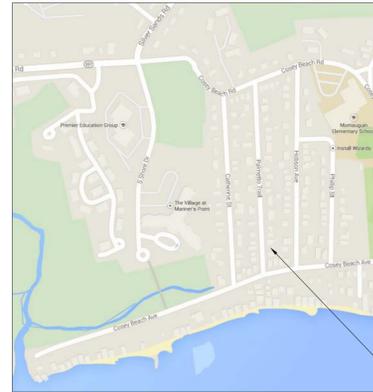
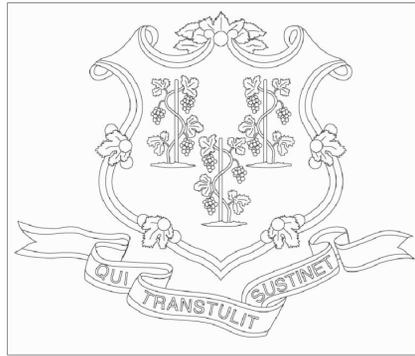


STATE OF CONNECTICUT DEPARTMENT OF HOUSING CDBG-COMMUNITY DEVELOPMENT BLOCK GRANT SUPERSTORM SANDY DISASTER RECOVERY PROGRAM



PROJECT SITE

AREA MAP

SPONSOR
State of Connecticut
Department of Housing
505 Hudson Street
Hartford, Connecticut 06106

OWNER
Application No. 1083
John Terrace
19 Palmetto Trail
East Haven, Connecticut 06512

ARCHITECT:
Lothrop Associates LLP
333 Westchester Avenue, White Plains, New York 10604
510 Clinton Square, Rochester, New York 14620
125 Half Mile Road, Suite 200, Red Bank, New Jersey 07701
100 Pearl Street, 14th Floor, Hartford, Connecticut 06103

ENVIRONMENTAL ENGINEER:
Fuss & O'Neill EnviroScience, LLC
146 Hartford Road, Manchester, Connecticut 06040
56 Quarry Rd, Trumbull, Connecticut 06611

STRUCTURAL ENGINEER:
Cuoco Structural Engineers, LLC
60 Katona Drive, Fairfield, Connecticut 06824

SURVEYOR:
Freeman Companies, LLC
36 John Street, Hartford, Connecticut 06106

ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	HM	HOLLOW METAL
ADJ	ADJACENT	HORIZ	HORIZONTAL
ALUM	ALUMINUM	HW	HOT WATER HEATER
APPROX	APPROXIMATE	JB	JUNCTION BOX
ARCH	ARCHITECTURAL	LDR	LEADER
BTM	BOTTOM	LO	LINE OF
B.O.	BOTTOM OF	LVL	LAMINATE VENEER LUMBER
CJ	CEILING JOISTS	MAX	MAXIMUM
CL	CENTERLINE	MC	MEDICINE CABINET
CLOS	CLOSET	MI	MIRRORED MEDICINE CABINET
CMU	CONCRETE MASONRY UNIT	MIN	MINIMUM
COL	COLUMN	MO	MASONRY OPENING
CONC	CONCRETE	MV	MICROWAVE
CONT	CONTINUOUS	NIC	NOT INCLUDED IN CONTRACT
COORD	COORDINATE	OA	OVERALL
CT	CERAMIC TILE	OC	ON CENTER
DW	DISHWASHER	OPP	OPPOSITE
DWG	DRAWING	PSL	PARALLEL STRAND LUMBER
E/F	EXHAUST FAN	PT	PRESSURE TREATED
EX	EXISTING	REF	REFRIGERATOR
EL	ELEVATION	REINF	REINFORCED
EP	ELECTRICAL PANEL	RO	ROUGH OPENING
EQ	EQUAL	RM	ROOM
EQUIP	EQUIPMENT	RR	ROOF RAFTERS
EQUIV	EQUIVALENT	SD	SMOKE DETECTOR
F/D	FLOOR DRAIN	SIM	SIMILAR
FIN	FINISH	SPEC	SPECIFICATIONS
FDN	FOUNDATION	STD	STANDARD
FJ	FLOOR JOISTS	STL	STEEL
FLR	FLOOR	STRUCT	STRUCTURAL
FLHB	FROST PROOF HOSE BIB	T.O.	TOP OF
FV	FLOOD VENT	TYP	TYPICAL
GALV	GALVANIZED	VCT	VINYL COMPOSITE TILE
GFI	GROUND FAULT CIRCUIT INTERRUPTER	VERT	VERTICAL
GWB	GYPSON WALL BOARD	VIF	VERIFY IN FIELD
GYP	GYPSON	W/D	WASHER/ DRYER COMBO
HDWD	HARDWOOD FLOORING	WD	WOOD
		WP	WEATHERPROOF
		WWF	WELDED WIRE FABRIC (MESH)
		U/C	UNDER CABINET (LIGHTING)

SYMBOLS LEGEND

	EXISTING PARTITION/ WALL TO REMAIN		DETAIL TAG: SECTION NUMBER DRAWING NUMBER
	NEW PARTITION/ WALL		SECTION KEY: SECTION NUMBER DRAWING NUMBER
	NEW FOUNDATION WALL AND FOOTINGS		ELEVATION KEY: ELEVATION NUMBER DRAWING NUMBER
	EXISTING TO BE REMOVED		KEYED NOTE TAG
	EXISTING ITEM ABOVE		ROOF SLOPE
	EXISTING WINDOW TO REMAIN		REVISION
	NEW WINDOW		SETBACK LINE
	NEW DOOR		SILT BARRIER
	EXISTING DOOR TO REMAIN		CONSTRUCTION FENCE
	NEW "SMART VENT" FLOOD VENT		PROPERTY LINE
	PLYWOOD		GRAVEL
	CONCRETE		WOOD DECKING
	RIGID INSULATION		NEW GAS METER
	NEW WATER METER		

ELEC./ UTILITY LEGEND

	ELECTRICAL PANEL		CEILING MOUNTED EXHAUST FAN WITH LIGHT
	DUPLEX OUTLET		UNDER CABINET TASK LIGHTING
	DUPLEX OUTLET - GROUND FAULT CIRCUIT INTERRUPTER		RECESSED DOWN LIGHT
	DEDICATED OUTLET - STOVE		WALL MOUNTED LIGHT
	DUPLEX OUTLET - DISHWASHER		WALL MOUNTED EXTERIOR LIGHT
	DUPLEX OUTLET - MICROWAVE		CEILING MOUNTED FAN WITH LIGHT
	DUPLEX OUTLET - WEATHER PROOF		
	TV/ CABLE JACK		
	TELEPHONE/ DATA JACK		
	GAS CONNECTION		
	SWITCH		
	3 WAY SWITCH		
	WIRING		
	CEILING MOUNTED SMOKE DETECTOR		
	CEILING MOUNTED CARBON MONOXIDE DETECTOR		

GENERAL NOTES

- DO NOT OBSTRUCT ACCESS TO THE SITE.
- PROTECT ALL AREAS FROM FALLING DEBRIS.
- MAINTAIN ALL EXISTING SITE ELEMENTS (PAVING, FENCES, BUILDINGS, ETC.) AND PLANTINGS & LAWNS. CONTRACTOR SHALL REPLACE OR REPAIR ALL DAMAGE, AT THE CONTRACTORS' EXPENSE.
- MAINTAIN A SECURED AREA FOR ALL CONSTRUCTION MATERIALS & EQUIPMENT STORED ON SITE.
- PROVIDE TARPED DUMPSTER FOR REMOVAL OF ALL RUBBISH AND CONSTRUCTION DEBRIS. DUMPSTER SHOULD BE ADEQUATELY PROTECTED DURING PROJECT. CONTRACTOR IS RESPONSIBLE FOR ALL TRASH PLACED IN AND AROUND DUMPSTER. DUMPSTER PERMIT COSTS TO BE INCLUDED IN THE BASE BID.
- WORK SHALL COMPLY WITH ALL STATE & LOCAL CODES, REGULATIONS AND ORDINANCES.
- AT PROJECT COMPLETION, REMOVE ALL CONSTRUCTION DEBRIS AND PATCH/REPAIR ALL SURFACES DAMAGED BY CONTRACTOR ACTIVITIES. THOROUGHLY CLEAN ALL WORK AREAS OF ALL DEBRIS RESULTING FROM WORK OF THIS CONTRACT.
- DISCONNECT AND RECONNECT ALL UTILITIES AS REQUIRED. COORDINATE WITH UTILITY COMPANIES AND AUTHORITIES HAVING JURISDICTION
- THE SPECIFICATION MANUAL IS AN INTEGRAL PART OF THESE DOCUMENTS AND SHALL BE CONSIDERED A COMPONENT OF THESE DOCUMENTS AS IF INCLUDED HEREIN.
- DO NOT SCALE DRAWINGS
- ALL DIMENSIONS TAKEN TO FACE OF FRAMING AND FACE OF CONCRETE/CONCRETE MASONRY UNIT

DRAWING LIST

ARCHITECTURAL

- G-001 COVER SHEET
- G-002 SITE PLAN, ZONING DATA, DETAILS AND NOTES
- AD-101 FOUNDATION, FIRST FLOOR AND SECOND FLOOR DEMOLITION PLANS
- AD-201 DEMOLITION ELEVATIONS
- A-101 FOUNDATION, FIRST, AND SECOND FLOOR CONSTRUCTION PLANS
- A-201 BUILDING ELEVATIONS
- A-301 BUILDING SECTION AND DETAILS
- A-302 DETAILS

STRUCTURAL

- S-101 FOUNDATION PLAN, FIRST FLOOR FRAMING PLAN
- S-102 STRUCTURAL SECTIONS
- S-103 TYPICAL STRUCTURAL DETAILS
- S-104 STRUCTURAL NOTES, and SOIL BORING LOGS



Lothrop Associates LLP Architects
100 Pearl Street
14th Floor
Hartford, Connecticut 06103
860-249-7251

White Plains Rochester Red Bank Hartford

STRUCTURAL ENGINEER:



SURVEYOR:



ENVIRONMENTAL ENGINEER:



ISSUE NO.	ISSUE DATE	DESCRIPTION
1	1 MAY 2015	ISSUED FOR BID

State Of Connecticut
Department Of Housing
505 Hudson Street
Hartford, Connecticut 06106

Application No. 1083
HAZARDOUS MATERIAL ABATEMENT,
CONSTRUCTION OF NEW FOUNDATIONS,
RAISING EXISTING RESIDENCE AND MINOR
INTERIOR ALTERATIONS
FOR
JOHN TERRACE
19 PALMETTO TRAIL
EAST HAVEN CONNECTICUT 06512

COVER SHEET

PROJECT NO.: 1524-43 SCALE AS NOTED

DRAWING NO.:

G-001

STRUCTURAL ENGINEER:

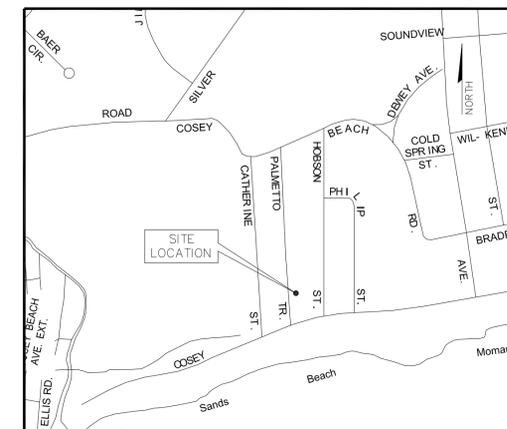


SURVEYOR:



Freeman Companies, LLC
100 Walk Street, Suite 2H
Hartford, Connecticut
06103

ENVIRONMENTAL ENGINEER:



LOCATION MAP

NOT TO SCALE

NOTES

THIS SITE PLAN IS BASED ON A SURVEY PREPARED BY FREEMAN COMPANIES, LLC. IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THRU 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

THE TYPE OF SURVEY THIS SITE PLAN IS BASED ON IS A BOUNDARY AND TOPOGRAPHIC SURVEY. IT IS DEPENDENT IN NATURE AND BASED UPON MAP REFERENCE NUMBER ONE.

THE SURVEY ACCURACY CONFORMS TO HORIZONTAL CLASS "D", TOPOGRAPHIC ACCURACY CLASS T-2.

HORIZONTAL CONTROL AND MAP BEARINGS ARE BASED ON NAD83 HORIZONTAL DATUM. VERTICAL CONTROL AND ELEVATIONS ARE BASED ON NAVD83 DATUM.

THE SUBJECT PROPERTY IS CURRENTLY OWNED BY JOHN B. & JOAN L. TERRACE, SEE EAST HAVEN LAND RECORDS VOLUME 339 AT PAGE 660, AND IS LOCATED IN AN R1 ZONE.

THE EXISTING LOT IS NON-CONFORMING TO THE CURRENT ZONING REGULATIONS FOR LOT AREA. ITS USE IS DECLARED TO BE NONCONFORMING BUT NOT IN VIOLATION SINCE THE LOT EXISTED OF RECORD PRIOR TO MARCH 15, 1997. SEE SECTION 8-13a OF THE CONNECTICUT GENERAL STATUTES LISTED HERE FOR REFERENCE.

"SEC. 8-13a. NONCONFORMING BUILDINGS AND LAND USES. (A) WHEN A BUILDING IS SO SITUATED ON A LOT THAT IT VIOLATES A ZONING REGULATION OF A MUNICIPALITY WHICH PRESCRIBES THE LOCATION OF SUCH A BUILDING IN RELATION TO THE BOUNDARIES OF THE LOT OR WHEN A BUILDING IS SITUATED ON A LOT THAT VIOLATES A ZONING REGULATION OF A MUNICIPALITY WHICH PRESCRIBES THE MINIMUM AREA OF THE LOT, AND WHEN SUCH BUILDING HAS BEEN SO SITUATED FOR THREE YEARS WITHOUT THE INSTITUTION OF AN ACTION TO ENFORCE SUCH REGULATION, SUCH BUILDING SHALL BE DEEMED A NONCONFORMING BUILDING IN RELATION TO SUCH BOUNDARIES OR TO THE AREA OF SUCH LOT, AS THE CASE MAY BE."

THE PROPERTY DEPICTED HEREON IS LOCATED IN FLOOD ZONE AE (ELEVATION 11') BASED ON A VISUAL INSPECTION OF "FIRM FLOOD INSURANCE RATE MAP NEW HAVEN COUNTY, CONNECTICUT PANEL 576 OF 635 MAP NUMBER 09009C0576J MAP REVISED JULY 8, 2013 BY: FEDERAL EMERGENCY MANAGEMENT AGENCY."

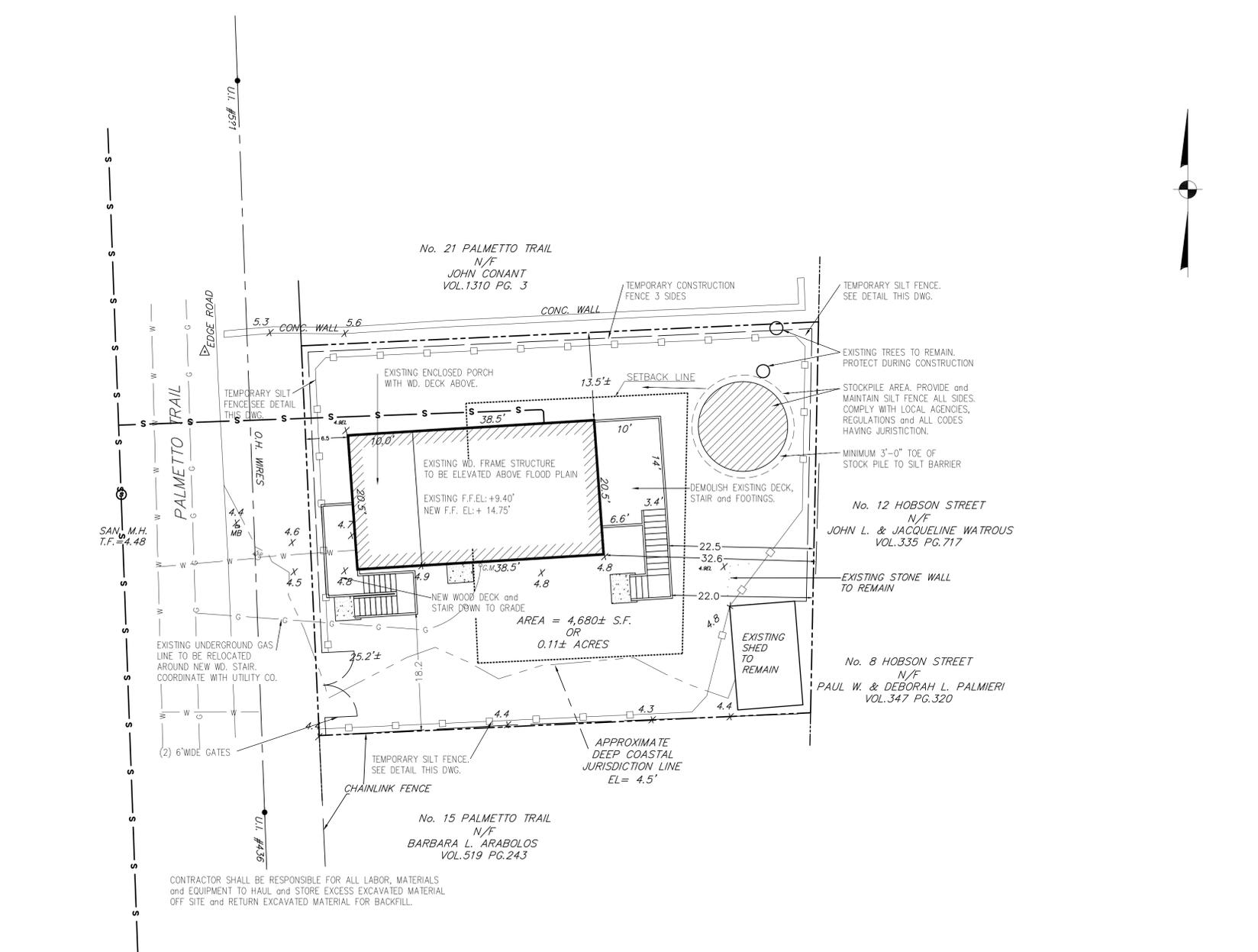
THE UNDERGROUND FEATURES DEPICTED HEREON ARE THE RESULT OF COMPILATION OF EXISTING MAPPING AND LOCATION OF UTILITY PAINT. ACTUAL LOCATION OF UNDERGROUND UTILITIES IS TO BE CONSIDERED TO BE APPROXIMATE AT BEST. OTHER UTILITIES MAY EXIST WHICH FREEMAN COMPANIES ARE UNAWARE OF. VERIFY INFORMATION IN THE FIELD BEFORE ANY DIGGING OR SITE EXCAVATION CALL "CALL BEFORE YOU DIG" 1-800-922-4455.

THE SURVEY FIELD WORK WAS PERFORMED DURING A PERIOD OF HEAVY SNOW COVER. CERTAIN FEATURES MAY HAVE BEEN OBSCURED.

MAP REFERENCES

- 1."MOMAUGUIN HEIGHTS EAST HAVEN CONN. OWNED BY THOMAS F. REILLY SCALE - 1 IN. = 50 FT. MAY 1920
- 2."PROPERTY OF RICHARD FORD EAST HAVEN, CONN. SCALE 1"=20' DATE 9/76" BY B.E.L. ENGINEERING AND LAND SURVEYING.
- 3."SMITH MANOR EAST HAVEN CONN. OUTLINE TRACED FROM OLD MAP BY WM. SPERRY IN 1900 SCALE 1"=50FT."

Reviewed and approved by the Town of East Haven Planning and Zoning Commission in accordance with the requirements for Coastal Site Plan Review under Section 11-15 of Public Act 79-535.
Dated: _____



1 SITE PLAN
SCALE: 1:10

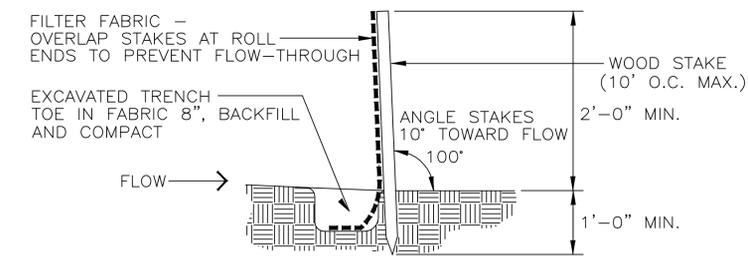


LEGEND

---	PROPERTY LINE
---	CHAIN LINK FENCE
⊙	SANITARY MANHOLE
---	SANITARY LINE
---	METAL POST
---	OVERHEAD WIRE
---	UTILITY POLE
⊙	PROPERTY CORNER IRON PIN
⊙	MAILBOX
⊙	VOLUME
PG.	PAGE

SITE PLAN INFORMATION TAKEN FROM A SURVEY PREPARED BY FREEMAN COMPANIES, LLC
MAP, BLOCK AND LOT: 030-0214-021

R-1 ZONE	ZONING DATA		
	REQUIRED	EXISTING	PROPOSED
MIN LOT AREA	7,200 SF	4,680 SF EXISTING NONCONFORMANCE	4,680 SF EXISTING NONCONFORMANCE
MIN LOT AREA PER DWELLING UNIT	7,200 SF	4,680 SF EXISTING NONCONFORMANCE	4,680 SF EXISTING NONCONFORMANCE
MIN DIM OF SQUARE ON SITE	60 Ft	60 Ft	60 Ft
MIN LOT FRONTAGE	60 Ft	60 Ft	60 Ft
MAX No. OF STORIES PER BUILDING	3	1	2
MAX HEIGHT OF A BUILDING	30 Ft	25 Ft	31 Ft VARIANCE REQUIRED
MIN SETBACK FROM STREET	25 Ft	19.7 Ft EXISTING NONCONFORMANCE	10.3 Ft VARIANCE REQUIRED
MIN SETBACK FROM REAR PROP LINE	20 Ft	19.3 Ft EXISTING NONCONFORMANCE	8.8 Ft VARIANCE REQUIRED
MIN SETBACK FROM SIDE PROP LINE	10 Ft	13.5 FT EXISTING NORTH, 25.2 FT EXISTING SOUTH	13.5 FT EXISTING NORTH, 18.7 PROPOSED FT SOUTH
MAX LOT COVERAGE AS % OF LOT AREA	25%	23.9%	23.9%
MAX FLOOR AREA AS % OF LOT AREA	50%	26.3%	26.3%
MIN FLOOR AREA PER DWELLING UNIT	900 SF	1,234.9 SF	1,234.9 SF



1. INSPECT BARRIER AFTER EACH STORM EVENT AND DAILY DURING PROLONGED RAINFALL.
2. REMOVE SEDIMENT WHEN IT REACHES APPROXIMATELY ONE-HALF THE BARRIER HEIGHT.

2 BARRIER DETAIL
3/4" = 1'-0"

State Of Connecticut
Department Of Housing
505 Hudson Street
Hartford, Connecticut 06106

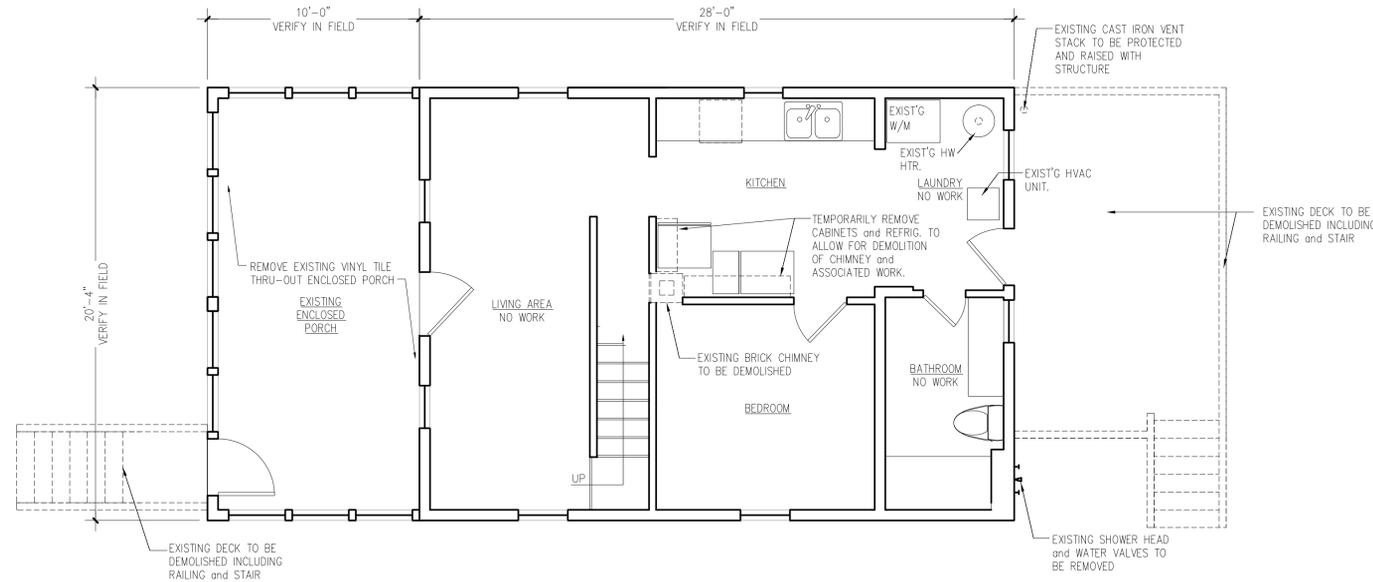
Application No. 1083
HAZARDOUS MATERIAL ABATEMENT,
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INTERIOR ALTERATIONS
FOR
JOHN TERRACE
19 PALMETTO TRAIL
EAST HAVEN CONNECTICUT 06512

SITE PLAN, ZONING DATA, DETAIL AND NOTES

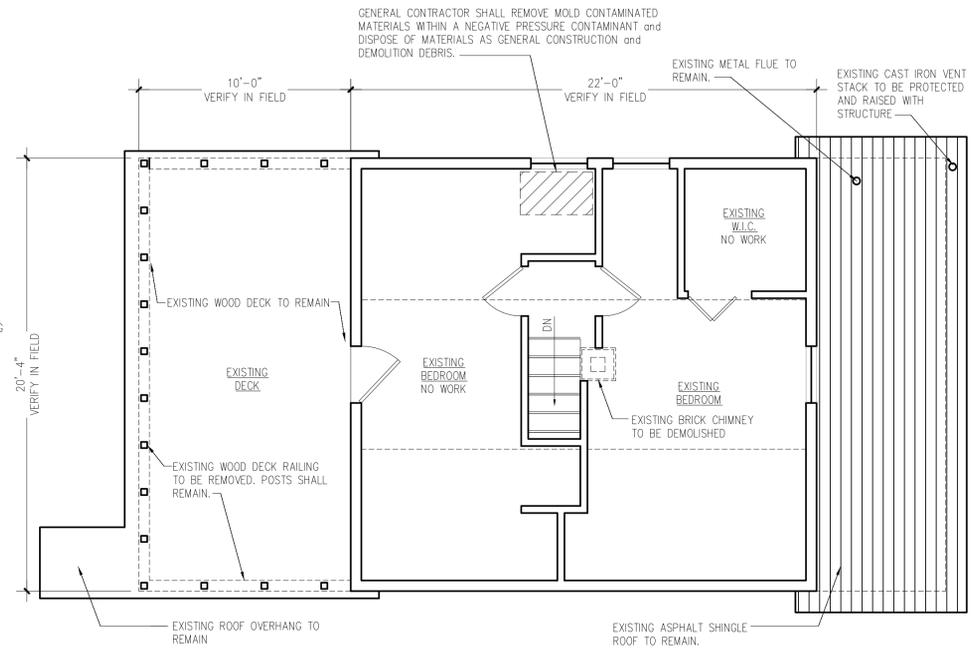
PROJECT NO.: 1524-43 SCALE AS NOTED

DRAWING NO.:

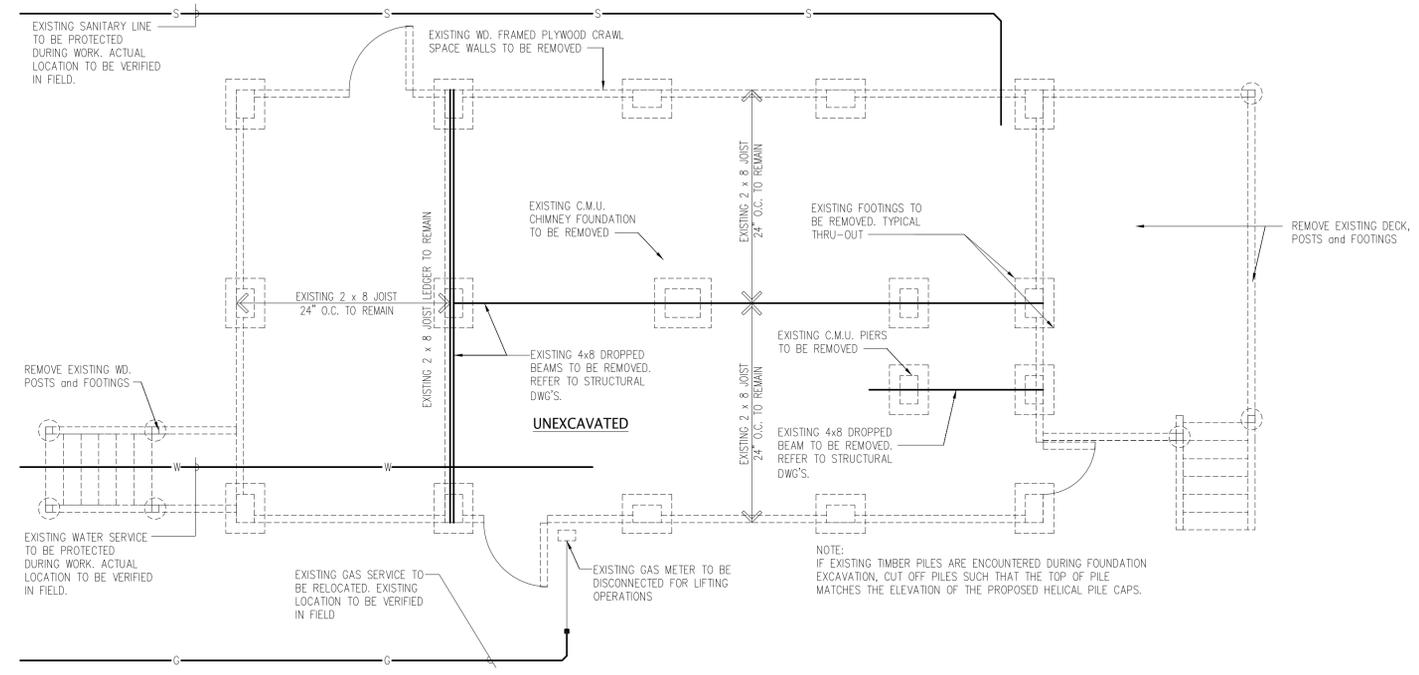
G-002



2 FIRST FLOOR DEMOLITION PLAN
 1/4" = 1'-0"



3 SECOND FLOOR DEMOLITION PLAN
 1/4" = 1'-0"



1 FOUNDATION DEMOLITION PLAN
 1/4" = 1'-0"



NOTE:
 SINCE ASBESTOS INSPECTION BY THE ABATEMENT CONSULTANT WAS LIMITED, IT IS RECOMMENDED THAT A SUPPLEMENTAL INSPECTION BE PERFORMED BY THE CONTRACTOR FOR HIDDEN AND INACCESSIBLE AREAS. (BEHIND WALLS, BENEATH FIXED FLOORS, EXTERIOR FOUNDATIONS, ETC.) THAT INCLUDES DESTRUCTIVE INVESTIGATIONS PRIOR TO DEMOLITION/CONSTRUCTION ACTIVITIES THAT MAY DISTURB IN THESE HIDDEN AREAS. ANY SUSPECT ACM ENCOUNTERED DURING DEMOLITION/RENOVATION ACTIVITIES THAT IS NOT IDENTIFIED IN THE AVAILABLE REPORT AS BEING NON-ACM SHOULD BE PRESUMED TO CONTAIN ASBESTOS UNTIL SAMPLE COLLECTION AND ANALYSIS INDICATE OTHERWISE.

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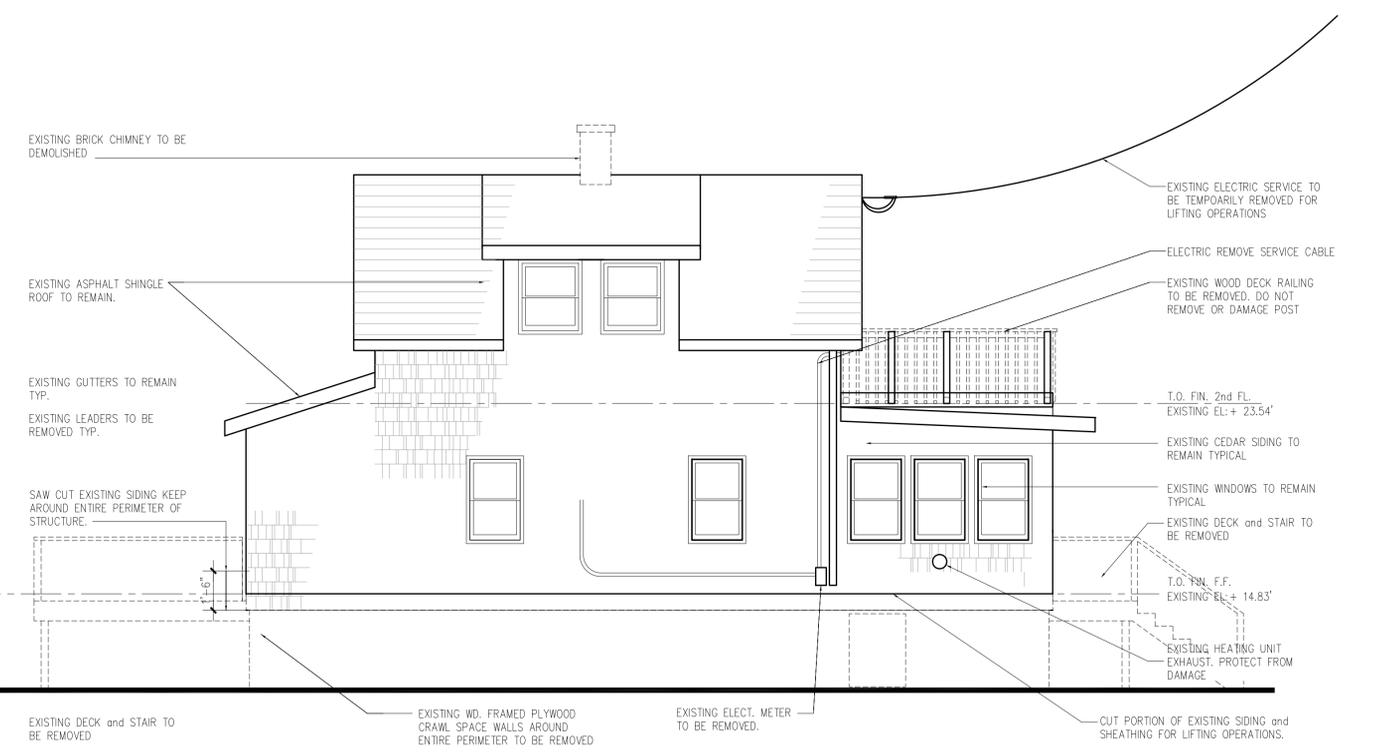
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**FOUNDATION, FIRST FLOOR
 and SECOND FLOOR
 DEMOLITION PLANS**

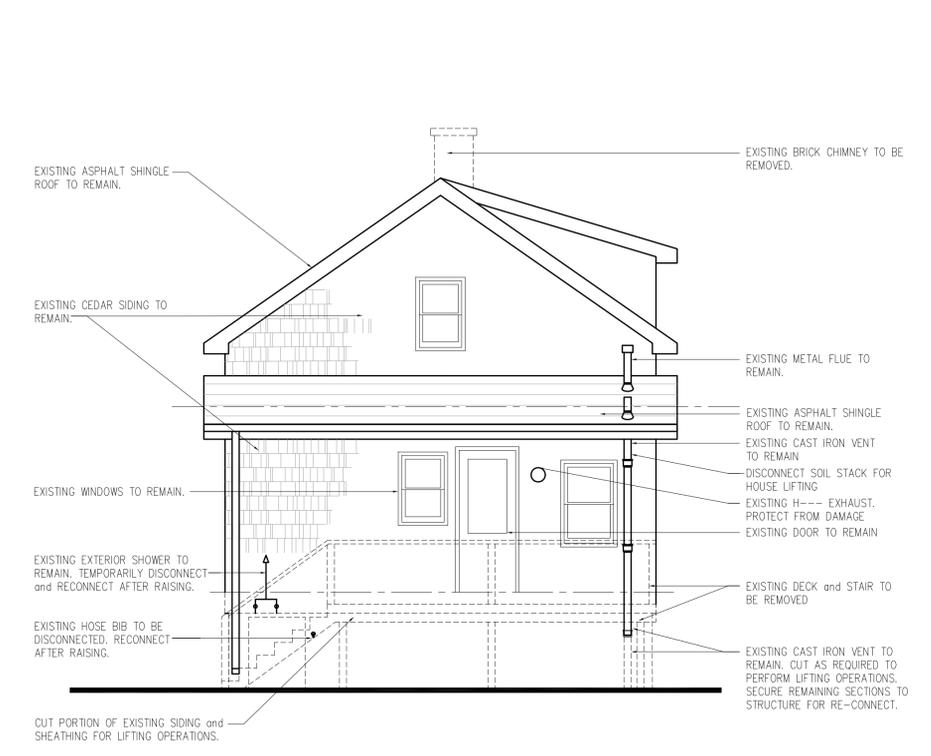
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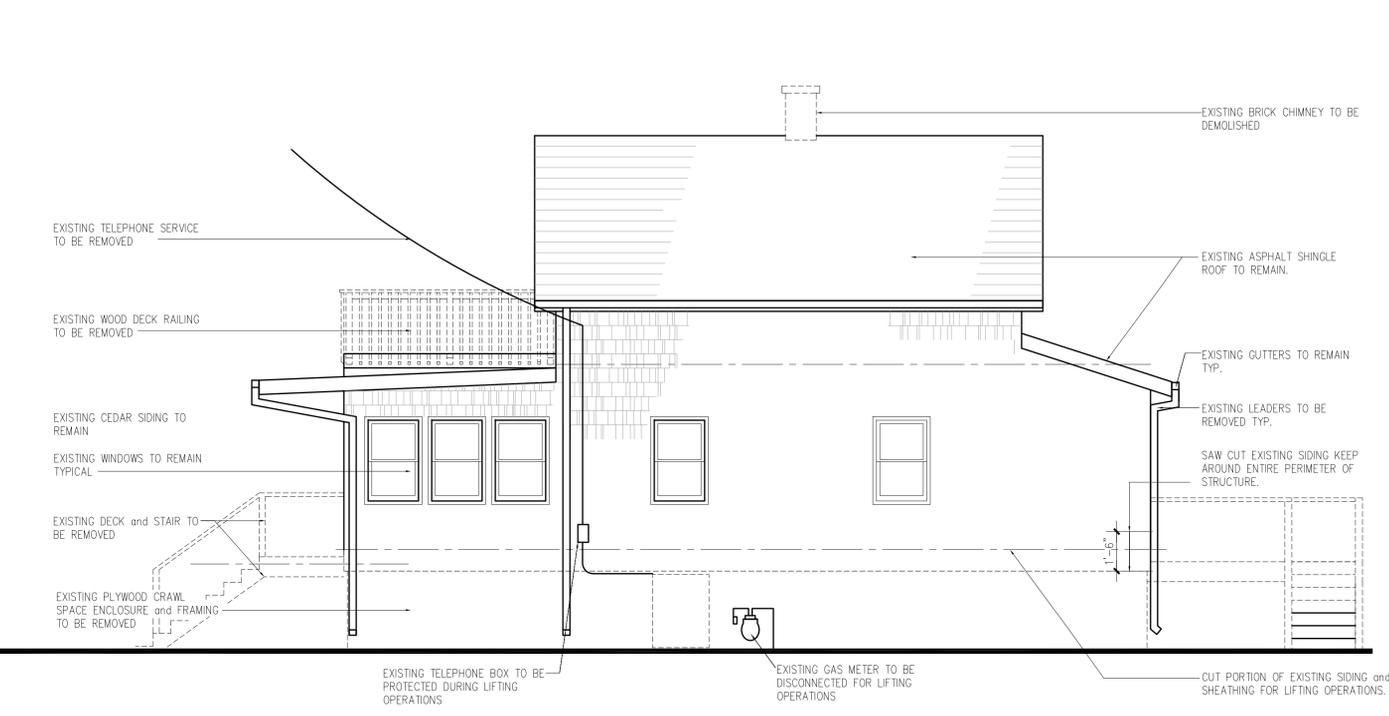
AD-101



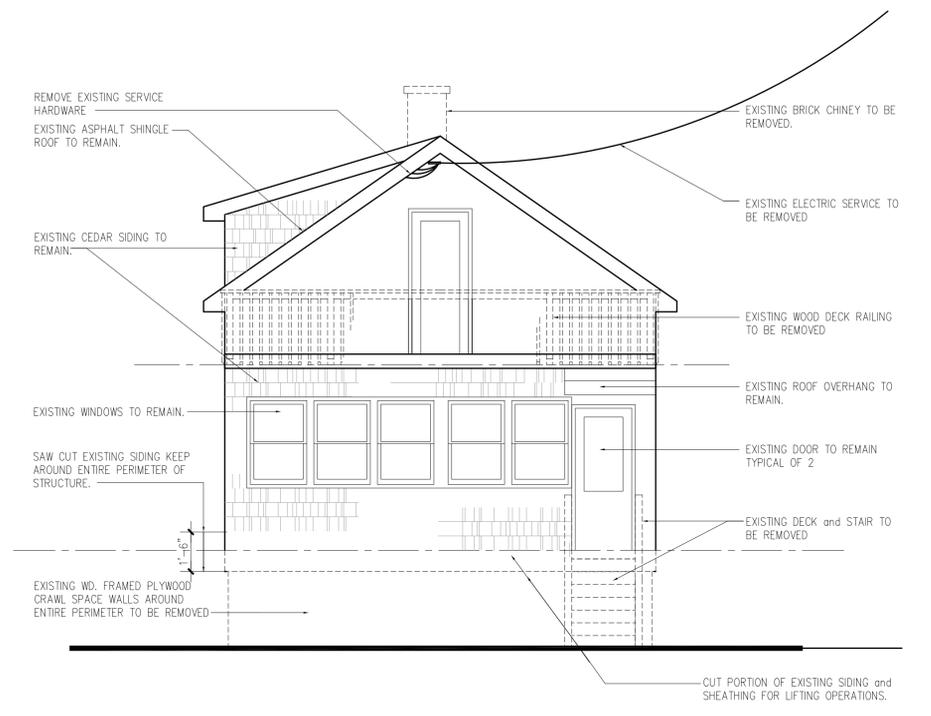
1 NORTH ELEVATION
 1/4" = 1'-0"



2 EAST ELEVATION
 1/4" = 1'-0"



3 SOUTH ELEVATION
 1/4" = 1'-0"



4 WEST ELEVATION
 1/4" = 1'-0"

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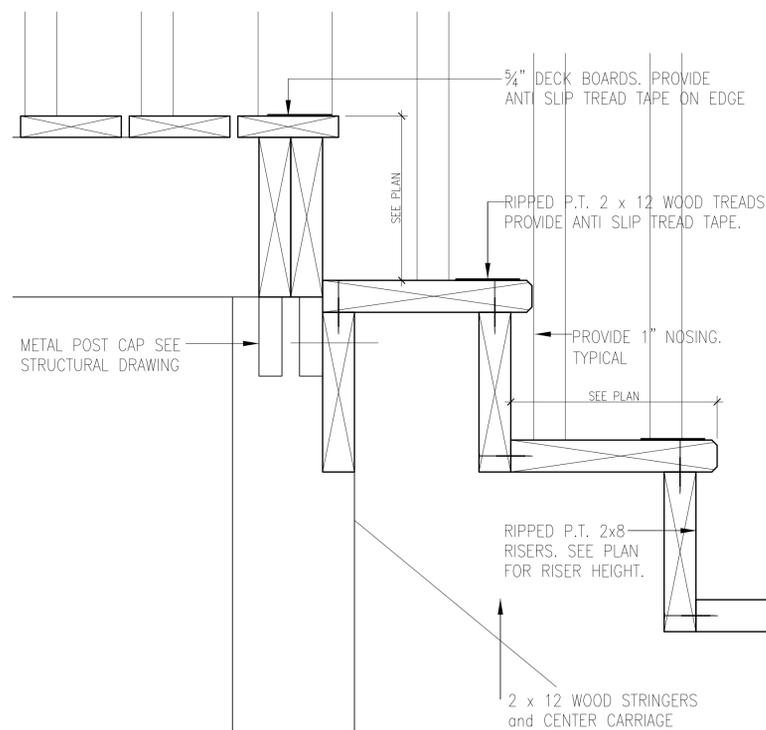
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DEMOLITION ELEVATIONS

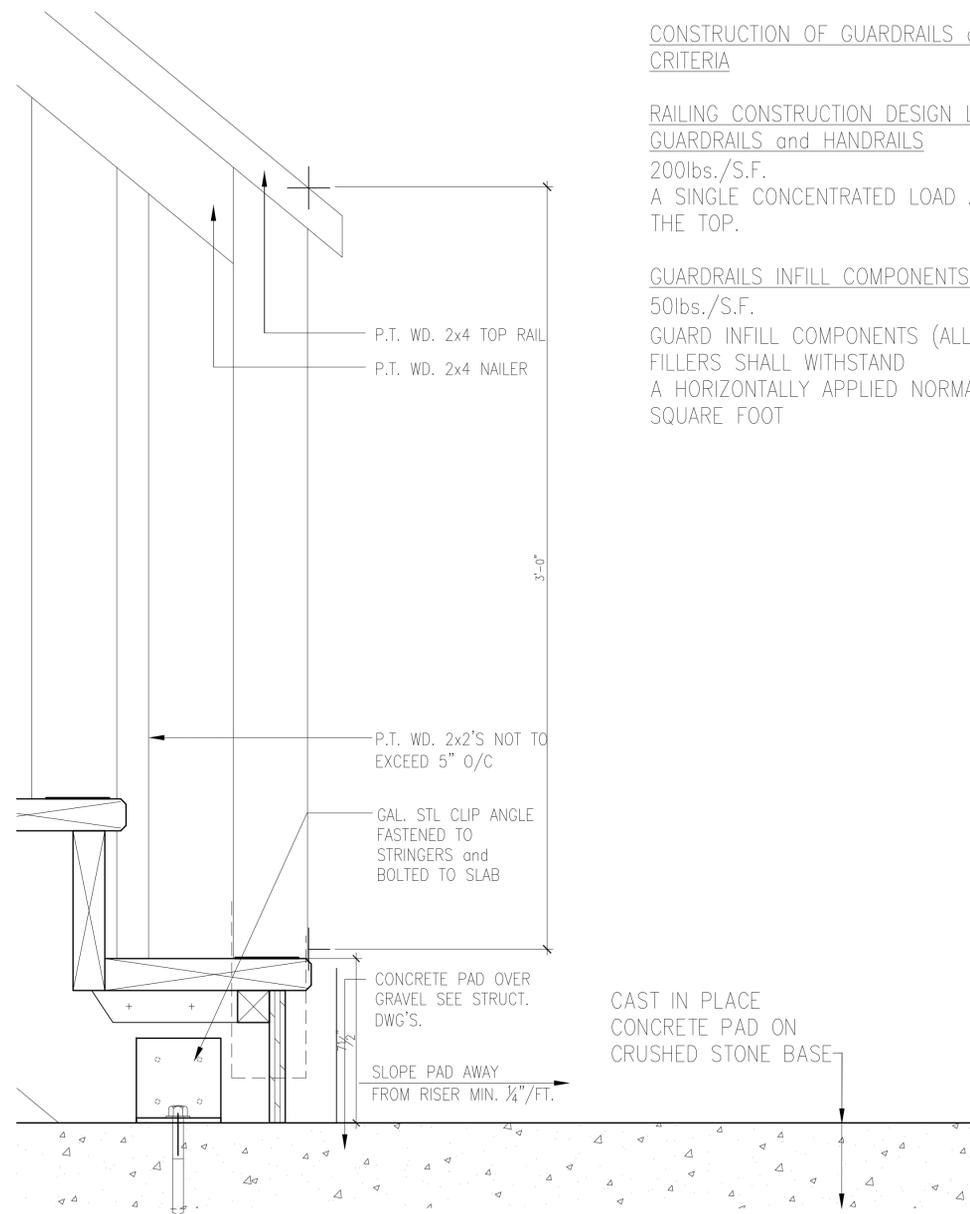
PROJECT NO.: 1524-43 SCALE AS NOTED

DRAWING NO.:

AD-201



1 TYPICAL RISER and TREAD DETAIL
1-1/2" = 1'-0"



2 DETAIL at BASE OF STAIR
1-1/2" = 1'-0"

CONSTRUCTION OF GUARDRAILS and INFILLS SHALL COMPLY WITH THE FOLLOWING CRITERIA

RAILING CONSTRUCTION DESIGN LOADS

GUARDRAILS and HANDRAILS

200lbs./S.F.

A SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP.

GUARDRAILS INFILL COMPONENTS DESIGN LOADS

50lbs./S.F.

GUARD INFILL COMPONENTS (ALL THOSE EXCEPT HANDRAIL) BALLUSTERS and PANEL FILLERS SHALL WITHSTAND

A HORIZONTALLY APPLIED NORMAL LOAD OF 50lbs. ON AN AREA EQUAL TO ONE SQUARE FOOT

Lothrop

Lothrop Associates LLP Architects
100 Pearl Street
14th Floor
Hartford, Connecticut 06103
860-249-7251

White Plains Rochester Red Bank Hartford

STRUCTURAL ENGINEER:



SURVEYOR:



ENVIRONMENTAL ENGINEER:



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DETAILS

PROJECT NO.: 1524-43 SCALE AS NOTED

DRAWING NO.:

A-302

STRUCTURAL ENGINEER:



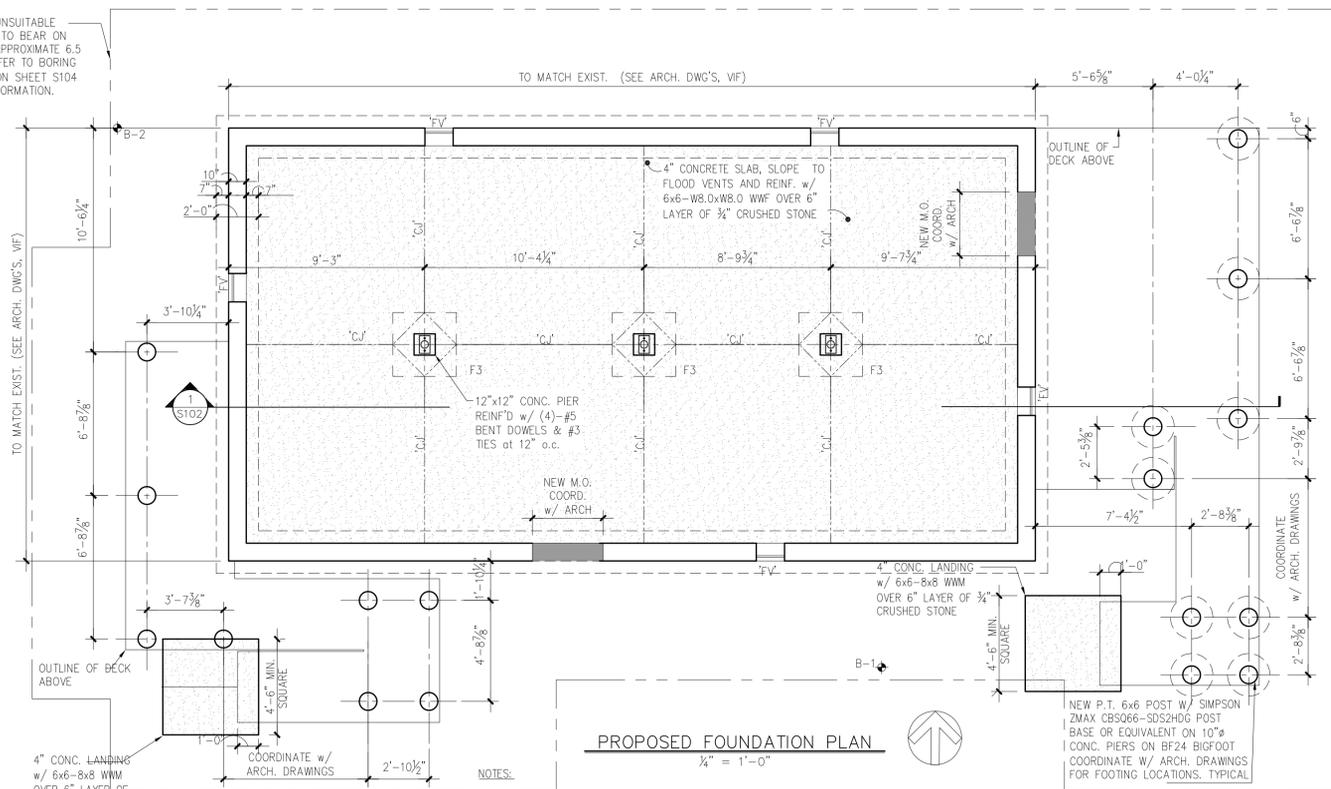
SURVEYOR:



ENVIRONMENTAL ENGINEER:



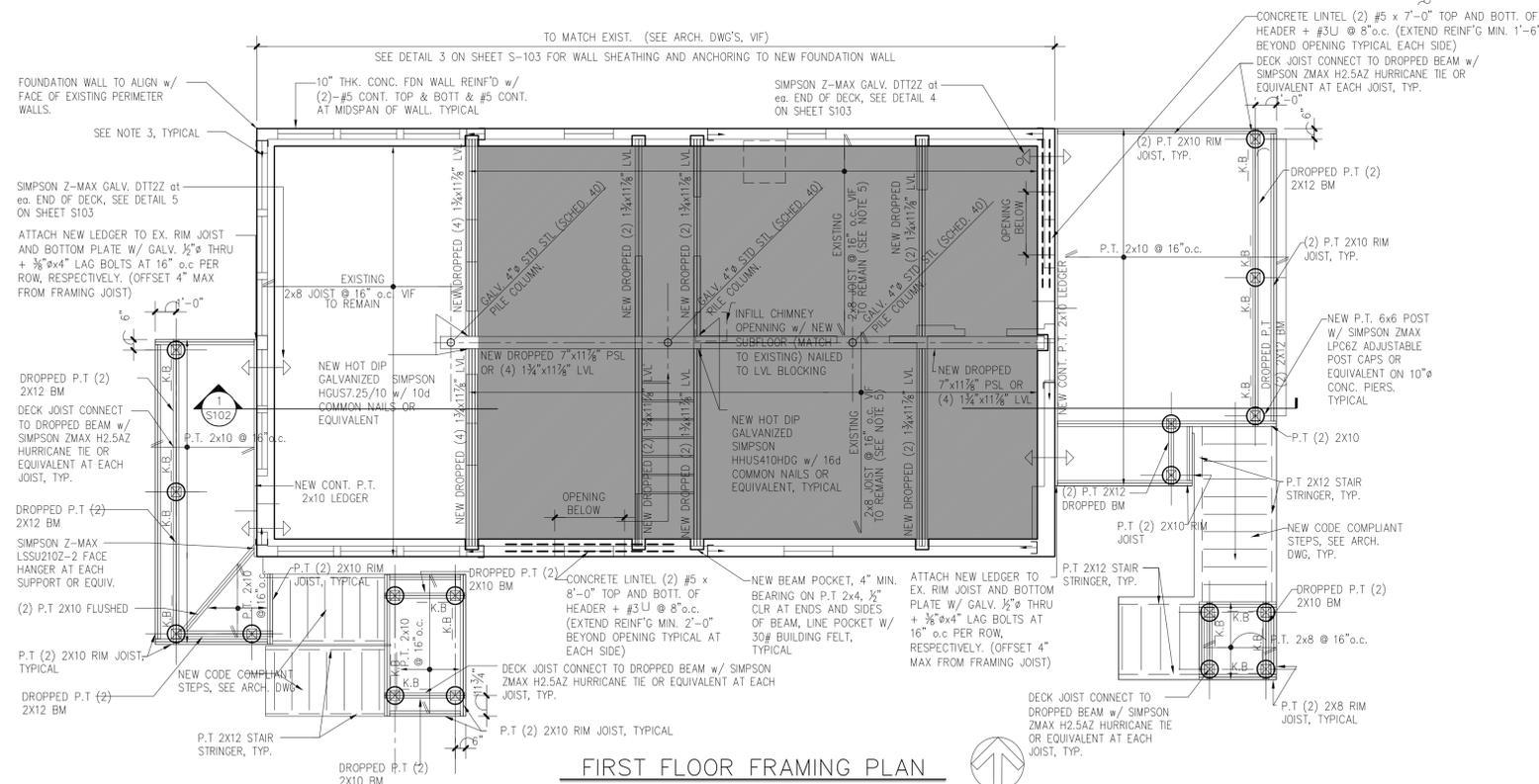
G.C. TO EXCAVATE UNSUITABLE MATERIAL. FOOTING TO BEAR ON SOUND BEDROCK APPROXIMATE 6.5 FT BELOW GRADE REFER TO BORING # "B-1" & "B-2" ON SHEET S104 FOR ADDITIONAL INFORMATION.



- NOTES:**
1. B-# DESIGNATES APPROXIMATE SOIL BORING LOCATION, REFER TO SOIL BORING LOG, DRAWING S-104.
 2. COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS AND SITE CONDITIONS.
 3. FOOTINGS SHALL BEAR ON ONE LAYER OF 6" THICK OF 3/4" CRUSH STONE + A SECOND LAYER OF 1 1/2" MINUS CRUSH STONE BEARING ON SOLID BEDROCK. SEE BORING LOGS ON SHEET S104 FOR ADDITIONAL INFORMATION.
 4. BORING # "B-1" & "B-2" ON SHEET S104 FOR ADDITIONAL INFORMATION.
 5. "F3" DENOTES 3'-0"x3'-0"x1'-0" THICK CONCRETE FOOTING REINFORCED WITH #5 x 2'-8" LG. @ 8" o.c. EA. WAY BOTTOM, SEE DETAILS ON 1/S102.
 6. "CJ" DENOTES CONTROL JOINT, SEE SLAB ON GRADE DETAIL ON SHEET S103
 7. "FV" DENOTES 8"x16" "SMART VENT" SMARTVENT 1540-510, TYP. U.O.N. OR EQUIVALENT, SEE DETAIL 1/S102

FLOOD VENT NOTES: "FV"

1. OVERALL FOOTPRINT = 773 ± SQUARE FEET
2. "SMARTVENT" (8"x16") ALLOWABLE AREA RATING = 200 SF / VENT
3. 773 / 200 = 3.86 USE (5) "SMARTVENTS"



- NOTES:**
1. COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS AND SITE CONDITIONS.
 2. "K.B.": DENOTES P.T. 3X4 KNEE BRACES. SEE SECTION ON SHEET S103.
 3. [Symbol] DENOTES NEW SIMPSON STD14RJ HOLD DOWN STRAP, SEE DETAIL ON SHEET S103, TYPICAL OF 9
 4. CC TO VERIFY BOTTOM ELEVATION OF EXISTING FLOOR JOIST AND NOTIFY ENGINEER OF ANY DISCREPANCY.
 5. [Symbol] DENOTES: EX. 2x8 JOIST @ 16" o.c. (VF) + SISTER w/ 2x8 FASTEN w/ (2) ROWS OF SIMPSON SDS25300 @ 24" o.c.

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**FOUNDATION PLAN,
FIRST FLOOR FRAMING PLAN**

PROJECT NO.: 1524-43 SCALE AS NOTED

DRAWING NO.:

S-101

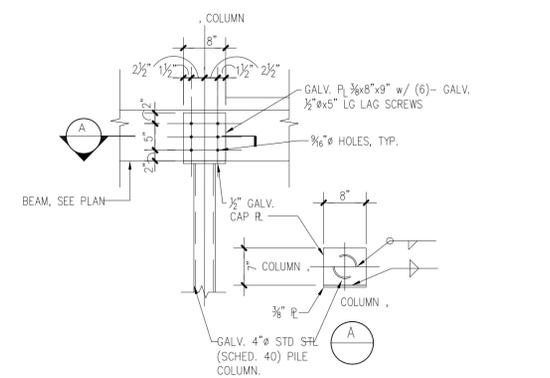
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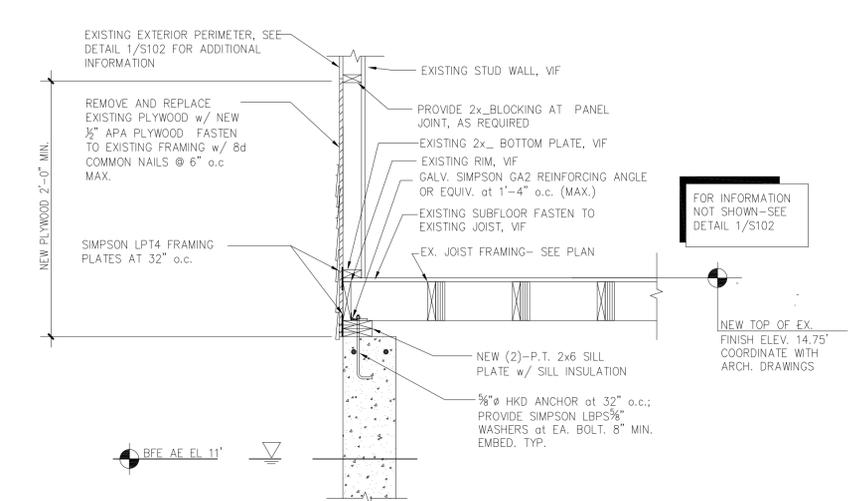
SURVEYOR:



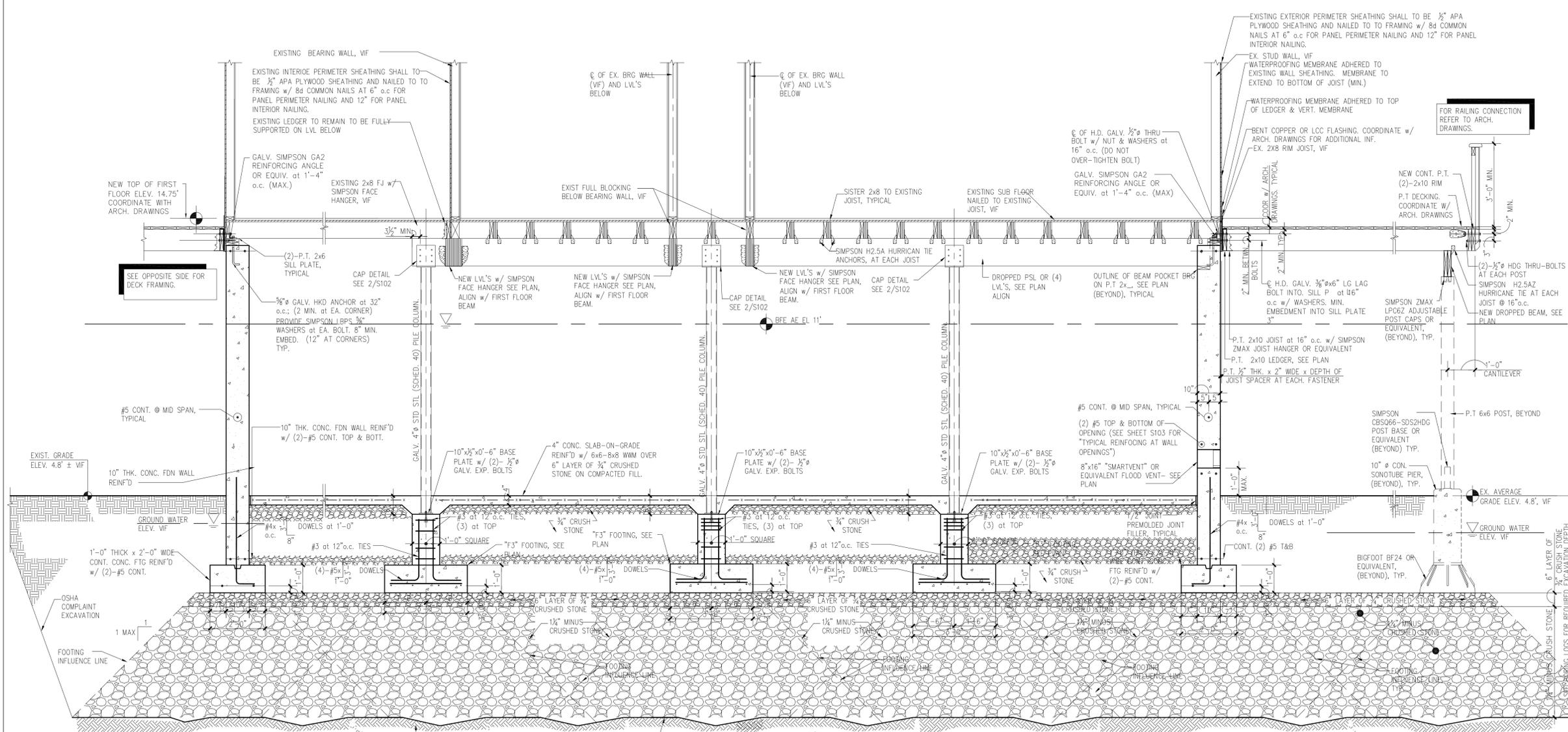
ENVIRONMENTAL ENGINEER:



BEAM AND COLUMN CAP SECTION
2/S102
3/4" = 1'-0"



PERIMETER WALL SECTION
3/S-102
3/4" = 1'-0"



SECTION
1/S102
1/2" = 1'-0"
NOTE:
FOR BOLTING MULTIPLE LVL'S
SEE DETAIL 3 ON SHEET S103

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505 Hudson Street
Hartford, Connecticut 06106

Application No. 1083
HAZARDOUS MATERIAL ABATEMENT,
CONSTRUCTION OF NEW FOUNDATIONS,
RAISING EXISTING RESIDENCE AND MINOR
INTERIOR ALTERATIONS
FOR
JOHN TERRACE
19 PALMETTO TRAIL
EAST HAVEN CONNECTICUT 06512

STRUCTURAL SECTIONS

PROJECT NO.: 1524-43	SCALE	AS NOTED
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DRAWING NO.:

S-102

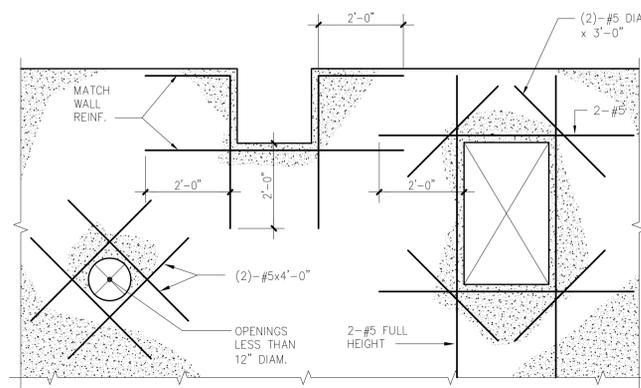
STRUCTURAL ENGINEER:



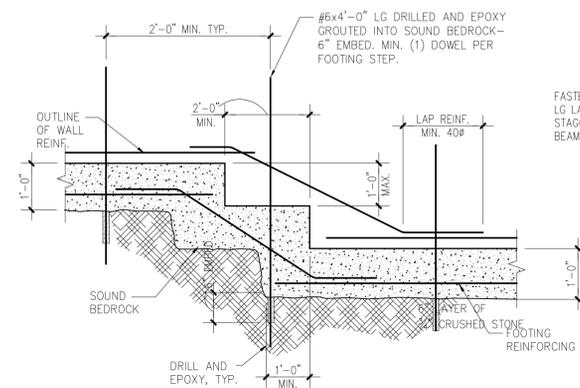
SURVEYOR:



ENVIRONMENTAL ENGINEER:

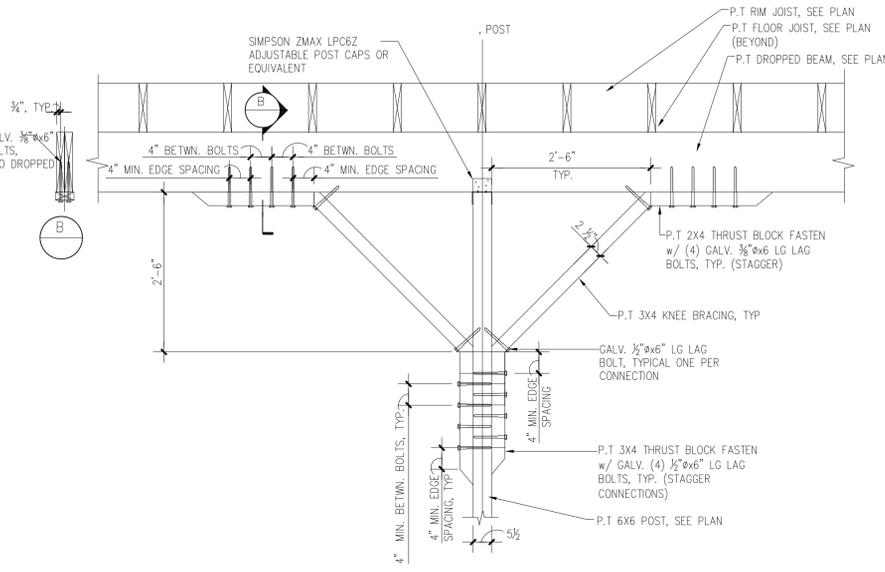


TYPICAL REINFORCING AT WALL OPENINGS
NO SCALE



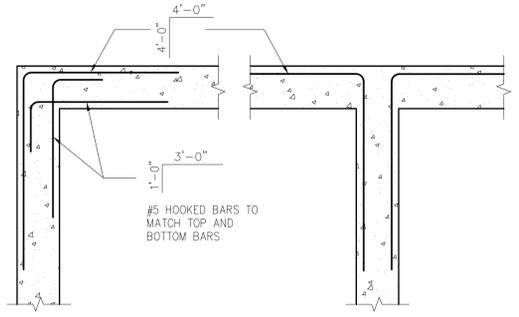
TYPICAL FOOTING ON ROCK DETAIL
NO SCALE

NOTE:
DETAIL APPLIES FOR NEW FOOTINGS BELOW ROCK WHERE BEDROCK SLOPE IS 10 DEGREES OR GREATER.

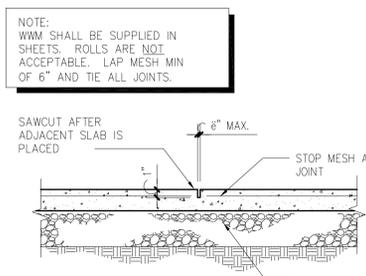


TYPICAL KNEE BRACING
N.T.S.

NOTE:
NOT ALL ITEMS SHOWN FOR CLARIFY. COORDINATE W/ PLAN FOR LOCATION OF BRACE.

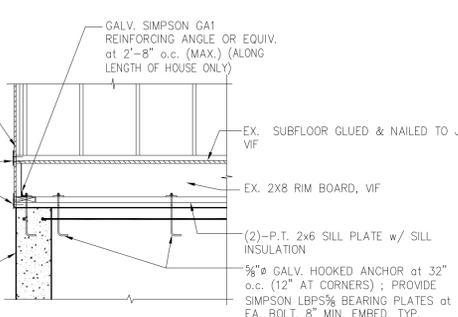


CORNER WALL REINFORCING DETAIL
3/4" = 1'-0"

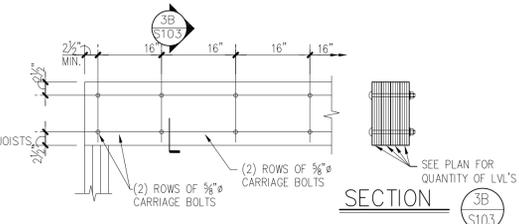


SLAB-ON-GRADE DETAILS
3/4" = 1'-0"

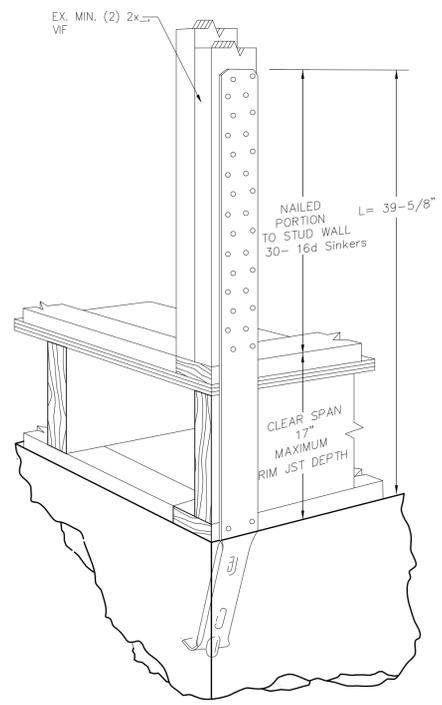
EXISTING EXTERIOR PERIMETER SHEATHING SHALL TO BE 1/2" APA PLYWOOD SHEATHING AND NAILED TO FRAMING W/ 8d COMMON NAILS AT 6" o.c. FOR PANEL PERIMETER NAILING AND 12" FOR PANEL INTERIOR NAILING



FOUNDATION ANCHORAGE DETAIL
1/2" = 1'-0"

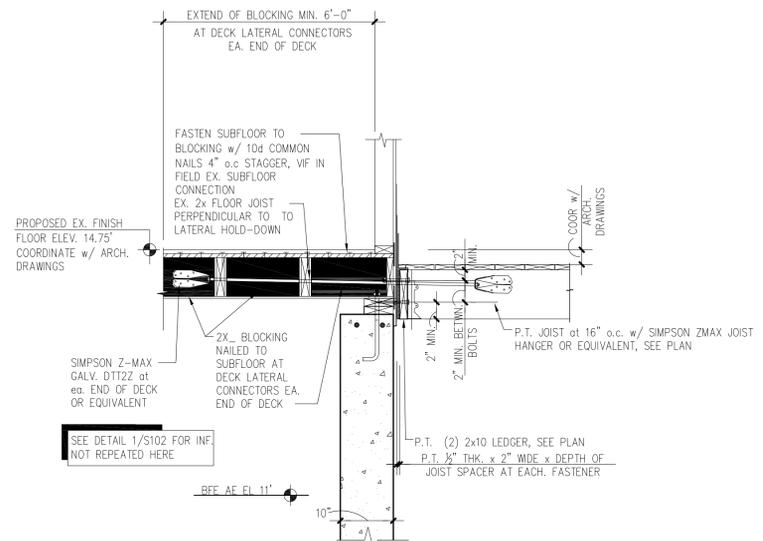


MULTIPLE LVL'S BOLTING DETAIL
N.T.S.

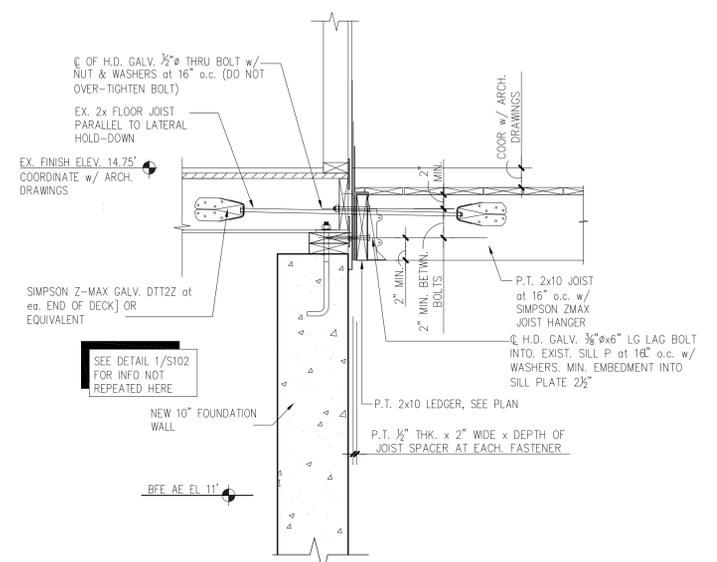


SIMPSON SHD14RJ DETAIL
NOT TO SCALE

INSTALL STRAP PER MANUFACTURE SPECIFICATIONS. REMOVE EXISTING WALL SIDING AND INSTALL STRAP DIRECTLY TO FRAMING. CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING STUDS AND ADD STUDS AS REQUIRED.



SECTION 4
3/8" = 1'-0"



SECTION 5
1" = 1'-0"

ISSUE NO.	ISSUE DATE	DESCRIPTION
1	1 JUNE 2015	ISSUED FOR BID

State Of Connecticut
Department Of Housing
505 Hudson Street
Hartford, Connecticut 06106

Application No. 1083
HAZARDOUS MATERIAL ABATEMENT,
CONSTRUCTION OF NEW FOUNDATIONS,
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FOR
JOHN TERRACE
19 PALMETTO TRAIL
EAST HAVEN CONNECTICUT 06512

TYPICAL STRUCTURAL DETAILS

PROJECT NO.: 1524-43 SCALE AS NOTED

DRAWING NO.:

STRUCTURAL ENGINEER:



SURVEYOR:



ENVIRONMENTAL ENGINEER:



1	1 JUNE 2015	ISSUED FOR BID
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State Of Connecticut Department Of Housing 505 Hudson Street Hartford, Connecticut 06106

Application No. 1083
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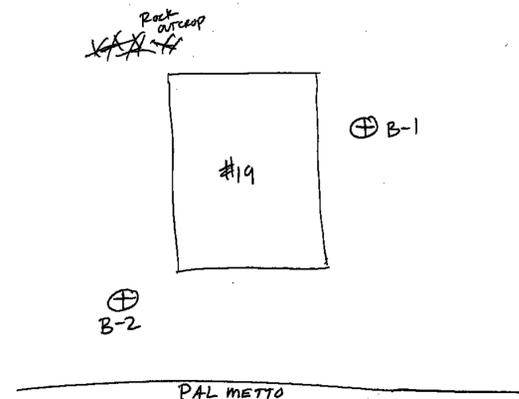
STRUCTURAL NOTES AND SOIL BORING LOGS

PROJECT NO.: 1524-43 SCALE AS NOTED

DRAWING NO.:

S-104

STRUCTURAL NOTES	
<p>GENERAL:</p> <ul style="list-style-type: none"> All details shall be considered typical and shall apply at all same and similar conditions. The Contractor shall field measure and verify all dimensions of the existing building and all dimensions related thereto. The Contractor shall be responsible for all temporary shoring and bracing required to maintain the structural stability of the building during construction. All work shall be in accordance with Connecticut state residential code (CSRC) which includes the 2009 International Residential Code, and the Connecticut 2013 amendments. The Contractor shall be solely responsible for construction site safety. <p>DESIGN LOADS:</p> <ul style="list-style-type: none"> The foundation structure have been engineered to resist the following design loads in accordance with 2009 IRC chapter 3 and the Connecticut 2013 Amendments. Floor live loads: First Floor: 40 psf Deck: 40 psf Snow load: Ground Snow Load - Pg = 30 psf <p>The roof structure was engineered for a minimum snow load of 30 psf in accordance with CSRC Chapter 3, Snow Loads.</p> <p>Wind load: Main Wind Force - Resisting System Basic Wind Speed, (3 sec gust), V = 100 mph Exposure Classification - C Importance Factor - I = 1.00 Velocity Pressure Exposure Coefficient, Kz = 0.70 Wind Directionality Factor, Kd = 0.85 Topographical Factor, Kzt = 1.00 Product of Internal Pressure Coefficient and Gust Factor, GCpI = ±0.18 Gust Effect Factor, G = 0.85 External Pressure Coefficient, Cp = varies Windward Wall, Cp = 0.85 Leeward Wall, Cp = -0.50 Side Wall, Cp = -0.70 Velocity Pressure, qz = 0.00256 x Kz x Kzt x Kd x V2 x I = 21 psf Design Wind Pressure, p = q x (G x Cp) - qj x (GCpI) use 16 psf Earthquake load: Site classification - C Occupancy Category, General Building - I Seismic Use Group, I Occupancy Importance Factor, I = 1.0 Seismic Design Category = B <p>Earthquake loads for single-family residences are exempt for SDC = B</p> <p>FOUNDATION</p> <ul style="list-style-type: none"> Footings shall bear on sound BEDROCK, free of frost, mud, ice, or debris. The Building Official shall inspect and approve the soil below all footings. Inspections shall be made prior to tamping the soil or setting footing forms. Footing sub-grade shall be compacted using a vibratory tamper or a jumping soil rammer after the soil has been inspected and approved. The Contractor shall be responsible for all dewatering, shoring, sheeting, or bracing required to maintain a safe, dry, and stable excavation. No footings shall be placed in water. Soil adjacent to and below footings shall be kept from freezing at all times. Provide a granular sub-base under all slabs on grade. Where slab is within a heated space, the sub-base shall be 6 inches of compacted ¾" crushed stone or bank run gravel with a maximum size of 2 inches. Where the slab is exposed to frost, the sub-base shall be 6 inches of ¾ inch crushed stone. The Contractor shall verify the location of all underground utility lines, sewers, and fuel storage tanks to avoid any damage to these. Contractor shall contact "Call Before You Dig" prior to any excavation. Backfill for foundation walls and retaining walls shall be compacted granular soil with not more than 10% passing the #20 sieve. If on-site soil does not meet this specification, the Contractor shall bring in soil from off-site at his own expense. Where footings are below the groundwater elevation, place 6 inches of crushed stone under footings. Crushed stone shall be placed after the subsoil has been inspected, approved, and tamped. </p>	<p>ENGINEERED LUMBER NOTES:</p> <ul style="list-style-type: none"> Composite wood "T" joists shall be level by Weyerhaeuser and be of laminated strand lumber top and bottom chords with bonded oriented strand board webs. Composite wood "T" joists are to be stored on the site above the ground, on cribbing under tarps with adequate air circulation. Composite wood "T" joists are to be handled in the upright position only. Do not use joists as planks to walk or store materials on webs. Do not walk on top of joists until temporary bracing, installed in accordance with manufacturer's recommendations, laterally braces joists or permanent plywood sheathing is installed. Do not cut or notch top and/or bottom flanges of composite wood "T" joists. Web openings may be cut, provided manufacturer's recommendations regarding size and spacing are strictly followed and after consultation with engineer. Do not bevel cut the top flange of the joist beyond the edge of bearing. Provide "squash blocks" each side of the joist below bearing walls and posts above. The width of the squash block shall match the width of the lower bearing wall/and or post. The "squash blocks" shall be 1/16-inch longer than the depth of the joist and be installed with grain vertical. Double composite wood "T" joists below all non-bearing partitions parallel to the direction of the joists. Doubled joists shall have fully blocked webs and nailed together with (2) rows of clinched 10d common wire nails at 6 inches on center. <p>ENGINEERED LUMBER</p> <ul style="list-style-type: none"> Laminated veneer lumber, LVL, shall be Microllam as manufactured by Weyerhaeuser or Equivalent. <ul style="list-style-type: none"> LVL material shall have the following minimum allowable stresses: <ul style="list-style-type: none"> Flexural stress, Fb = 2,600 psi. Modulus of elasticity, E = 1,900,000 psi. Compression perpendicular to grain, FcL = 750 psi Compression parallel to grain, FcLL = 2,510 psi Horizontal shear, Fv = 285 psi. Tension Street, Ft = 1,555 psi Parallel strand lumber, PSL by Weyerhaeuser or Equivalent <ul style="list-style-type: none"> PSL material shall have the following minimum allowable stresses: <ul style="list-style-type: none"> Flexural stress, Fb = 2,900 psi. Modulus of elasticity, E = 2,00,000 psi. Compression perpendicular to grain, FcL = 750 psi Compression parallel to grain, FcLL = 2,900 psi Horizontal shear, Fv = 290 psi. Tension Street, Ft = 2,025psi Unless otherwise noted on drawings, multiple plies of flush LVL or PSL material shall be bolted together with (2) rows of 5/8 inch diameter, A307 thru-bolts, spaced at 16 inches on center. Boltholes are to be the same diameter as the bolt, and be located 2½ inches from the top and bottom of the member. Washers should be used under the head and nut of the bolts. Do not tighten bolts to the point of crushing wood fibers. Bolts are to be snug tight. Members noted as dropped shall be connected with (3) rows of 16d common wire nails at 12" on center.



BORING LOCATION PLAN
NTS

SOILTESTING, INC.		CLIENT: Lothrop Associates LLP	SHEET 1 OF 1							
80 DONOVAN RD. OXFORD, CT 06478 CT (203) 262-8938 NY (914) 948-4850		PROJECT NO: G88-0897-15	HOLE NO. B-1							
PROJECT NAME: Terrace Residence		BORING LOCATION: per Plan								
LOCATION: 19 Palmetto Trail East Haven, CT		DATE START: 3/31/15								
TYPE: HSA SS		DATE FINISH: 3/31/15								
SIZE I.D.: 4 1/2" 1 3/8"		SURFACE ELEV.: BIT								
HAMMER W.T.: TUBE		GROUND WATER ELEV.:								
HAMMER FALL: 30"										
DEPTH (FEET)	NO	TYPE	PEN (LBS)	REC (LBS)	DEPTH (FEET)	BLOWS PER 6 IN ON SAMPLER	CORRECTION (LBS)	DENSITY OR CONSBT (PCF)	STRATA CHANGE DEPTH (FEET)	FIELD IDENTIFICATION OF SOIL REMARKS INCL. COLOR, LOSS OF WASH WATER, SEAMS IN ROCK, ETC.
0	1	SS	24"	12"	2.0	4	0	105	0.00	TOPSOIL: 0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	2	SS	24"	12"	4.0	7	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	3	SS	24"	12"	8.0	13	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	4	SS	18"	12"	7.0	11	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	5	SS	18"	12"	8.0	12	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	6	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	7	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	8	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	9	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	10	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	11	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	12	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	13	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	14	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	15	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	16	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	17	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	18	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	19	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	20	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	21	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	22	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	23	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	24	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	25	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	26	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	27	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	28	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	29	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	30	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	31	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	32	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	33	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	34	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	35	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	36	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	37	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	38	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	39	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	40	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)

SOILTESTING, INC.		CLIENT: Lothrop Associates LLP	SHEET 1 OF 1							
80 DONOVAN RD. OXFORD, CT 06478 CT (203) 262-8938 NY (914) 948-4850		PROJECT NO: G88-0897-15	HOLE NO. B-2							
PROJECT NAME: Terrace Residence		BORING LOCATION: per Plan								
LOCATION: 19 Palmetto Trail East Haven, CT		DATE START: 3/31/15								
TYPE: HSA SS		DATE FINISH: 3/31/15								
SIZE I.D.: 4 1/2" 1 3/8"		SURFACE ELEV.: BIT								
HAMMER W.T.: TUBE		GROUND WATER ELEV.:								
HAMMER FALL: 30"										
DEPTH (FEET)	NO	TYPE	PEN (LBS)	REC (LBS)	DEPTH (FEET)	BLOWS PER 6 IN ON SAMPLER	CORRECTION (LBS)	DENSITY OR CONSBT (PCF)	STRATA CHANGE DEPTH (FEET)	FIELD IDENTIFICATION OF SOIL REMARKS INCL. COLOR, LOSS OF WASH WATER, SEAMS IN ROCK, ETC.
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0	3	SS	18"	12"	8.0	13	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	4	SS	18"	12"	8.0	12	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	5	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
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0	12	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	13	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	14	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	15	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
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0	18	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	19	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
0	20	SS	18"	12"	10.0	15	0	105	0.00	0.5 on SILT & V.F.FIN SAND, 0.5 coarse frag. C gravel (M)
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