

**STATE OF CT DEPARTMENT OF HOUSING (DOH)
COMMUNITY DEVELOPMENT BLOCK GRANT DISASTER RECOVERY PROGRAM (CDBG-DR)
OWNER-OCCUPIED REHABILITATION AND REBUILDING PROGRAM (OORR)**

For the Rehabilitation/Reconstruction work to:

**Project #1168, Little Residence
12 Park Lane, Norwalk, CT 06854**

ADDENDUM NUMBER 3

Issue Date: 7/01/15

Addendum Content:

1. Project Scope Clarification
2. Section 5 Bill of Materials/Quantities/Site Photos
3. Section 6 Contractor Bid Breakdown
4. Addendum Acknowledgement to be submitted with contractor's bid proposal

ACKNOWLEDGEMENT of all Addenda must be submitted with the contractor's bid proposal.

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Issue Date: 7/01/15

Project Scope Clarification

1. Skylight replacement as indicated on drawings is to be removed from project scope
2. Interior painting has been removed from scope. (dining and master bedroom)
3. Plywood flooring to be added to mechanical room in attic, ¾ inch CDX
4. 2x4 partition walls and sheathing added to mechanical room
5. PCB abatement removed from scope
6. Roof sheathing is 5/8 inch CDX. Spec on drawing A-2.0 is incorrect
7. Oil tank to be removed by homeowner prior to construction start
8. Cesspool removal included within scope

The enclosed Section 5 Bill of Materials/Quantities/Site Photos and Section 6 Contractor Bid Breakdown replace the corresponding documents contained within the Bid Package. Use the enclosed for bid submission.

Revisions to drawings will occur for permitting set only.

ACKNOWLEDGEMENT of all Addenda must be submitted with the contractor's bid proposal.

Section 5

Bill of Materials/Quantities/Site Photos

1168-LITTLE_R

General

DESCRIPTION	QNTY
1. Dumpster load - Approx. 30 yards, 5-7 tons of debris	4.00 EA
2. Demolish/remove detached garage	1.00 LS
3. Project Supervision	1.00 LS
4. R&R Temporary power - overhead hookup	1.00 EA
5. Temporary Protection	1.00 LS
Temporary protection of all finishes within the home. It is the contractors responsibility to protect all finishes within the home. The scope within is very limited.	
6. Temporary toilet (per month)	6.00 MO
 4/24/2014 IMG_9107	
 4/24/2014 IMG_9108	
 4/24/2014 IMG_9109	
 4/24/2014 IMG_9110	
 4/24/2014 IMG_9111	
 4/24/2014 IMG_9113	
 4/24/2014 IMG_9114	

NOTES:

Elevate Structure

DESCRIPTION	QNTY
7. Elevate Structure	1.00 LS
Elevate Structure to allow new foundation to be placed. Includes disconnecting utilities and everything associated with lifting the structure initially and setting the structure after the new foundation has been placed.	

CONTINUED - Elevate Structure

DESCRIPTION	QNTY
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NOTES:

Site Work

DESCRIPTION	QNTY
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8. Asphalt paving	240.00 SF
9. Curb	40.00 LF
10. Loader and operator Removal of driveway and various other site activities.	16.00 HR
11. Gravel (per CY)	30.00 CY
12. Cess pool removal	1.00 LS
13. General Laborer - per hour Final Site Clean-up. Rake and seed, materials and labor.	16.00 HR
14. Erosion Controls Per Engineers Specification.	1.00 EA

NOTES:

Foundation

DESCRIPTION	QNTY
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15. Concrete Foundations	1.00 LS
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CONTINUED - Foundation

DESCRIPTION	QNTY
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Includes everything associated with the building foundation. Demo, Prep, Footers, Piers, Etc. See drawings for detail.

NOTES:

Decks/Entrances

DESCRIPTION	QNTY
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16. Provide Exterior Decks and Entrances Per Specification	1.00 LS
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NOTES:

Exterior

DESCRIPTION	QNTY
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17. Paint exterior Trim and wood siding	1.00 LS
18. Gutter / downspout - aluminum - up to 5"	25.00 LF

NOTES:

Mechanicals

DESCRIPTION	QNTY
19. Electrical Per Specifications	1.00 LS
20. Construction of new MEP room within attic Complete	1.00 LS
21. HVAC Per Specification	1.00 EA
22. Plumbing Per Specifications	1.00 LS

NOTES:

Attic

DESCRIPTION	QNTY
23. Stud wall - 2" x 4" - 16" oc Partition wall framing	40.00 LF
24. Sheathing - plywood - 1/2" CDX Partition wall plywood	120.00 SF
25. Sheathing - plywood - 3/4" CDX Mechanical room flooring	225.00 SF
26. Sprayed polyurethane foam	1675.00 SF
27. Paint attic with Intumescent paint DC 315 or equiv.	1675.00 EA

NOTES:

Roofing

DESCRIPTION	QNTY
28. Roof Framing	1.00 LS
29. R&R Drip edge	182.00 LF
30. R&R Chimney flashing - average (32" x 36")	1.00 EA
31. R&R Flashing - pipe jack	2.00 EA
32. Additional charge for high roof (2 stories or greater)	16.75 SQ
33. Remove Additional charge for high roof (2 stories or greater)	16.75 SQ
34. 3 tab 25 yr comp shng. w/felt - per ind. material source	18.67 SQ
35. Remove 3 tab 25 yr comp shng. w/felt - per ind. material source	16.75 SQ

NOTES:

Under Structure

DESCRIPTION	QNTY
36. 5/8" Dens Glass - Water, Mold and Fire Resistant	950.00 SF
37. Structural Repairs, Framing	1.00 LS
38. Sprayed polyurethane foam	1000.00 SF
39. Metal flashing	1.00 LS

NOTES:

Asbestos Abatement

DESCRIPTION	QNTY
40. Asbestos Abatement Per Specification See Environmental Report	1.00 LS

CONTINUED - Asbestos Abatement

DESCRIPTION	QNTY
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NOTES:

Lead Abatement

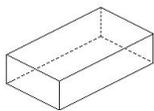
DESCRIPTION	QNTY
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41. Lead Abatement Per Specification See Environmental Report	1.00 LS
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NOTES:

Dining Room

LxWxH 12' 7" x 9' 1" x 8'



346.67 SF Walls	114.30 SF Ceiling
460.97 SF Walls & Ceiling	114.30 SF Floor
12.70 SY Flooring	43.33 LF Floor Perimeter
100.67 SF Long Wall	72.67 SF Short Wall
43.33 LF Ceil. Perimeter	

DESCRIPTION	QNTY
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42. Drywall Repair, Including materials	1.00 LS
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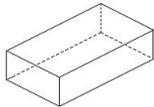
CONTINUED - Dining Room

DESCRIPTION	QNTY
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NOTES:

Master Bedroom

LxWxH 13' 9" x 11' 6" x 8'



404.00 SF Walls	158.13 SF Ceiling
562.13 SF Walls & Ceiling	158.13 SF Floor
17.57 SY Flooring	50.50 LF Floor Perimeter
110.00 SF Long Wall	92.00 SF Short Wall
50.50 LF Ceil. Perimeter	

DESCRIPTION	QNTY
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43. Drywall Repair, Including materials	1.00 LS
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NOTES:

Grand Total Areas:

750.67 SF Walls	272.42 SF Ceiling	1,023.09 SF Walls and Ceiling
272.42 SF Floor	30.27 SY Flooring	93.83 LF Floor Perimeter
210.67 SF Long Wall	164.67 SF Short Wall	93.83 LF Ceil. Perimeter



1 IMG_9107

Date Taken: 4/24/2014

Taken By: Merritt Staff Estimator



2 IMG_9108

Date Taken: 4/24/2014

Taken By: Merritt Staff Estimator



3 IMG_9109

Date Taken: 4/24/2014

Taken By: Merritt Staff Estimator



4 IMG_9110

Date Taken: 4/24/2014

Taken By: Merritt Staff Estimator



5

IMG_9111

Date Taken: 4/24/2014

Taken By: Merritt Staff Estimator



6 IMG_9113

Date Taken: 4/24/2014

Taken By: Merritt Staff Estimator



7 IMG_9114

Date Taken: 4/24/2014

Taken By: Merritt Staff Estimator

Section 6

Contractor Bid Breakdown

1168-LITTLE_R

Room: General

DESCRIPTION	QNTY	UNIT COST	TOTAL
1. Remove Dumpster load - Approx. 30 yards, 5-7 tons of debris	4.00 EA		[]
2. Remove Demolish/remove detached garage	1.00 LS		[]
3. Replace Project Supervision	1.00 LS		[]
4. Replace Temporary power - overhead hookup	1.00 EA		[]
5. Remove Temporary power - overhead hookup	1.00 EA		[]
6. Replace Temporary Protection	1.00 LS		[]
Temporary protection of all finishes within the home. It is the contractors responsibility to protect all finishes within the home. The scope within is very limited.			
7. Replace Temporary toilet (per month)	6.00 MO		[]
ITEM TOTAL - General:		=	

Room: Elevate Structure

DESCRIPTION	QNTY	UNIT COST	TOTAL
1. Replace Elevate Structure	1.00 LS		[]
Elevate Structure to allow new foundation to be placed. Includes disconnecting utilities and everything associated with lifting the structure initially and setting the structure after the new foundation has been placed.			
ITEM TOTAL - Elevate Structure:		=	

Room: Site Work

DESCRIPTION	QNTY	UNIT COST	TOTAL
1. Replace Asphalt paving	240.00 SF	_____ = _____	[]
2. Replace Curb	40.00 LF	_____ = _____	[]
3. Replace Loader and operator	16.00 HR	_____ = _____	[]
Removal of driveway and various other site activities.			
4. Replace Gravel (per CY)	30.00 CY	_____ = _____	[]
5. Replace Cess pool removal	1.00 LS	_____ = _____	[]
6. Replace General Laborer - per hour	16.00 HR	_____ = _____	[]
Final Site Clean-up. Rake and seed, materials and labor.			
7. Replace Erosion Controls	1.00 EA	_____ = _____	[]
Per Engineers Specification.			
ITEM TOTAL - Site Work:		= _____	

Room: Foundation

DESCRIPTION	QNTY	UNIT COST	TOTAL
1. Replace Concrete Foundations	1.00 LS	_____ = _____	[]
Includes everything associated with the building foundation. Demo, Prep, Footers, Piers, Etc. See drawings for detail.			
ITEM TOTAL - Foundation:		= _____	

Room: Decks/Entrances

DESCRIPTION	QNTY	UNIT COST	TOTAL
1. Replace Provide Exterior Decks and Entrances Per Specification	1.00 LS	_____	= _____ []
ITEM TOTAL - Decks/Entrances:			= _____

Room: Exterior

DESCRIPTION	QNTY	UNIT COST	TOTAL
1. Replace Paint exterior Trim and wood siding	1.00 LS	_____	= _____ []
2. Replace Gutter / downspout - aluminum - up to 5"	25.00 LF	_____	= _____ []
ITEM TOTAL - Exterior:			= _____

Room: Mechanicals

DESCRIPTION	QNTY	UNIT COST	TOTAL
1. Replace Electrical Per Specifications	1.00 LS	_____	= _____ []
2. Replace Construction of new MEP room within attic Complete	1.00 LS	_____	= _____ []
3. Replace HVAC Per Specification	1.00 EA	_____	= _____ []
4. Replace Plumbing Per Specifications			

1.00 LS _____ = _____ []

ITEM TOTAL - Mechanicals: _____ = _____

Room: Attic

DESCRIPTION	QNTY	UNIT COST	TOTAL
1. Replace Stud wall - 2" x 4" - 16" oc Partition wall framing	40.00 LF	_____	_____ []
2. Replace Sheathing - plywood - 1/2" CDX Partition wall plywood	120.00 SF	_____	_____ []
3. Replace Sheathing - plywood - 3/4" CDX Mechanical room flooring	225.00 SF	_____	_____ []
4. Replace Sprayed polyurethane foam	1,675.00 SF	_____	_____ []
5. Replace Paint attic with Intumescent paint DC 315 or equiv.	1,675.00 EA	_____	_____ []
ITEM TOTAL - Attic:			_____ = _____

Room: Roofing

DESCRIPTION	QNTY	UNIT COST	TOTAL
1. Replace Roof Framing	1.00 LS	_____	_____ []
2. Replace Drip edge	182.00 LF	_____	_____ []
3. Remove Drip edge			

	182.00 LF	_____	=	_____	[]
4. Replace Chimney flashing - average (32" x 36")	1.00 EA	_____	=	_____	[]
5. Remove Chimney flashing - average (32" x 36")	1.00 EA	_____	=	_____	[]
6. Replace Flashing - pipe jack	2.00 EA	_____	=	_____	[]
7. Remove Flashing - pipe jack	2.00 EA	_____	=	_____	[]
8. Replace Additional charge for high roof (2 stories or greater)	16.75 SQ	_____	=	_____	[]
9. Remove Additional charge for high roof (2 stories or greater)	16.75 SQ	_____	=	_____	[]
10. Replace 3 tab 25 yr comp shng. w/felt - per ind. material source	18.67 SQ	_____	=	_____	[]
11. Remove 3 tab 25 yr comp shng. w/felt - per ind. material source	16.75 SQ	_____	=	_____	[]
ITEM TOTAL - Roofing:			=	_____	

Room: Under Structure

DESCRIPTION	QNTY	UNIT COST	TOTAL
1. Replace 5/8" Dens Glass - Water, Mold and Fire Resistant	950.00 SF	_____	= _____ []
2. Replace Structural Repairs, Framing	1.00 LS	_____	= _____ []
3. Replace Sprayed polyurethane foam	1,000.00 SF	_____	= _____ []
4. Replace Metal flashing	1.00 LS	_____	= _____ []
ITEM TOTAL - Under Structure:			= _____

Room: Asbestos Abatement

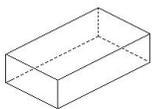
DESCRIPTION	QNTY	UNIT COST	TOTAL
1. Replace Asbestos Abatement Per Specification	1.00 LS	_____	= _____ []
See Environmental Report			
ITEM TOTAL - Asbestos Abatement:			= _____

Room: Lead Abatement

DESCRIPTION	QNTY	UNIT COST	TOTAL
1. Replace Lead Abatement Per Specification	1.00 LS	_____	= _____ []
See Environmental Report			
ITEM TOTAL - Lead Abatement:			= _____

Room: Dining Room

LxWxH 12' 7" x 9' 1" x 8'

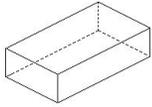


346.67 SF Walls	114.30 SF Ceiling
460.97 SF Walls & Ceiling	114.30 SF Floor
12.70 SY Flooring	43.33 LF Floor Perimeter
100.67 SF Long Wall	72.67 SF Short Wall
43.33 LF Ceil. Perimeter	

DESCRIPTION	QNTY	UNIT COST	TOTAL
1. Replace Drywall Repair, Including materials	1.00 LS	_____	= _____ []
ITEM TOTAL - Dining Room:			= _____

Room: Master Bedroom

LxWxH 13' 9" x 11' 6" x 8'



404.00 SF Walls
562.13 SF Walls & Ceiling
17.57 SY Flooring
110.00 SF Long Wall
50.50 LF Ceil. Perimeter

158.13 SF Ceiling
158.13 SF Floor
50.50 LF Floor Perimeter
92.00 SF Short Wall

DESCRIPTION

QNTY

UNIT COST

TOTAL

1. Replace Drywall Repair, Including materials

1.00 LS

= _____ []

ITEM TOTAL - Master Bedroom:

= _____

Total Bid: _____

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OWNER-OCCUPIED REHABILITATION AND REBUILDING PROGRAM (OORR)**

For the Rehabilitation/Reconstruction work to:

**Project #1168, Little Residence
12 Park Lane, Norwalk, CT 06854**

ADDENDUM ACKNOWLEDGEMENT

Addendum No.	Issue Date
1.	6/30/15
2.	7/01/15
3.	7/01/15
4.	
5.	

ACKNOWLEDGEMENT of all Addenda must be submitted with the contractor's bid proposal.

Bidder's Name: _____

Authorized Officer:

(Signature)

(Date)

(Print Name)

(Title/Position)