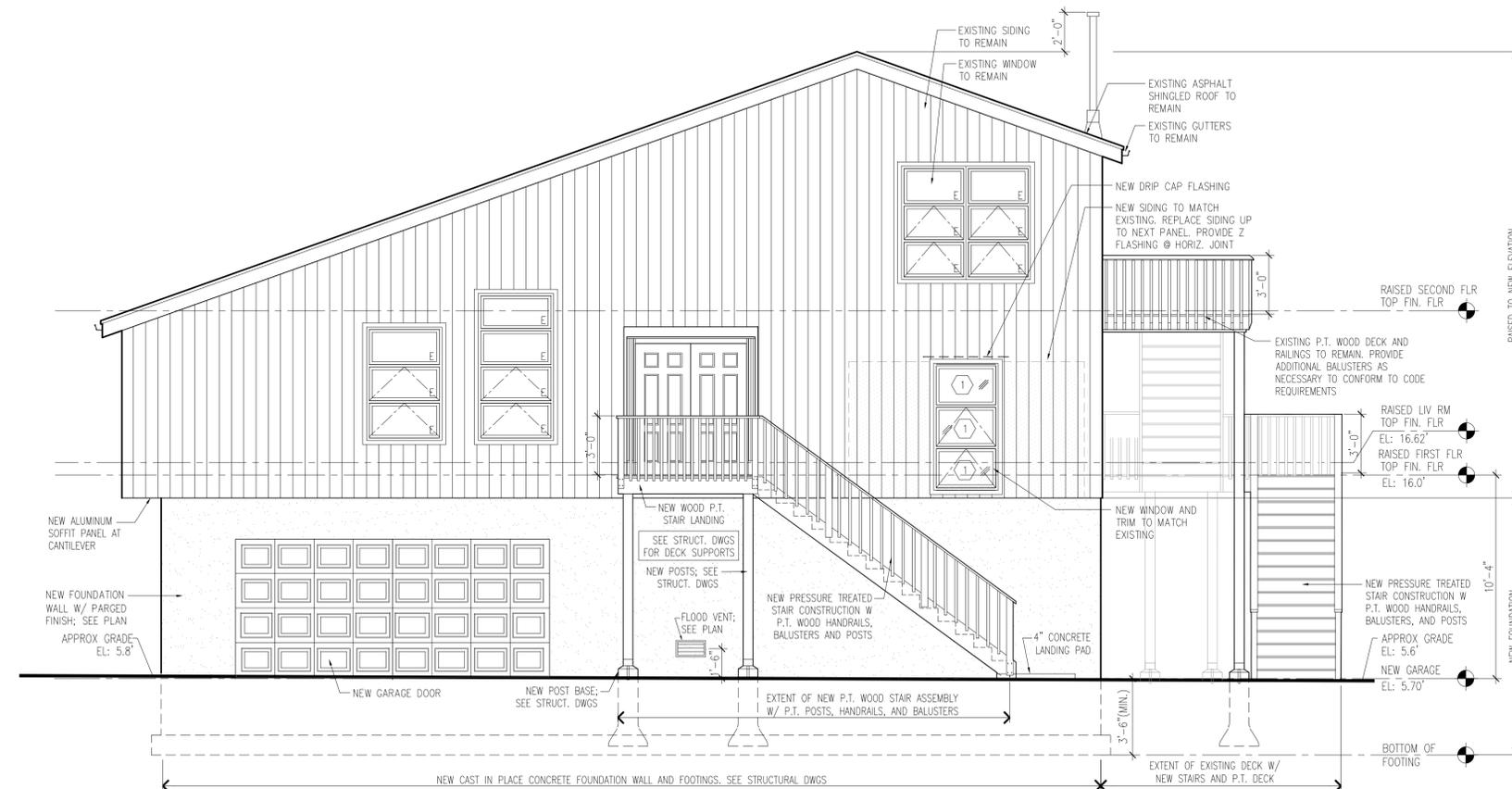
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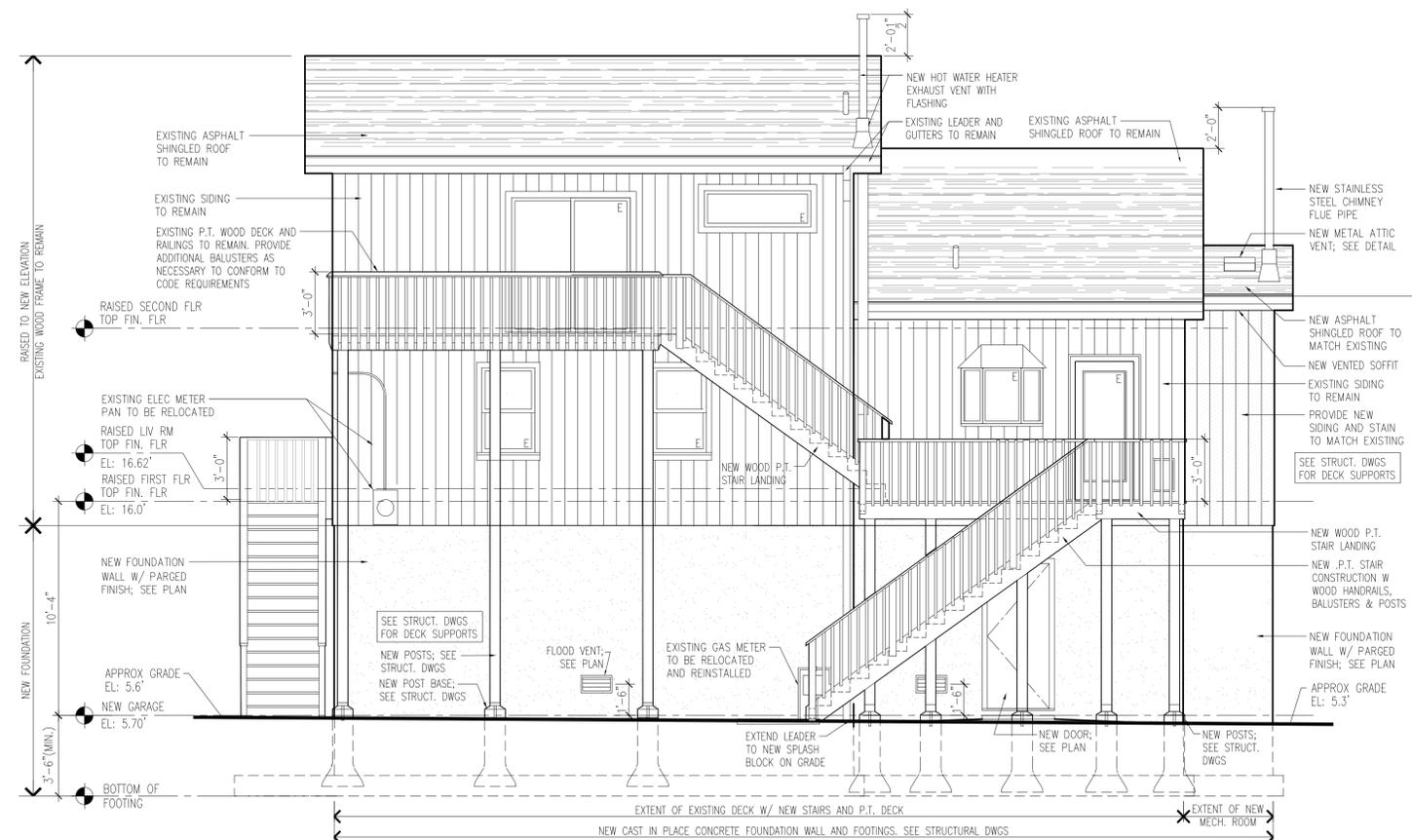
**SURVEYOR:**



**ENVIRONMENTAL ENGINEER:**



**1** ELEVATION - NORTH  
 1/4" = 1'-0"



**2** ELEVATION - EAST  
 1/4" = 1'-0"

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**BUILDING ELEVATIONS I**

PROJECT NO.: 1524-21 AS NOTED SCALE

DRAWING NO.:

**A-201**

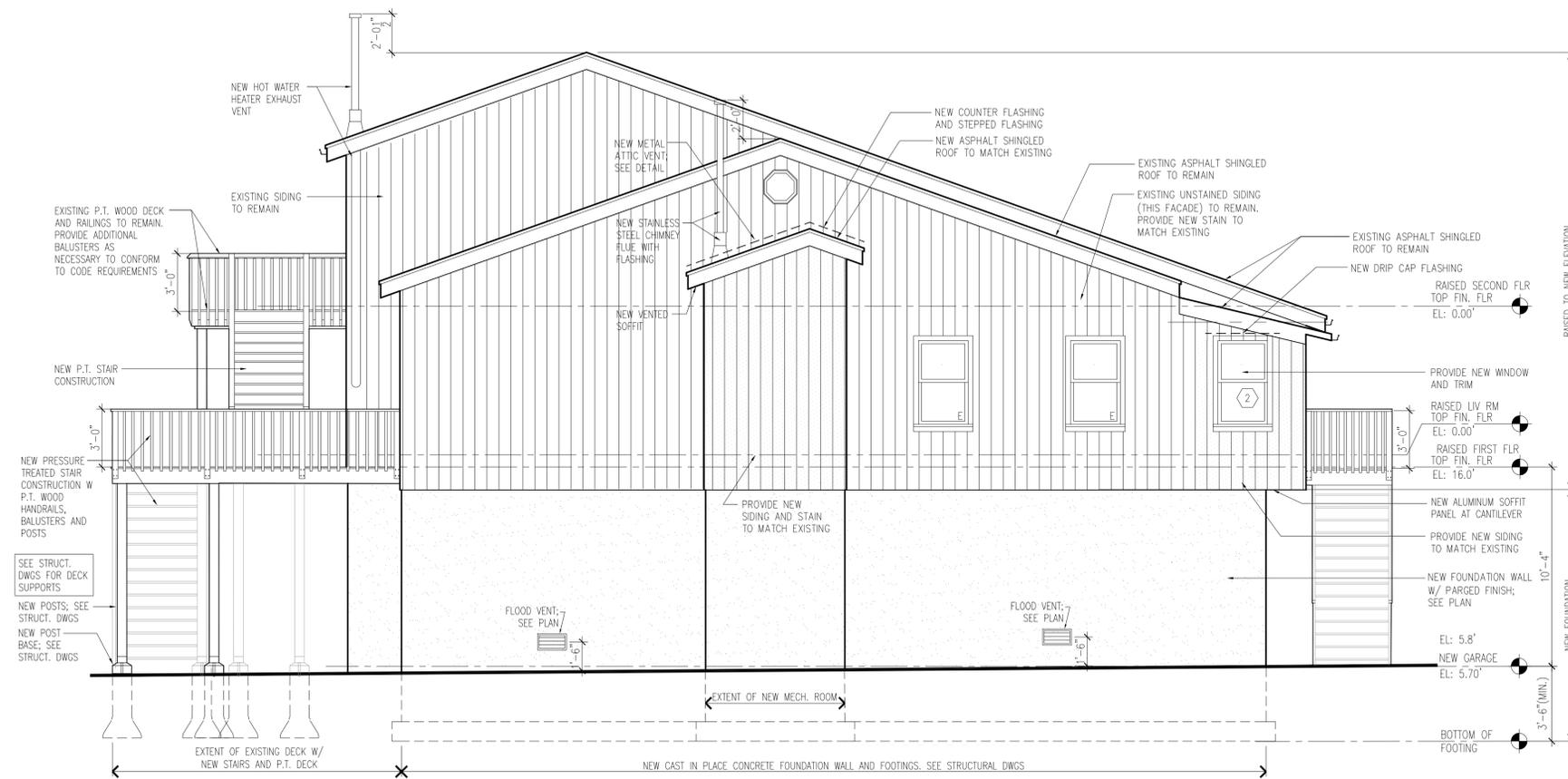
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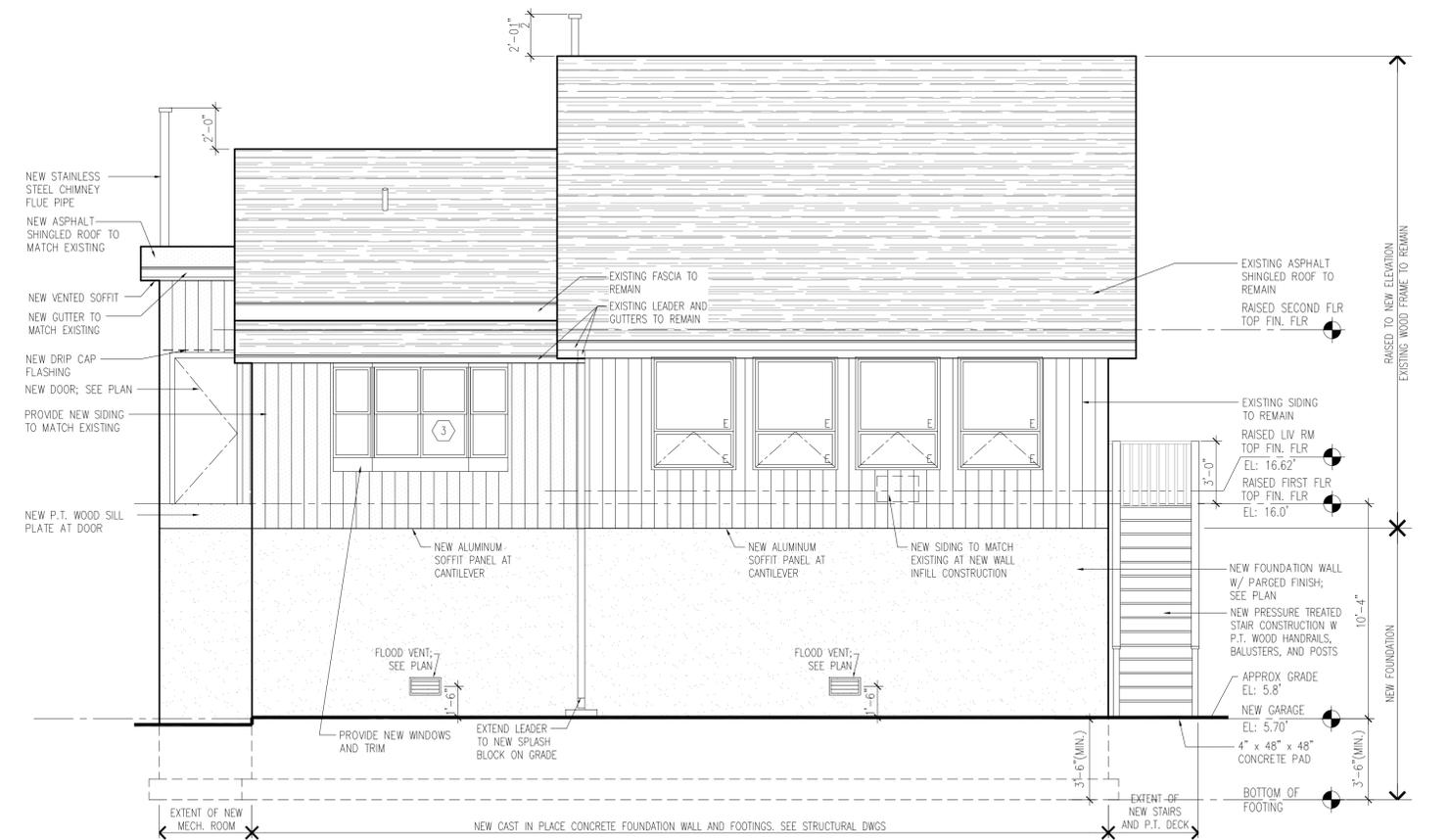
**SURVEYOR:**



**ENVIRONMENTAL ENGINEER:**



**3** ELEVATION - SOUTH  
 1/4" = 1'-0"



**4** ELEVATION - WEST  
 1/4" = 1'-0"

ISSUE NO.	ISSUE DATE	DESCRIPTION
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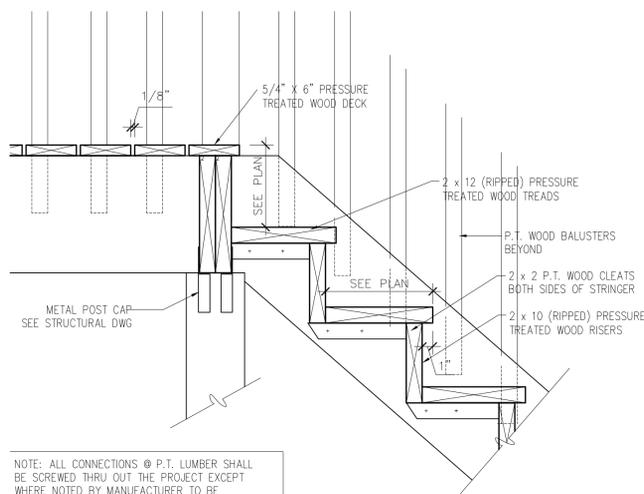
Application No. 1191  
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**BUILDING ELEVATIONS II**

PROJECT NO.: 1524-21 AS NOTED SCALE

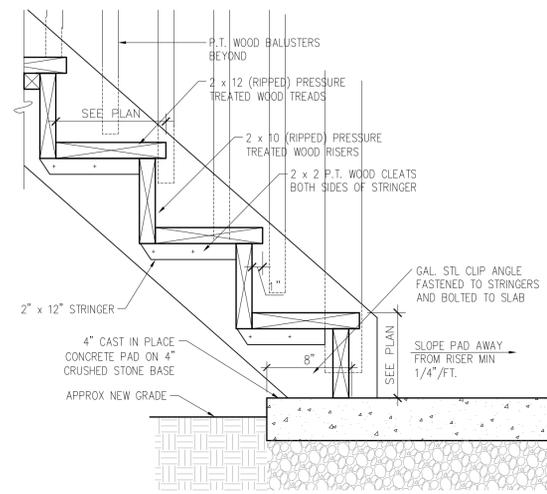
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**A-202**



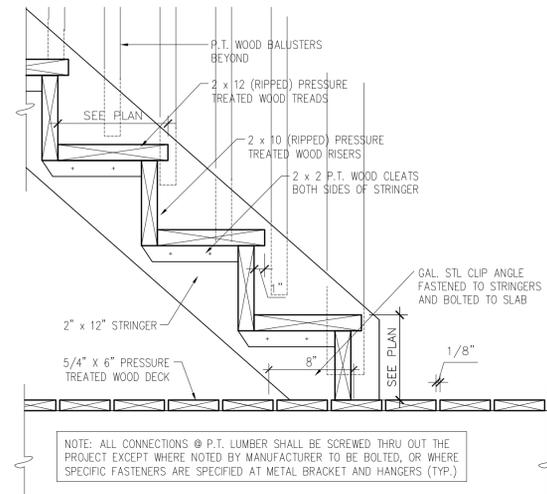
NOTE: ALL CONNECTIONS @ P.T. LUMBER SHALL BE SCREWED THRU OUT THE PROJECT EXCEPT WHERE NOTED BY MANUFACTURER TO BE BOLTED, OR WHERE SPECIFIC FASTENERS ARE SPECIFIED AT METAL BRACKET AND HANGERS (TYP.)

**1** EXTERIOR STAIR LANDING  
1 1/2" = 1'-0"



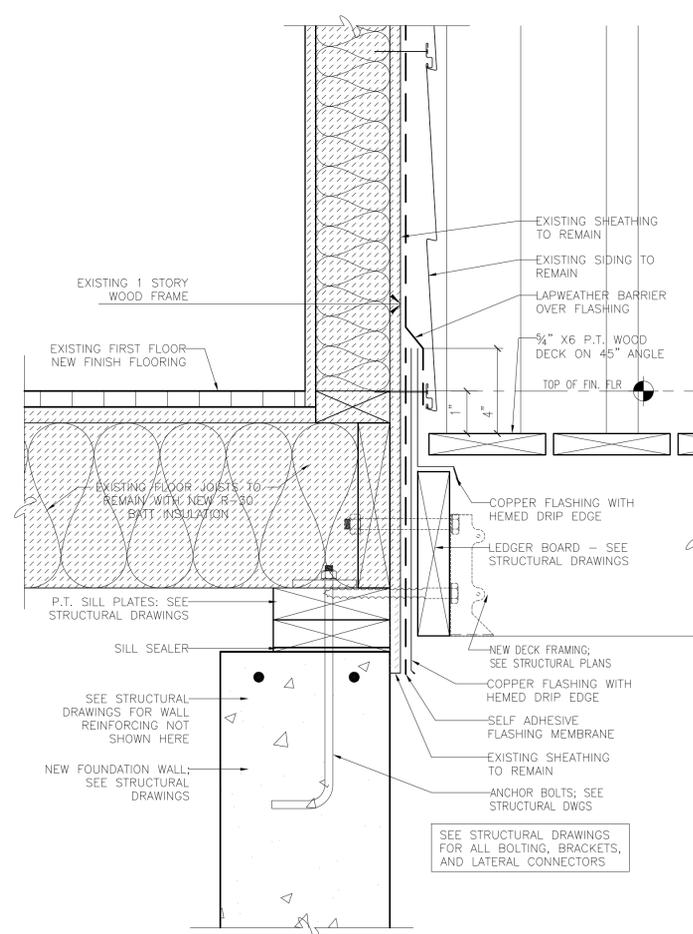
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**2** EXTERIOR STAIR DETAIL  
1 1/2" = 1'-0"

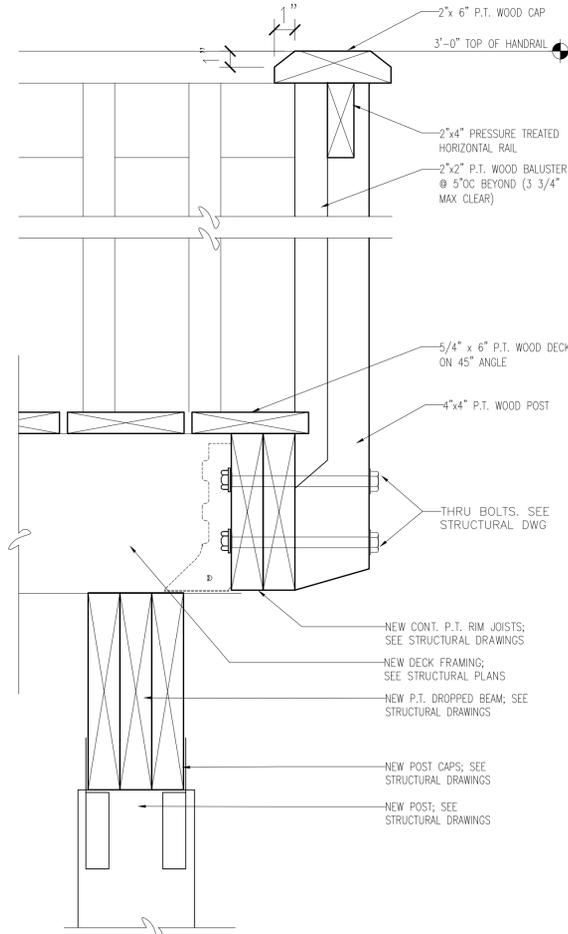


NOTE: ALL CONNECTIONS @ P.T. LUMBER SHALL BE SCREWED THRU OUT THE PROJECT EXCEPT WHERE NOTED BY MANUFACTURER TO BE BOLTED, OR WHERE SPECIFIC FASTENERS ARE SPECIFIED AT METAL BRACKET AND HANGERS (TYP.)

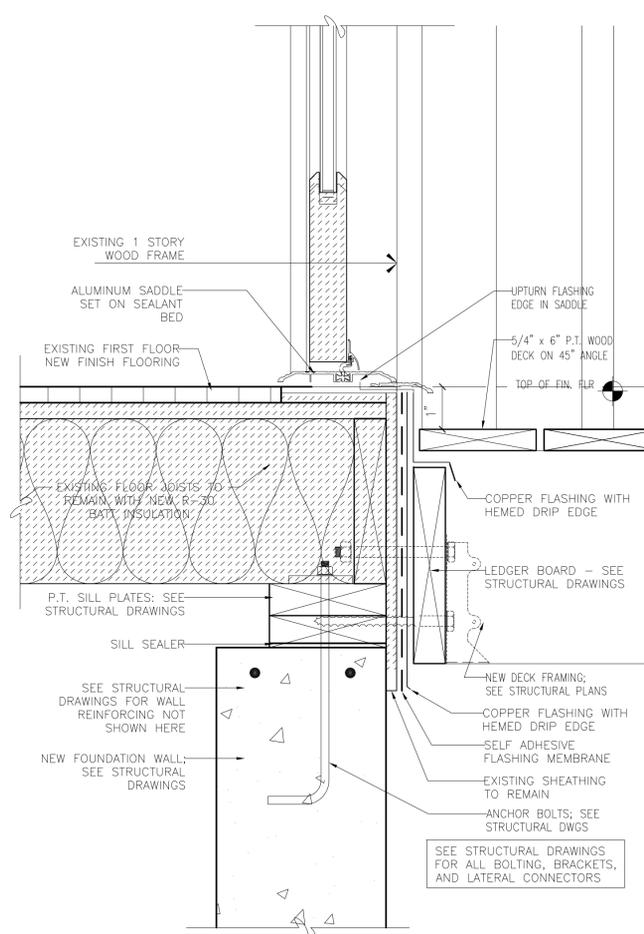
**3** EXTERIOR STAIR DETAIL  
1 1/2" = 1'-0"



**4** DECK DETAIL  
3" = 1'-0"



**5** DECK DETAIL  
3" = 1'-0"



**6** DECK DETAIL  
3" = 1'-0"

**STRUCTURAL ENGINEER:**



**SURVEYOR:**



**ENVIRONMENTAL ENGINEER:**



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MISCELLANEOUS DETAILS

PROJECT NO.: 1524-21 AS NOTED SCALE

DRAWING NO.:

**A-301**

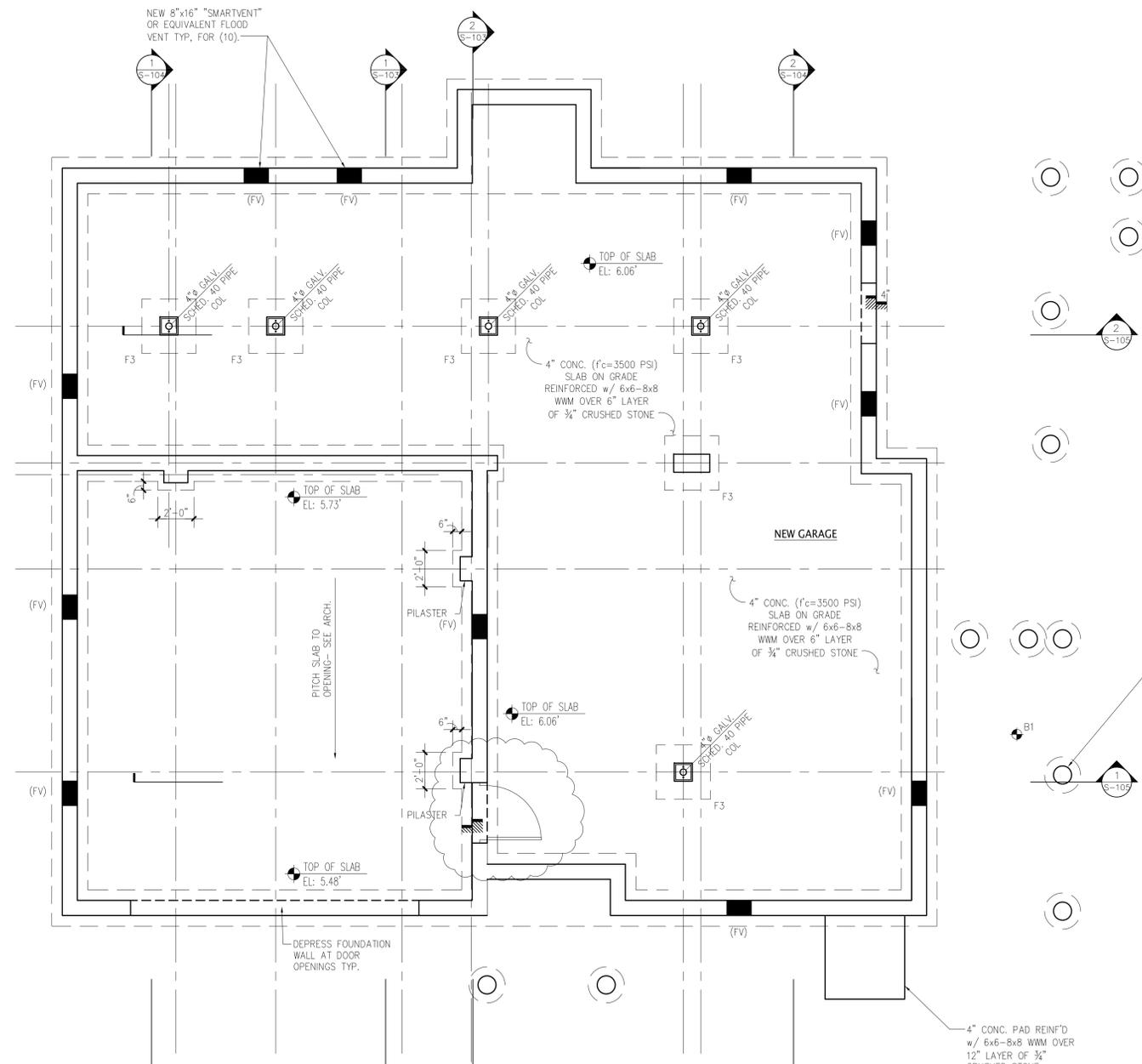
**STRUCTURAL ENGINEER:**



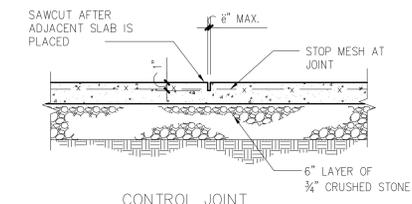
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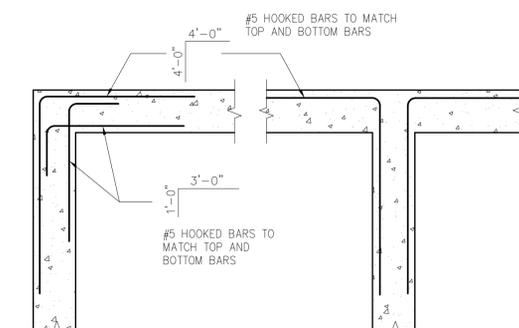
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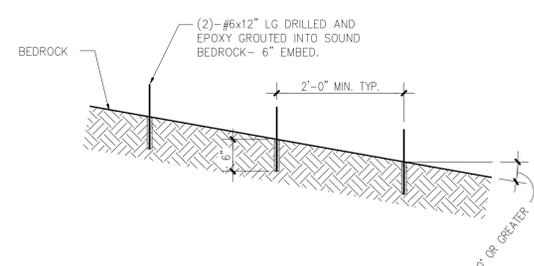
NOTE:  
WMM SHALL BE SUPPLIED IN SHEETS. ROLLS ARE NOT ACCEPTABLE. LAP MESH MIN OF 6" AND TIE ALL JOINTS.



**SLAB-ON-GRADE DETAILS**  
3/4" = 1'-0"



**CORNER WALL REINFORCING DETAIL**  
3/4" = 1'-0"



**DETAIL 1**  
3/4" = 1'-0"

DETAIL APPLIES BELOW NEW FOOTINGS WHERE BEDROCK SLOPE IS 10 DEGREES OR GREATER

**SMART VENT CALCULATION- HOUSE:**  
(1) 8"x16" SMART VENT REQUIRED PER 200 SF OF BUILDING AREA  
OVERALL FOUNDATION WALL FOOTPRINT AREA = 1950 SF  
1950 SF / 200 SF PER VENT = 9.75 VENTS  
USE (10) VENTS

**SMART VENT CALCULATION- GARAGE:**  
(1) 8"x16" SMART VENT REQUIRED PER 200 SF OF BUILDING AREA  
OVERALL FOUNDATION WALL FOOTPRINT AREA = 600 SF  
600 SF / 200 SF PER VENT = 3 VENTS  
USE (3) VENTS

**FOUNDATION PLAN**  
3/4" = 1'-0"

NOTE:  
1. FOOTINGS SHALL BEAR ON BEDROCK OR UNDISTURBED, VIRGIN SOIL FREE FROM WATER, MUD, SNOW, ICE OR DEBRIS.  
2. DESIGN ALLOWABLE SOIL BEARING PRESSURE = 4000 PSF.  
3. "FV" DENOTES 8"x16" "SMART VENT" OR EQUIVALENT, SEE DETAIL.  
4. "C.J." DENOTES SLAB CONTROL JOINT - SEE DETAIL.  
5. COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS AND SITE CONDITIONS.  
6. SEE SLOPED BEDROCK DETAIL ON THIS DRAWING.  
7. B-1 DESIGNATES SOIL BORING LOCATION, REFER TO SOIL BORING LOG, DRAWING S-106.

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**STRUCTURAL FOUNDATION PLAN**

PROJECT NO.: 1524-21 AS NOTED SCALE

DRAWING NO.:

**S-101**

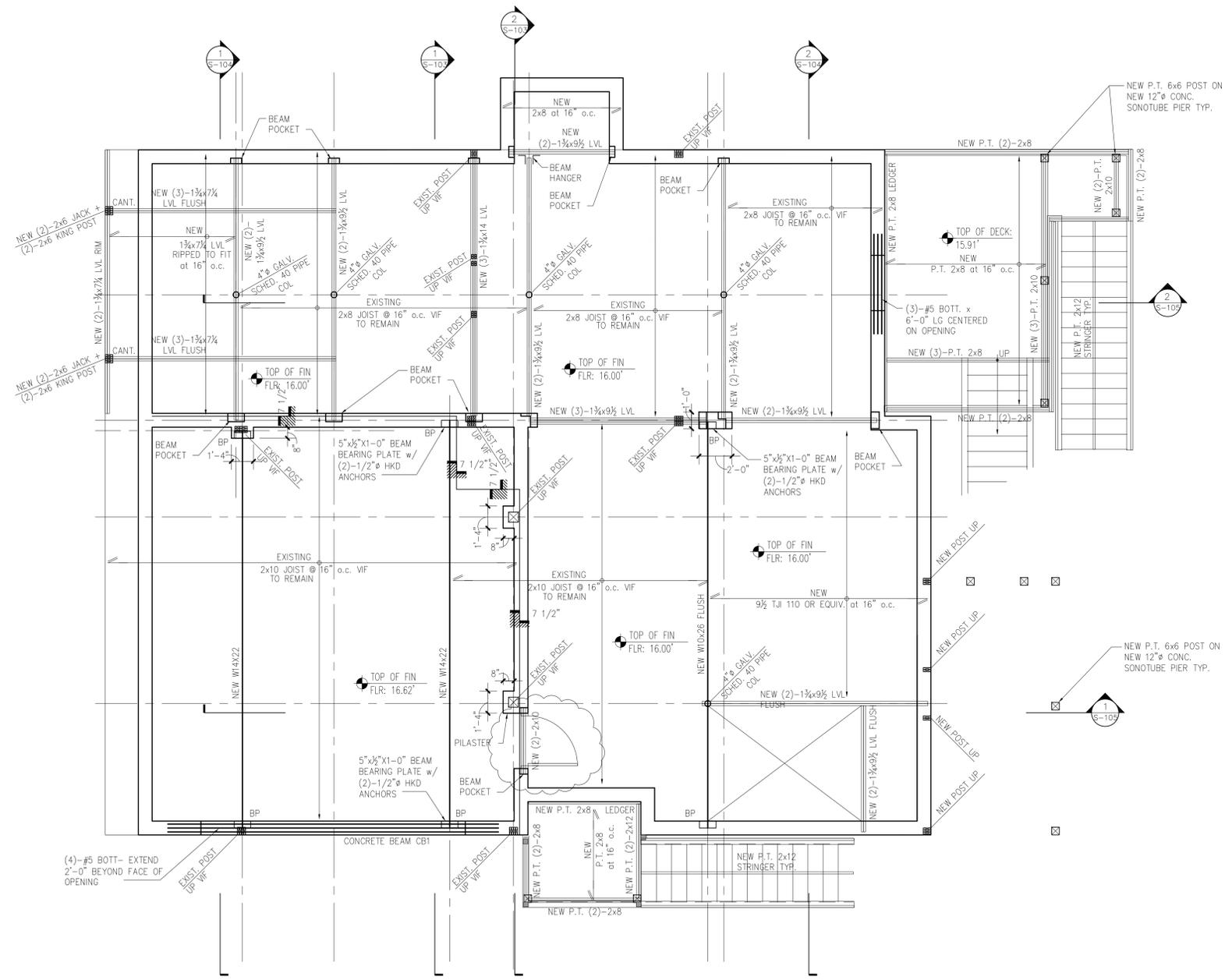
**STRUCTURAL ENGINEER:**



**SURVEYOR:**



**ENVIRONMENTAL ENGINEER:**



**FIRST FLOOR FRAMING PLAN**  
 1/4" = 1'-0"

"BP" DENOTES 5"x2"x1-0" BEAM BEARING PLATE w/ (2)-1/2" HKD ANCHORS

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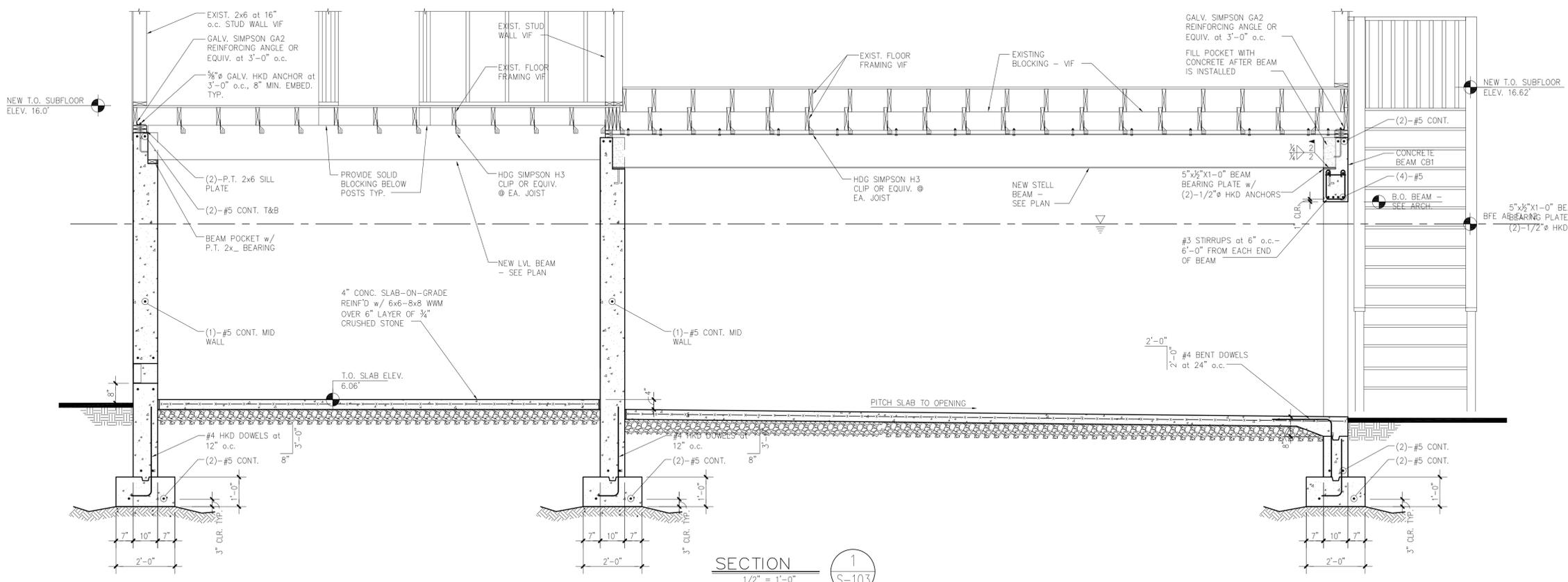
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**STRUCTURAL  
 FIRST FLOOR FRAMING PLAN**

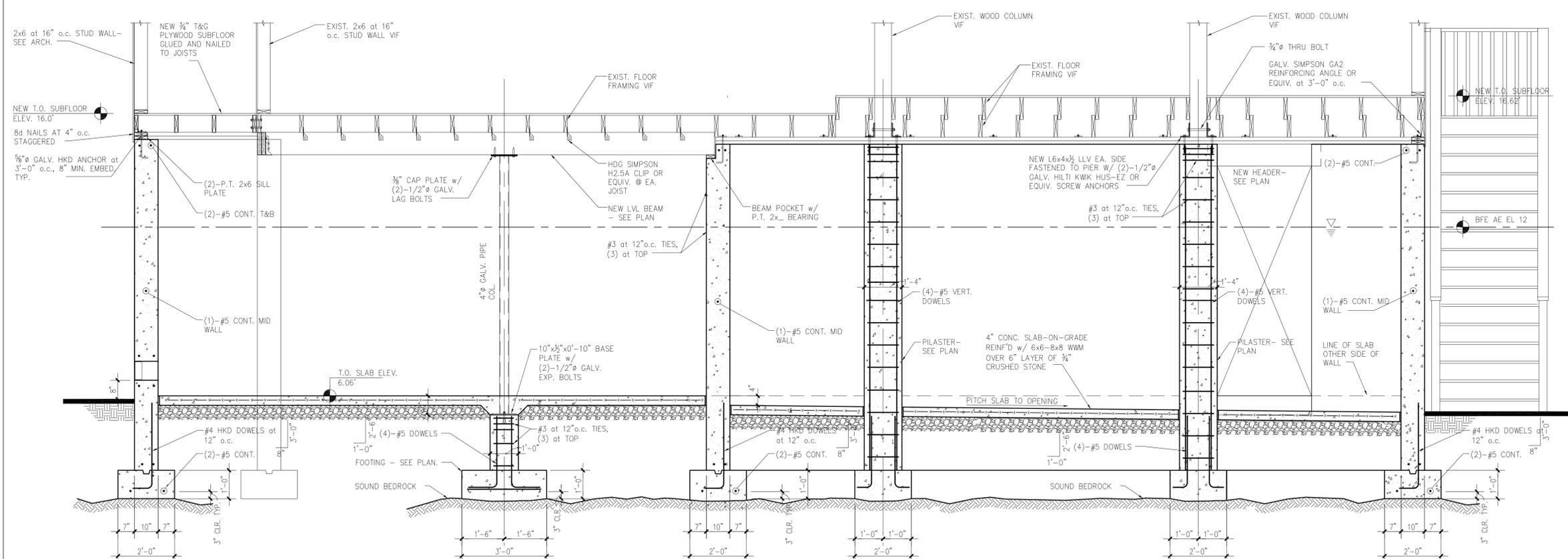
PROJECT NO.: 1524-21 AS NOTED SCALE

DRAWING NO.:

**S-102**



SECTION 1  
 1/2" = 1'-0"



SECTION 2  
 1/2" = 1'-0"

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## STRUCTURAL SECTIONS AND DETAILS

PROJECT NO.: 1524-21	AS NOTED	SCALE
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DRAWING NO.:

# S-103

**STRUCTURAL ENGINEER:**



**SURVEYOR:**



**ENVIRONMENTAL ENGINEER:**



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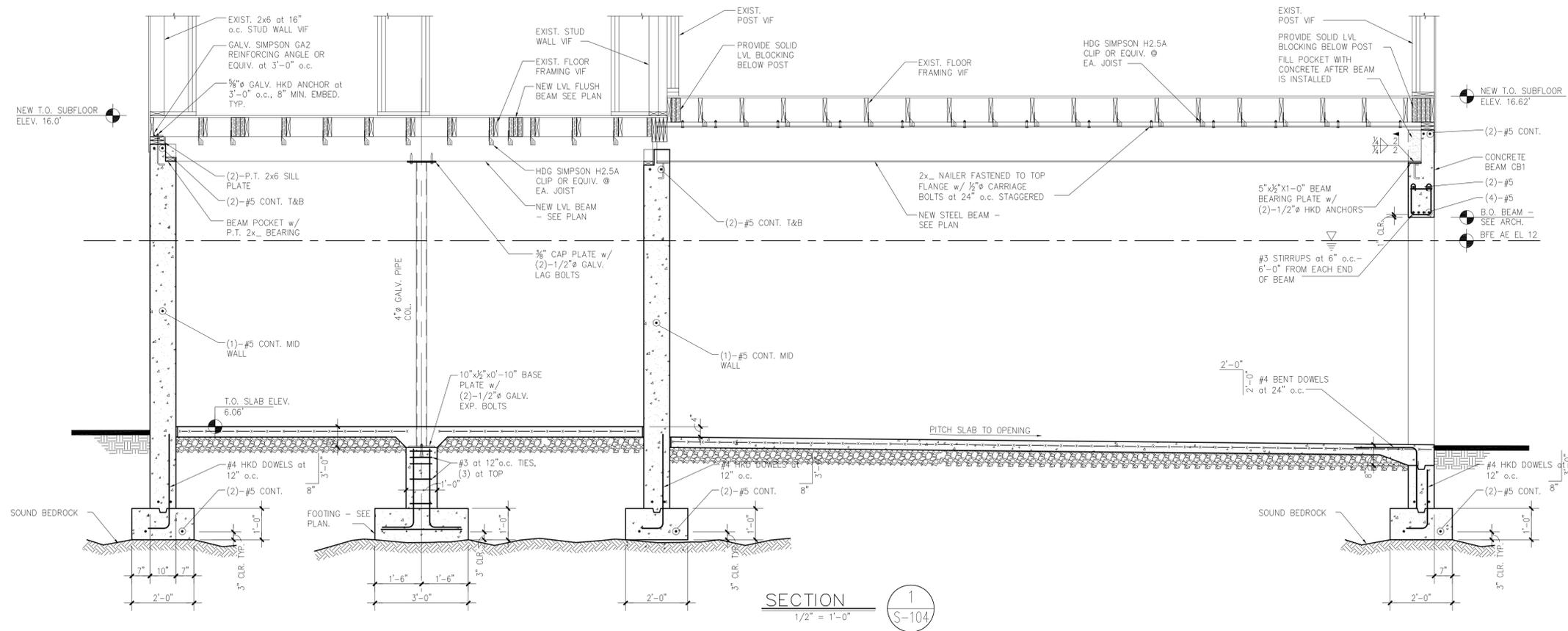
Application No. 1191  
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**STRUCTURAL  
 SECTIONS AND DETAILS**

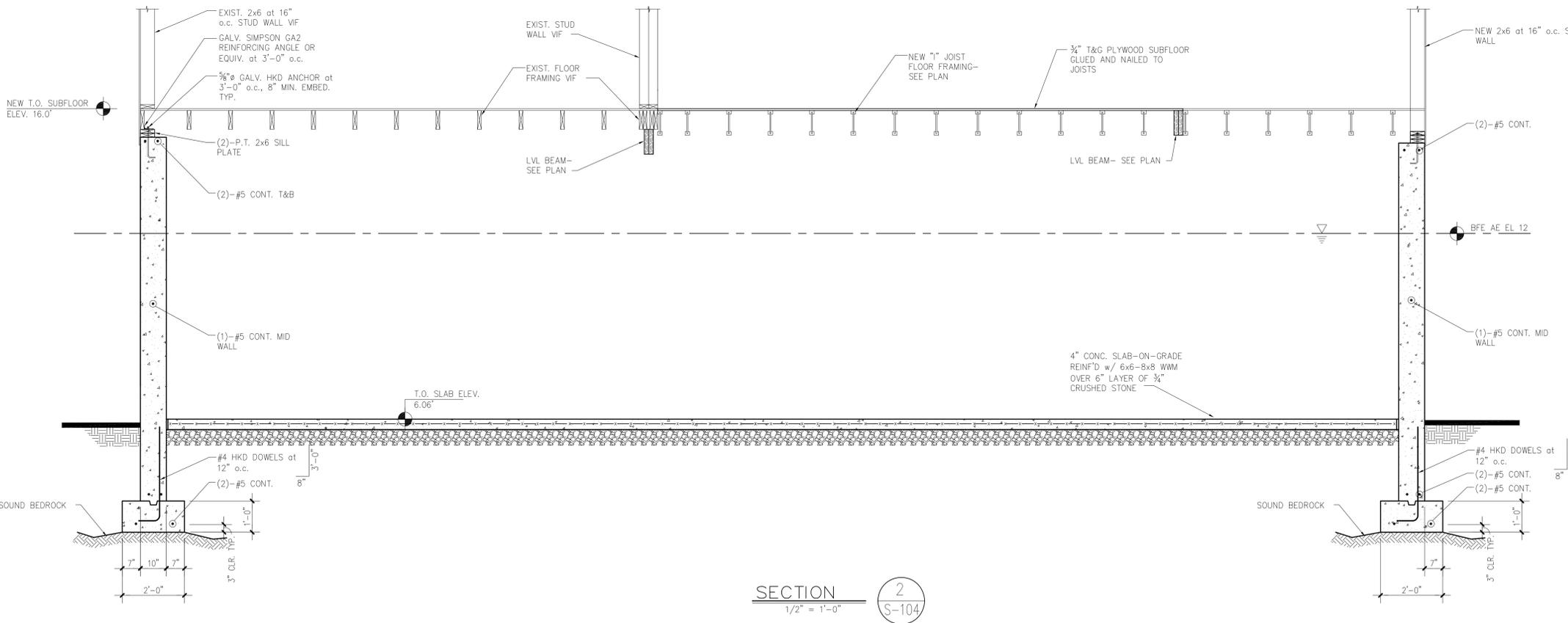
PROJECT NO.: 1524-21 AS NOTED SCALE

DRAWING NO.:

**S-104**



**SECTION 1**  
 1/2" = 1'-0"



**SECTION 2**  
 1/2" = 1'-0"

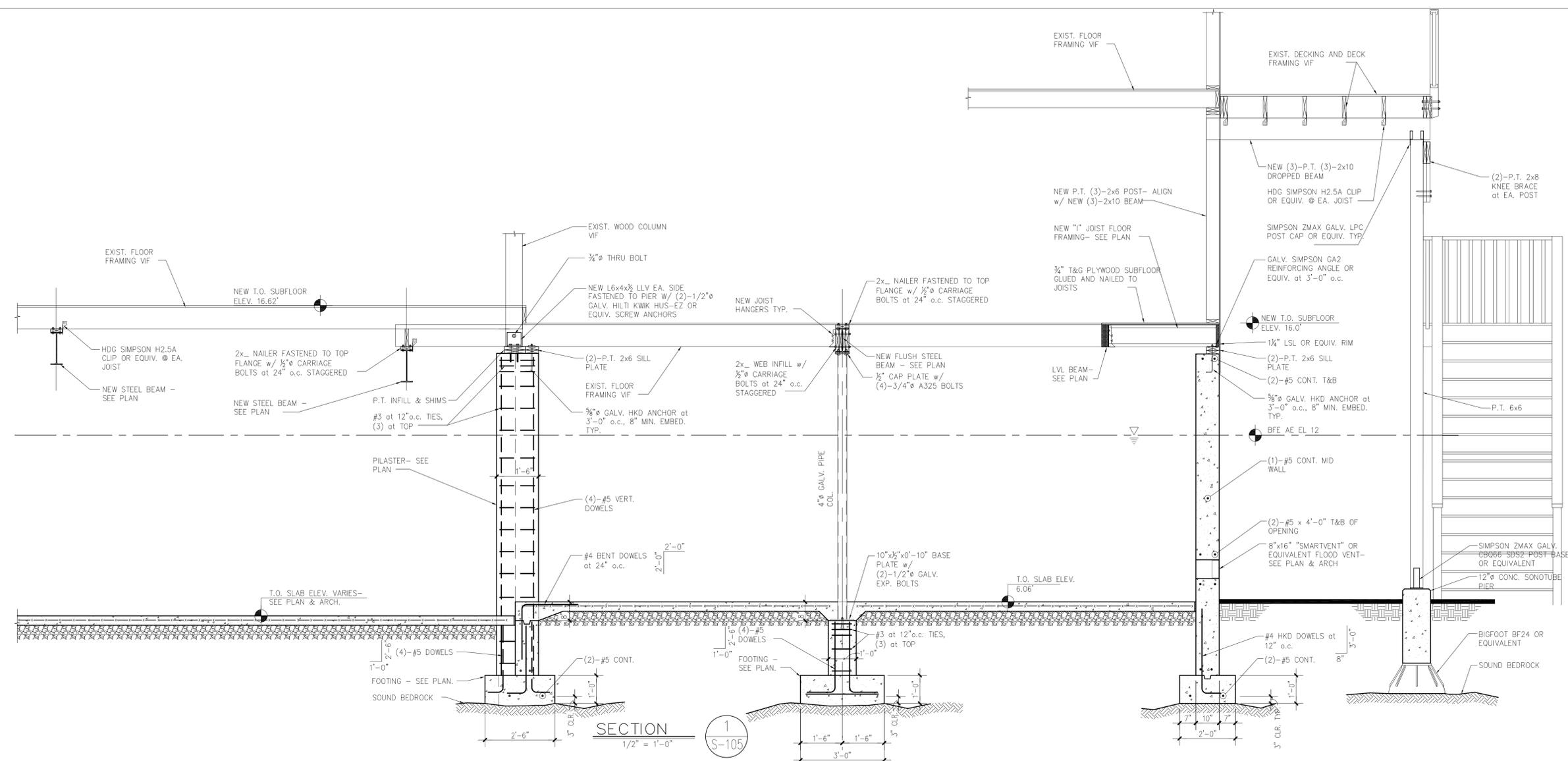
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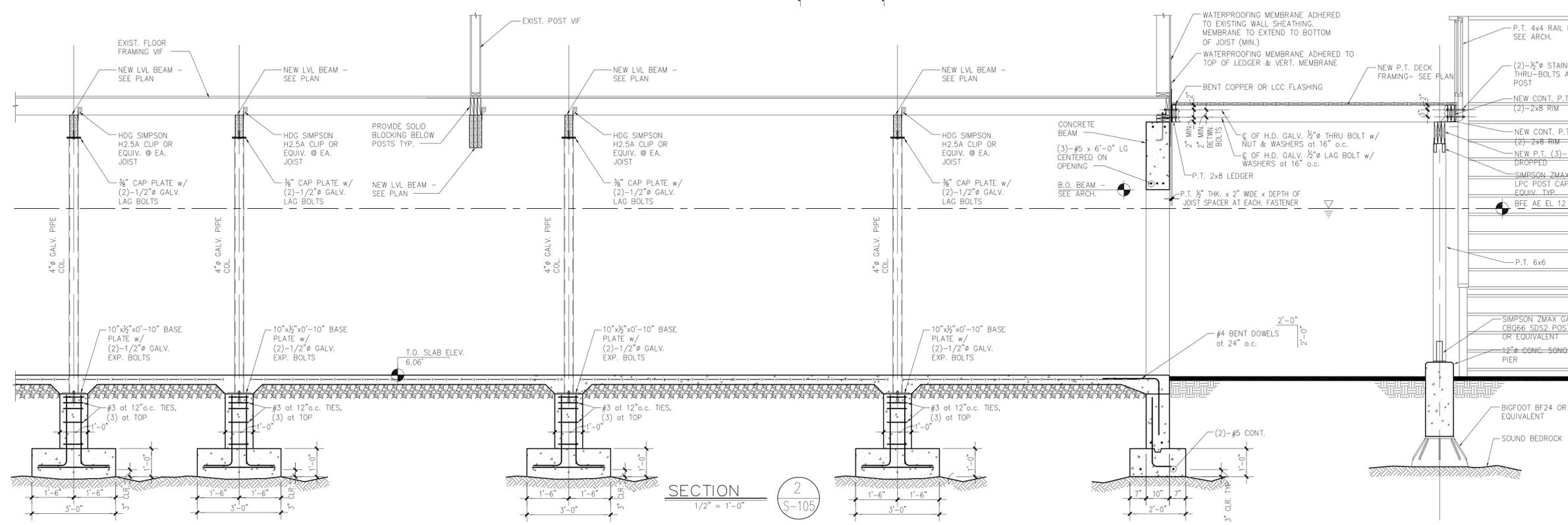
**SURVEYOR:**



**ENVIRONMENTAL ENGINEER:**



**SECTION 1**  
 1/2" = 1'-0"  
 S-105



**SECTION 2**  
 1/2" = 1'-0"  
 S-105

**State Of Connecticut  
 Department Of Housing**  
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**STRUCTURAL  
 SECTIONS AND DETAILS**

PROJECT NO.: 1524-21 AS NOTED SCALE

DRAWING NO.:

**S-105**

