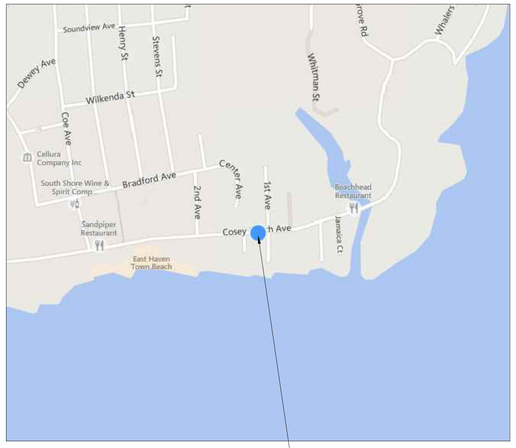
STATE OF CONNECTICUT DEPARTMENT OF HOUSING
CDBG-COMMUNITY DEVELOPMENT BLOCK GRANT
SUPERSTORM SANDY DISASTER RECOVERY PROGRAM

AREA MAP



REBID

SPONSOR
State of Connecticut
Department of Housing
505 Hudson Street
Hartford, Connecticut 06106

OWNER
Application No. 1129
Pasquale & Marie Capozzo
60 Cosey Beach Ave
East Haven, Connecticut 06512

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STRUCTURAL ENGINEER:
Cuoco Structural Engineers, LLC
60 Katona Drive, Fairfield, Connecticut 06824

SURVEYOR:
Freeman Companies, LLC
36 John Street, Hartford, Connecticut 06106

GENERAL NOTES

1. DO NOT OBSTRUCT ACCESS TO THE SITE.
2. PROTECT ALL AREAS FROM FALLING DEBRIS.
3. MAINTAIN ALL EXISTING SITE ELEMENTS (PAVING, FENCES, BUILDINGS, ETC.) AND PLANTINGS & LAWNS. CONTRACTOR SHALL REPLACE OR REPAIR ALL DAMAGE, AT THE CONTRACTORS EXPENSE.
4. MAINTAIN A SECURED AREA FOR ALL CONSTRUCTION MATERIALS & EQUIPMENT STORED ON SITE.
5. PROVIDE TARPED DUMPSTER FOR REMOVAL OF ALL RUBBISH AND CONSTRUCTION DEBRIS. DUMPSTER SHOULD BE ADEQUATELY PROTECTED DURING PROJECT. CONTRACTOR IS RESPONSIBLE FOR ALL TRASH PLACED IN AND AROUND DUMPSTER. DUMPSTER PERMIT COSTS TO BE INCLUDED IN THE BASE BID.
6. WORK SHALL COMPLY WITH ALL STATE & LOCAL CODES, REGULATIONS AND ORDINANCES.
7. AT PROJECT COMPLETION, REMOVE ALL CONSTRUCTION DEBRIS AND PATCH/REPAIR ALL SURFACES DAMAGED BY CONTRACTOR ACTIVITIES. THOROUGHLY CLEAN ALL WORK AREAS OF ALL DEBRIS RESULTING FROM WORK OF THIS CONTRACT.
8. DISCONNECT AND RECONNECT ALL UTILITIES AS REQUIRED. COORDINATE WITH UTILITY COMPANIES AND AUTHORITIES HAVING JURISDICTION.
9. SEE PROJECT MANUAL FOR OTHER REQUIRED INFORMATION.

DRAWING LIST

ARCHITECTURAL

G-001 COVER SHEET
G-002 SITE PLAN AND ZONING DATA
AD-101 FOUNDATION AND FIRST FLOOR DEMOLITION PLANS
AD-102 SECOND FLOOR DEMOLITION PLAN
AD-201 DEMOLITION BUILDING ELEVATIONS
A-101 FOUNDATION AND FIRST FLOOR PLANS
A-102 SECOND FLOOR AND ATTIC PLANS
A-201 BUILDING ELEVATIONS I
A-202 BUILDING ELEVATIONS II AND DETAILS
A-301 BUILDING SECTION AND DETAILS

STRUCTURAL

S-101 FOUNDATION PLAN, FIRST FLOOR FRAMING PLAN
S-102 BALCONY FRAMING PLAN, EXIST. ATTIC AND SECOND FLOOR FRAMING PLAN, SECTIONS
S-103 STRUCTURAL SECTIONS
S-104 TYPICAL STRUCTURAL SECTIONS
S-105 STRUCTURAL NOTES AND BORING LOGS

ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	HORIZ	HORIZONTAL
ADJ	ADJACENT	HWH	HOT WATER HEATER
ALUM	ALUMINUM	JB	JUNCTION BOX
APPROX	APPROXIMATE	LDR	LEADER
ARCH	ARCHITECTURAL	LO	LINE OF
BTM	BOTTOM	LVL	LAMINATE VENEER LUMBER
B.O.	BOTTOM OF	MAX	MAXIMUM
CJ	CEILING JOISTS	MC	MEDICINE CABINET
CL	CENTERLINE	MI	MIRRORED MEDICINE CABINET
CLOS	CLOSET	MIN	MINIMUM
CMU	CONCRETE MASONRY UNIT	MO	MASONRY OPENING
COL	COLUMN	MV	MICROWAVE
CONC	CONCRETE	NIC	NOT INCLUDED IN CONTRACT
CONT	CONTINUOUS	OA	OVERALL
COORD	COORDINATE	OC	ON CENTER
CT	CERAMIC TILE	OPP	OPPOSITE
DW	DISHWASHER	PSL	PARALLEL STRAND LUMBER
DWG	DRAWING	PT	PRESSURE TREATED
E/F	EXHAUST FAN	REF	REFRIGERATOR
EX	EXISTING	REINF	REINFORCED
EL	ELEVATION	RO	ROUGH OPENING
EP	ELECTRICAL PANEL	RM	ROOM
EQ	EQUAL	RR	ROOF RAFTERS
EQUIP	EQUIPMENT	SD	SMOKE DETECTOR
EQUIV	EQUIVALENT	SIM	SIMILAR
F/D	FLOOR DRAIN	SPEC	SPECIFICATIONS
FIN	FINISH	STD	STANDARD
FDN	FOUNDATION	STL	STEEL
FJ	FLOOR JOISTS	STRUCT	STRUCTURAL
FLR	FLOOR	S.S.	STAINLESS STEEL
FLHB	FROST PROOF HOSE BIB	T.O.	TOP OF
FV	FLOOD VENT	TYP	TYPICAL
GALV	GALVANIZED	VCT	VINYL COMPOSITE TILE
GB1	GRADE BEAM 1	VERT	VERTICAL
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	VIF	VERIFY IN FIELD
GWB	GYPSUM WALL BOARD	W/D	WASHER/ DRYER COMBO
GYP	GYPSUM	WD	WOOD
HDWD	HARDWOOD FLOORING	WP	WEATHERPROOF
HM	HOLLOW METAL	WWF	WELDED WIRE FABRIC (MESH)
		U/C	UNDER CABINET (LIGHTING)

SYMBOLS LEGEND

- EXISTING PARTITION/ WALL TO REMAIN
- NEW PARTITION/ WALL
- NEW FOUNDATION WALL AND FOOTINGS
- EXISTING TO BE REMOVED
- EXISTING ITEM ABOVE
- EXISTING WINDOW TO REMAIN
- NEW WINDOW
- 1
- NEW DOOR
- EXISTING DOOR TO REMAIN
- FV — NEW "SMART VENT" FLOOD VENT
- PLYWOOD
- CONCRETE
- RIGID INSULATION
- W — NEW WATER METER
- 0 / A-000 — DETAIL TAG: SECTION NUMBER / DRAWING NUMBER
- 0 / A-000 — SECTION KEY: SECTION NUMBER / DRAWING NUMBER
- 0 / A-000 — ELEVATION KEY: ELEVATION NUMBER / DRAWING NUMBER
- C# — KEYED NOTE TAG
- X — ROOF SLOPE
- # — REVISION
- SETBACK LINE
- SILT BARRIER
- CONSTRUCTION FENCE
- PROPERTY LINE
- GRAVEL
- WOOD DECKING
- G — NEW GAS METER

ELEC./ UTILITY LEGEND

- EP — ELECTRICAL PANEL
- DUPLEX OUTLET
- GFCI — DUPLEX OUTLET – GROUND FAULT CIRCUIT INTERRUPTER
- S — DEDICATED OUTLET – STOVE
- DW — DUPLEX OUTLET – DISHWASHER
- MC — DUPLEX OUTLET – MICROWAVE
- WP — DUPLEX OUTLET – WEATHER PROOF
- TV — TV/ CABLE JACK
- TELEPHONE/ DATA JACK
- GAS CONNECTION
- SWITCH
- 3 WAY SWITCH
- WIRING
- S — CEILING MOUNTED SMOKE DETECTOR, HARDWIRED, INTERCONNECTED
- CO — CEILING MOUNTED CARBON MONOXIDE DETECTOR
- E/F — CEILING MOUNTED EXHAUST FAN WITH LIGHT
- U/C — UNDER CABINET TASK LIGHTING
- RECESSED DOWN LIGHT
- WALL MOUNTED LIGHT
- WALL MOUNTED EXTERIOR LIGHT
- FAN — CEILING MOUNTED FAN WITH LIGHT

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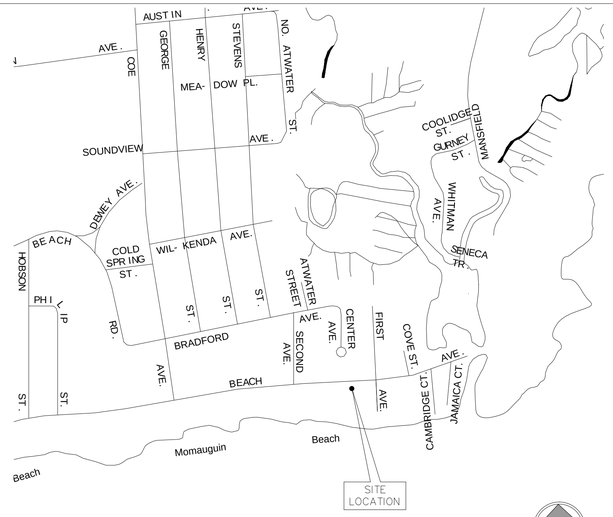
ADDITION AND ELEVATE EXISTING RESIDENCE
FOR
PASQUALE AND MARIE CAPOZZO
60 Cosey Beach Avenue
East Haven, Connecticut 06512

COVER SHEET

PROJECT NO.: 1524-23 | AS NOTED | SCALE

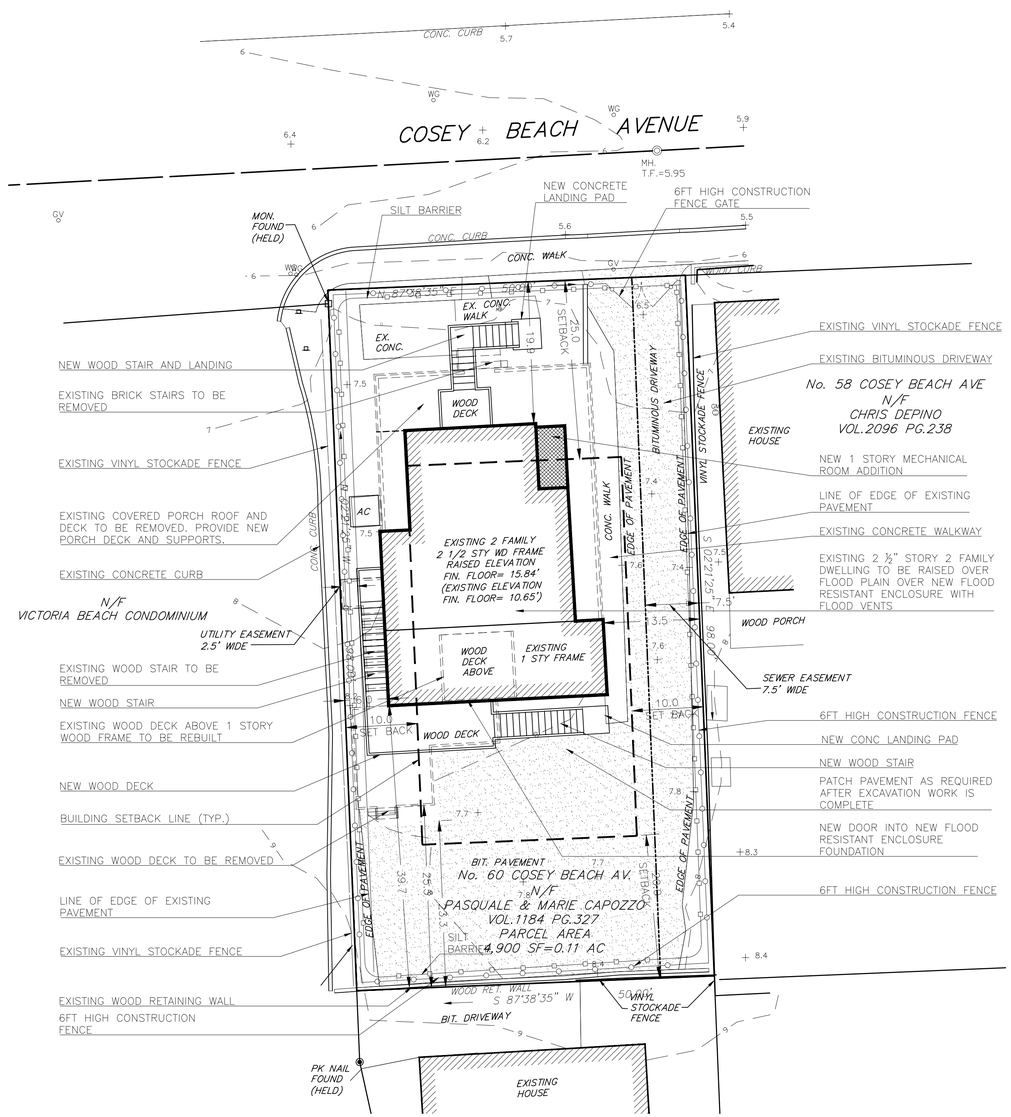
DRAWING NO.:
G-001



2 LOCATION MAP
1"=500'

NORTH

ZONING DATA			
R-1 ZONE	REQUIRED	EXISTING	PROPOSED
LOT AREA	7,200 SF	4,900 SF	4,900 SF (EXISTING NON CONFORMING)
LOT FRONTAGE	60 FEET	50 FEET	50 FEET
MAX BUILDING HEIGHT	***40 FEET / ADDED SETBACK***	30.56 FEET	36.58 FEET ***VARIANCE REQUIRED***
SETBACK-STREET LINE	25 FEET	11.33 FEET	4.67 FEET ***VARIANCE REQUIRED***
SETBACK-REAR	20 FEET	21.25 FEET	23.25 FEET
SETBACK-SIDE	10 FEET EA	0.33 FEET	2.50 FEET (EXISTING NON CONFORMING)
MAX LOT COVERAGE	20%	33.57%	35.60% VARIANCE REQUIRED
MIN SQUARE DIMENSION	50 FEET	50 FEET	50 FEET
MAX NUMBER OF STORIES	3	2.4	2.4
MAX FLOOR AREA	50%	39.1%	39.1%
MIN FLOOR AREA PER DWELLING UNIT	900 SF	1,918 SF	1,918 SF



SITE PLAN INFORMATION TAKEN FROM A SURVEY
PREPARED BY DAVID A. CARICCHIO P.L.S. 70036
FOR FREEMAN COMPANIES, LLC
MAP, BLOCK AND LOT: 030-0219-005

NORTH

1 SITE PLAN
SCALE: 1" = 20"

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SITE PLAN AND ZONING DATA

PROJECT NO.: 1524-23 | AS NOTED | SCALE

DRAWING NO.:

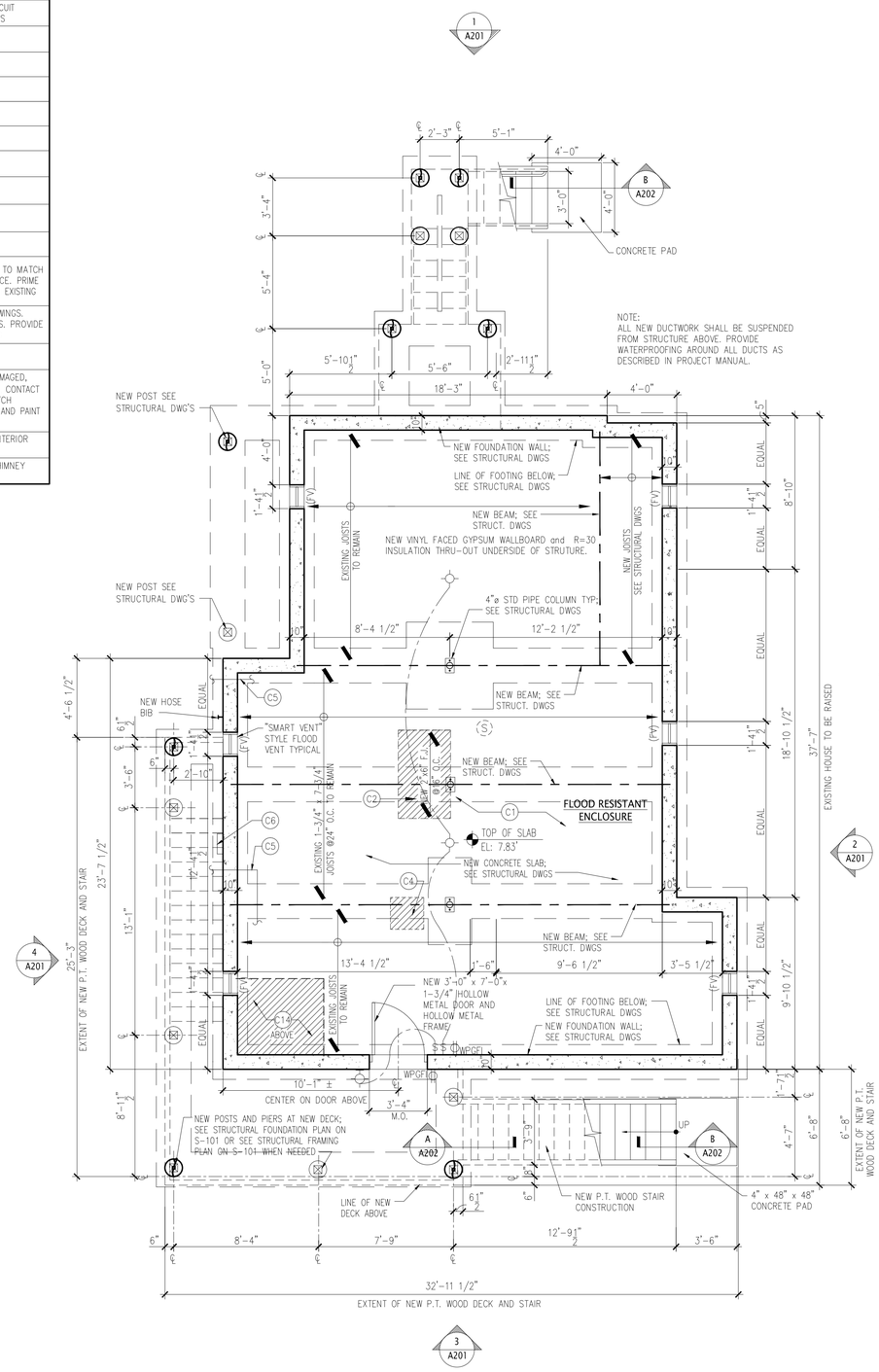
G-002

CONSTRUCTION KEYED NOTES

C1	EXISTING FIRST FLOOR CONSTRUCTION TO BE ELEVATED WITH BUILDING
C2	NEW JOIST FRAMING AT REMOVED BASEMENT STAIR OPENING. FINISH FLOORING TO MATCH DINING ROOM.
C3	PROVIDE AND RELOCATE NEW ELECTRICAL PANEL, SERVICE CABLES, AND CIRCUIT WIRING TO REPLACE DAMAGED ITEMS THAT WERE EXPOSED TO FLOOD WATERS
C4	PATCH FLOOR ABOVE AT FORMER CHIMNEY OPENING
C5	EXISTING SEWAGE PIPING LOCATION
C6	GAS METER LOCATION
C7	NEW LOCATION FOR EXISTING HVAC UNIT
C8	NEW DOOR IN FORMER WINDOW OPENING.
C9	NEW LOCATION FOR HOT WATER HEATER
C10	NOT USED
C11	NEW METER PAN, LOCATE PER UTILITY
C12	NOT USED
C13	REMOVE EXISTING CHIMNEY. PROVIDE NEW GYPSUM WALL BOARD INFILL TO MATCH EXISTING. TAPE AND FINISH TO MATCH EXISTING ADJACENT WALL SURFACE. PRIME AND PAINT WALL WITH COLOR TO MATCH EXISTING. PATCH FLOOR TO MATCH EXISTING
C14	PROVIDE NEW JOIST FRAMING AT REPAIR AREA, SEE STRUCTURAL DRAWINGS. PROVIDE NEW PLYWOOD SUBFLOOR. SCREW AND GLUE TO FLOOR JOISTS. PROVIDE NEW TILED FINISH FLOOR, AS SPECIFIED TO MATCH ADJACENT EXISTING
C15	REINSTALL EXISTING WATER CLOSET AND SINK VANITY
C16	PROVIDE AND INSTALL NEW GYPSUM WALL BOARD AT AREAS WHERE DAMAGED, UP TO 2'-0" AFF. IF DAMAGE APPEARS TO BE MORE THAN 2'-0" AFF, CONTACT ARCHITECT IMMEDIATELY. NEW GYPSUM WALL BOARD THICKNESS TO MATCH EXISTING. TAPE AND FINISH TO MATCH EXISTING WALL SURFACE. PRIME AND PAINT WALL TO MATCH EXISTING, COLOR AS SELECTED BY OWNER
C17	NEW WOOD FRAMED WALLS. PROVIDE TYPE X GYP. WALL BOARD ALL INTERIOR SURFACES, INCLUDING CEILING. SEE DETAIL
C18	EXISTING WOOD BURNING STOVE, STONE HEARTH, BRICK WALL, AND CHIMNEY FLUE TO REMAIN

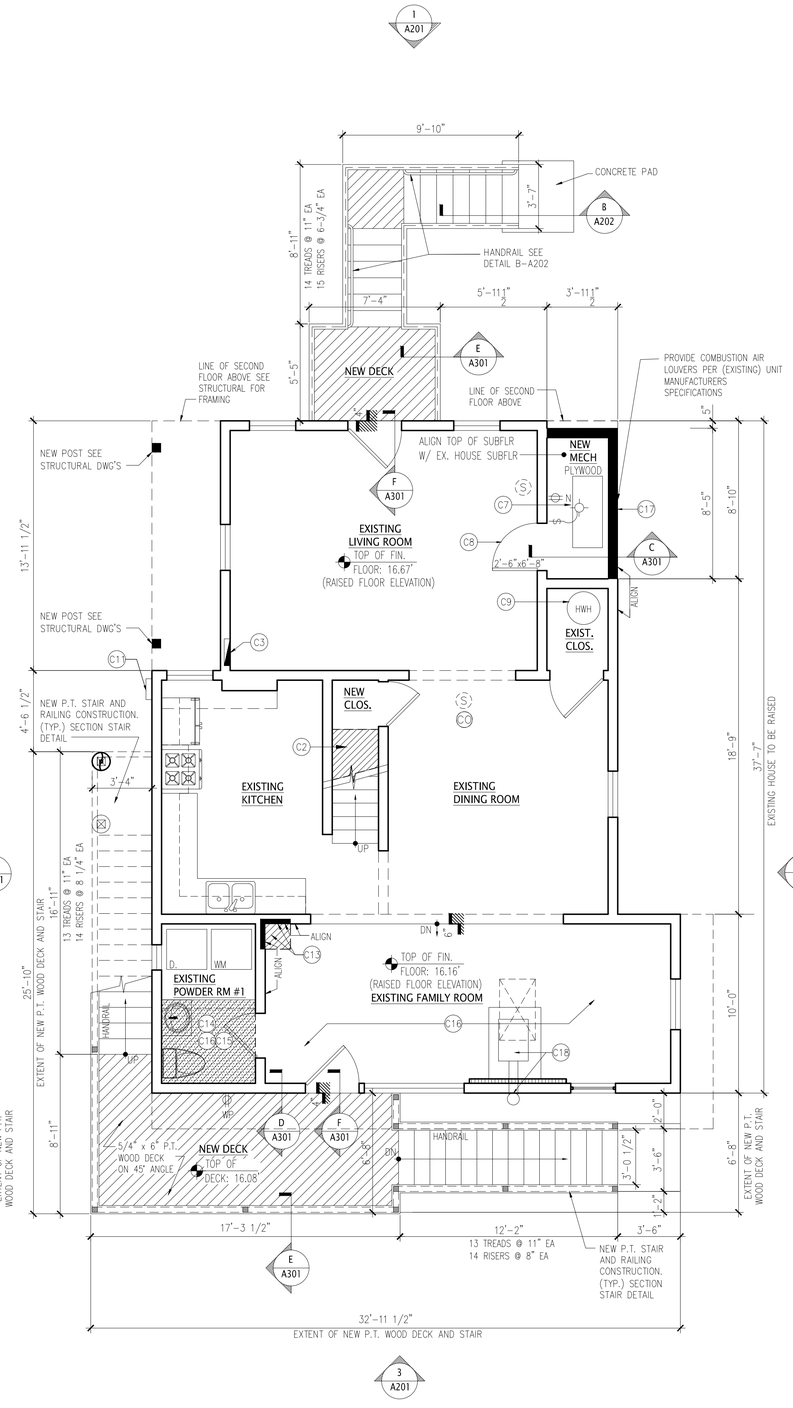
GENERAL CONSTRUCTION NOTES

1. DIMENSIONS ARE TAKEN TO FACE OF FRAMING, CONCRETE OR MASONRY UNLESS OTHERWISE NOTED.
2. INSTALL EXISTING HOT WATER HEATER AT LOCATION SHOWN AND CONNECT. VERIFY INTENDED INSTALLATION LOCATION MEETS CLEARANCE REQUIREMENTS AS SPECIFIED BY THE HOT WATER HEATER'S MANUFACTURER.
3. INSTALL EXISTING HEATING SYSTEM UNIT AT LOCATION SHOWN AND CONNECT. VERIFY INTENDED INSTALLATION LOCATION MEETS CLEARANCE REQUIREMENTS AS SPECIFIED BY THE HEATING SYSTEM'S MANUFACTURER.
4. PROVIDE NEW BATHROOM CERAMIC TILE FLOORING WITH CERAMIC TILE BASE, TO MATCH EXISTING ADJACENT FAMILY ROOM TILED FLOOR. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
5. EXISTING ROTTED FLOOR JOISTS IN BATHROOM AREA ARE ASSUMED TO BE 1-3/4" x 7-3/4" JOISTS @ 24"OC. VERIFY IN FIELD AND NOTIFY ARCHITECT IMMEDIATELY IF FRAMING IS DIFFERENT, PRIOR TO PROCEEDING WITH ANY DEMOLITION AND CONSTRUCTION.



1 BASEMENT PLAN
1/4" = 1'-0"

NORTH



2 FIRST FLOOR PLAN
1/4" = 1'-0"

NORTH

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FOUNDATION AND FIRST FLOOR PLANS

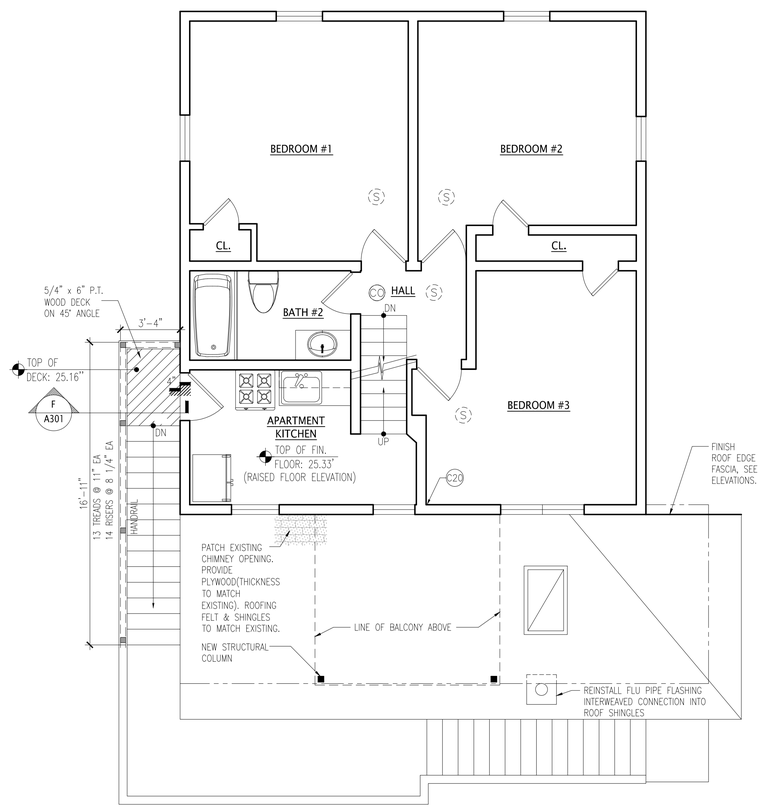
PROJECT NO.: 1524-23 | AS NOTED | SCALE

DRAWING NO.:

A-101

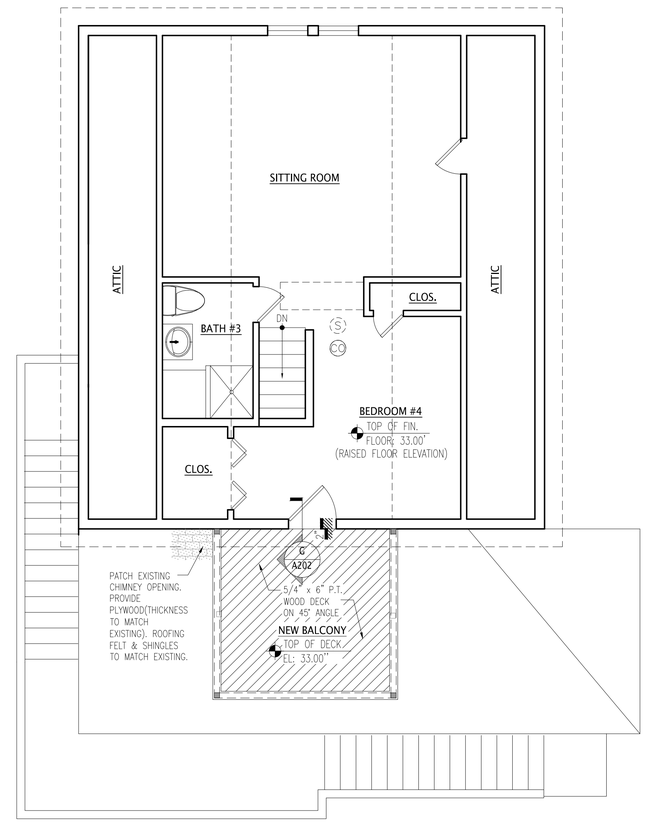
ELECTRICAL LEGEND

EP	ELECTRICAL PANEL
E	DUPLEX OUTLET – EXISTING
N	DUPLEX OUTLET – NEW
GFCI	DUPLEX OUTLET – GROUND FAULT CIRCUIT INTERUPTOR
S	DEDICATED OUTLET – STOVE
DW	DUPLEX OUTLET – DISHWASHER
MV	DUPLEX OUTLET – MICROWAVE
WP	DUPLEX OUTLET – WEATHER PROOF
	DUPLEX OUTLET – CEILING MOUNTED FOR OWNER PROVIDED AUTOMATIC GARAGE DOOR OPENER
TV N	NEW TV/ CABLE JACK
N	NEW TELEPHONE/ DATA JACK
N	NEW GAS CONNECTION
	NEW SWITCH
	NEW 3 WAY SWITCH
SB	NEW 3-WAY SWITCH WITH JUNCTION BOX
	WIRING
S	NEW CEILING MOUNTED SMOKE DETECTOR – HARD WIRED INTER CONNECTED
CO	NEW CEILING MOUNTED CARBON MONOXIDE DETECTOR
E/F	NEW CEILING MOUNTED EXHAUST FAN WITH LIGHT
U/C	NEW UNDER CABINET TASK LIGHTING
	NEW RECESSED DOWN LIGHT
	NEW WALL MOUNTED LIGHT
	NEW WALL MOUNTED EXTERIOR LIGHT
FAN	NEW CEILING MOUNTED FAN WITH LIGHT
	NEW WALL MOUNTED DRIVEWAY LIGHT ON SENSOR



3 SECOND FLOOR PLAN
1/4" = 1'-0"

NORTH



4 ATTIC FLOOR PLAN
1/4" = 1'-0"

NORTH

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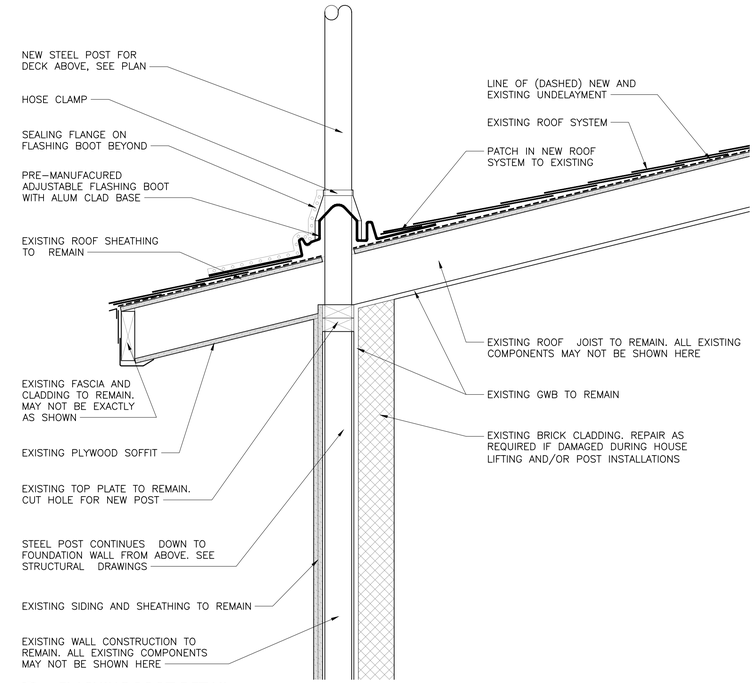
SECOND FLOOR
AND ATTIC PLANS

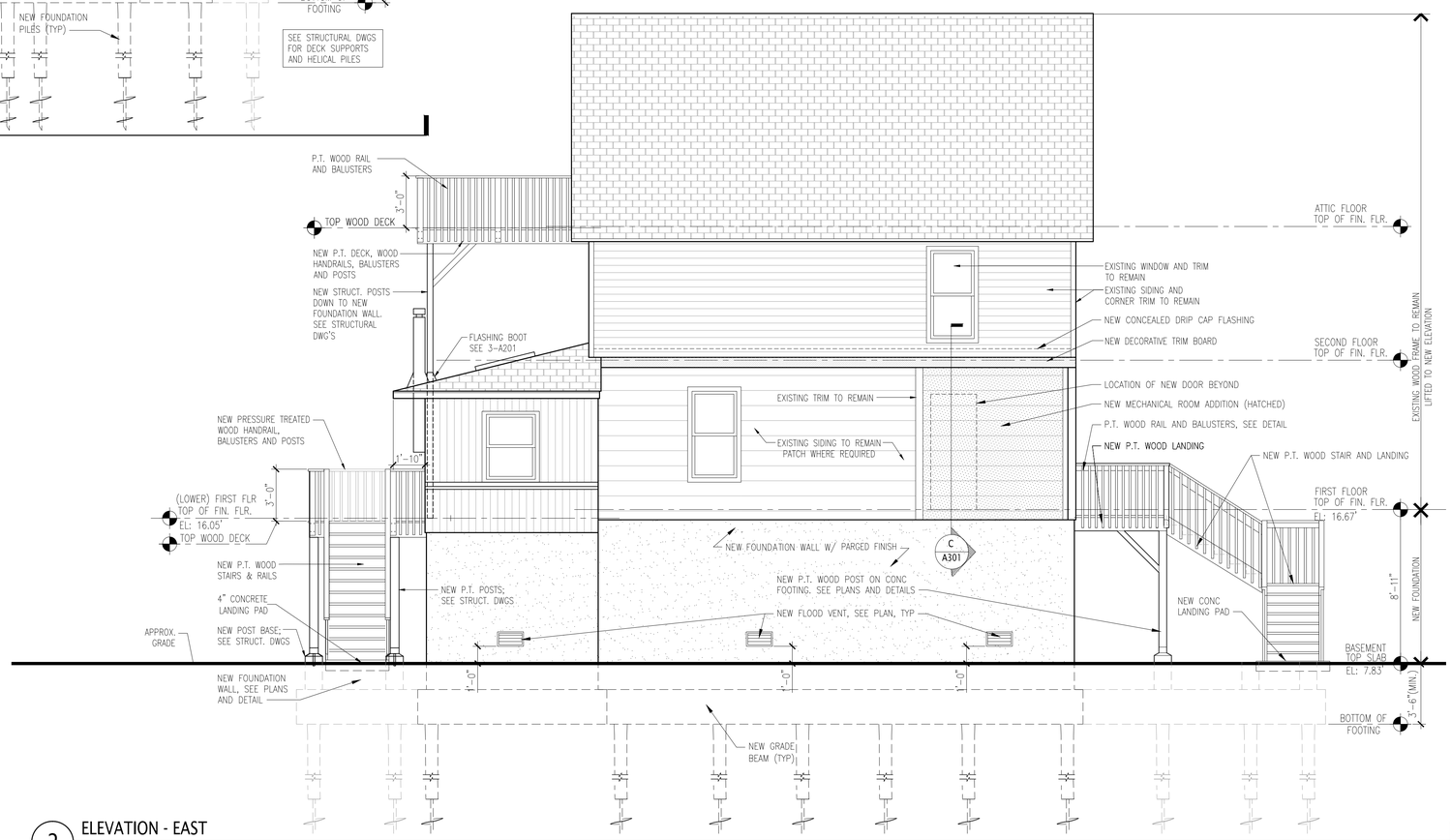
PROJECT NO.: 1524-23 | AS NOTED | SCALE

DRAWING NO.:
A-102

1 ELEVATION - SOUTH
1/4" = 1'-0"



3 FLASHING BOOT DETAIL
1-1/2" = 1'-0"



2 ELEVATION - EAST
1/4" = 1'-0"

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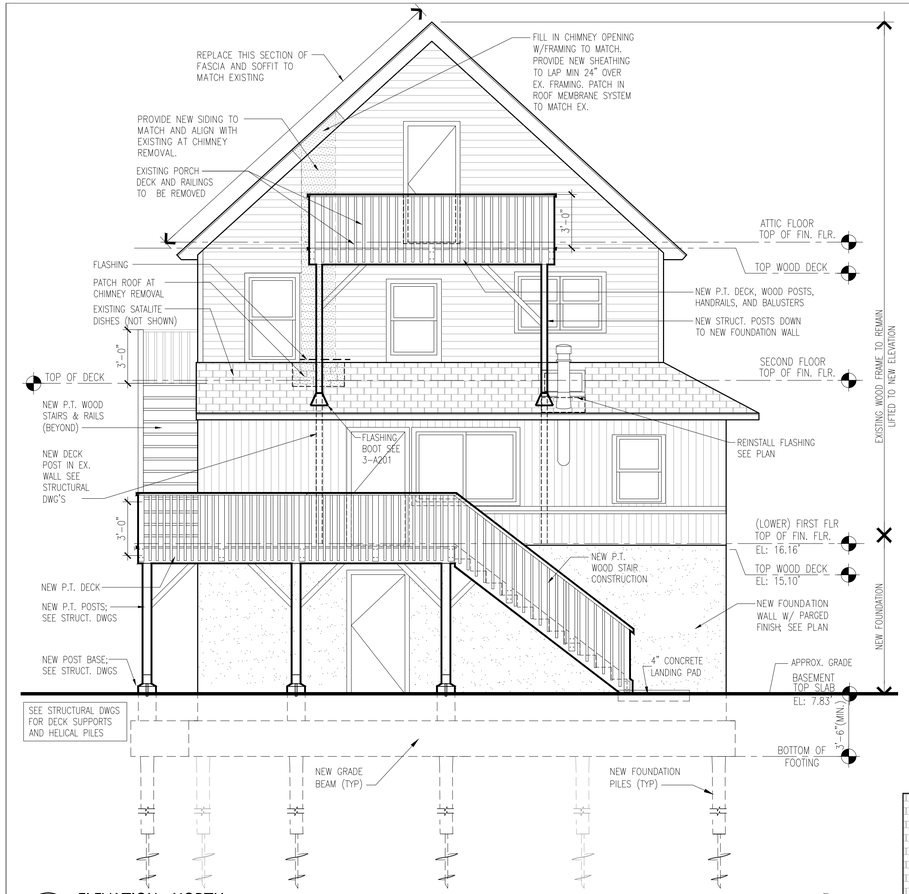
BUILDING ELEVATIONS I

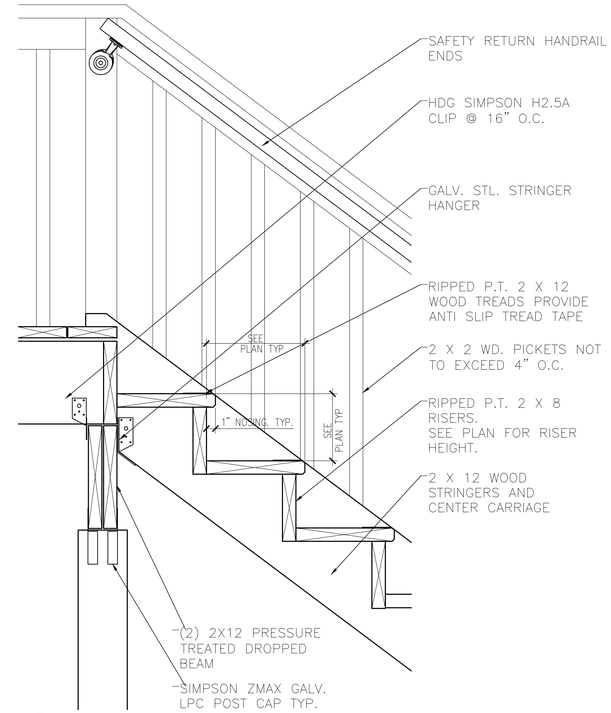
PROJECT NO.: 1524-23 | AS NOTED | SCALE

DRAWING NO.:

A-201

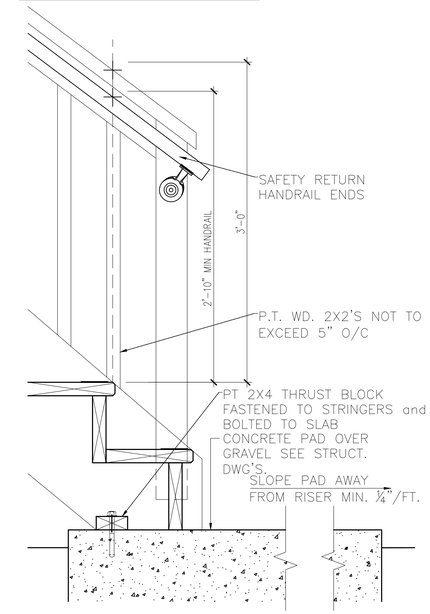


3 ELEVATION - NORTH
1/4" = 1'-0"

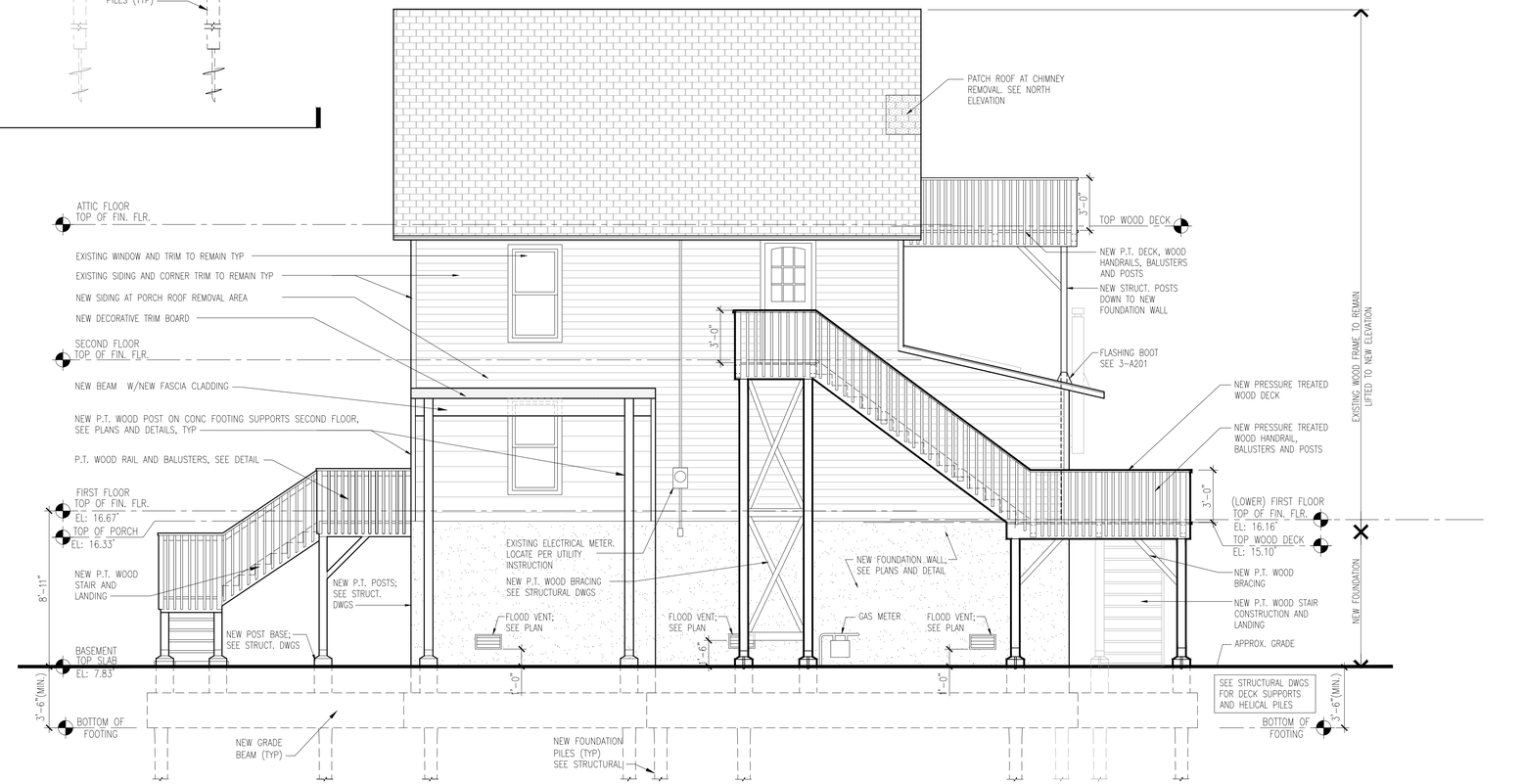


A EXTERIOR STAIR DETAIL AT TOP
1 1/2" = 1'-0"

NOTE: ALL CONNECTIONS @ P.T. LUMBER SHALL BE SCREWED EXCEPT WHERE NOTED TO BE BOLTED, OR WHERE SPECIFIC FASTENERS ARE SPECIFIED AT METAL BRACKET AND HANGERS (TYP.)



B EXTERIOR STAIR DETAIL AT BOTTOM
1 1/2" = 1'-0"



4 ELEVATION - WEST
1/4" = 1'-0"

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State Of Connecticut
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505 Hudson Street
Hartford, Connecticut 06106

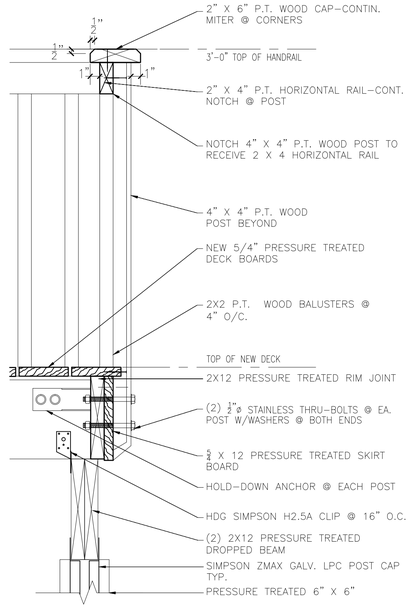
REBID
Application No. 1129
DEMOLITION AND
HAZARDOUS MATERIAL ABATEMENT,
CONSTRUCTION OF NEW FOUNDATIONS,
ADDITION AND ELEVATE EXISTING RESIDENCE
FOR
PASQUALE AND MARIE CAPOZZO
60 Cosey Beach Avenue
East Haven, Connecticut 06512

BUILDING ELEVATIONS II AND DETAILS

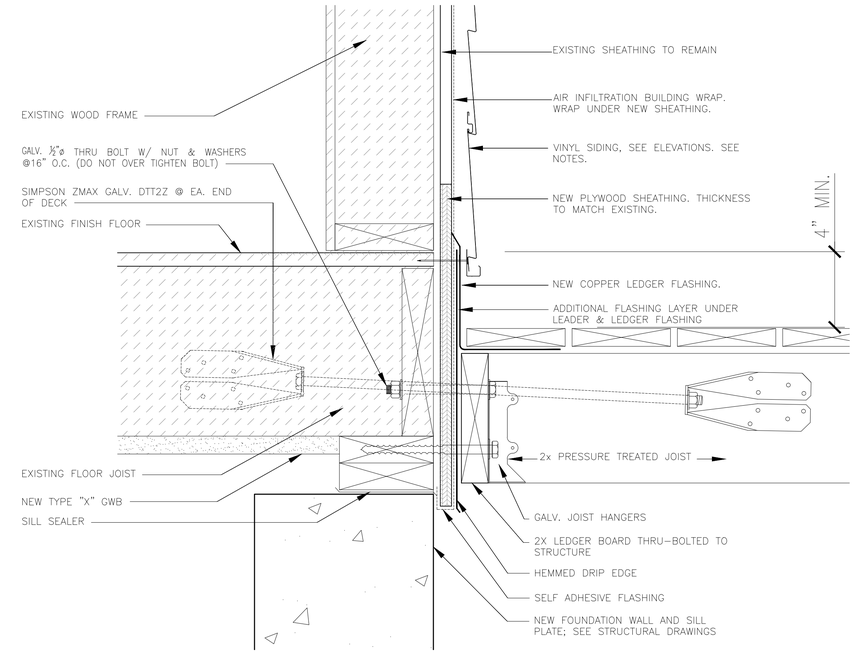
PROJECT NO.: 1524-23 | AS NOTED | SCALE

DRAWING NO.:

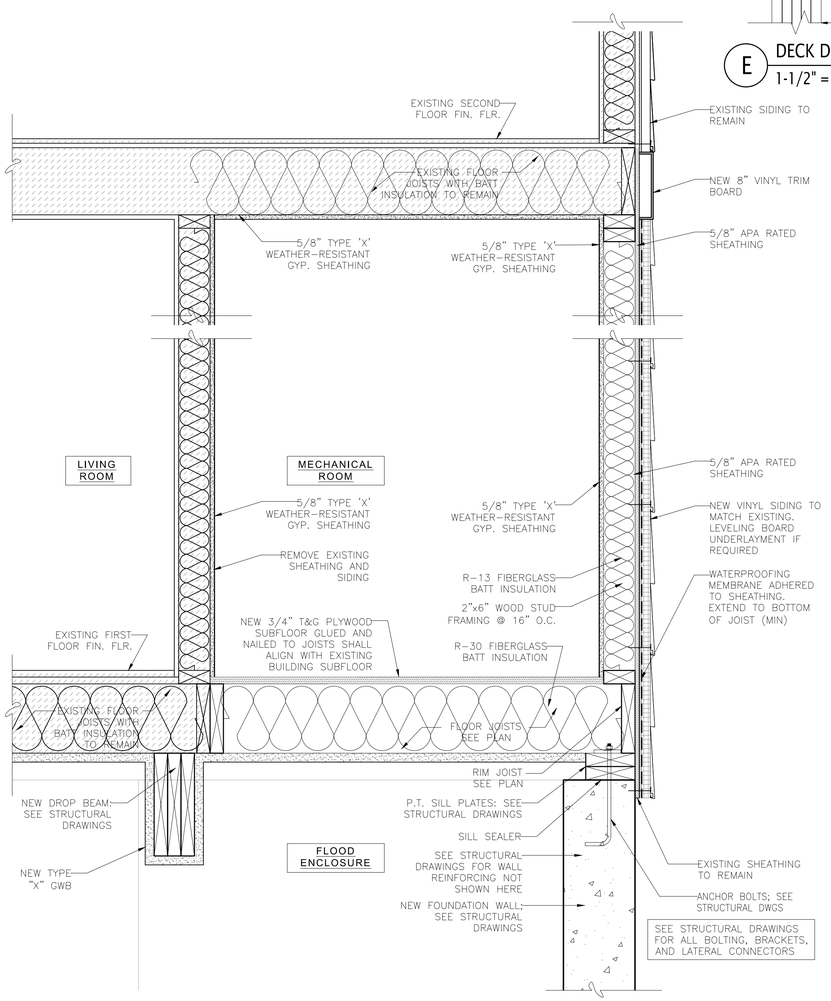
A-202



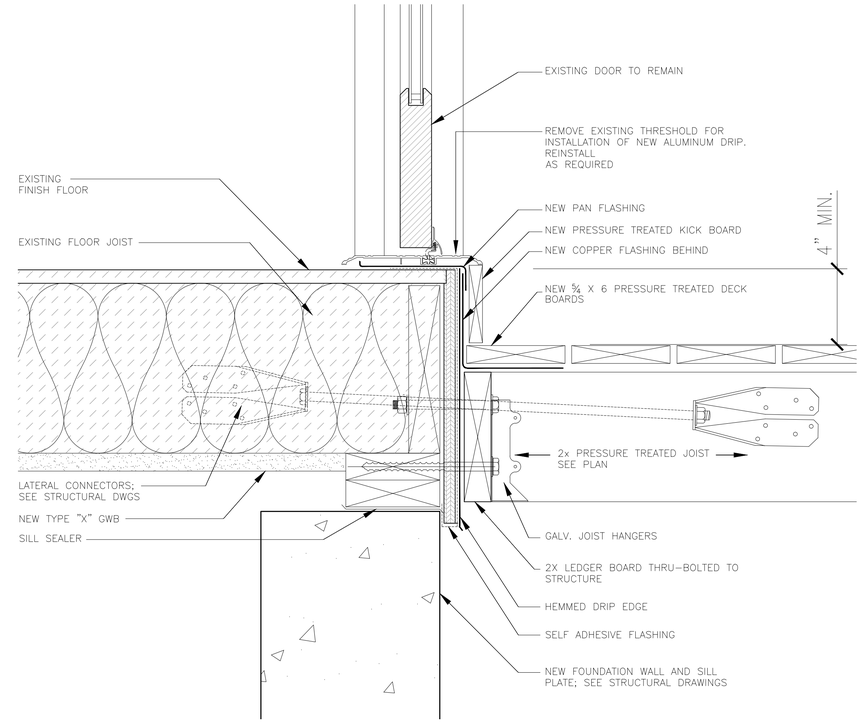
E DECK DETAIL
1-1/2" = 1'-0"



D DECK DETAIL
3" = 1'-0"



C WALL SECTION
1 1/2" = 1'-0"



F DECK DETAIL
3" = 1'-0"

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BUILDING SECTION AND DETAILS

PROJECT NO.: 1524-23 | AS NOTED | SCALE

DRAWING NO.:

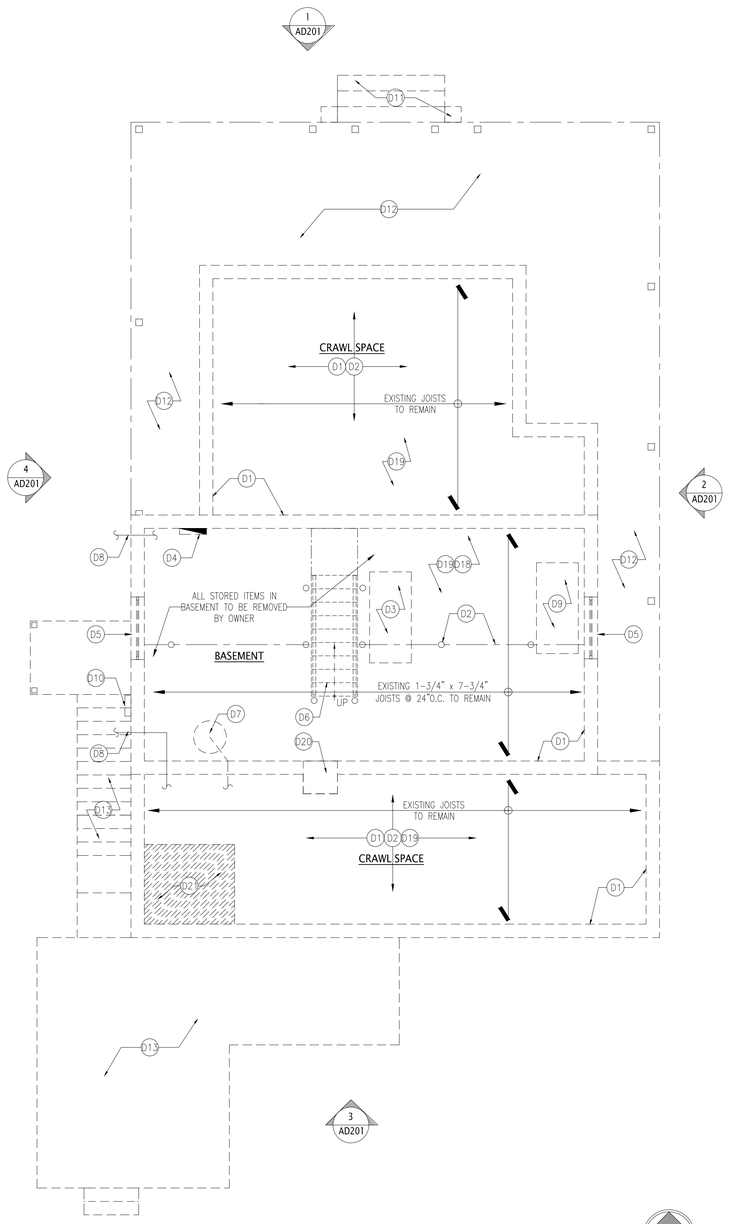
A-301

LEGEND

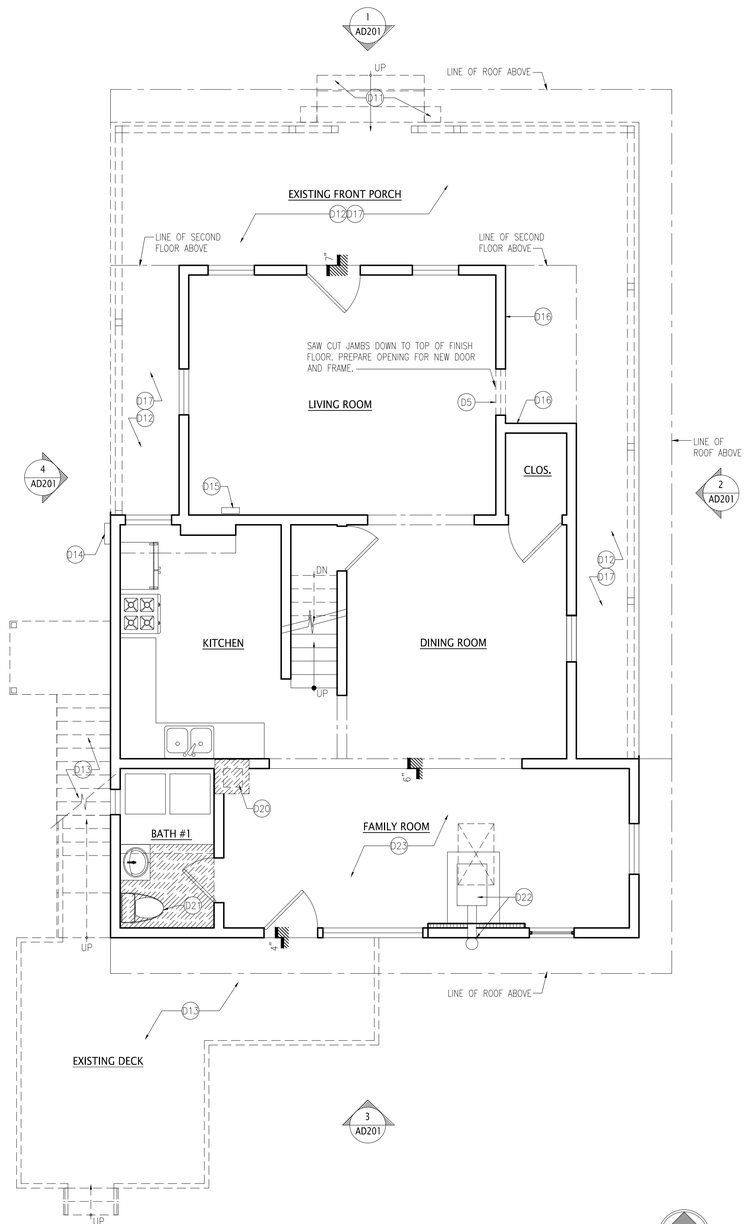
D#	KEYED NOTE TAG
	EXISTING PARTITION/ WALL TO REMAIN
	EXISTING ITEM TO BE REMOVED
	EXISTING ITEM ABOVE

DEMOLITION KEYED NOTES

D1	REMOVE EXISTING FOUNDATION WALLS AND FOOTINGS
D2	REMOVE EXISTING SUPPORT COLUMNS AND DROPPED BEAMS. PROVIDE TEMPORARY SUPPORT AS NECESSARY. REFER TO STRUCTURAL DRAWINGS
D3	REMOVE ALL EXISTING DUCTWORK. RETAIN HVAC UNIT FOR REUSE ON FIRST FLOOR.
D4	REMOVE EXISTING ELECTRICAL PANEL, SERVICE CABLE, AND DAMAGED CIRCUIT WIRING AND ANY WIRING THAT HAS BEEN DAMAGED OR EXPOSED TO SALT WATER
D5	EXISTING WINDOW FRAME AND TRIM TO BE REMOVED
D6	REMOVE EXISTING INTERIOR BASEMENT STAIR
D7	REMOVE EXISTING HOT WATER HEATER AND ASSOCIATED PIPING. SALVAGE HEATER FOR REUSE
D8	EXISTING SEWAGE PIPE TO REMAIN. DISCONNECT AND CAP DURING LIFTING PROCESS
D9	EXISTING OIL TANK TO BE REMOVED
D10	REMOVE EXISTING GAS METER AND ASSOCIATED PIPING. DISCONNECT DURING LIFTING OPERATIONS
D11	REMOVE EXISTING MASONRY STAIR ASSEMBLY
D12	EXISTING PORCH DECK AND SUPPORTS TO BE REMOVED
D13	REMOVE EXISTING DECK AND STAIR
D14	EXISTING ELECTRICAL SERVICE METER PAN AND ASSOCIATED WIRING TO BE REMOVED
D15	EXISTING ELECTRICAL PANEL AND ASSOCIATED WIRING TO REMAIN.
D16	PORTION OF EXTERIOR WALL SIDING TO BE REMOVED. REMOVE AND SALVAGE EXISTING SIDING FOR REUSE. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ASBESTOS-CONTAINING CEMENTITIOUS PANELING LOCATED UNDER VINYL SIDING AS ACM. SEE SECTION 028200 ASBESTOS ABATEMENT FOR ADDITIONAL INFORMATION.
D17	EXISTING PORCH ROOF ABOVE TO BE REMOVED
D18	REMOVE EXISTING CONCRETE FLOOR SLAB. REFER TO STRUCTURAL DWGS
D19	EXISTING FIRST FLOOR CONSTRUCTION TO REMAIN AND ELEVATED. REMOVE EXISTING BATT and RIGID INSULATION.
D20	REMOVE EXISTING MASONRY CHIMNEY
D23	REMOVE EXISTING ROTTED SUBFLOOR AND JOISTS AS REQUIRED. REMOVE EXISTING TILE FLOORING. SALVAGE AND REUSE THE EXISTING PLUMBING FIXTURES
D22	EXISTING WOOD BURNING STOVE, BRICK WALL, AND CHIMNEY FLUE TO REMAIN
D23	REMOVE EXISTING GYPSUM WALL BOARD UP TO 24" A.F.F.
D24	REMOVE EXISTING DECK



1 BASEMENT PLAN - DEMOLITION
1/4" = 1'-0"



2 FIRST FLOOR PLAN - DEMOLITION
1/4" = 1'-0"

GENERAL LEAD-BASED PAINT ABATEMENT NOTES:

1. THE CONTRACTOR SHALL SCRAPE LEAD-BASED PAINT, ENCAPSULATE REMEDIATED SURFACES, & TRANSPORT & DISPOSE WASTE AS HAZARDOUS LEAD WASTE FROM INTERIOR WOOD DOOR TRIM AND JAMB IN BATHROOM 1. SEE SECTION 028300 LEAD ABATEMENT FOR ADDITIONAL INFORMATION.
2. THE CONTRACTOR SHALL SCRAPE LEAD-BASED PAINT, ENCAPSULATE REMEDIATED SURFACES, & TRANSPORT & DISPOSE WASTE AS HAZARDOUS LEAD WASTE FROM INTERIOR WOOD STAIR STRINGER ON 1st AND 2nd FLOOR STAIRWELL. SEE SECTION 028300 LEAD ABATEMENT FOR ADDITIONAL INFORMATION.
3. THE CONTRACTOR SHALL SCRAPE TO INTACT DEFECTIVE LEAD-BASED PAINT, ENCAPSULATE REMEDIATED SURFACES, & TRANSPORT & DISPOSE WASTE AS HAZARDOUS LEAD WASTE FROM EXTERIOR WOOD CORNER BOARD, EXTERIOR WOOD LOWER SIDING TRIM, EXTERIOR WOOD WINDOW TRIM AND SILLS, EXTERIOR WOOD PORCH CEILING, EXTERIOR WOOD PORCH CEILING JOISTS, AND EXTERIOR UPPER DOOR TRIM. SEE SECTION 028300 LEAD ABATEMENT FOR ADDITIONAL INFORMATION.

GENERAL MOLD ABATEMENT NOTES:

1. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF MOLD-CONTAMINATED WOOD SUBFLOOR IN BATHROOM 1. SEE SECTION 028500 MOLD ABATEMENT FOR ADDITIONAL INFORMATION.
2. THE CONTRACTOR SHALL CLEAN MOLD-CONTAMINATION ON GYPSUM WALL AND CEILINGS IN BATHROOM 1, MASTER BEDROOM 3, AND FAMILY ROOM. SEE SECTION 028500 MOLD ABATEMENT FOR ADDITIONAL INFORMATION.

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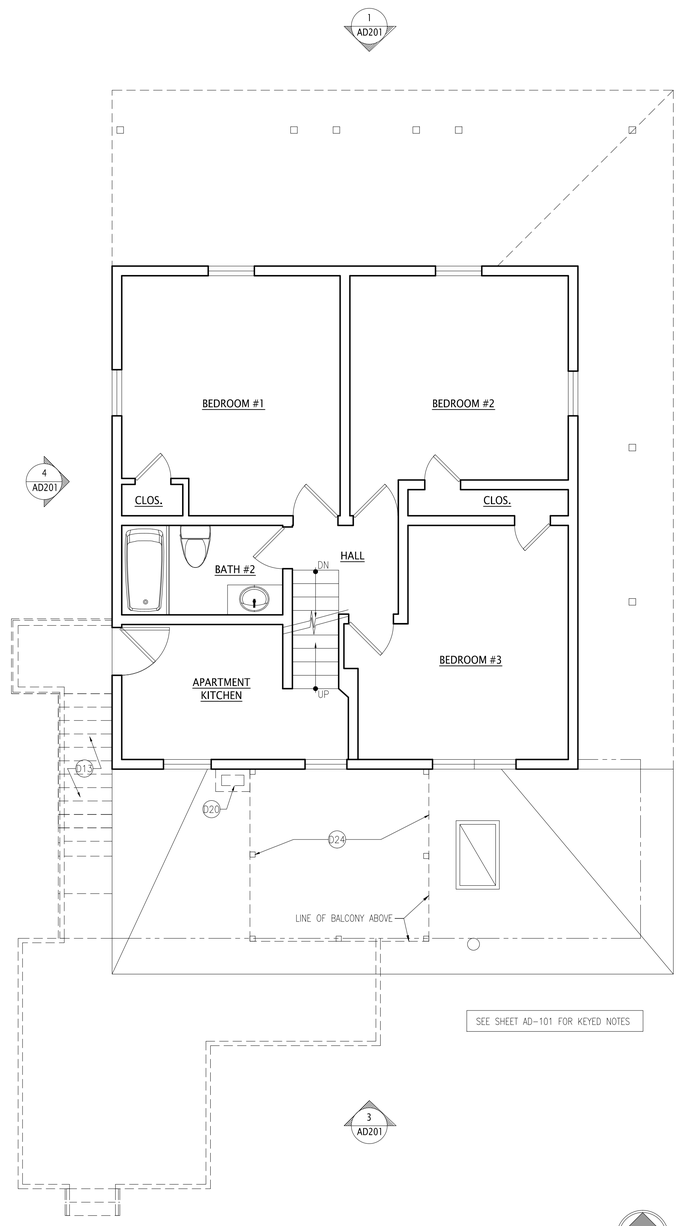
FOUNDATION AND FIRST FLOOR DEMOLITION PLANS

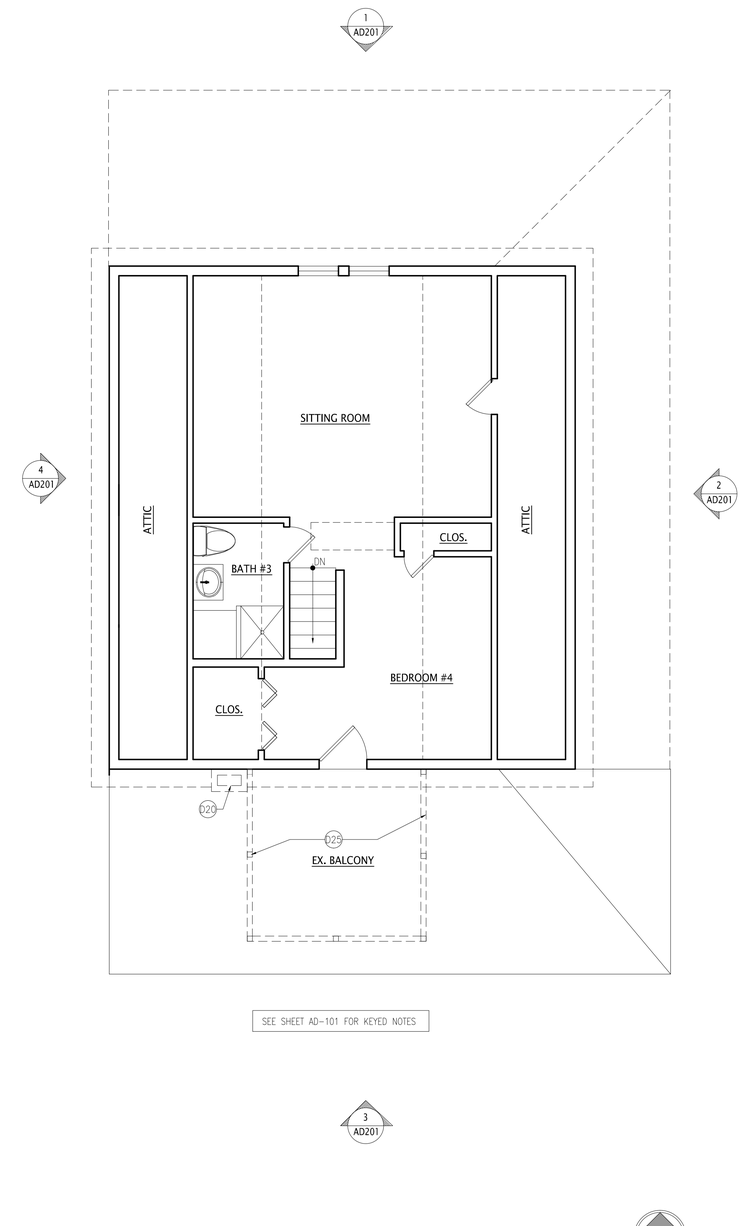
PROJECT NO.: 1524-23 | AS NOTED | SCALE

DRAWING NO.:

AD-101



3 SECOND FLOOR PLAN
1/4" = 1'-0"



4 ATTIC FLOOR PLAN
1/4" = 1'-0"

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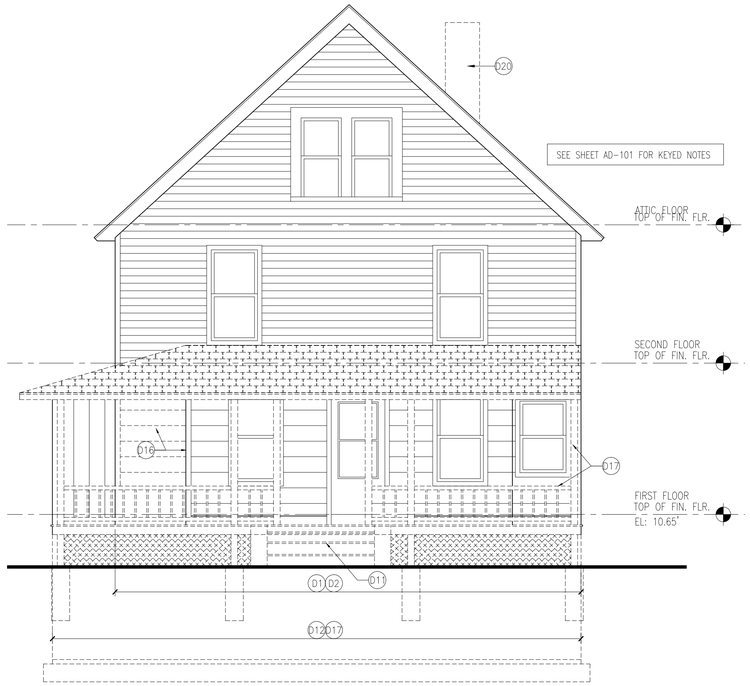
SECOND FLOOR DEMOLITION PLAN

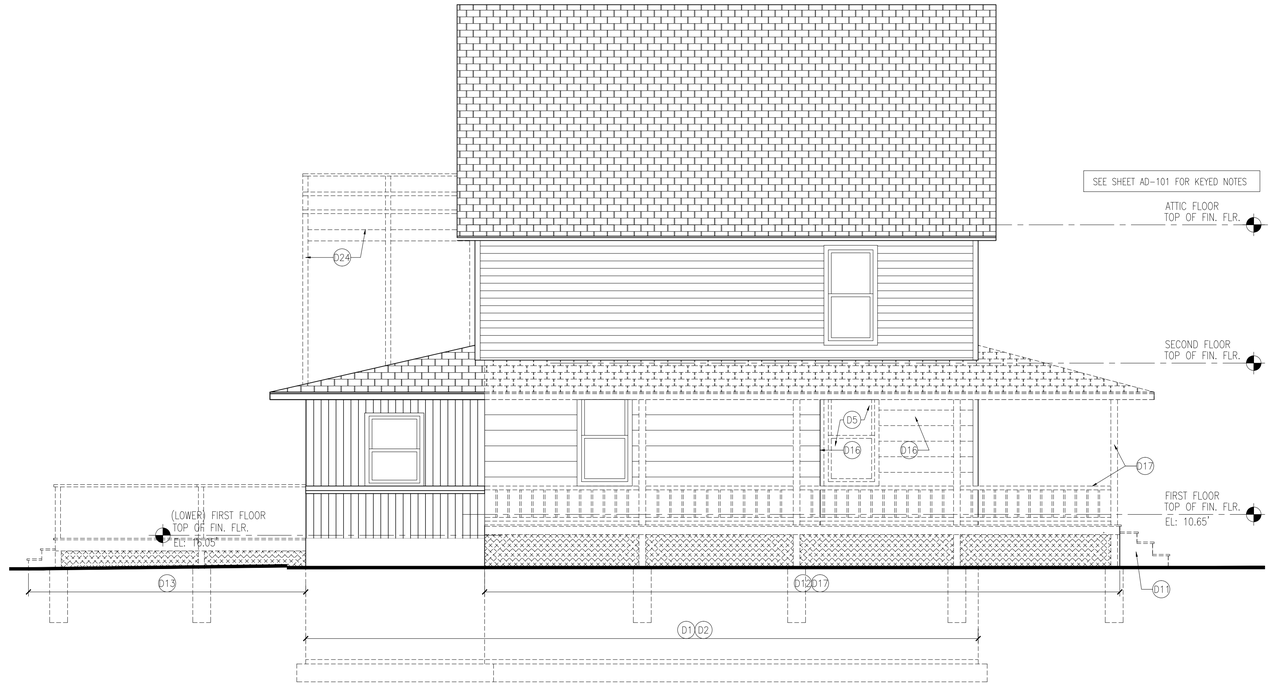
PROJECT NO.: 1524-23 | AS NOTED | SCALE

DRAWING NO.:

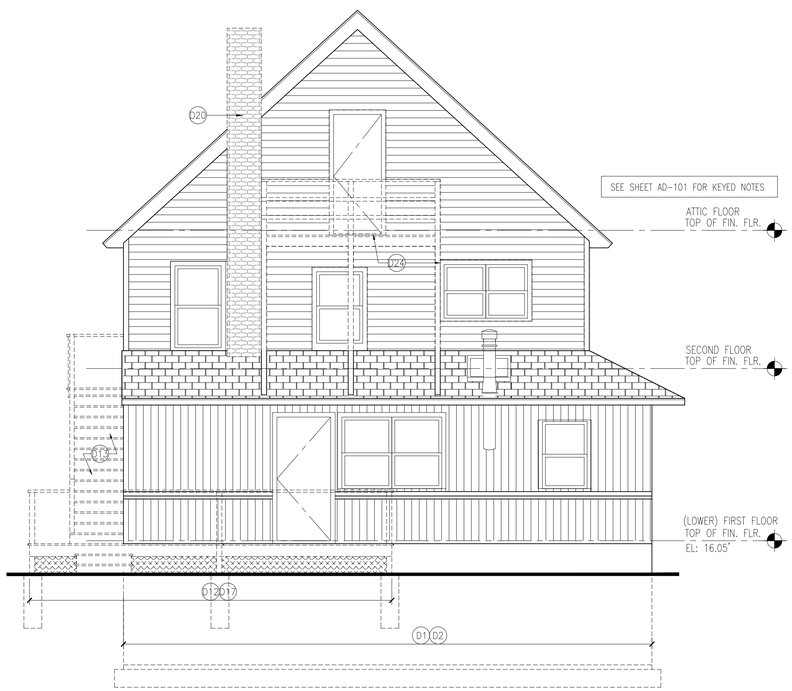
AD-102



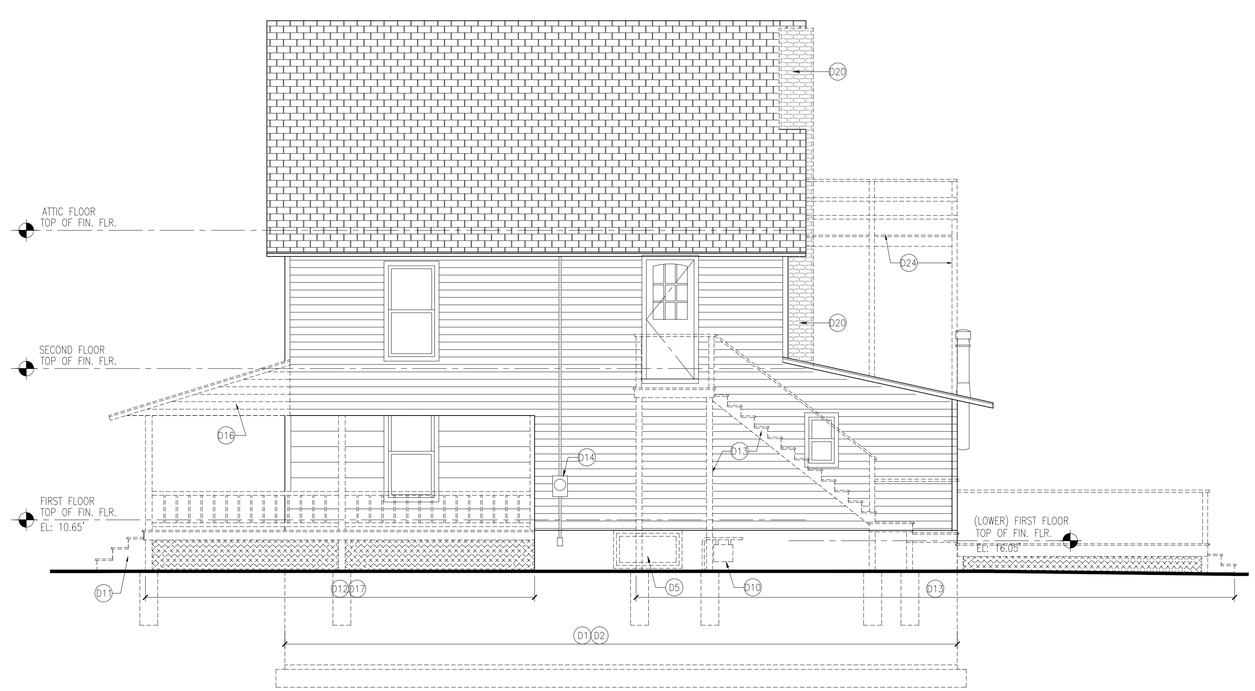
1 ELEVATION - FRONT
1/4" = 1'-0"



2 ELEVATION - SIDE
1/4" = 1'-0"



3 ELEVATION - REAR
1/4" = 1'-0"



4 ELEVATION - SIDE
1/4" = 1'-0"

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60 Cosey Beach Avenue
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DEMOLITION BUILDING ELEVATIONS

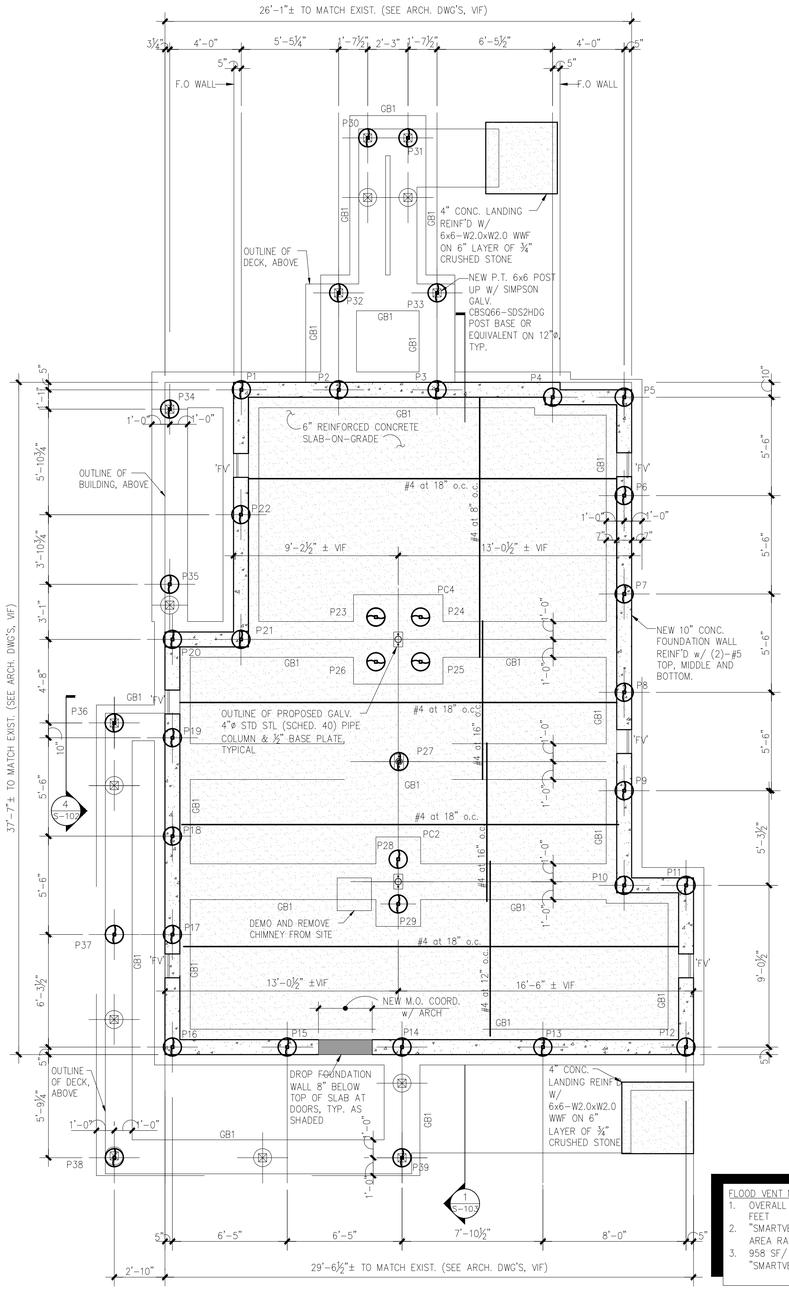
PROJECT NO.: 1524-23 | AS NOTED | SCALE

DRAWING NO.:

AD-201

PILE CAP SCHEDULE

MARK	THICKNESS	REINFORCING	LOCATION
PC2	24"	(6)–#6 L.W. (5)–#6 S.W.	BOTTOM
PC4	24"	(10)–#6 EA. WAY	BOTTOM



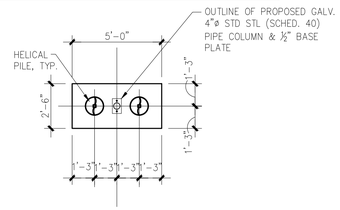
PROPOSED FOUNDATION PLAN

¼" = 1'–0"

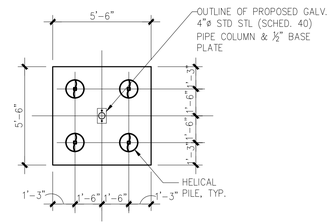
FLOOD VENT NOTES: "FV"
1. OVERALL FOOTPRINT = 959± SQUARE FEET
2. "SMARTVENT" (8"x16") ALLOWABLE AREA RATING = 200 SF/ VENT
3. 958 SF/ 200 = 4.79 USE (6) "SMARTVENTS"

NOTES:

1. ⊕ DESIGNATES 20,000 # ALLOWABLE COMPRESSION LOAD PILE. SEE NOTES AND DRAWINGS FOR ADDITIONAL INFORMATION.
2. AN LICENSE ENGINEER SHALL MONITOR THE PILE INSTALLATION.
3. "FV" DESIGNATE FLOOD VENT ("SMART VENT") : SMARTVENT 1540–510 OR EQUIVALENT.
4. B–# DESIGNATES SOIL BORING LOCATION , REFER TO SOIL BORING LOG, DRAWING S–106.
5. COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS AND SITE CONDITIONS.
6. "GB1" DENOTES 2'–0"x2'–0" GRADE BEAM REINFORCED WITH (3)–#5 TOP AND BOTTOM CONTINUOUS REINFORCEMENT
7. ○ DESIGNATES 12" ø CONC. SONOTUBE REINF'D w/ (4)–#4 BENT DOWELS, SEE DETAIL ON SHEET S103
8. PC #: DESIGNATES PILE CAP TYPE REFER TO SCHEDULE AND DETAILS ON THIS SHEET



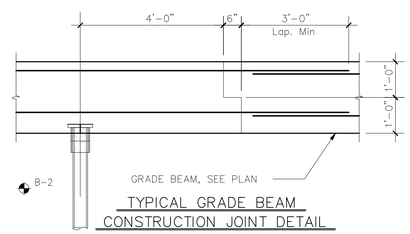
PILE CAP PC2



PILE CAP PC4

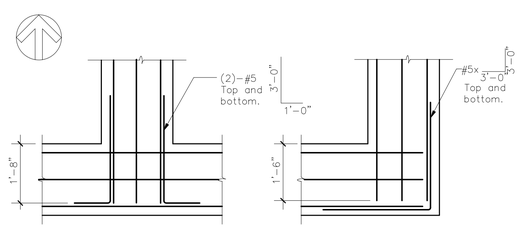
PILE CAP DETAILS

¼" = 1'–0"



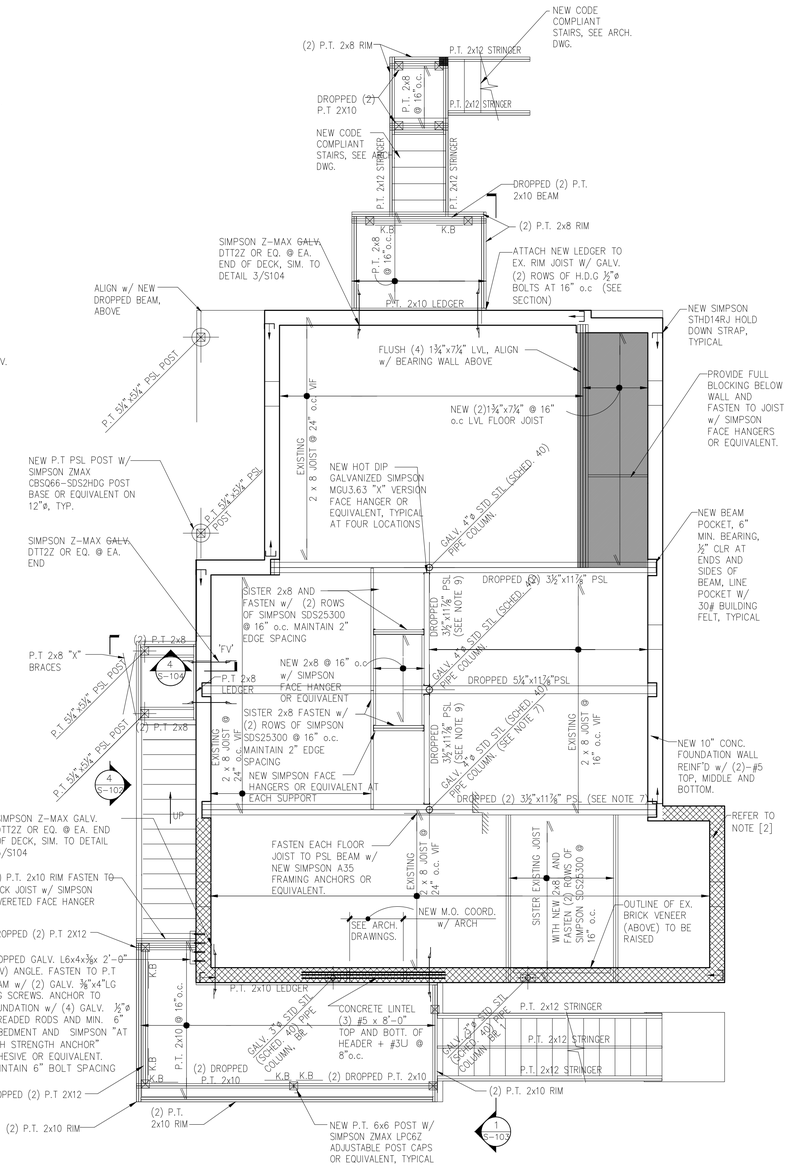
TYPICAL GRADE BEAM CONSTRUCTION JOINT DETAIL

⅛" = 1'–0"



TYPICAL GRADE BEAM CORNER REIINFORCING

⅛" = 1'–0"



FIRST FLOOR FRAMING PLAN

¼" = 1'–0"

NOTES:

1. ■ REMOVE EXISTING DECK FRAMING AND SUBFLOOR BEARING ON EXISTING SUPPORTS AND REPLACE w/ NEW FIRST FLOOR FRAMING AND SUB FLOOR COMPOSED OF ¾" T&G APA RATED STURD–I–FLOOR, GLUE AND NAILED TO JOIST WITH 8D NAILS @ 6" o.c
2. ▨ DENOTES: ADJUST TOP WALL AS REQUIRED TO ACCOMMODATE FRAMING JOIST
3. COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS AND SITE CONDITIONS.
4. "K.B": DENOTES P.T. 3x4 KNEE BRACES. SEE DETAIL 1 ON SHEET S104.
5. "B# #": DENOTES BASE PLATE– SEE DETAIL 2 ON SHEET S104
6. E– DESIGNATES NEW SIMPSON STHD14RJ HOLD DOWN STRAP, SEE DETAIL ON SHEET S104.
7. EXISTING BEARING LINE TO BE RELOCATED TO ACCOMMODATE EXISTING FLOOR JOIST. CONTRACTOR TO VERIFY EXISTING CONDITIONS AND NOTIFIED ARCH. OF ANY DISCREPANCY.
8. GC TO VERIFY BOTTOM ELEVATION OF EXISTING FLOOR JOIST AND ADJUST TOP FOUNDATION WALL AS REQUIRED.
9. PROPOSED BEAMS TO ALIGN WITH BEARING WALLS ABOVE.

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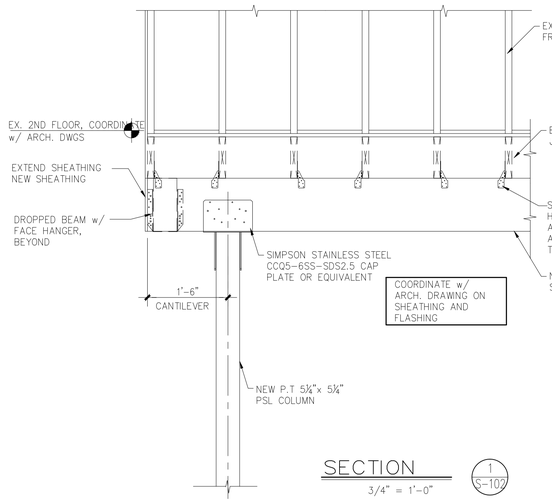
FOUNDATION PLAN, FIRST FLOOR FRAMING PLAN

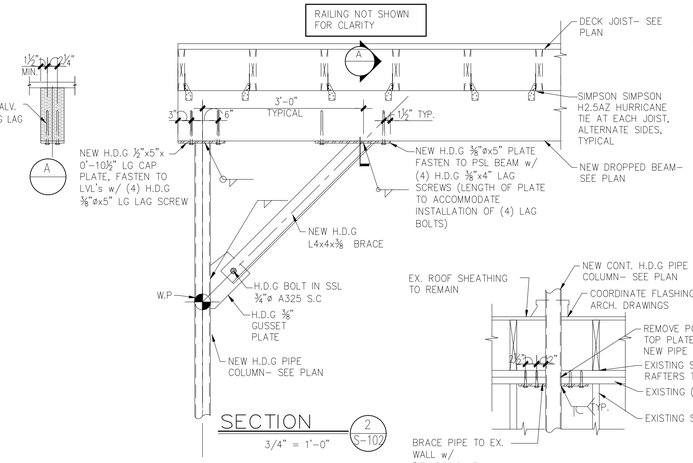
PROJECT NO.: 1524-23 | AS NOTED | SCALE

DRAWING NO.:

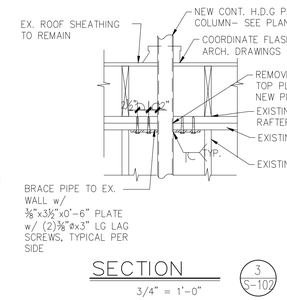
S-101



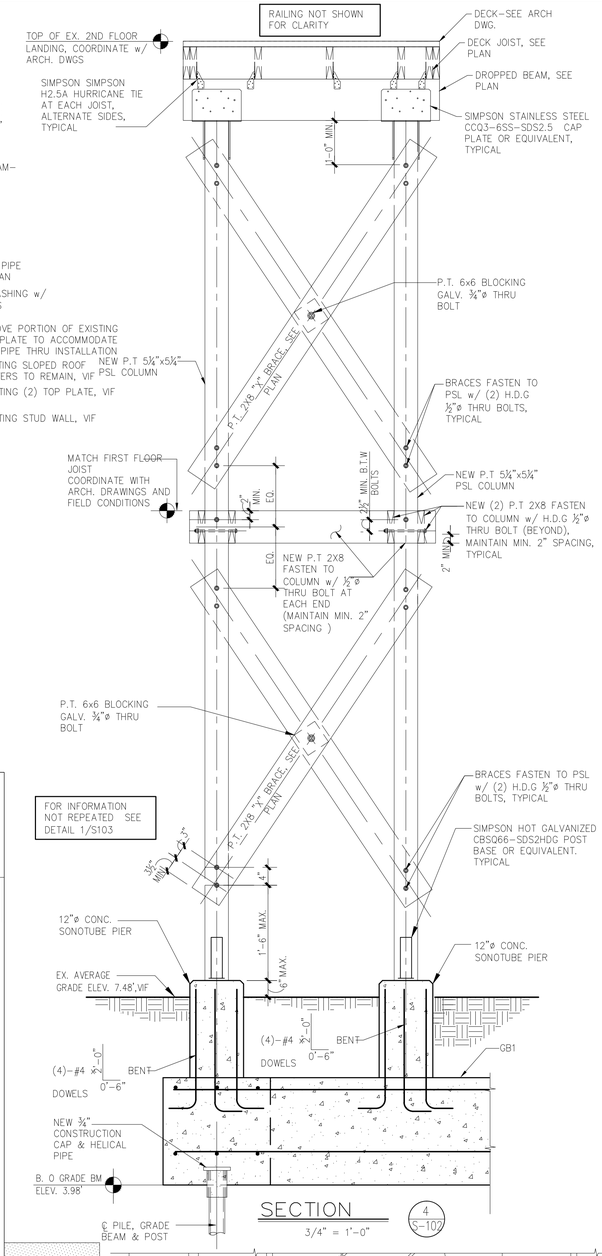
SECTION 1/S-102
3/4" = 1'-0"



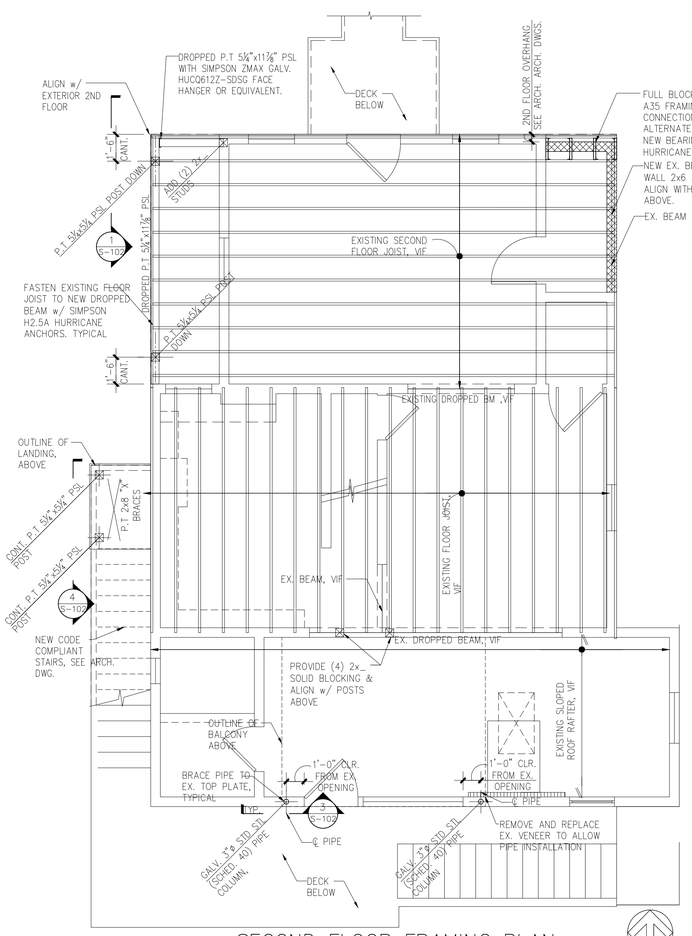
SECTION 2/S-102
3/4" = 1'-0"



SECTION 3/S-102
3/4" = 1'-0"

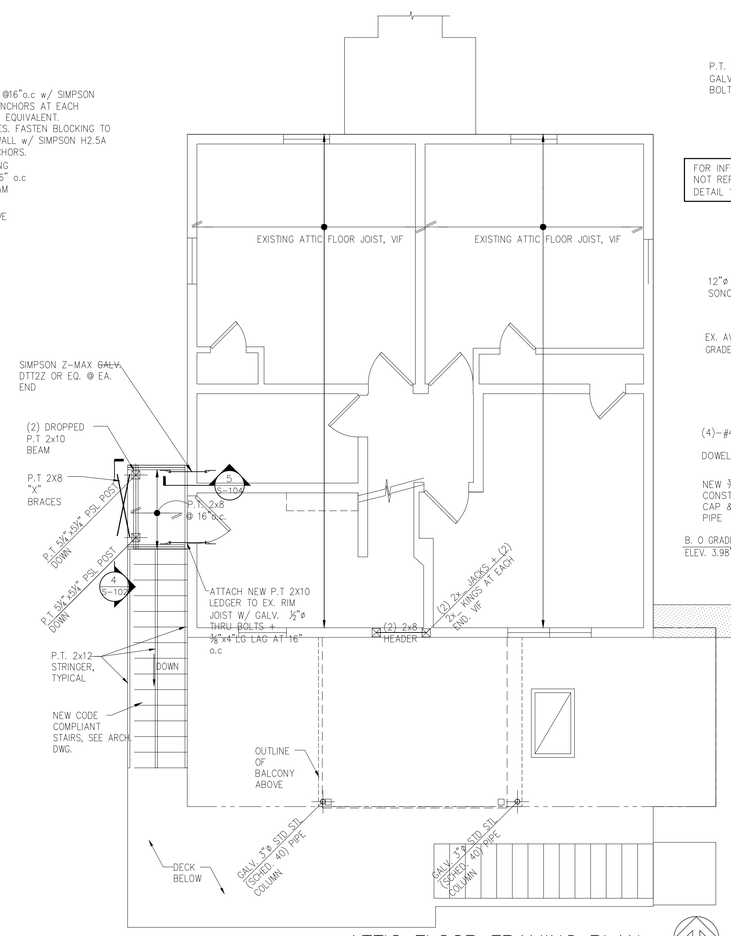


SECTION 4/S-102
3/4" = 1'-0"



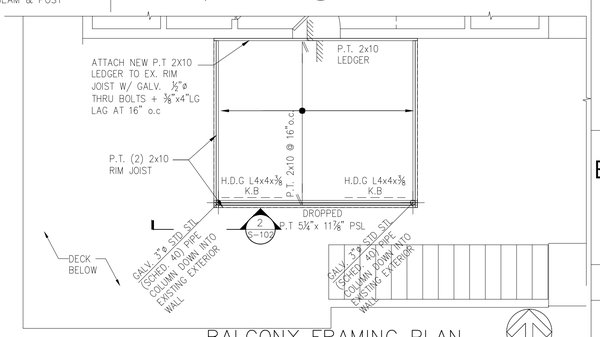
SECOND FLOOR FRAMING PLAN
¼" = 1'-0"

NOTES:
1. COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS AND SITE CONDITIONS.



ATTIC FLOOR FRAMING PLAN
¼" = 1'-0"

NOTES:
1. COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS AND SITE CONDITIONS.



BALCONY FRAMING PLAN
¼" = 1'-0"

NOTES:
1. COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS AND SITE CONDITIONS.
2. "K.B": DENOTES P.T. KNEE BRACES. SEE SECTION ON SHEET S102

Lothrop

Lothrop Associates LLP Architects
100 Pearl Street
14th Floor
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860-249-7251

White Plains Rochester Red Bank Hartford

STRUCTURAL ENGINEER:
CUCCO STRUCTURAL ENGINEERS, LLC
Architecture & Engineering
Hartford, CT 06106
Phone: 860-953-0000
Fax: 860-953-0000
www.cucco.com

SURVEYOR:
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www.fando.com

ISSUE NO.	ISSUE DATE	DESCRIPTION
2	1 DEC. 2015	ISSUED FOR REBID
1	29 JULY 2015	ISSUED FOR BID

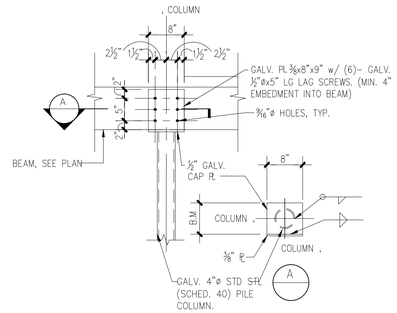
State Of Connecticut
Department Of Housing
505 Hudson Street
Hartford, Connecticut 06106

REBID
Application No. 1129
DEMOLITION AND
HAZARDOUS MATERIAL ABATEMENT,
CONSTRUCTION OF NEW FOUNDATIONS,
ADDITION AND ELEVATE EXISTING RESIDENCE
FOR
PASQUALE AND MARIE CAPOZZO
60 Cosey Beach Avenue
East Haven, Connecticut 06512

BALCONY FRAMING PLAN, EXIST. ATTIC AND 2ND FLOOR FRAMING PLAN, SECTIONS

PROJECT NO.: 1524-23 | AS NOTED | SCALE

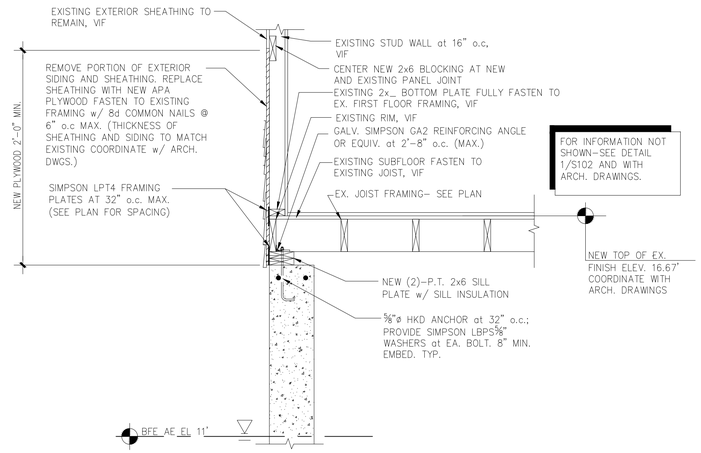
DRAWING NO.:
S-102



BEAM AND COLUMN CAP SECTION (2/S103)

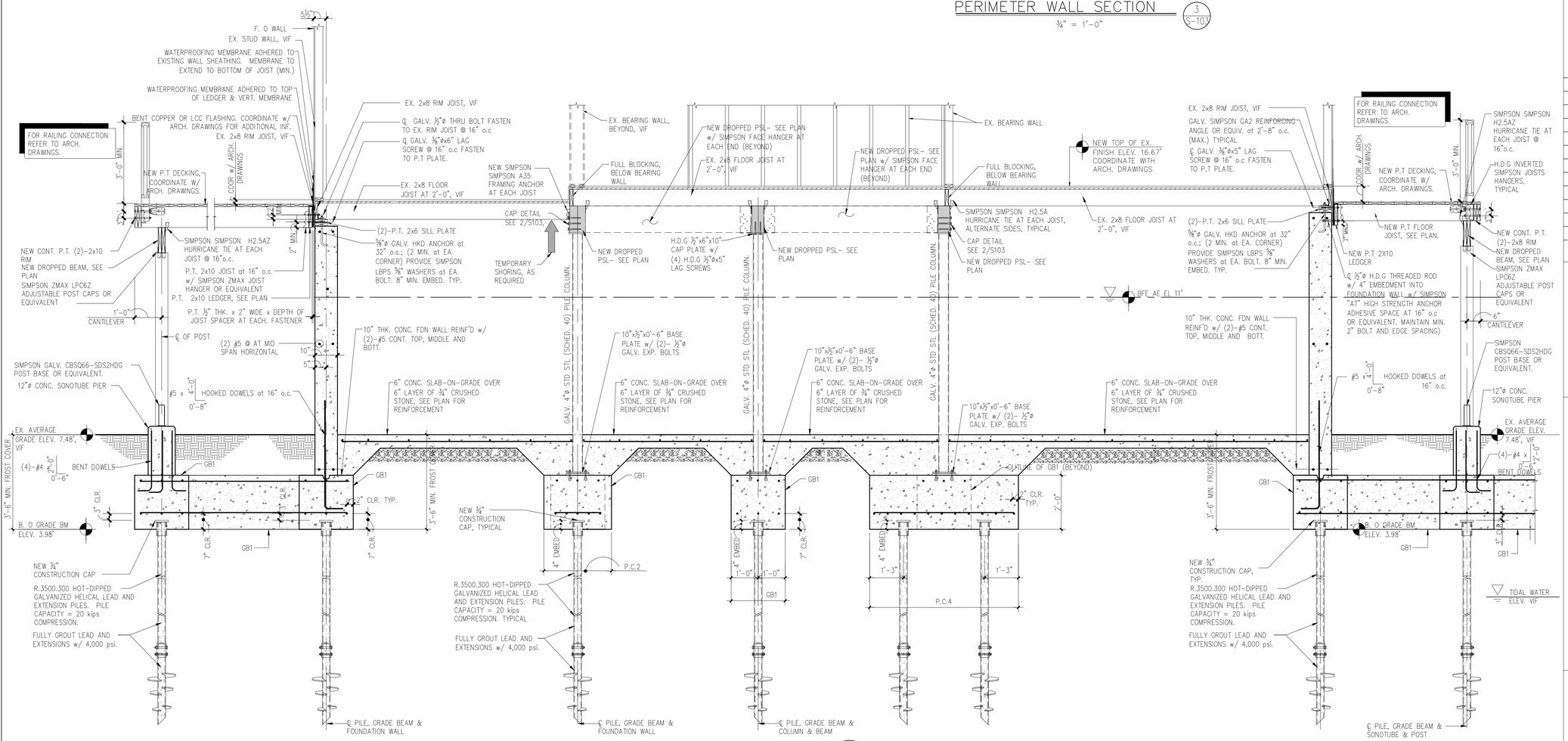
¾" = 1'-0"

"B.M": DENOTES BEAM WIDTH – SEE PLAN



PERIMETER WALL SECTION (3/S-103)

¾" = 1'-0"



SECTION (1/S-103)

1/2" = 1'-0"

NOTE:
NOT ALL FRAMING SHOWN FOR CLARITY

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Fax: 860-675-0004
www.cuocostructural.com

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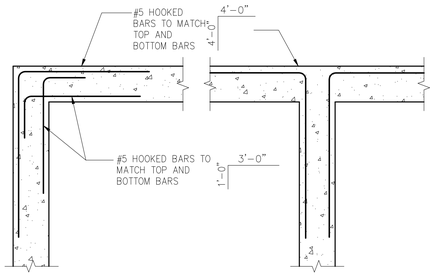
STRUCTURAL SECTIONS

PROJECT NO.: 1524-23 | AS NOTED | SCALE

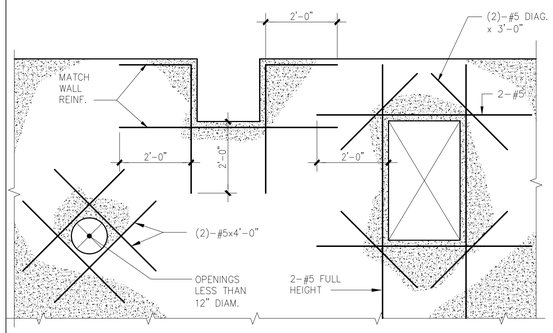
DRAWING NO.:

S-103



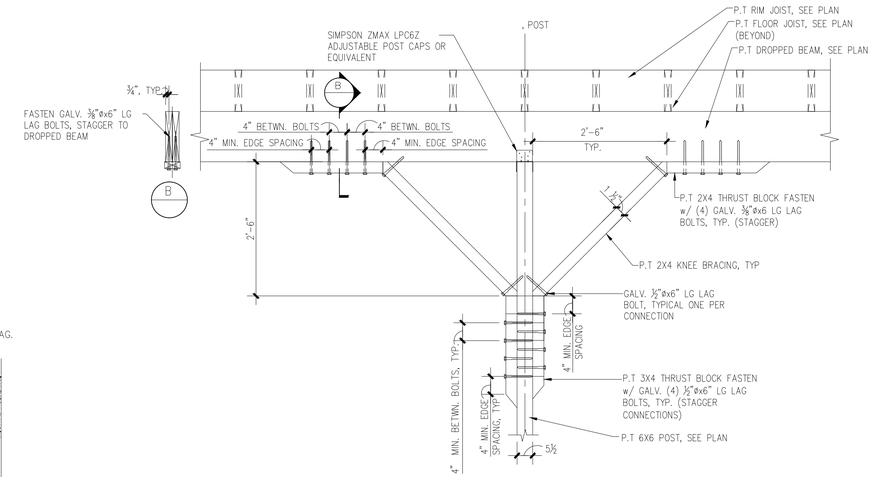
CORNER WALL REINFORCING DETAIL

3/4" = 1'-0"



TYPICAL REINFORCING AT WALL OPENINGS

NO SCALE



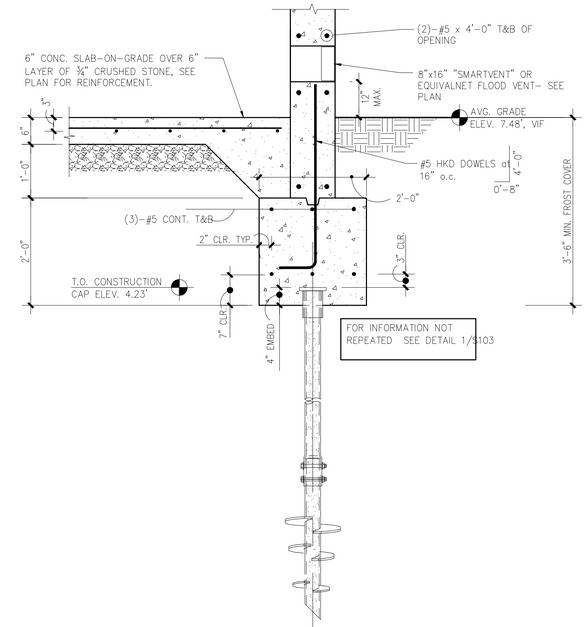
TYPICAL KNEE BRACING

1 / S-104

N.T.S

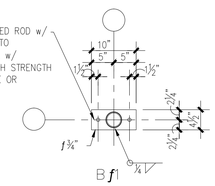
NOTE:

NOT ALL ITEMS SHOWN FOR CLARIFY



WALL SECTION AT VENT OPENINGS

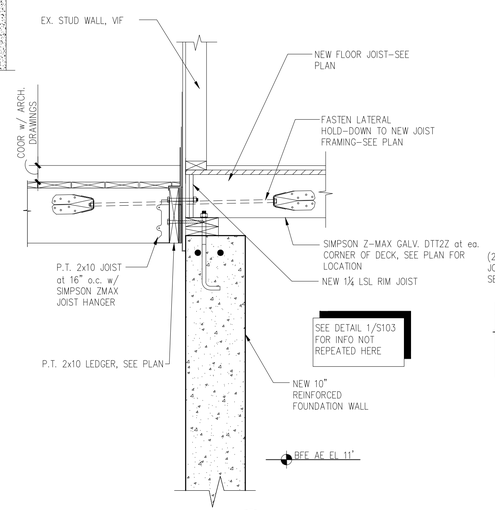
3/4" = 1'-0"



BASE PLATE DETAILS

2 / S104

¾" = 1'-0"



SECTION

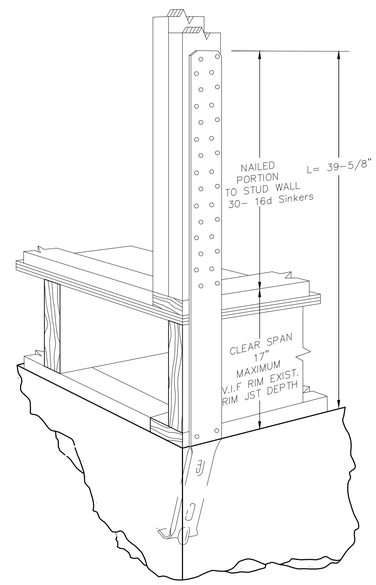
3 / S-104

1" = 1'-0"

4 / S104

SECTION

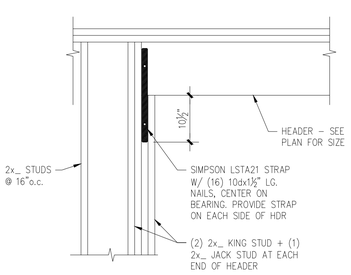
1" = 1'-0"



SIMPSON STHD14RJ DETAIL

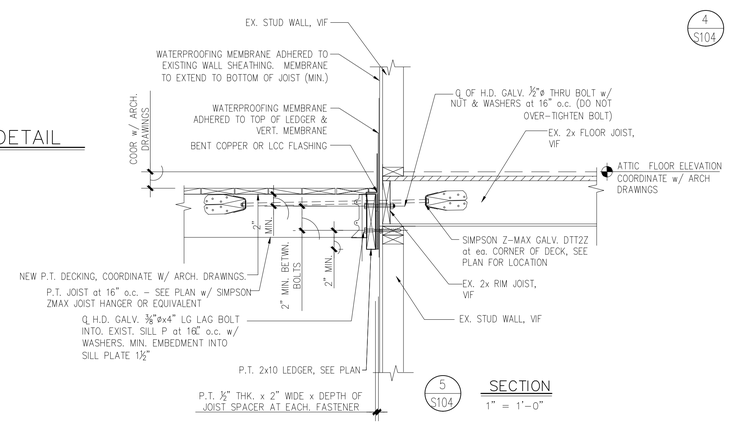
NOT TO SCALE

INSTALL STRAP PER MANUFACTURE SPECIFICATIONS. REMOVE EXISTING SIDING AND INSTALL STRAP DIRECTLY TO FRAMING. CONTRACTOR TO FIELD VERIFY LOCATION OF STUDS PRIOR TO INSTALLING STRAP TO FOUNDATION WALL.



TYPICAL HEADER ANCHORAGE DETAIL

¾" = 1'-0"



5 / S104

SECTION

1" = 1'-0"

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FOR
PASQUALE AND MARIE CAPOZZO
60 Cosey Beach Avenue
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TYPICAL STRUCTURAL SECTIONS

PROJECT NO.: 1524-23 | AS NOTED | SCALE

DRAWING NO.:

S-104

STRUCTURAL NOTES

GENERAL:

- All details shall be considered typical and shall apply at all same and similar conditions.
- The Contractor shall field measure and verify all dimensions of the existing building and all dimensions related thereto.
- The Contractor shall be responsible for all temporary shoring and bracing required to maintain the structural stability of the building during construction.
- All work shall be in accordance with Connecticut state residential code (CSRC) which includes the 2009 international Residential Code, and the Connecticut 2013 amendments.
- The Contractor shall be solely responsible for construction site safety.

DESIGN LOADS:

- The foundation structure have been engineered to resist the following design loads in accordance with 2009 IRC chapter 3 and the Connecticut 2013 Amendments.
- Floor live loads:
  First Floor: 40 psf
  Deck: 40 psf
  Balcony: 40 psf
- Snow load:
  Ground Snow Load - Pg = 30 psf

  The roof structure was engineered for a minimum snow load of 30 psf in accordance with ***CSRC*** Chapter 3, Snow Loads.
- Wind load:
  Main Wind Force - Resisting System
  Basic Wind Speed, (3 sec gust), V = 100 mph
  Exposure Classification - C
  Importance Factor - I = 1.00
  Velocity Pressure Exposure Coefficient, Kz = 0.91
  Wind Directionality Factor, Kd = 0.85
  Topographical Factor, Kzt = 1.00
  Product of Internal Pressure Coefficient and Gust Factor, GCpi = ±0.18
  Gust Effect Factor, G = 0.85
  External Pressure Coefficient, Cp = varies
  Windward Wall, Cp = 0.85
  Leeward Wall, Cp = -0.50
  Side Wall, Cp = -0.70
  Velocity Pressure, qz = 0.00256 x Kz x Kzt x Kd xV^2 x I = 20 psf
  Design Wind Pressure, p = q x (G x Cp) - qi x (GCpi) use 15 psf
- Earthquake load:
  Site classification - C
  Occupancy Category, General Building - I
  Seismic Use Group, I
  Occupancy Importance Factor, I = 1.0
  Seismic Design Category = B

Earthquake loads for single-family residences are exempt for SDC = B

FOUNDATION

- The Contractor shall be responsible for all dewatering, shoring, sheeting, or bracing required to maintain a safe, dry, and stable excavation.
- No pile caps shall be placed in water.
- Soil adjacent to and below footings shall be kept from freezing at all times.
- Provide a granular sub-base under all slabs on grade. Where the slab is exposed to frost, the sub-base shall be 6 inches of ¾ inch crushed stone.
- The Contractor shall verify the location of all underground utility lines, sewers, and fuel storage tanks to avoid any damage to these. Contractor shall contact "Call Before You Dig" prior to any excavation.
- Backfill for foundation walls and retaining walls shall be compacted granular soil with not more than 10% passing the #200 sieve. If on-site soil does not meet this specification, the Contractor shall bring in soil from off-site at his own expense.

CAST-IN-PLACE CONCRETE

- Coordinate with Project Specifications section 033000 "CAST-IN-PLACE CONCRETE"

STRUCTURAL STEEL:

- Coordinate with Project Specifications section 051200 "STRUCTURAL STEEL FRAMING"

ROUGH CARPENTRY

- Coordinate with Project Specifications section 061000 "ROUGH CARPENTRY"

SHEATHING

- Coordinate with Project Specifications section 061600 "SHEATHING"

ENGINEERED LUMBER NOTES:

- Coordinate with Project Specifications section 061000 "ROUGH CARPENTRY: ENGINEERED WOOD PRODUCTS"
- Unless otherwise noted on drawings, multiple plies of flush LVL or PSL material shall be bolted together with (2) rows of 5/8 inch diameter, A307 thru-bolts, spaced at 16 inches on center. Bolt holes are to be the same diameter as the bolt, and be located 2½ inches from the top and bottom of the member. Washers should be used under the head and nut of the bolts. Do not tighten bolts to the point of crushing wood fibers. Bolts are to be snug tight. Members noted as dropped shall be connected with (3) rows of 16d common wire nails at 12" on center.

HELICAL PILES:

- All piles shall be patented helical piles and appurtenances as manufactured by A.B. Chance or an approved equal.
- Project is located in the vicinity of Long Island Sound, ground water elevation is tidal. Schedule pile installation during periods of low tide.
- All helical piles shall be installed by factory certified installers.
- All helical pile installations operations shall be supervised by a professional Engineer (Pile Engineer), licensed in the State of Connecticut, and hired by architect and who has experience with the installation and monitoring of helical piles
- The helical piles shall be installed to achieve an ultimate bearing capacity of 40 kips compression. The design capacity of the piles is 20 kips providing a safety factor of 2. The pile contractor shall submit, for review, calculations indicating the minimum pile depth, helix diameter and required torque to achieve the required load based upon the soil boring.
- If the minimum torque has not been achieved at the depth level, the contractor shall have the following options:
  a. Install the pile deeper, using additional extensions until the specified torque has been obtained.
  b. Remove the existing pile and install a pile with a larger and/or more helices. The revised pile shall be installed beyond the termination depth of the original pile, as directed by the engineer.
  c. Add additional piles as recommended by the engineer.
- Helical piles leads shall have a RS3500.300 inch shaft with three helices. The lower helix shall have a minimum diameter of 8 inches; the middle helix shall be 10 inches; the upper helix shall be 12 inches in diameter. Minimum embedment = 10 feet.
- The helical piles, extensions, and appurtenances shall be hot dipped galvanized in accordance with ASTM A153.
- Helical piles shall be installed as shown on the drawings. All changes to the pile locations must be approved by the engineer.
- If underground obstructions are encountered during the installation, the contractor shall have the option of removing the obstruction if possible, or relocating the pile with the engineer's approval. The latter option may require the relocation of adjacent piles or the installation of additional piles.
- Pipe columns should be fully grouted during pile installation.
- The grout columns shall have a minimum compressive strength of 4,000 psi.
- Written installation records shall be obtained for each helical pile. The records shall include, but are not limited to, the following:
  a. Project name and location
  b. Name of contractor's foreman and representative who witnessed the installation.
  c. Date and time of installation.
  d. Location and/or reference number of each pile.
  e. Description of lead section and extensions installed.
  f. Overall depth of installation referenced from bottom of existing pile.
  g. Torque reading for the last three feet of installation.
  h. Any other relevant information relation the installation, such as but not limited to, depth of any obstructions encountered, sudden loss of torque, offset from plan location.

FOR ESTIMATE PURPOSE:

- All piles shall be installed to a depth of 31 feet below elevation +3.98 ft. The exact embedment lengths shall be verified and recorded in the field by Pile Engineer. Final payment for installation length shall be determined using a constant unit price.

SUGGESTED SEQUENCE FOR HOME LIFTING:

1. Install cribbing and temporary bracing to support framing to elevate structure.
2. Raise structure to required elevation to provide clearance for installation of new foundation.
3. Demolish and remove existing interior slab, foundation walls and footings.
4. Excavate to approximate bottom of existing grade beam elevation and install new Helical Piles. Maintain grade beam excavation away from cribbing support as to not to undermine the soil.
5. Install new grade beams, pile caps, foundation walls, and first floor framing.
6. Lower structure onto new foundation, fasten as indicated.

SOIL BORING LOG

SOILTESTING, INC.
90 DONOVAN RD.
OXFORD, CT 06478
CT (203) 262-9328
NY (914) 946-4850

CLIENT: **Lothrop Associates**
PROJECT NO. **G223-9876-14**
PROJECT NAME **60 Cosey Beach Avenue Applicant No. 1129**
LOCATION **East Haven, CT**
FOREMAN - DRILLER **TP/ad**
INSPECTOR
GROUND WATER OBSERVATIONS
AT_6_FT AFTER_0_HOURS
AT__FT AFTER__HOURS

SHEET__1__OF__1__
HOLE NO. **B-1**
BORING LOCATIONS per Plan
OFFSET
DATE START 6/18/15
DATE FINISH 6/18/15
SURFACE ELEV.
GROUND WATER ELEV.

	CASING	SAMPLER	CORE BAR
TYPE	HSA	SS	
SIZE I.D.	4 ¼"	1 3/8"	
HAMMER WT.		140#	BIT
HAMMER FALL		30"	

DEPTH	CASING BLOWS PER FOOT	SAMPLE NO	Type	PEN	REC	DEPTH @ BOT	BLOWS PER 6 IN ON SAMPLER (FORCE ON TUBE) 0 - 6 6 - 12 12- 18	CORE TIME PER FT (MIN)	DENSITY OR CONSIST MOIST	STRATA CHANGE DEPTH ELEV	FIELD IDENTIFICATION OF SOIL REMARKS INCL. COLOR, LOSS OF WASH WATER, SEAMS IN ROCK, ETC.
		1	ss	24"	12"	2'0"	3 12 5 4		dry-moist		1" ASPHALT / lt brn tan FM-C SAND, lit F gravel, tr silt
		2	ss	24"	8"	4'0"	4 3 3 3		dry-moist		lt brn FM SAND (poss fill to 4')
5		3	ss	24"	13"	6'0"	11 9 8 13		loose		brn FM-C SAND, lit F gravel, tr silt
		4	ss	24"	15"	8'0"	7 6 7 10		wet		lt brn tan FMC SAND, tr F gravel
		5	ss	24"	20"	10'0"	9 6 7 8		compact		SAME
10		6	ss	24"	10"	12'0"	3 3 3 4		wet		lt red brn FMC SAND, lit F gravel, tr silt
15		7	ss	24"	20"	17'0"	2 3 6 9		wet loose	16'0"	brn gry FM-C SAND, lit F gravel, tr silt; gry FMC SAND, sm organic silt, tr F gravel
20		8	ss	24"	20"	22'0"	1 1 2 3		wet stiff	20'0"	gry ORGANIC SILT
25		9	ss	24"	24"	27'0"	1 1 1 2		wet v soft		brn ORGANIC SILT, lit peat, tr FM sand; lt cobbles
30		10	ss	11"	11"	30'11"	27 100/5"		wet v dense	30'0"	red brn FMC SAND; BOULDERS or fractured BEDROCK from 33'
35										34'0"	AUGER REFUSAL. E.O.B. 34'0"
40											

NOTE: Subsoil conditions revealed by this investigation represent conditions at specific locations and may not represent conditions at other locations or times.

GROUND SURFACE TO _____FT. USED _____CASING THEN _____ CASING TO _____FT. **HOLE NO. B-1**
A = AUGER UP = UNDISTURBED PISTON T = THINWALL V = VANE TEST
WOR = WEIGHT OF RODS WOH = WEIGHT OF HAMMER & RODS C = COARSE
SS = SPLIT TUBE SAMPLER H.S.A. = HOLLOW STEM AUGER M = MEDIUM
PROPORTIONS USED: TRACE = 0 - 10% LITTLE = 10 - 20% SOME = 20 - 35% AND =35 - 50% F = FINE

SOIL BORING LOG

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OXFORD, CT 06478
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NY (914) 946-4850

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PROJECT NAME **60 Cosey Beach Avenue Applicant No. 1129**
LOCATION **East Haven, CT**
FOREMAN - DRILLER **TP/ad**
INSPECTOR
GROUND WATER OBSERVATIONS
AT_6_FT AFTER_0_HOURS
AT__FT AFTER__HOURS

SHEET__1__OF__1__
HOLE NO. **B-2**
BORING LOCATIONS per Plan
OFFSET
DATE START 6/18/15
DATE FINISH 6/18/15
SURFACE ELEV.
GROUND WATER ELEV.

	CASING	SAMPLER	CORE BAR
TYPE	HSA	SS	
SIZE I.D.	4 ¼"	1 3/8"	
HAMMER WT.		140#	BIT
HAMMER FALL		30"	

DEPTH	CASING BLOWS PER FOOT	SAMPLE NO	Type	PEN	REC	DEPTH @ BOT	BLOWS PER 6 IN ON SAMPLER (FORCE ON TUBE) 0 - 6 6 - 12 12- 18	CORE TIME PER FT (MIN)	DENSITY OR CONSIST MOIST	STRATA CHANGE DEPTH ELEV	FIELD IDENTIFICATION OF SOIL REMARKS INCL. COLOR, LOSS OF WASH WATER, SEAMS IN ROCK, ETC.
		1	ss	24"	16"	2'0"	3 4 4 3		dry		1.5" ASPHALT / brn FM SAND
		2	ss	24"	12"	4'0"	4 4 4 5		loose		lt brn tan FM SAND
5		3	ss	24"	10"	6'0"	3 4 6 6		dry		lt brn tan FM SAND, tr C sand, F gravel (poss fill to 5')
		4	ss	24"	17"	8'0"	7 6 9 11		loose		SAME
		5	ss	24"	20"	10'0"	10 10 10 11		moist-wet		lt brn tan FMC SAND
10		6	ss	24"	13"	12'0"	4 5 4 6		wet		lt brn FM-C SAND, lit F gravel
15		7	ss	24"	5"	17'0"	6 7 10 12		loose		brn FM-C SAND, lit F gravel, tr silt
20		8	ss	24"	24"	22'0"	WOH 2 1 1		wet compact	20'0"	gry ORGANIC SILT, tr sea shells
25		9	ss	24"	24"	27'0"	WOR / 24"		wet soft		SAME as above
30		10	ss	24"	24"	32'0"	3 4 9 8		wet v soft	31'0"	gry ORGANIC SILT
									wet compact	31'6"	gry FM SAND & gry ORGANIC SILT; poss fractured BEDROCK partially weathered BEDROCK
35										34'6"	AUGER REFUSAL. E.O.B. 34'6"
40											

NOTE: Subsoil conditions revealed by this investigation represent conditions at specific locations and may not represent conditions at other locations or times.

GROUND SURFACE TO _____FT. USED _____CASING THEN _____ CASING TO _____FT. **HOLE NO. B-2**
A = AUGER UP = UNDISTURBED PISTON T = THINWALL V = VANE TEST
WOR = WEIGHT OF RODS WOH = WEIGHT OF HAMMER & RODS C = COARSE
SS = SPLIT TUBE SAMPLER H.S.A. = HOLLOW STEM AUGER M = MEDIUM
PROPORTIONS USED: TRACE = 0 - 10% LITTLE = 10 - 20% SOME = 20 - 35% AND =35 - 50% F = FINE

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RAISING EXISTING RESIDENCE
FOR
PASQUALE & MARIE CAPOZZO
60 Cosey Beach Ave.
East Haven, Connecticut 06512

STRUCTURAL NOTES AND BORING LOGS

PROJECT NO.: 1524-23
SCALE: AS NOTED

DRAWING NO.:

S-105