

Owner Occupied and Scattered Site Rehabilitation Programs

ADDENDUM ACKNOWLEDGEMENT

**Addendum # 4
March 21, 2016**

Project # 1118 Property Address: 39 Shorefront Park, Norwalk, CT

Addendum Description

The addendum modifies the Bid Specification and Drawings prepared by Martinez Couch and Associates, LLC and Consultants to the following particulars;

Request for Information Date 03/18/2016

Raise High Construction

Does Allowance 1 include all disconnects and reconnects for water, sewer, gas, electric, AC condenser, and domestic hot water heater? Reconnects Only? Please advise. Does Allowance 3 include all grading, topsoil, rake, seed and hay?

RFI – Response

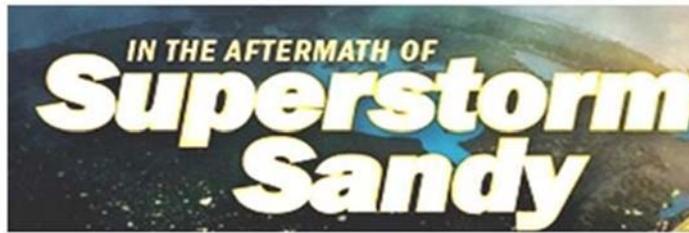
See specification section 01 21 00 – Allowances, on pages 118 and 119. Allowance 1 includes utility services to the face of the building; the disconnection and reconnection of appliances is part of the base bid. Allowance 3 includes restoration as noted in the specification due to the construction activities.

Request for Information Date 03/18/2016

Raise High Construction

The plans show no disposition for the AC condenser, but I presume it has to raised higher than current. I'm told a platform design & spec may have been included in a previous iteration of the plans. Please advise.

I've come across a reference to the condenser on C-1.2, but no construction spec for the platform. I can see duplicating the existing, only taller, fastening the legs to piers and fastening the platform to the house. Please advise.



Department of Housing



RFI – Response

Refer to drawing sheet C-1.1 – Soil Erosion and Sediment Control/ Demolition Plan, note 6 indicates to disconnect air conditioning unit at rear of garage and store on site. Also see drawing sheet C-1.2 – Site Plan, note 14 requires the general contractor to reinstall air conditioning unit at rear of house above the 100-Year FEMA Base Flood Elevation. It's up to the means and methods in which the contractor reinstalls the air conditioning unit, but it is required by drawings to be reinstalled above the FEMA 100-Year Flood Elevation. Duplicating the existing construction is acceptable.

Request for Information Date 03/17/2016

Raise High Construction

About the pile engineering, can MCA confirm that it would be suitable if owners down the road want to add a second story? I'm sure it's a somewhat impossible question with no design in hand, but maybe there's a way.

RFI – Response

The project is designed for the existing 1-story structure.

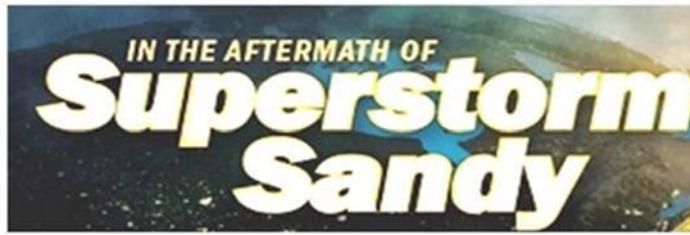
Request for Information Date 03/17/2016

Raise High Construction

Btw, on the pile spec, everyone I talk to says 20-ton result is normal compared to the 12-ton specified so I trust it's ok to go for that. Going from 12 tons to 20 is like 4 more hits, so no cost impact.

RFI – Response

The timber pile design load for 12 tons, as specified by the structural drawings requirements. Bid specification section 31 62 19 – Timber Piles for the required inspections to verify this design load is obtained.



Department of Housing



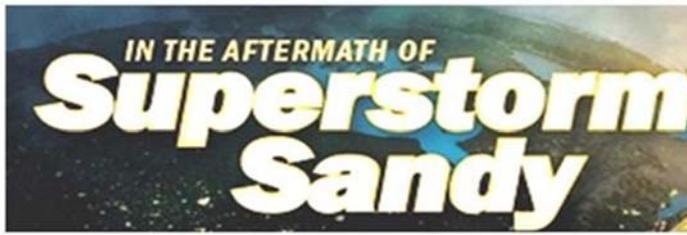
Request for Information Date 03/20/2016

Raise High Construction

On drawing sheet, A-1.0 shows 3 piling cross-braces the front, but there is no spec. or plan view showing there may be more. Are there more cross braces on the timber piles?

RFI – Response

Refer to drawing sheet S3 – Foundation Design – First Floor Framing & Support Plan, for references to typical section detail 1 on structural drawing sheet S4. Provide cross bracing for all timber piles bays based on detail 1 on S4.



BID ADDENDUM ACKNOWLEDGMENT

The undersigned acknowledges that he/she have reviewed and acknowledge receipt of this Addendum # 4 for Project 1118 – 39 Shorefront Park, Norwalk, CT.

Any bids collected which do not contain a signed and executed copy of this page are subject to disqualification.

BIDDER ACKNOWLEDGEMENT:

Name of Bidder

Signature

Date

Bidder's Title

Bidder's Company