

SUPER STORM SANDY *Response and Recovery*

STATE OF CONNECTICUT DEPARTMENT OF HOUSING COMMUNITY DEVELOPMENT BLOCK GRANT DISASTER RECOVERY PROGRAM

**OWNER OCCUPIED REHABILITATION
AND REBUILDING PROGRAM (OORR)**

GOVERNOR OF CONNECTICUT:
DANNEL P. MALLOY



COMMISSIONER OF HOUSING:
EVONNE M. KLEIN

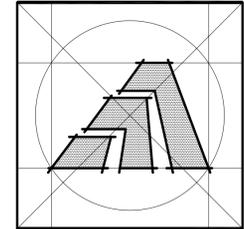
APPLICATION NO. 1070

**ROBINSON RESIDENCE
89 COOPER AVENUE
MILFORD, CONNECTICUT 06460**

JULY 21, 2014



ARCHITECT:



Amaya Architects

American Institute of Architects

284 RACEBROOK RD. TEL (203) 795 5656
ORANGE, CT 06477 FAX (203) 799 3871

STRUCTURAL ENGINEER:

DERRICK SCHULL, P.E.

26 BLAIR STREET
MILFORD, CT. 06460

M.E.P. ENGINEER:

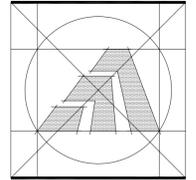


Loureiro Engineering Associates, Inc.
100 Northwest Drive
Plainville, Connecticut 06062
Phone: 860-747-6181 / Fax: 860-747-6822
An Employee Owned Company
email: info@loureiro.com
Comm No. 01MH4.08

LAND SURVEYOR:

SCOTT K. MUNDY, L.S.

P.O. BOX 3158
MILFORD, CT. 06460
OFFICE: 203-882-8706



Amaya Architects
American Institute of Architects

284 RACEBOCK RD. ORANGE, CT 06477 TEL: (203) 795-5656 FAX: (203) 799-3871

Sheet Title:
FOUNDATION PLAN & DETAILS
NAILING & BAR BENDING SCHEDULE
CONNECTOR DETAIL & NOTES

APPLICATION # 1070

ROBINSON RESIDENCE
89 COOPER AVE.
Milford, Connecticut 06460

STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
OWNER OCCUPIED REHABILITATION
AND REBUILDING PROGRAM (OORR)

Date: 07/21/2014

Project Number: 1070
Drawn By: J.V.L.

Sheet Number:
A1

100 MPH EXPOSURE C WIND ZONE GENERAL NAILING SCHEDULE

PNEUMATIC NAILS SHALL BE FULL COMMON NAILS - REFER TO 2001 NDS FOR OTHER SINKER NAILS VALUES

JOINT DESCRIPTION	NUMBER OF COMMON NAILS	NUMBER OF BOX NAILS	NAIL SPACING
ROOF FRAMING			
BLOCKING TO RAFTER (TOE-NAILED)	2-8d	2-10d	EACH END
RIM BOARD TO RAFTER (TOE-NAILED)	2-16d	3-16d	EACH END
WALL FRAMING			
TOP PLATES AT INTERSECTIONS (FACE-NAILED)	4-16d	5-16d	AT JOISTS
STUD TO STUD (FACE-NAILED)	2-16d	2-16d	24" O.C.
HEADER TO HEADER (FACE-NAILED)	16d	16d	16" O.C. ALONG EDGES
SOLE PLATE NAILED TO FLOOR SYSTEM	16d	-	(4) PER FOOT
PLATE TO STUD ENDS	2-16d	-	EA. STUD
PLATE-TO-PLATE	2-16d	-	12" O.C.
WALL SHEATHING			
WOOD STRUCTURAL PANELS			
1/2" PLYWD. OVER STUDS SPACED UP TO 16" O.C. (U.O.N. IN DWG.'S)	8d	10d	4" EDGE / 12" FIELD - U.O.N.
GYSUM WALLBOARD	5d COOLERS	-	7" EDGE / 10" FIELD
FLOOR FRAMING			
JOIST TO SILL, TOP PLATE OR GIRDER (TOE-NAILED)	4-8d	4-10d	PER JOIST
BLOCKING TO JOIST (TOE-NAILED)	2-8d	2-10d	EACH END
BLOCKING TO SILL OR TOP PLATE (TOE-NAILED)	3-16d	4-16d	EACH BLOCK
LEDGER STRIP TO BEAM OR GIRDER (FACE-NAILED)	3-16d	4-16d	EACH JOIST
JOIST ON LEDGER TO BEAM (TOE-NAILED)	3-8d	3-10d	PER JOIST
BAND JOIST TO JOIST (END-NAILED)	3-16d	4-16d	PER JOIST
BAND JOIST TO SILL OR TOP PLATE (TOE-NAILED)	2-16d	3-16d	PER FOOT
FLOOR SHEATHING			
WOOD STRUCTURAL PANELS			
3/4" OR LESS TAG PLYWD.	8d	10d	6" EDGE / 12" FIELD
RAFTERS OR TRUSSES UP TO 16" O.C.			
RAFTERS OR TRUSSES UP TO 16" O.C.	8d	10d	6" EDGE / 6" FIELD
GABLE ENDWALL RAKE OR RAKE TRUSS W/ LOOKOUT BLOCKS	8d	10d	4" EDGE / 4" FIELD
GABLE ENDWALL RAKE OR RAKE TRUSS W/O GABLE OVERHANG	8d	10d	4" EDGE / 4" FIELD
CEILING SHEATHING			
WOOD STRUCTURAL PANELS			
GYSUM WALLBOARD	5d COOLERS	-	7" EDGE / 10" FIELD
INFILTRATION BARRIER			
HOUSEWRAP OVERLAP ALL FLASHING USE 3/4" 15 GA. STAPLES			

FRAMING GENERAL NOTES

DESIGN LOAD:

- ROOF SNOW: 30 PSF SL / 15 PSF DL
- SECOND FLOOR: 30 PSF LL / 12 PSF DL
- MAIN FLOOR: 40 PSF LL / 12 PSF DL
- DECK FLOOR: 40 PSF LL / 12 PSF DL (TYPICAL)
- REAR DECK FLOOR: 100 PSF LL / 12 PSF DL (HOT TUB LOAD)

MATERIALS:

DIMENSIONAL LUMBER: No. 2 OR BETTER DOUGLAS FIR-LARCH MEETING THE FOLLOWING REQUIREMENTS:

- E: 1,600 ksi
- Fb: 875 psi for bending
- Fc: 1,300 psi for compression parallel to grain
- Fc: 625 (perpendicular) psi
- Fv: 95 psi horizontal shear

LAMINATED VENEER LUMBER SHALL HAVE THE MINIMUM REQUIREMENTS:

- E: 2,000 ksi
- Fb: 2,800 psi for bending
- Fc: 3,000 psi for compression parallel to grain
- Fc: 900 (perpendicular) psi
- Fv: 285 psi horizontal shear

NOTE: ALL BEARING SHALL BE CONTINUOUS TO FOOTING - PROVIDE BLOCKING / SQUASH BLOCKS IN FLOORS
ALL BEAMS SHALL HAVE MIN. (2) 2x WALL THICKNESS BUILT-UP BEARING POSTS AT EA. END - U.O.N.
ALL LVL'S GLUED & NAILED TOGETHER UNLESS NOTED
USE SIMPSON, USP OR EQUAL CONNECTORS AND FASTENERS
ALL BEAMS SHALL BE SET FLUSH W/ CLG. OR TOP OF ROOF UNLESS OTHERWISE NOTED

GENERAL NOTES

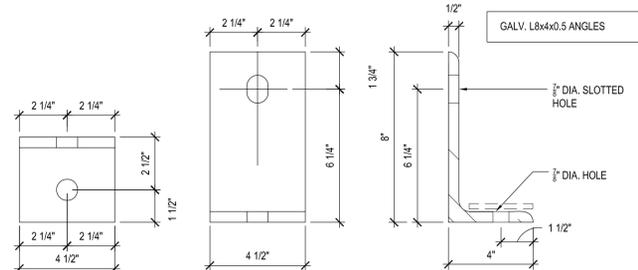
- ALL BUILT-UP POST FOR BEAMS SHALL HAVE SQUASH BLOCKS FOR CONTINUOUS BEARING DOWN TO FOOTING
- ALL LVL BEAMS SHALL BE NAILED AND GLUED U.O.N. (REFER MANUF. SPECS.)
- ALL NEW BEDROOMS MUST HAVE ARC-FAULT CIRCUIT INTERRUPTERS, PER NEC 210.12 (B).
- CLOSET LIGHTING, PER NEC 410.8.
- ALL DRYER AND BATH VENTS SHALL BE SMOOTH MTL. PIPE DUCT TYPE.

WINDOW NOTES

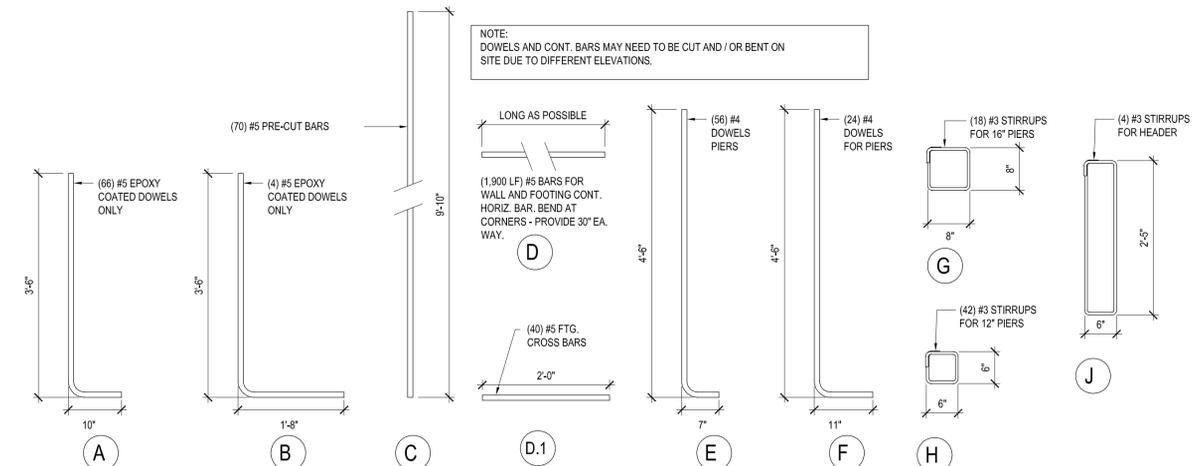
- WINDOW U-FACTOR = 0.31 MIN.
- WINDOW D.P. RATING SHALL EXCEED REQ'D D.P. RATING (REFER TO COVER SHEET)
- REFER TO MANUF. SPECIFICATIONS FOR R.O. AND INSTALLATION DETAILS.
- PROVIDE FLASHING OVER WINDOW AS REQ'D
- INTERIOR CASING TO MATCH EXIST.
- ALL NEW WINDOWS SHALL RECEIVE PVC SURROUND TRIM TO MATCH EXIST.
- INSULATION SHALL BE PROVIDED AS REQ'D AROUND WINDOW

DOOR NOTES

- U-FACTOR = 0.31 MIN.
- DOOR D.P. RATING SHALL EXCEED REQ'D D.P. RATING (REFER TO COVER SHEET)
- REFER TO MANUF. SPECIFICATIONS FOR R.O. AND INSTALLATION DETAILS.
- PROVIDE FLASHING OVER DOOR AS REQ'D
- ALL DOORS SHALL RECEIVE PVC SURROUND TRIM TO MATCH EXIST.
- INSULATION SHALL BE PROVIDED AS REQ'D AROUND DOOR



1 ANGLE BEAM CONNECTORS
SCALE: 3/4"=1'-0"



2 BAR / BENDING SCHEDULE
SCALE: 3/4"=1'-0"

GENERAL

THE FOUNDATION DESIGN IS NOT INTENDED TO CONVEY ANY PARTICULAR SEQUENCE OR PROCEDURE. THE RESPECTIVE BUILDER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE ADEQUATE MEANS AND MEASURES TO INSURE THE STABILITY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION. THESE SHALL INCLUDE, BUT NOT LIMITED TO: NECESSARY SHORING, SHEETING, TEMPORARY BRACING, DEWATERING, ETC..

ENGINEERED FILL

FOUNDATION DESIGN BASED ON 1500 POUNDS PER SQUARE FOOT. IN NON "V ZONES," COMPACTED STRUCTURAL FILL MAY BE USED. STRUCTURAL FILL SHALL BE PLACED IN MAXIMUM 6" LAYERS AND MACHINE COMPACTED.

LOCATION OF ALL UNDERGROUND UTILITIES VERIFIED PRIOR TO COMMENCING ANY FOUNDATION WORK.

CONCRETE

ALL STRUCTURAL CONCRETE, FOR FOUNDATION/FOOTINGS, SLABS ON GRADE, COLUMNS, AND GRADE BEAMS SHALL BE PLANT BATCHED READY-MIX. THE CONCRETE MIX SHALL BE OF STANDARD WEIGHT AGGREGATES ABLE TO ACHIEVE A 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI. THE USE OF CALCIUM CHLORIDES SHALL NOT BE PERMITTED. USE OF WATER REDUCING AGENTS / SUPERPLASTICIZER ARE RECOMMENDED. USE OF PLASTIC FIBER ADDITIVES FOR EXPOSED CONCRETE SLABS.

ALL CONCRETE WORK SHALL COMPLY WITH THE REQUIREMENTS OF ASTM STANDARD C94 FOR THE MEASURING, MIXING, TRANSPORTING, PLACING, ETC. CONCRETE TICKETS SHALL BE TIME STAMPED WHEN THE CONCRETE IS BATCHED. THE MAXIMUM TIME ALLOWED, FROM WHEN THE MIXING WATER IS ADDED TO THE TIME THE CONCRETE IS DEPOSITED SHOULD NOT EXCEED ONE AND HALF HOURS. USE OF CONCRETE THAT IS NOT IN COMPLIANCE WITH THE ABOVE CAN RESULT IN SIGNIFICANT REDUCTION IN CONCRETE STRENGTH AND PERFORMANCE. CONCRETE SHALL BE PLACED WITH DUE REGARD TO EXTREME TEMPERATURE CONDITIONS.

REFER TO ACI 305 "HOT WEATHER CONCRETING" AND ACI 117 AND ACI 347R FOR GUIDANCE IN PLANNING FORM WORK DESIGN AND FOR FINISH STANDARDS AND REQUIREMENTS.

A STANDARD HOOK SHALL BE PROVIDED AT THE TERMINATION OF ALL BEAM TOP REINFORCING BARS. CORNER BARS WITH FULL TENSION LAPS, MATCHING THE SIZE AND SPACING OF THE CONTINUOUS BAR SHALL BE PROVIDED.

REINFORCEMENT

REINFORCING STEEL SHALL BE OF ASTM A615 GRADE 60 DEFORMED BARS, FREE FROM OIL, SCALE AND EXCESSIVE RUST. REINFORCING SHALL BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH THE TYPICAL BENDING DIAGRAMS, PLACING REQUIREMENTS AND DETAILS OF THE LATEST EDITIONS OF THE AMERICAN CONCRETE INSTITUTE (ACI) STANDARDS AND SPECIFICATIONS. THESE PUBLICATIONS INCLUDE ACI 318, ACI 301, ACI 304, ACI 315 AND ACI SP-68. MINIMUM COVER FOR REINFORCING IS: 3" FOR CONCRETE CAST AGAINST SOIL AND 2" FOR CONCRETE THAT IS EXPOSED TO WEATHER. IT IS RECOMMENDED THAT THE OWNER UTILIZE A CONCRETE TESTING AGENT TO VERIFY CONCRETE STRENGTH. REINFORCING SHALL BE SECURED IN PLACE BY THE USE OF METAL TIES AND SUPPORTING BY METAL BOLSTERS, CHAIRS, SPACERS AND OTHER DEVICES.

WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 AND BE FURNISHED IN FLAT SHEETS ONLY.

STANDARD LAP LENGTHS ARE AS FOLLOWS: 30" FOR #5 BAR

STRUCTURAL STEEL

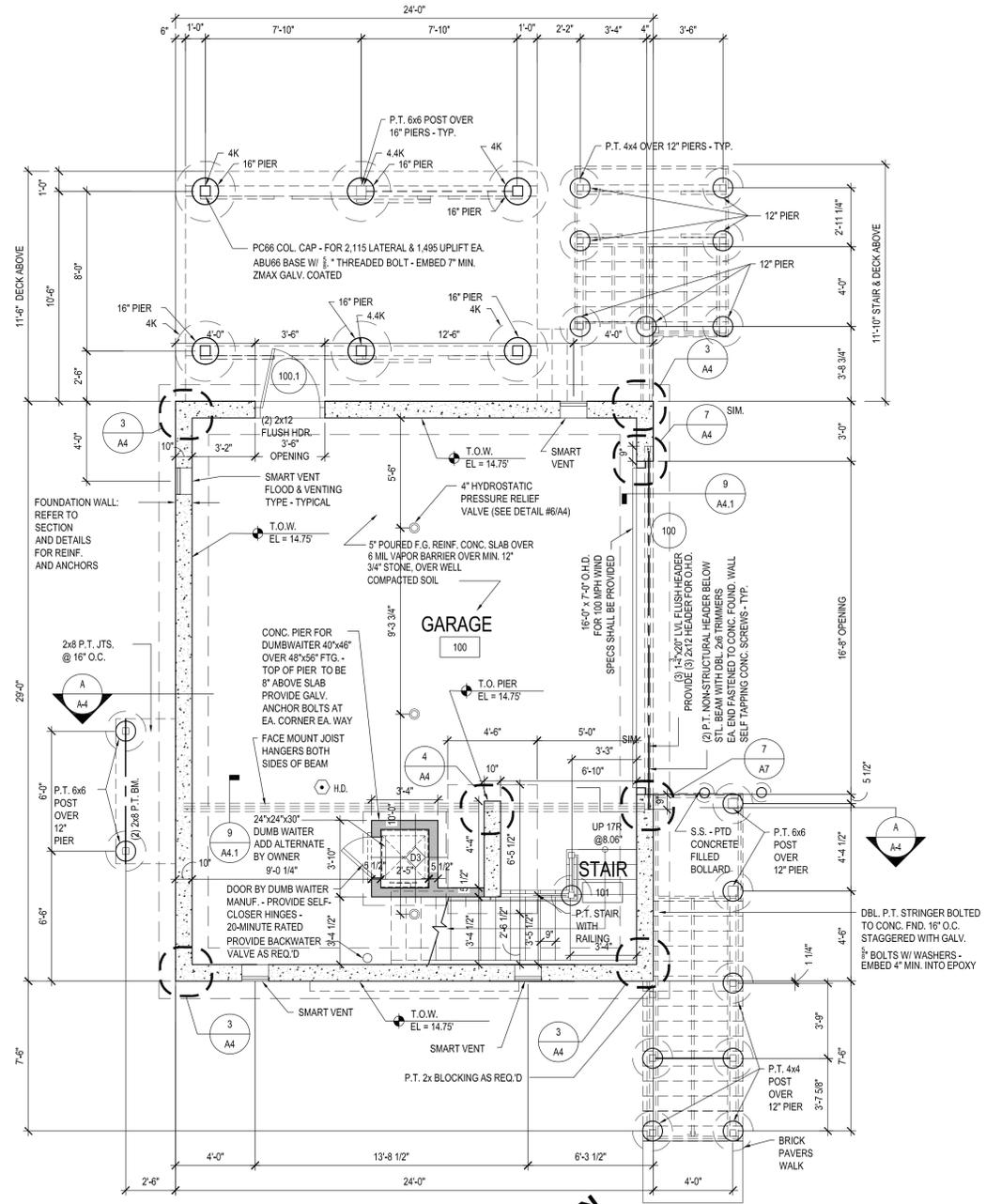
STRUCTURAL SHAPES, ANCHOR BOLTS, ETC. THAT ARE INDICATED TO BE GALVANIZED SHALL BE HOT DIP GALVANIZED AFTER FABRICATION PER ASTM A 368, A123 TO G90 STANDARD, U.N.O.

CONNECTIONS

CONNECTIONS TO WOOD FRAMING ARE BASED ON LUMBER HAVING A MINIMUM SPECIFIC GRAVITY OF 0.55.

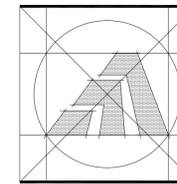
CONNECTORS

1. ALL CONNECTORS SHALL BE STAINLESS OR 'ZMAX' OR GALVANIZED MIN.



FOUNDATION PLAN

SCALE: 1/4"=1'-0"



Amaya Architects
American Institute of Architects

284 RACEBROOK RD. ORANGE, CT 06477 TEL: (203) 795-5656 FAX: (203) 799-3871

Sheet Title:
REAR & LEFT SIDE ELEVATIONS

APPLICATION # 1070

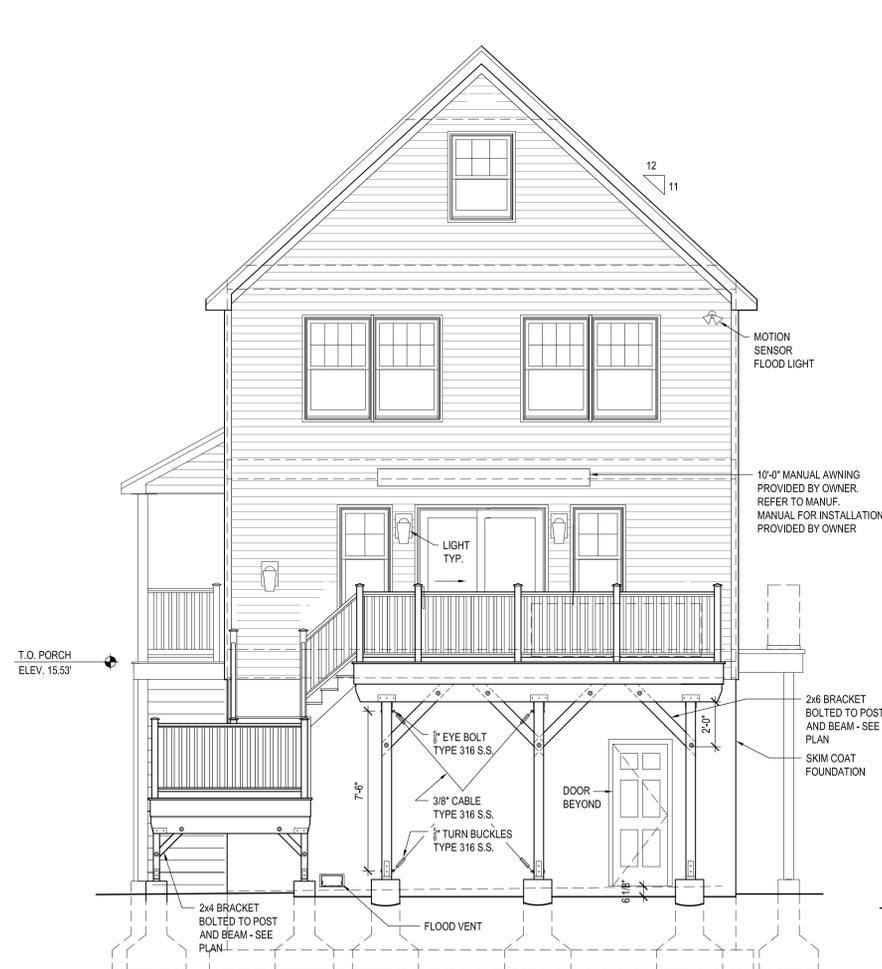
ROBINSON RESIDENCE
89 COOPER AVE.
Milford, Connecticut 06460

STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
OWNER OCCUPIED REHABILITATION
AND REBUILDING PROGRAM (OORR)

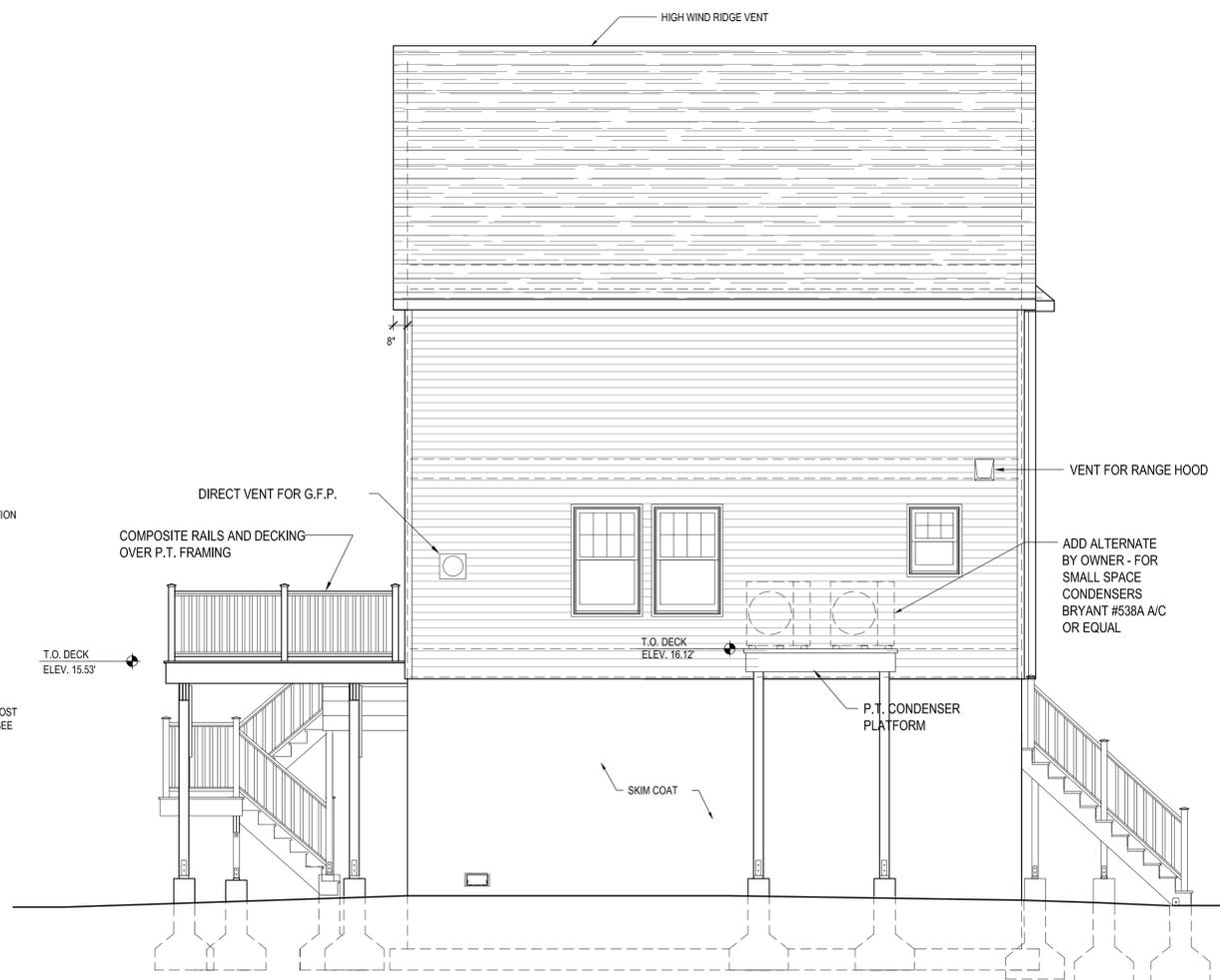
Date: 07/21/2014

Project Number: 1070
Drawn By: J.V.L.

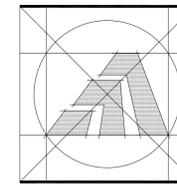
Sheet Number:
A3.1



REAR ELEVATION
SCALE: 1/4"=1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"



Amaya Architects
American Institute of Architects

284 RACEBROOK RD. TEL (203) 795 5656
ORANGE, CT 06477 FAX (203) 799 3871

Sheet Title:
FRONT & RIGHT SIDE ELEVATIONS

APPLICATION # 1070

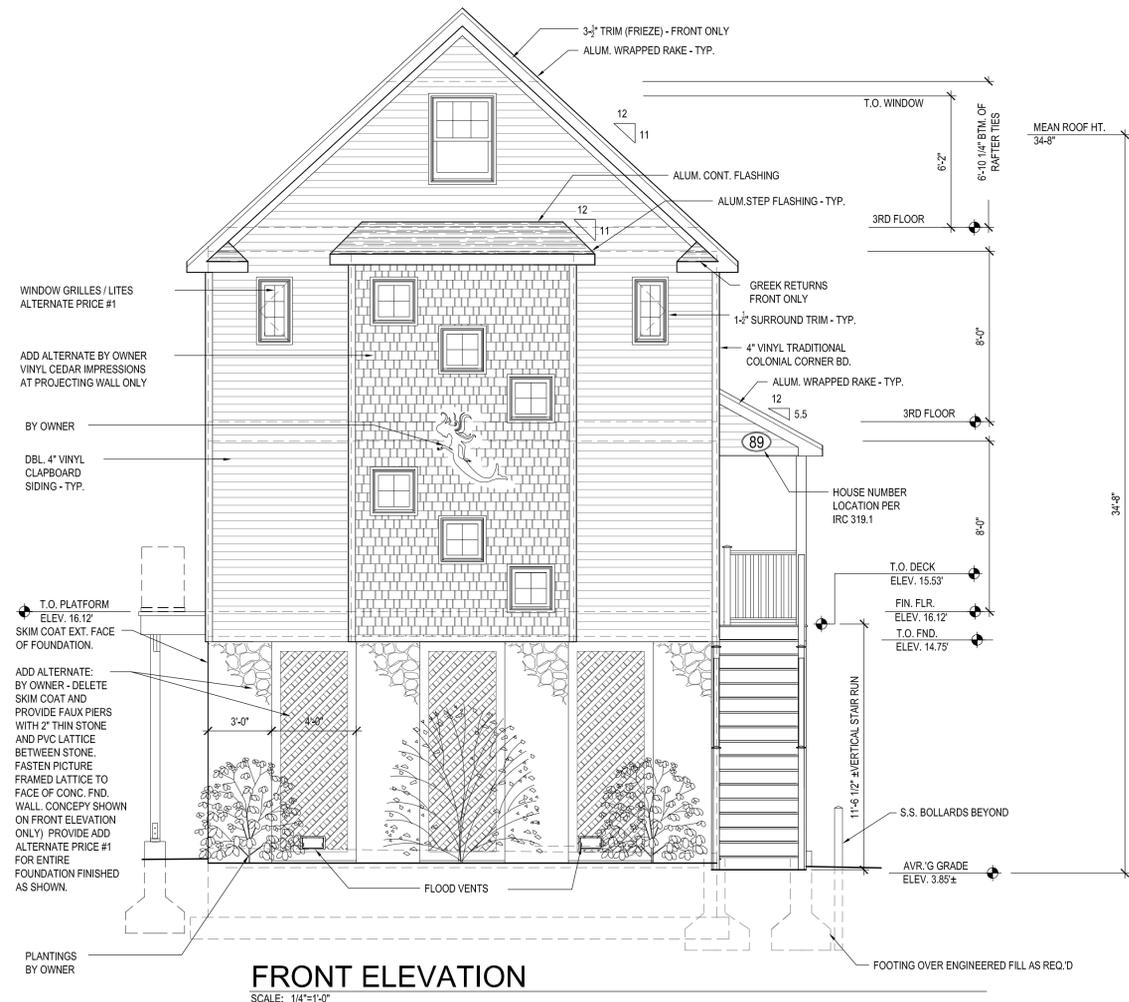
ROBINSON RESIDENCE
89 COOPER AVE.
Milford, Connecticut 06460

STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
OWNER OCCUPIED REHABILITATION
AND REBUILDING PROGRAM (OORR)

Date: 07/21/2014

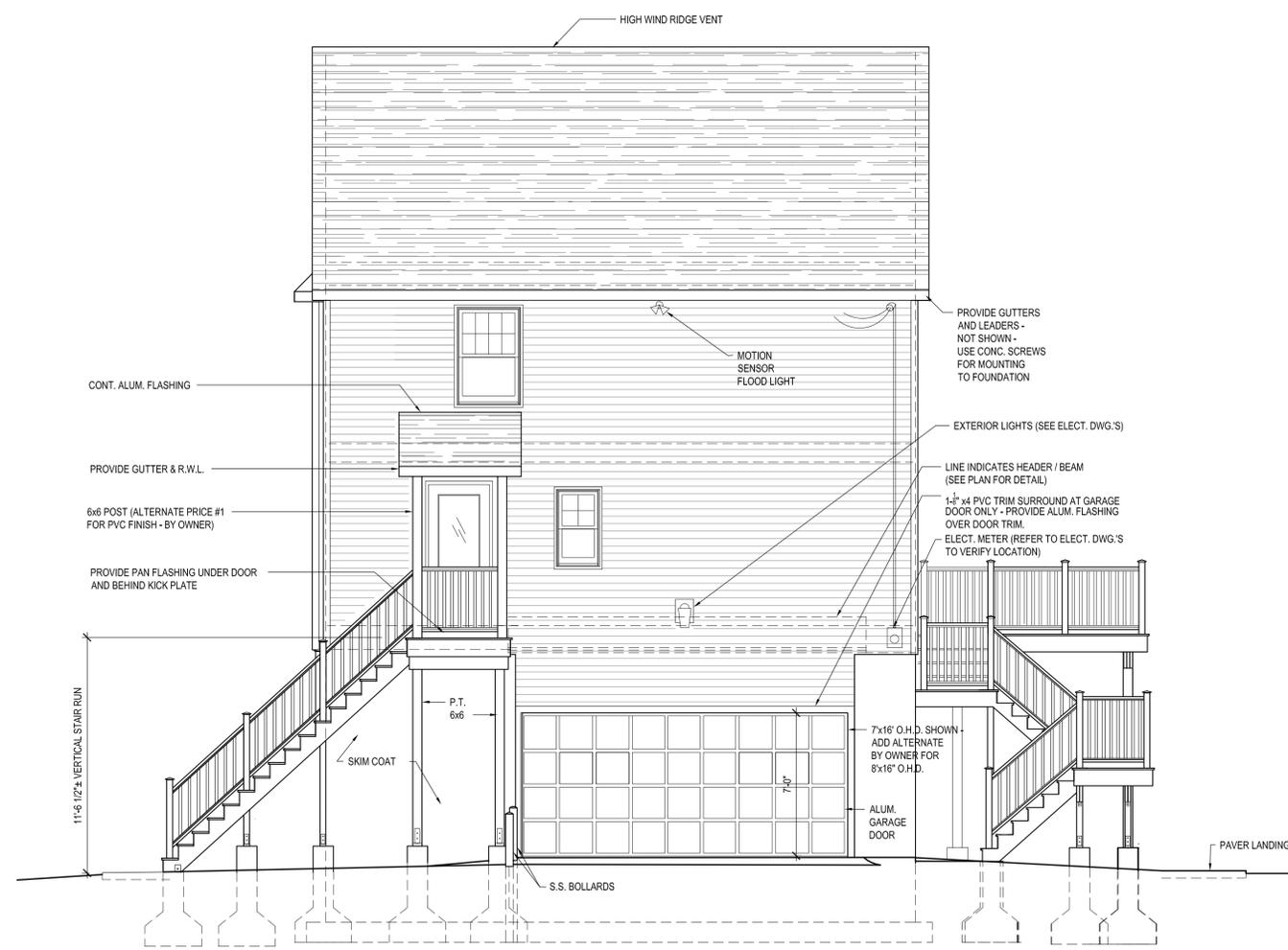
Project Number: 1070
Drawn By: J.V.L.

Sheet Number:
A3



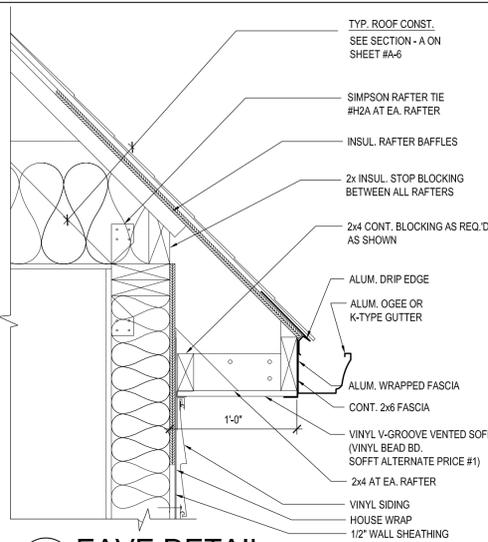
FRONT ELEVATION

SCALE: 1/4"=1'-0"

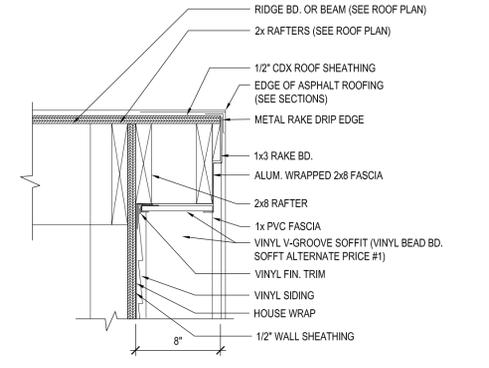


RIGHT SIDE ELEVATION

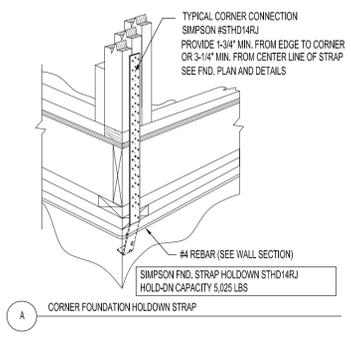
SCALE: 1/4"=1'-0"



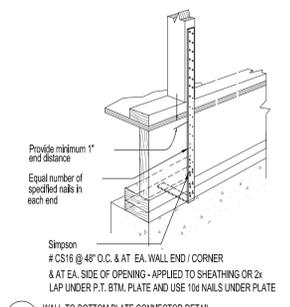
1 EAVE DETAIL
SCALE: 1-1/2"=1'-0"



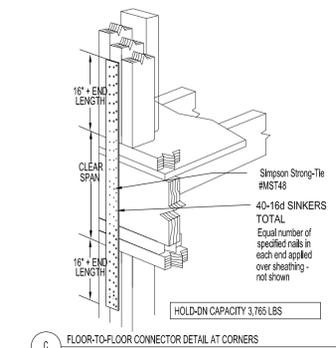
2 TYP. GABLE OVERHANG DETAIL
SCALE: 1-1/2"=1'-0"



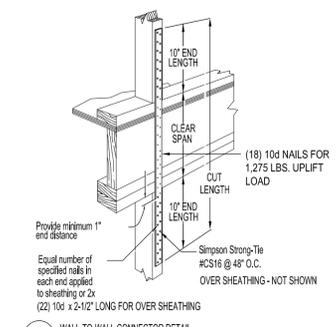
A CORNER FOUNDATION HOLD-DOWN STRAP



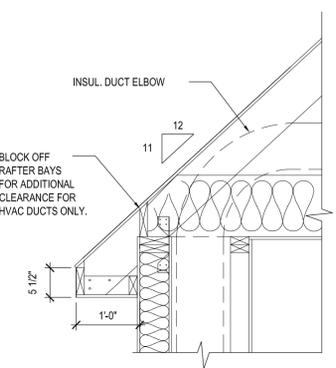
B WALL-TO-BOTTOM PLATE CONNECTOR DETAIL
ALTERNATIVE #1 - USE PLYWOOD TO TIE FLOORS, SILL PLATE, AND WALL W/ HORIZ. SHEET - EQUAL



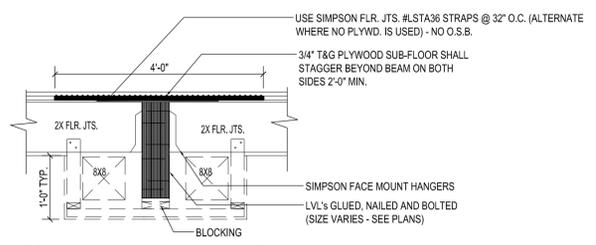
C FLOOR-TO-FLOOR CONNECTOR DETAIL AT CORNERS
ALTERNATIVE #1 - USE PLYWOOD TO TIE FLOORS TOGETHER - EQUAL



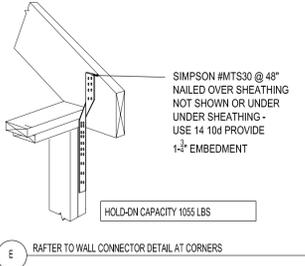
D WALL-TO-WALL CONNECTOR DETAIL
ALTERNATIVE #1 - USE PLYWOOD TO TIE FLOORS TOGETHER - EQUAL



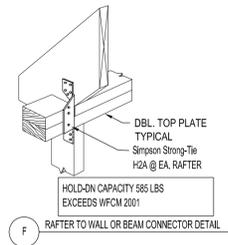
3 TYP. DUCT CHASE DETAIL
SCALE: 3/4"=1'-0"



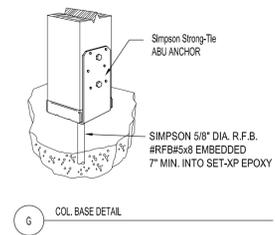
4 TYP. LVL FLUSH BEAM DETAIL
SCALE: N.T.S.



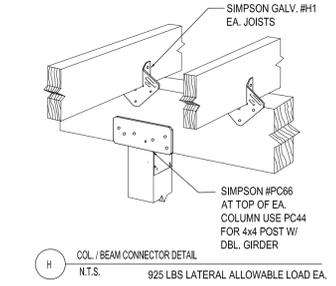
E RAFTER TO WALL CONNECTOR DETAIL AT CORNERS



F RAFTER TO WALL OR BEAM CONNECTOR DETAIL

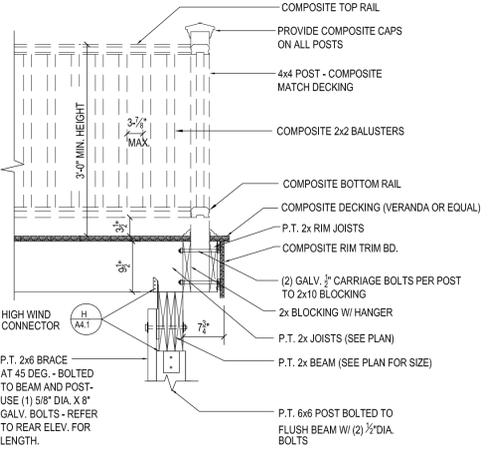


G COL. BASE DETAIL

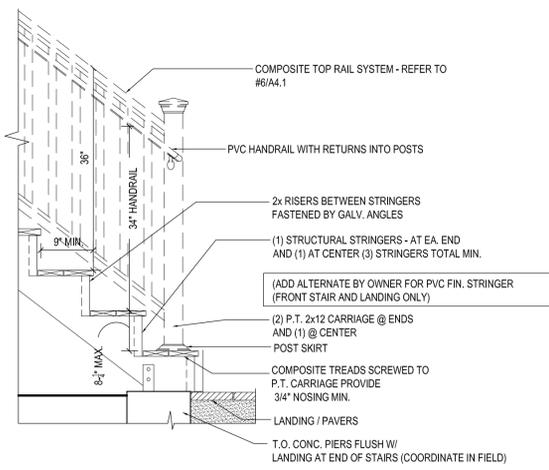


H COL. / BEAM CONNECTOR DETAIL

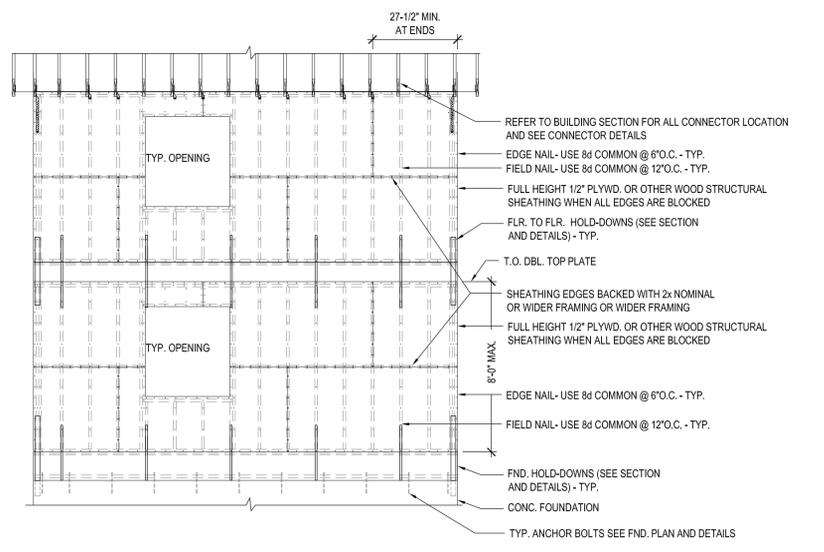
- DECK & RAIL NOTES:
1. RAILING / GUARDRAIL TO BE COMPOSITE (USE VERANDA ARMOR GUARD RAILING OR EQUAL TO MATCH DECKING)
 2. ALL DECKING TO BE COMPOSITE (USE VERANDA ARMOR GUARD DECKING TO MATCH EXISTING OR EQUAL)
 3. DECKING SHALL BE PICTURE FRAMED SO THAT BD. ENDS ARE NOT EXPOSED.
 4. ALL STRUCTURAL FRAMING TO BE P.T. LUMBER
 5. ALL FASTENERS SHALL BE GALV.



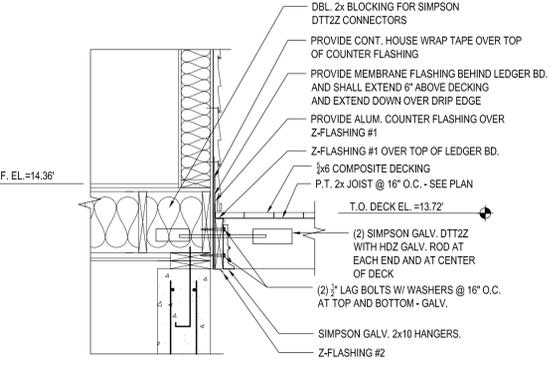
6 DECK DETAIL
SCALE: 3/4"=1'-0"



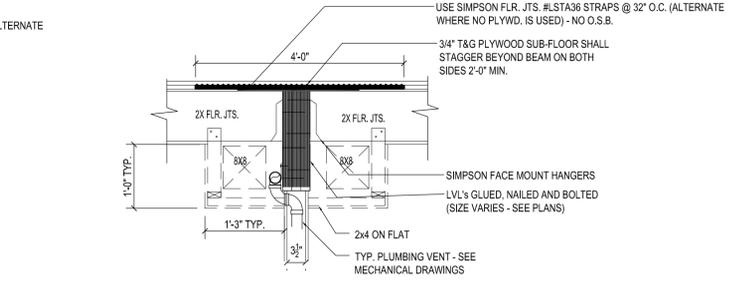
7 DECK STAIR DETAIL
SCALE: 3/4"=1'-0"



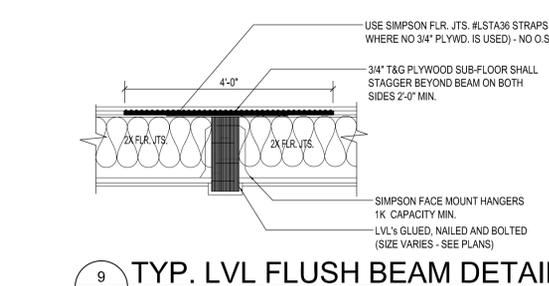
8 TYP. PERFORATED SHEARWALL W/ UNRESTRAINED OPENINGS
SCALE: 1/4"=1'-0"



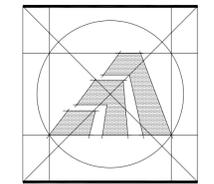
5 TYP. DECK AT WALL DETAIL
SCALE: 3/4"=1'-0"



10 TYP. LVL FLUSH BEAM DETAIL
SCALE: N.T.S.



9 TYP. LVL FLUSH BEAM DETAIL
SCALE: N.T.S.



Amaya Architects
American Institute of Architects

284 RACEBROOK RD. ORANGE, CT 06477
TEL. (203) 795 5656 FAX (203) 799 3871

Sheet Title:
DETAILS

APPLICATION # 1070

ROBINSON RESIDENCE
89 COOPER AVE.
Milford, Connecticut 06460

STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
OWNER OCCUPIED REHABILITATION
AND REBUILDING PROGRAM (OORR)

Date: 07/21/2014
ISSUED: 00/00/0000

Project Number: 1070
Drawn By: J.V.L.

Sheet Number:
A4.1

DOOR SCHEDULE

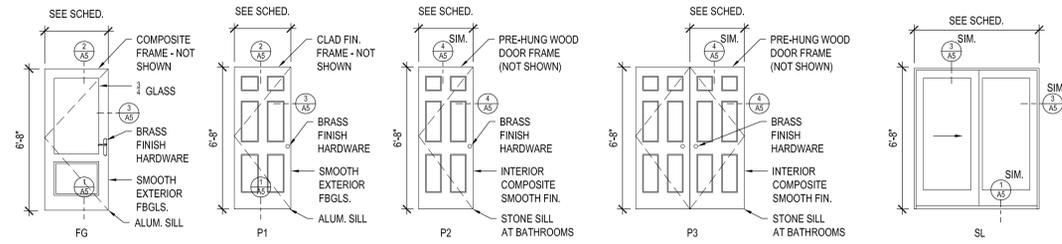
REV.#	DR. NUM.	ROOM NUMBER	DOOR SIZE OR UNIT NUMBER	DOOR TYPE	FINISH	FRAME	DETAILS	LABEL	HARDWARE	REMARKS
100	100		18' x 7' (TO H.D.)	-	ALUM.	STD.	-	-	-	SET
100.1	100.1		2'-0" x 6'-8" (SINGLE DOOR)	P1	FGLS	STD.	CMST. PTD.	-	-	2
200	200		2'-0" x 6'-8" (SINGLE DOOR)	P2	FGLS	STD.	CMST. PTD.	2/A5	3/A5	3
200.1	200.1		2'-4" x 6'-8" (SINGLE DOOR)	P2	WD	PTD.	WD. PTD.	4/A5	4/A5	4
200.2	200.2		2'-0" x 6'-8" (SINGLE DOOR)	P2	WD	PTD.	WD. PTD.	4/A5	4/A5	4
201	201		2'-0" x 6'-8" (SINGLE DOOR)	P2	WD	PTD.	WD. PTD.	4/A5	4/A5	5
202	202		6'-0" x 6'-8" (SLIDER)	SL	CLAD	STD.	WD. CLAD	2/A5	3/A5	1/A5
204	204		2'-0" x 6'-8" (SINGLE DOOR)	P1	FGLS	STD.	WD. PTD.	2/A5	3/A5	1/A5
301	301		2'-0" x 6'-8" (SINGLE DOOR)	P2	WD	PTD.	WD. PTD.	4/A5	4/A5	5
301.1	301.1		2'-0" x 6'-8" (SINGLE DOOR)	P2	WD	PTD.	WD. PTD.	4/A5	4/A5	4
302	302		2'-0" x 6'-8" (SINGLE DOOR)	P2	WD	PTD.	WD. PTD.	4/A5	4/A5	4
302.1	302.1		2'-0" x 6'-8" (SINGLE DOOR)	P2	WD	PTD.	WD. PTD.	4/A5	4/A5	4
303	303		2'-0" x 6'-8" (SINGLE DOOR)	P2	WD	PTD.	WD. PTD.	4/A5	4/A5	5
303.1	303.1		2'-0" x 6'-8" (SINGLE DOOR)	P2	WD	PTD.	WD. PTD.	4/A5	4/A5	7
304	304		2'-0" x 6'-8" (SINGLE DOOR)	P2	WD	PTD.	WD. PTD.	4/A5	4/A5	8
305	305		2'-0" x 6'-8" (SINGLE DOOR)	P2	WD	PTD.	WD. PTD.	4/A5	4/A5	5

*NOTE: DOOR SUPPLIER IS TO REVIEW ALL PLANS, ELEVATIONS & SCHEDULES. WINDOW & DOOR SUPPLIER TO REVIEW ALL ASPECTS OF DOOR SPECIFICATIONS & FUNCTIONS WITH THE OWNER AND/OR GENERAL CONTRACTOR. DOOR SUPPLIER IS TO PROVIDE SUBMITTALS FOR APPROVAL OF ALL SUPPLIED ITEMS BEFORE PLACING DOOR ORDER.

ABBREVIATIONS:
 CMST. - COMPOSITE
 ALUM. - ALUMINUM
 WD. - WOOD
 INTL. - INTL.
 STD. - STANDARD

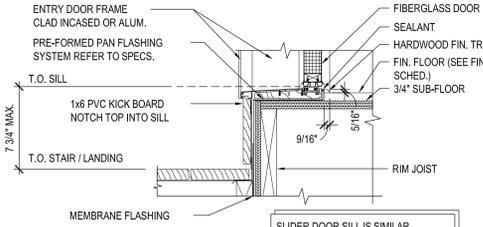
FGLS - FIBERGLASS
 PTD. - PARTED
 INT. - INTERIOR
 EXT. - EXTERIOR

PERFORMANCE NOTE: EXTERIOR DOORS SHALL BE 0.31 U-FACTOR BETTER AND MIN. DP 50 RATING. PROVIDE IMPACT RESISTANT GLASS AS REQ'D.

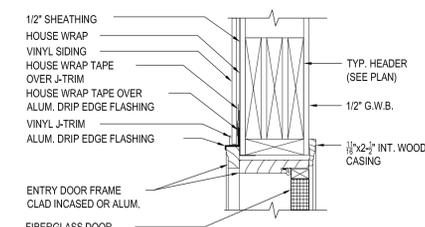


DOOR TYPES

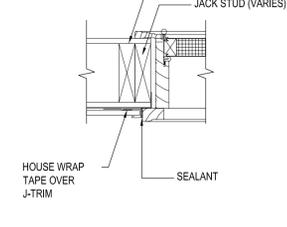
SCALE: 1/4"=1'-0"



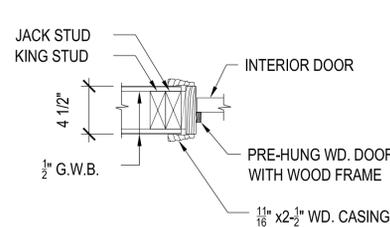
1 EXT. DOOR SILL DETAIL
 SCALE: 1-1/2"=1'-0"



2 EXT. HEAD DETAIL
 SCALE: 1-1/2"=1'-0"



3 EXT. JAMB DETAIL
 SCALE: 1-1/2"=1'-0"

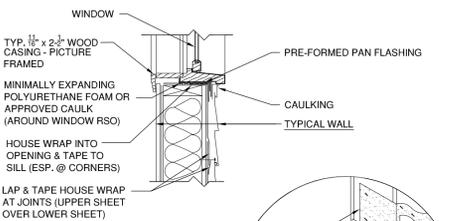


4 INT. DOOR JAMB DETAIL
 (HEAD SIM.)
 SCALE: 1-1/2"=1'-0"

WINDOW SCHEDULE

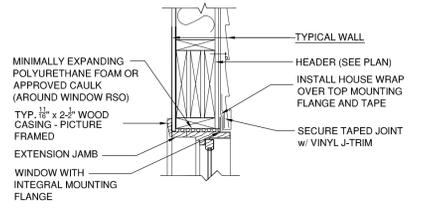
REV.#	NO.	TYPE & FRAME SIZE (WIDTH x HEIGHT)	UNIT #	GRILLE	QTY / SETS	TYPE	HEAD	JAMB	SILL	REMARKS
	A	2'-0" x 2'-0"			2	D.H.	-	-	-	TEMPERED
	B	2'-2" x 2'-5"			2	D.H.	-	-	-	
	C	2'-8" x 5'-1"			2	D.H.	-	-	-	
	D	3'-2" x 5'-1"			2	D.H.	-	-	-	
	E	2'-8" x 2'-5"			1	D.H.	-	-	-	
	F	1'-5" x 2'-0"			2	CSMT.	-	-	-	5.7 S.F. EGRESS
	G	3'-2" x 2'-0"			1	D.H.	-	-	-	5.7 S.F. EGRESS - 3/4" LVL VERT. REINF. MULLIONS SUPPLIED BY WINDOW MANUF.
	H	(2) 3'-2" x 2'-0"			2	D.H.	-	-	-	
	J	3'-0" x 2'-0"			2	D.H.	-	-	-	

ALL WINDOWS AND PATIO DOORS SHALL HAVE VINYL OR ALUM CLAD EXT. WITH WOOD INTERIOR AND WITH DIVIDED LITES PER ELEVATIONS (ADD ALTERNATE BY OWNER) ALL WINDOWS SHALL BE 0.31 U-FACTOR OR BETTER (REFER TO RESCHECK REPORT) AND ALL DBL HUNGS SHALL BE TILT-WASH AND ALL WINDOWS AND PATIO DOORS SHALL HAVE DESIGN PRESSURE 50 (DP50). PROVIDE SCREENS AND HARDWARE. ALL SOLID INSUL. EXT. DOORS ARE TO BE FIBERGLASS UNLESS NOTED OTHERWISE VERIFY PRIOR TO ORDERING UNITS.

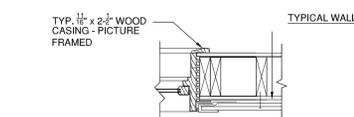


- STEP #1 HOUSE WRAP INTO OPENING FASTENED TO ROUGH OPENING
- STEP #2 INSTALL PRE-FORMED SILL PAN FLASHING AT BASE OF WINDOW OPENING OVERLAPPING HOUSE WRAP
- STEP #3 OVERLAP PRE-FORMED SILL PAN AT JAMBS WITH SAF (SELF-ADHESIVE FLASHING) TAPE.
- STEP #4 USE SAF (SELF-ADHESIVE FLASHING) TAPE OVER WINDOW FLANGES - FINIS (NOT SHOWN) AND HOUSE WRAP - REFER TO DETAIL #9/A5 FOR SAF TAPE DETAIL.

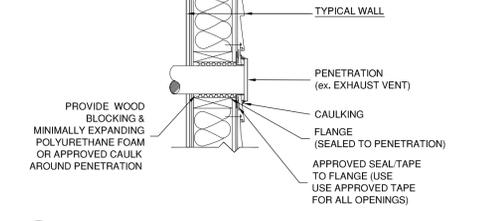
5 WINDOW SILL DETAIL
 SCALE: 1"=1'-0"



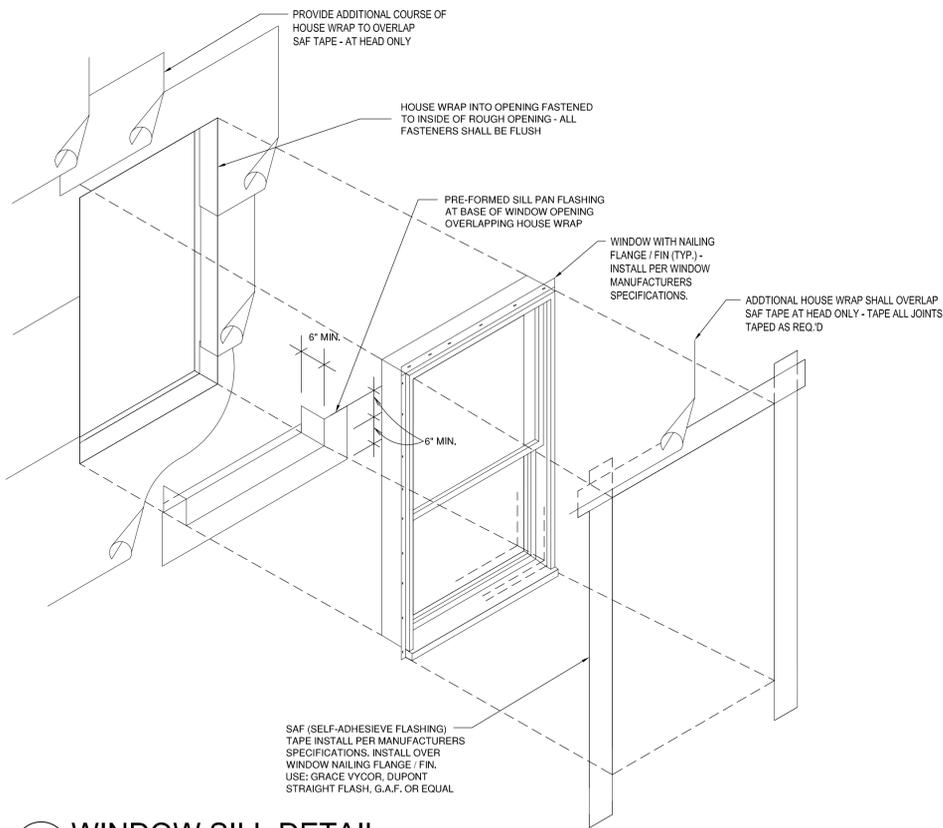
6 WINDOW HEAD DETAIL
 SCALE: 1"=1'-0"



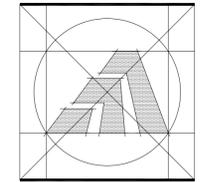
7 WINDOW JAMB DETAIL
 SCALE: 1"=1'-0"



8 WALL PENETRATION DETAIL
 SCALE: 1"=1'-0"



9 WINDOW SILL DETAIL
 SCALE: N.T.S.



Amaya Architects
 American Institute of Architects

284 RACEBROOK RD. ORANGE, CT 06477
 TEL (203) 795 5656 FAX (203) 799 3871

Sheet Title:
 WINDOW & DOOR SCHED. AND DETAILS

APPLICATION # 1070

ROBINSON RESIDENCE
 89 COOPER AVE.
 Milford, Connecticut 06460

STATE OF CONNECTICUT
 DEPARTMENT OF HOUSING
 COMMUNITY DEVELOPMENT BLOCK GRANT
 DISASTER RECOVERY PROGRAM
 OWNER OCCUPIED REHABILITATION
 AND REBUILDING PROGRAM (OORR)

Date: 07/21/2014

Project Number: 1070
 Drawn By: J.V.L.

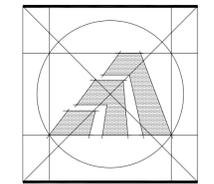
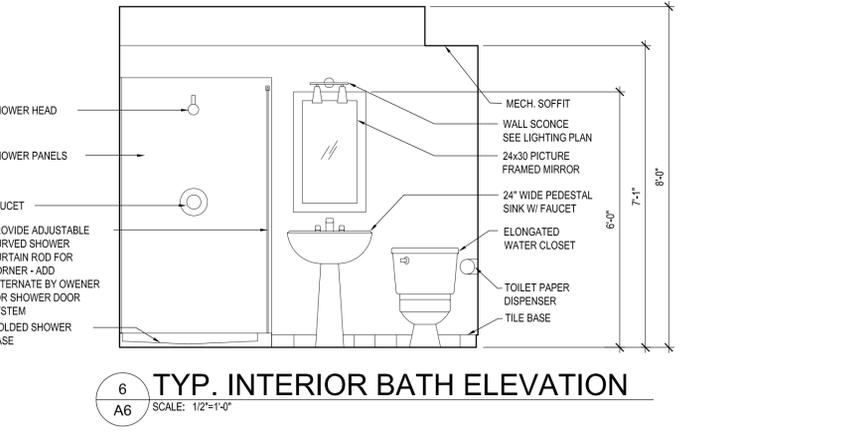
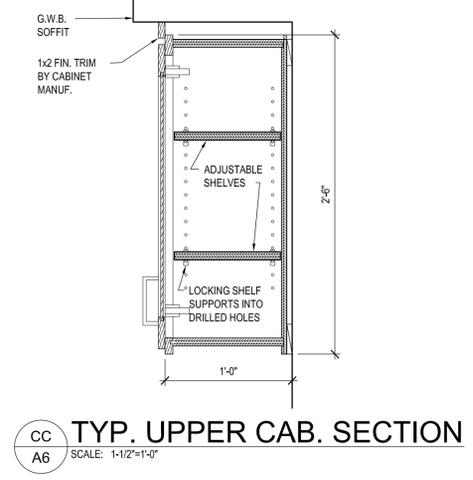
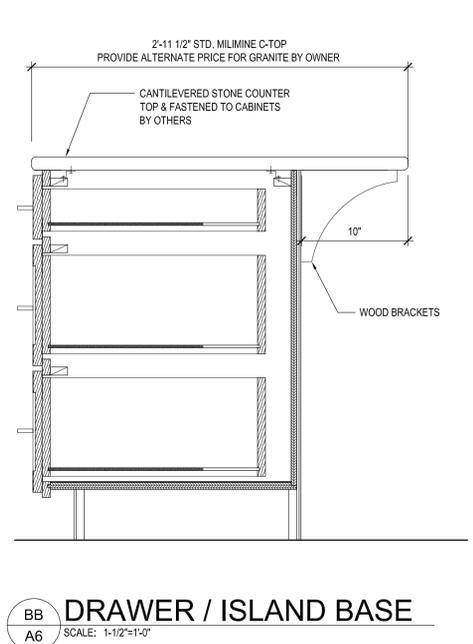
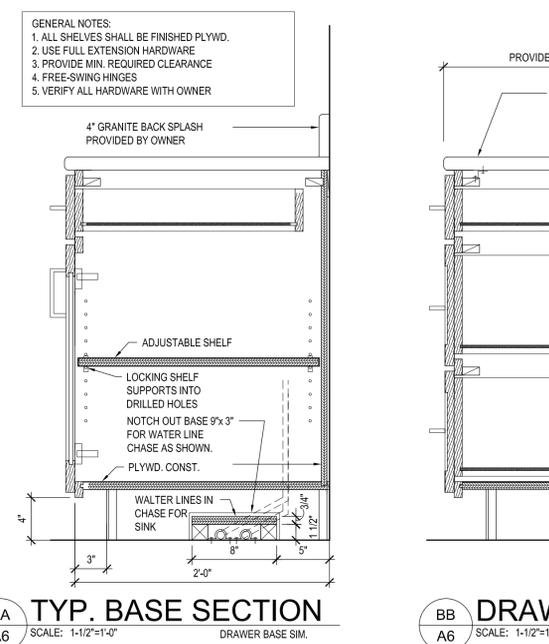
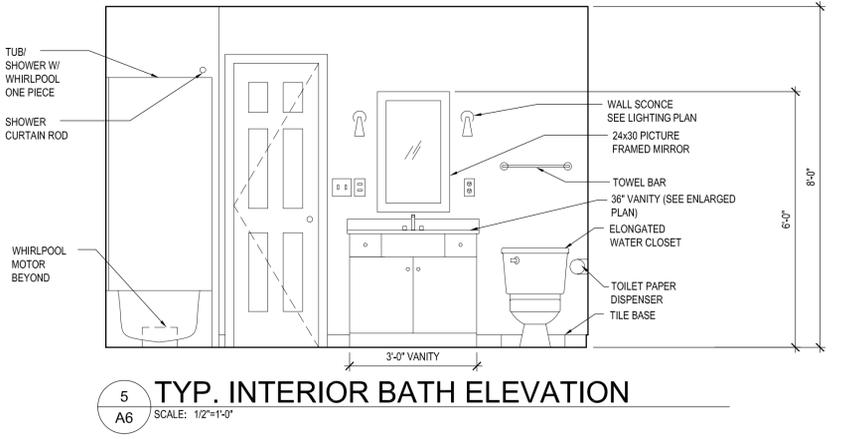
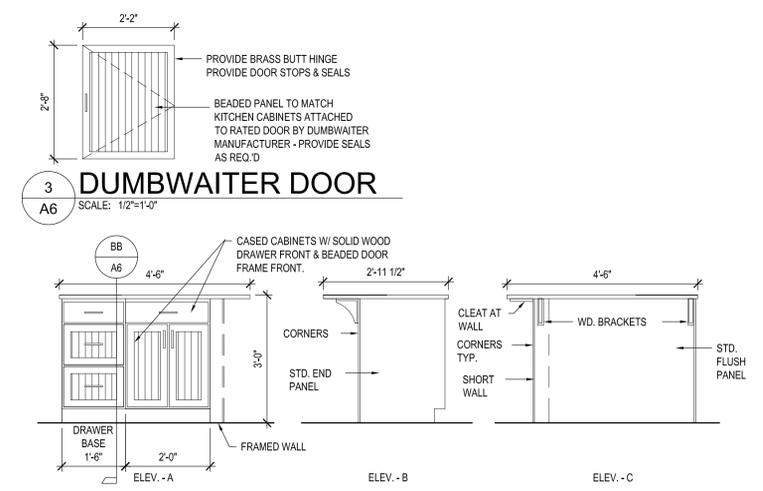
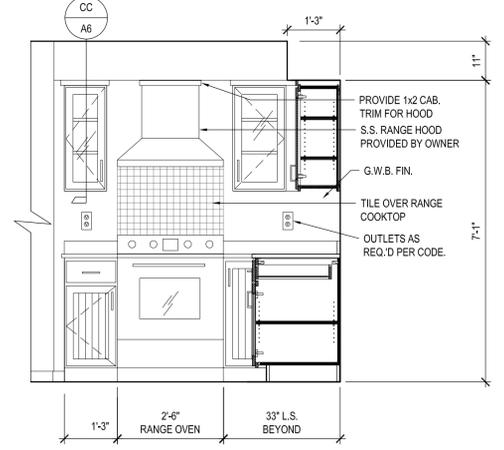
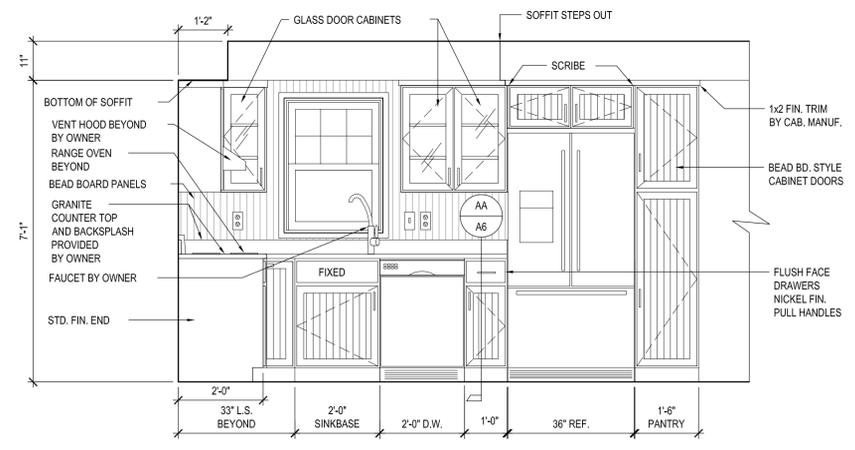
Sheet Number:
A5

FINISH SCHEDULE

REV.#	NUM.	ROOM NAME	FLOOR		BASE		NORTH WALL		EAST WALL		SOUTH WALL		WEST WALL		CEILING HEIGHT	CEILING MAT.	CEILING COLOR	REMARKS
			SUBSTRATE	FINISH	COLOR	MAT.L	FINISH	COLOR	MAT.L	FINISH	COLOR	MAT.L	FINISH	COLOR				
	100	GARAGE	CONC.	NA	NA	CONC.	NA	NA	CONC.	NA	NA	CONC.	NA	NA	10'-0"	G.W.B.	WHITE	1 HOUR RATED
	101	STAIR	P.L. WD.	HDWD	STAIN	N/A	N/A	N/A	G.W.B.	PTD	WHITE	N/A	N/A	N/A	7'-0"	G.W.B.	WHITE	PROVIDE PVC HANDRAILS
	200	FOYER	WOOD	LWD	STAIN	WOOD	PTD	WHITE	G.W.B.	PTD	WHITE	G.W.B.	PTD	WHITE	8'-0"	G.W.B.	WHITE	
	201	BATH	CHT. RD.	CT	T.B.D.	CT	STD	T.B.D.	G.W.B.	PTD	WHITE	G.W.B.	PTD	WHITE	8'-0"	G.W.B.	WHITE	
	202	LIVING ROOM	WOOD	LWD	STAIN	WOOD	PTD	WHITE	G.W.B.	PTD	WHITE	G.W.B.	PTD	WHITE	8'-0"	G.W.B.	WHITE	
	203	DINING AREA	WOOD	LWD	STAIN	WOOD	PTD	WHITE	G.W.B.	PTD	WHITE	G.W.B.	PTD	WHITE	8'-0"	G.W.B.	WHITE	
	204	KITCHEN	WOOD	LWD	STAIN	WOOD	PTD	WHITE	G.W.B.	PTD	WHITE	G.W.B.	PTD	WHITE	8'-0"	MTL & G.W.B.	WHITE	UNPAINTED PANELS - SCREW TO JOIST @ 16" O.C.
	205	STAIR	WOOD	LWD	STAIN	WOOD	PTD	WHITE	G.W.B.	PTD	WHITE	G.W.B.	PTD	WHITE	8'-0"	G.W.B.	WHITE	TREADS OAK AND RISER & STRINGER POPLAR, OAK RAIL.
	300	HALL	WOOD	LWD	STAIN	WOOD	PTD	WHITE	G.W.B.	PTD	WHITE	G.W.B.	PTD	WHITE	8'-0"	G.W.B.	WHITE	
	301	BEDROOM #1	WOOD	CPT	T.B.D.	WOOD	PTD	WHITE	G.W.B.	PTD	WHITE	G.W.B.	PTD	WHITE	8'-0"	G.W.B.	WHITE	
	302	BEDROOM #2	WOOD	CPT	T.B.D.	WOOD	PTD	WHITE	G.W.B.	PTD	WHITE	G.W.B.	PTD	WHITE	8'-0"	G.W.B.	WHITE	
	303	BEDROOM #3	WOOD	CPT	T.B.D.	WOOD	PTD	WHITE	G.W.B.	PTD	WHITE	G.W.B.	PTD	WHITE	8'-0"	G.W.B.	WHITE	
	304	LAUNDRY	CHT. RD.	CT	T.B.D.	CT	STD	T.B.D.	G.W.B.	PTD	WHITE	G.W.B.	PTD	WHITE	8'-0"	G.W.B.	WHITE	
	305	BATH	CHT. RD.	CT	T.B.D.	CT	STD	T.B.D.	G.W.B.	PTD	WHITE	G.W.B.	PTD	WHITE	8'-0"	G.W.B.	WHITE	

MISC. ABBREVIATIONS
 PTD - PAINTED
 W.P. - NOT PAINTED
 N/A - NOT APPLICABLE
 G.W.B. - MATCH STAIR TREADS
 LWD - LAMINATED FLOATING WOOD FLOOR
 CHT. RD. - CERAMIC TILE
 CT - CERAMIC TILE
 STD - STANDARD
 MTL - 9" X 9" CORRUGATED METAL
 CORR/IMP/OP/CLG
 * ROOMS HAVE SOFFITS AT 7'-0"

NOTE:
 1. ALL CEILINGS SHALL BE PRIME AND PAINTED FLAT WHITE.
 2. ALL WINDOW AND DOOR CASING SHALL BE PRIME & PAINTED MATCH COLOR.



Amaya Architects
 American Institute of Architects

284 RACEBROOK RD. ORANGE, CT 06477
 TEL (203) 795 5656 FAX (203) 799 3871

Sheet Title:
FINISH SCHEDULE, INTERIOR ELEVATIONS

APPLICATION # 1070

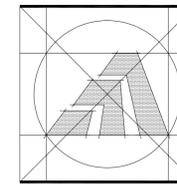
ROBINSON RESIDENCE
 89 COOPER AVE.
 Milford, Connecticut 06460

STATE OF CONNECTICUT
 DEPARTMENT OF HOUSING
 COMMUNITY DEVELOPMENT BLOCK GRANT
 DISASTER RECOVERY PROGRAM
 OWNER OCCUPIED REHABILITATION
 AND REBUILDING PROGRAM (OOR)

Date: 07/21/2014

Project Number: 1070
 Drawn By: J.V.L.

Sheet Number:
A6



Amaya Architects
American Institute of Architects

284 RACEBROOK RD. TEL (203) 795 5656
ORANGE, CT 06477 FAX (203) 799 3871

Sheet Title:
FRAMING PLANS

APPLICATION # 1070

ROBINSON RESIDENCE
89 COOPER AVE.
Milford, Connecticut 06460

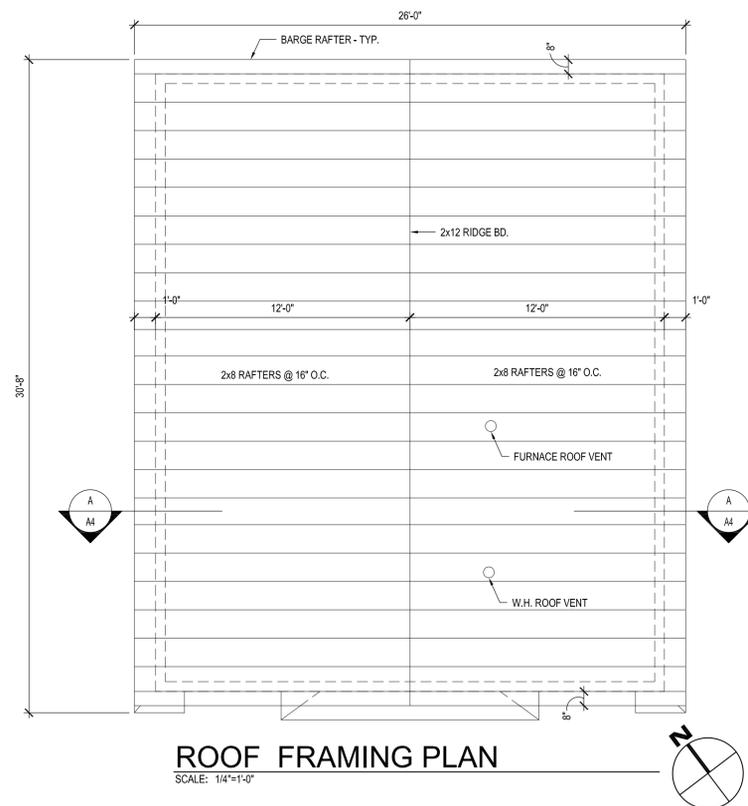
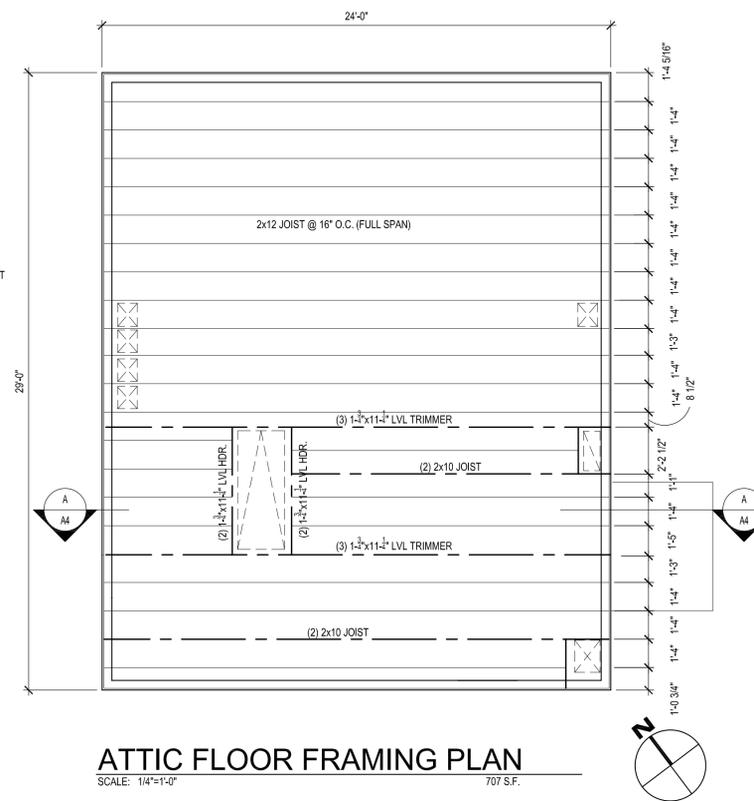
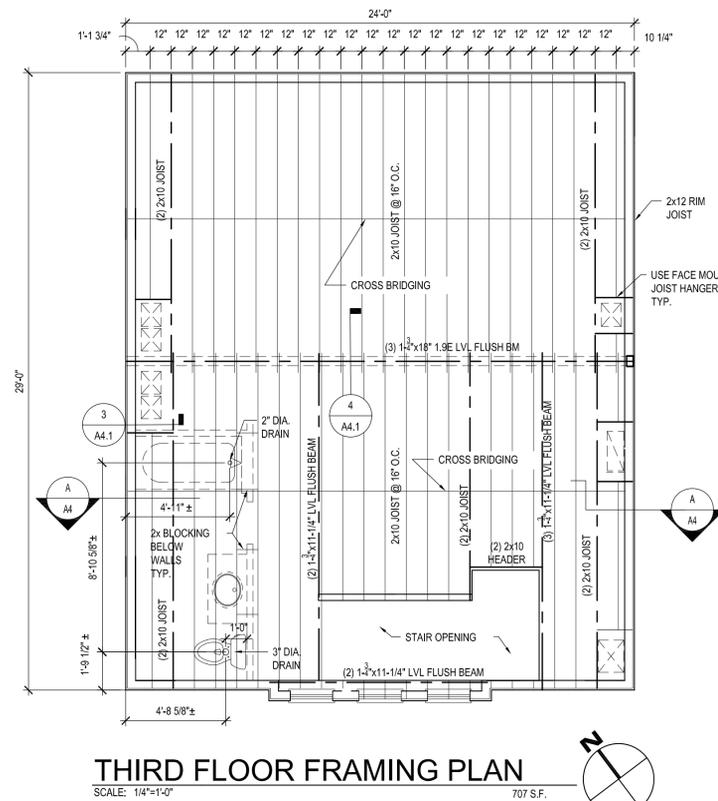
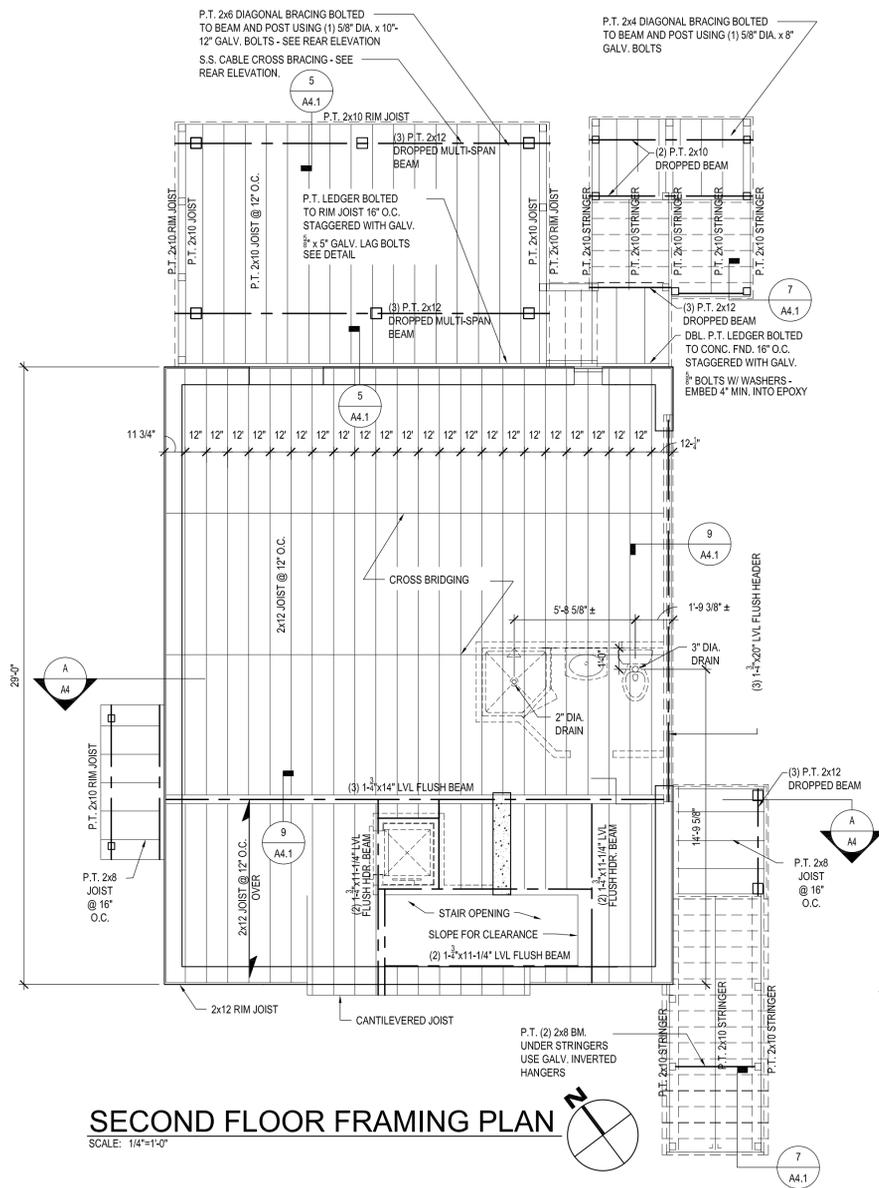
STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
OWNER OCCUPIED REHABILITATION
AND REBUILDING PROGRAM (OORR)

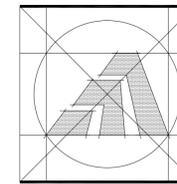
Date: 07/21/2014

Project Number: 1070
Drawn By: J.V.L.

Sheet Number:

A7





Amaya Architects
American Institute of Architects

284 RACEBROOK RD. ORANGE, CT 06477
TEL (203) 795 5656 FAX (203) 799 3871

Sheet Title:
ARCH. SITE PLAN

APPLICATION # 1070

ROBINSON RESIDENCE
89 COOPER AVE.
Milford, Connecticut 06460

STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
OWNER OCCUPIED REHABILITATION
AND REBUILDING PROGRAM (OORR)

Date: 07/21/2014

Project Number: 1070
Drawn By: J.V.L.

Sheet Number:
C1

NOTE:
REFERENCE IS MADE TO SITE PLAN LABELED # 8-08-MAP, DATED 8-23-08
MADE FOR LAURIE L. ROBINSON BY SCOTT K. MUNDY, L.S.

R - 5 ZONE	MAX. ALLOWED / MIN. REQUIRED	EXISTING	PROPOSED
1. MIN. LOT AREA	5,000 S.F.	4,380 S.F.	4,380 S.F.
2. MIN. LOT WIDTH	50'-0"	60'-0"	60'-0"
3. MIN. LOT DEPTH	70'-0"	73'-0"	73'-0"
4. MIN. SETBACKS (INCLUDING PROJECTIONS PER 4.1.4)			
FRONT (STREET LINE)	10'	19.6'	8.0" & 15.5"
SIDE YARD	5' & 10'	10.9' & 3.7'	5" / 8" & 23.5" / 28.0"
REAR YARD	20'-0"	9.6" / 12' *	28' ** / 16.5' *
5. MAX. HEIGHT (STORIES)	3	2	3
6. MAX. MEAN HEIGHT/ MIDPOINT OF ROOF - AVG. GRADE (FT)	35	24+/-	34.67'
7. BUILDING FLOOR AREA AS % OF LOT INCLUDING FUTURE HOT TUB DECK & SHED	45%	24.2%	27.0%
8. LOT COVERAGE INCLUDING DRIVEWAY	65%	45.9%	43.0%

* AT STAIRS OR DECK (MEETS PROJECTION REQUIREMENTS)
** AT HOUSE

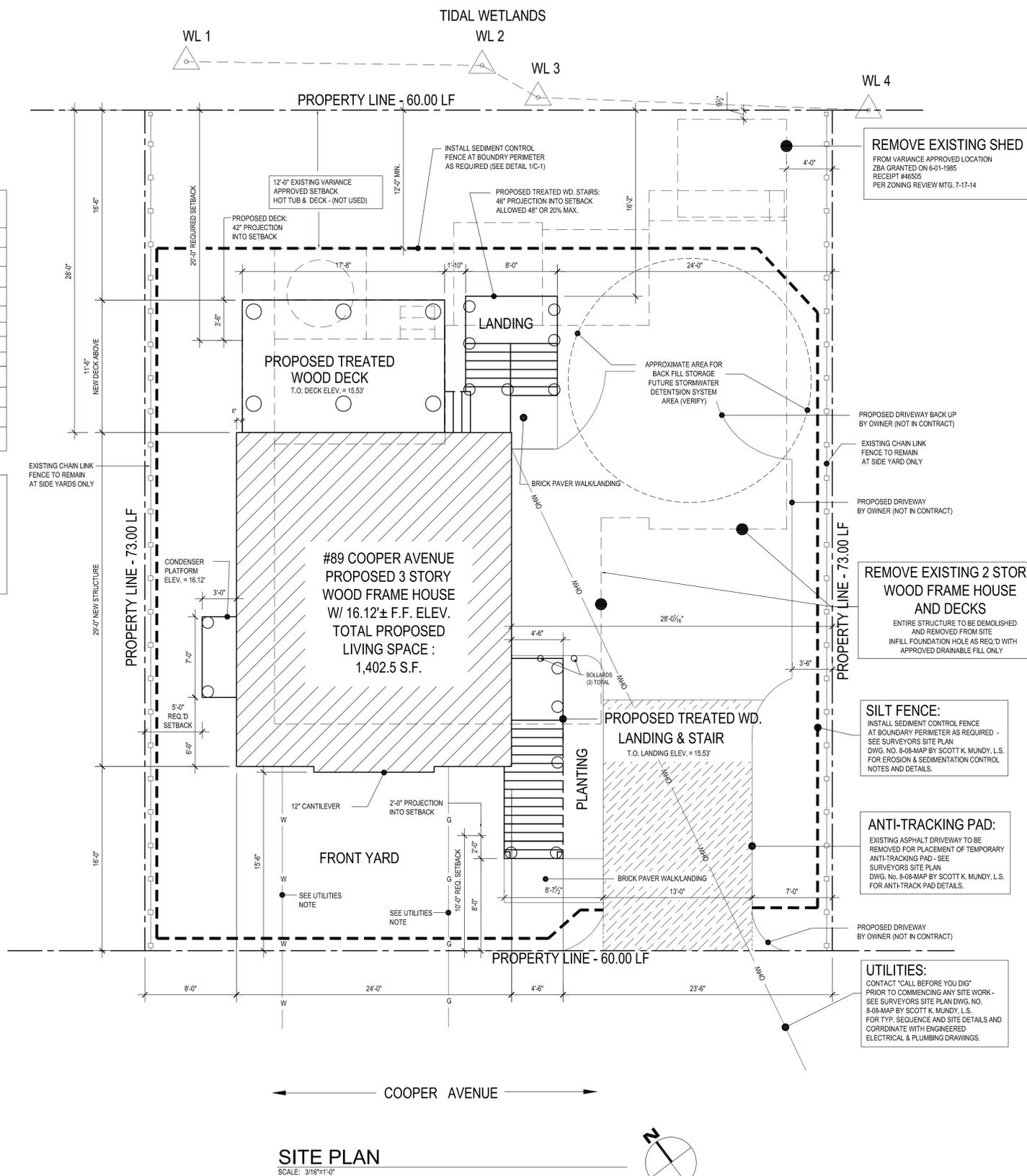
EXISTING HOUSE LIVING SPACE = 1,532 S.F.
PROPOSED HOUSE LIVING SPACE = 1,402.5 S.F.

ASSESSOR'S INFORMATION & AREA

MAP 22
BLOCK 458
PARCEL 38
AREA 4,380 S.F.
ACRES 0.05

NOTES:

SEE SURVEYORS SITE PLAN DWG. NO. 8-08-MAP BY SCOTT K. MUNDY, L.S.
FOR ALL UTILITY, ANTI-TRACK PAD AND SEDIMENTATION CONTROL SEQUENCE AND DETAILS.



COOPER AVENUE

SITE PLAN
SCALE: 3/16"=1'-0"

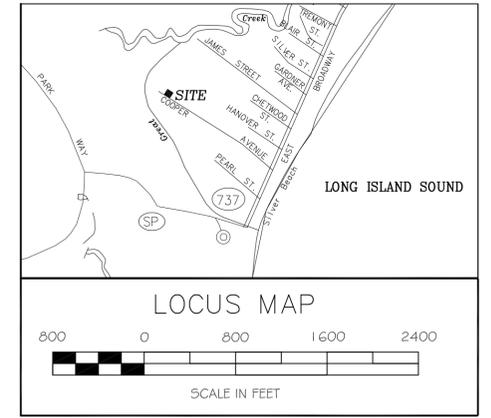
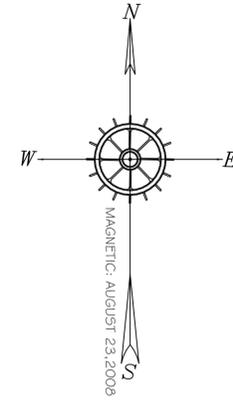


REFER TO THE FOLLOWING:

MAPS:

- "MAP OF SHORE PROPERTY OWNED BY MARTIN J. BRADY, MILFORD, CONN. PREPARED BY: V.B. CLARKE. DATED: APRIL 1912." ON FILE IN THE MILFORD TOWN CLERK'S. FILE # A-17.
- UNDERGROUND UTILITIES, IF ANY ARE UNKNOWN.
- THE WORD CERTIFY IS AN EXPRESSION OF PROFESSIONAL OPINION BY THE LICENSED LAND SURVEYOR WHICH IS BASED ON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF, AS SUCH CONSTITUTES NEITHER A GUARANTEE OR WARRANTY.
- REFERENCE IS HEREBY MADE TO STATE OF CONNECTICUT STATUTE 8-13a, REGARDING BUILDINGS MORE THAN 3 YEARS OLD.
- RECORD MAP DOES NOT CLOSE AND FIELD EVIDENCE IS INCONSISTENT. PROPERTY LINES ARE A "BEST FIT" OF ALL AVAILABLE EVIDENCE.
- SUBJECT PARCEL IS LOCATED IN FLOOD ZONE "AE-9" AS SCALED FROM F.I.L.R.M. CITY OF MILFORD COMMUNITY PANEL 534 OF 635, 09009C0529H. DATED DECEMBER 17, 2010. NAD 88 DATUM.
- PROPERTY IS SURVEYED AS IN POSSESSION.
- ELEVATIONS AS SHOWN HEREON ARE BASED ON A CITY OF MILFORD BENCH MARK, 4D-2. N.G.V.D. 1929 DATUM AND CONVERTED TO N.A.D 88.

WETLANDS FLAGGED BY JMM WETLAND CONSULTING SERVICES, LLC



ASSESSOR'S INFORMATION & AREA:

MAP	26
BLOCK	458
PARCEL	51 E
AREA	4,380 SF
ACRES	0.101

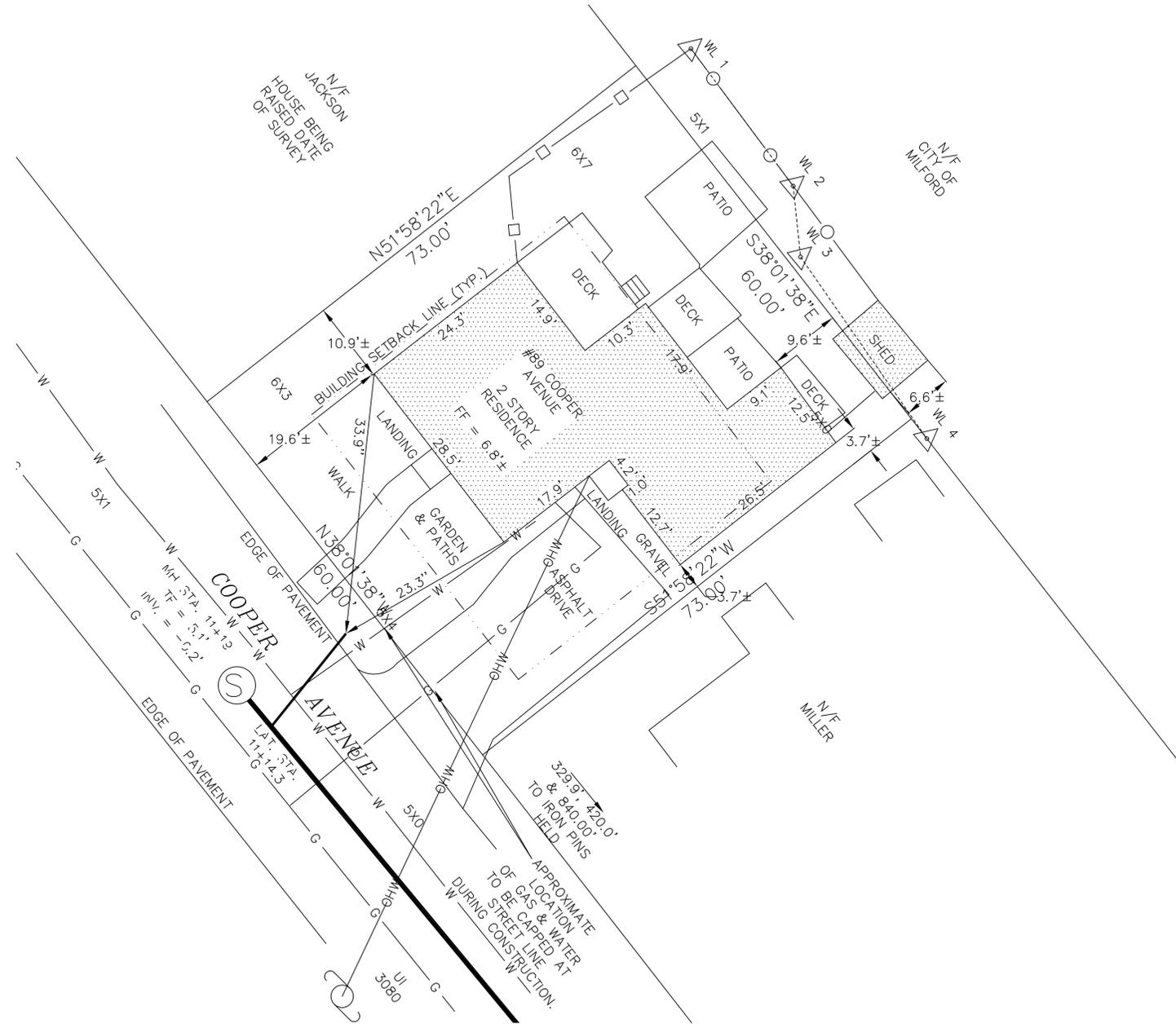
ZONING REQUIREMENTS

ZONE R-5

SECTION 3.2.4.1 SCHEDULE OF LOT AND BUILDING REQUIREMENTS FOR SINGLE ONE FAMILY RESIDENTIAL DISTRICT

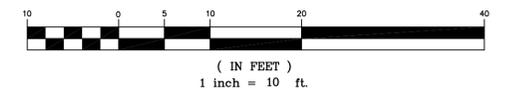
R - 5 ZONE	MINIMUM REQUIRED MAXIMUM ALLOWED	EXISTING CONDITIONS	PROPOSED CONDITIONS	AS-BUILT CONDITIONS
Minimum Lot Area	5,000 S.F.	4,380 S.F.	-	-
SETBACK REQUIREMENTS				
Setback From Street Line	10'	19.6'	-	-
Setback From Side Property Lines	5 & 10	3.7' & 10.9'	-	-
Setback From Rear Property Line	20	9.6'	-	-
BUILDING AND LOT COVERAGE				
Maximum Height For A Building Or Structure	35	24'±	-	-
Maximum Number Of Stories Per Building	3	1	-	-
Maximum Building Floor Area As A Percentage Of Lot Area	45%	24.2%	-	-
Maximum Building Lot Coverage As A Percentage Of Lot Area	65%	45.9%	-	-

* OR ACTUAL SETBACK



PROPERTY SURVEY
PREPARED FOR
LAURIE L. ROBINSON
#89 COOPER AVENUE
MILFORD, CONNECTICUT

GRAPHIC SCALE



LEGEND

- CB TF = 57.5' CATCH BASIN/ TOP OF FRAME
- MH TF = 56.9' MANHOLE/ TOP OF FRAME
- UTILITY POLE
- SIGN
- HYDRANT
- WATER VALVE
- PARKING SPACE NUMBERS
- FINISH FLOOR ELEVATION
- HANDICAPPED PARKING
- SPOT ELEVATIONS

THIS MAP IS NOT VALID IF ALTERED BY ANYONE OTHER THAN THE ORIGINAL SURVEYOR

THIS MAP IS NOT VALID UNLESS EMBOSSED WITH SEAL OF CERTIFYING SURVEYOR

I HEREBY STATE TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AND CONFORMS TO THE STANDARDS OF A CLASS A-2 SURVEY.



THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. THE TYPE OF SURVEY IS A PROPERTY SURVEY AND IS A DEPENDENT RESURVEY.

FIELD SURVEY CONFORMS TO METHODS RECOMMENDED IN CLASS "A-2" SURVEY, HORIZONTAL CLASS "T-2" SURVEY, VERTICAL

SCOTT K. MUNDY, L.S. # 70160

Scott K. Mundy, L.S.

P.O. BOX 3158
MILFORD, CONNECTICUT
06460
OFFICE: 203.882.8706
scott.k.mundy@snet.net

FB: 1-07-49

DRAWN BY: PROJ NO.: 8-08

CHECKED BY: S.K.M. DWG. NO.:

SCALE: 1" = 10'

GENERAL NOTES

- SCOPE OF WORK INCLUDES: NEW CONSTRUCTION IN THE AE-11 FLOOD ZONE
- THE WORK DESCRIBED IN THESE DOCUMENTS IS TO MEET HIGHEST QUALITY STANDARDS IN BOTH MATERIAL AND WORKMANSHIP. ANY SUBSTANDARD WORK WILL BE REJECTED.
- ALL WORK SHALL CONFORM TO THE MUNICIPALITY'S APPLICABLE BUILDING CODE, FIRE DEPT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE BUILDING DEPT, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES AS REQUIRED BY GOVERNING MUNICIPAL AGENCIES.
- THE CONTRACTOR SHALL VERIFY ALL DRAWING DIMENSIONS AND FIELD CONDITIONS, AND SHALL REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCING WORK.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWING.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH THE REQUIREMENTS OF LOCAL AUTHORITIES.
- THE CONTRACTOR SHALL LAYOUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR ALL OTHER TRADES (PLUMBING, ELECTRICAL, ETC.) IF APPLICABLE
- PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGNING IF APPLICABLE.
- THE CONTRACTOR UPON COMPLETION OF JOB, SHALL APPLY FOR CERTIFICATE OF OCCUPANCY, AND SHALL ARRANGE FOR BUILDING DEPT INSPECTIONS AND SIGN-OFFS REQUARY.
- MANUFACTURED ARTICLES ARE TO BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS IN ALL CASES, CONTRACTOR SHALL NOTIFY DESIGNER OF ANY CONDITIONS THAT IS IN CONFLICT WITH MANUFACTURER'S SPECIFICATIONS OR INSTRUCTIONS THAT MIGHT VOID A MANUFACTURER'S WARRANTY.
- THE CONTRACTOR SHALL ASSEMBLE IN A BINDER AND PASS ALONG TO THE OWNER ALL EQUIPMENT AND MATERIAL WARRANTIES THAT MAY EXTEND BEYOND THE BASE GUARANTEE PERIOD, AS WELL AS INSTALLATION AND MAINTENANCE INSTRUCTIONS IF APPLICABLE.
- NO SUBSTITUTIONS FOR MATERIALS SPECIFIED HEREIN SHALL BE PERMITTED WITHOUT PRIOR APPROVAL BY ARCHITECT.
- ARCHITECT AND ASSOCIATED CONSULTANTS DISCLAIMS ANY ACTUAL OR CONSEQUENTIAL DAMAGES ARISING FROM THIRD PARTY RELATIONSHIPS. THESE DRAWINGS DO NOT PROVIDE ALL OR ANY SPECIFIC DETAIL IN AREAS INCLUDING BUT NOT LIMITED TO NAILING, GLUING, CAULKING, FLASHING, PAINTING AND WATERPROOFING, OR CRAFTSMANSHIP. G.C. IS RESPONSIBLE TO PROVIDE PROPER SUPERVISED WORKMANSHIP.

ABBREVIATIONS

AC AIR CONDITIONING	L LENGTH
ACU AIR CONDITIONING UNIT	LAM LAMINATE
AFF ABOVE FINISHED FLOOR	LAV LAVATORY
AHU AIR HANDLING UNIT	LBL LABEL
ALUM ALUMINUM	LBS POUNDS
ANOD ANODIZED	LH LEFT HAND
AT ACOUSTICAL TILE	LIN FT LINEAR FEET
BD BOARD	LT LIGHT
BLDG BUILDING	LTG LIGHTING
BO BY OTHERS	MAS MASONRY
CAB CABINET	MAX MAXIMUM
CD CEILING DIFFUSER	MECH MECHANICAL
CFM CUBIC FEET PER MINUTE	MFR MANUFACTURE(R)
< CENTER LINE	MIN MINIMUM
CLG CEILING	MISC MISCELLANEOUS
CLL CONTRACT LIMIT LINE	MM MILLIMETER
CMU CONCRETE MASONRY UNIT	MO MASONRY OPENING
COL COLUMN	MTD MOUNTED
CONC CONCRETE	MTL METAL
CONST CONSTRUCTION	MULL MULLION
CONT CONTINUOUS	MW MILLWORK
CPT CARPET(ED)	NA NOT APPLICABLE
CS COUNTER SINK	NIC NOT IN CONTRACT
CT CERAMIC TILE	NO NUMBER
CTR COUNTER	NOM NOMINAL
CU FT CUBIC FEET	NTS NOT TO SCALE
CU IN CUBIC INCHES	OC ON CENTER
CW COLD WATER (CITY)	OD OUTSIDE DIAMETER
D DEPTH	OPNG OPENING
DEMO DEMOLITION	OPP OPPOSITE
DET DETAIL	PART PARTITION
DF DRINKING FOUNTAIN	PL PLATE
DHW DOMESTIC HOT WATER	PL LAM PLASTIC LAMINATE
DIAG DIAGONAL	PLB/G PLUMBING
DIAM DIAMETER	PLYWD PLYWOOD
DIM DIMENSION	PNL PANEL
DN DOWN	PNT PANT
DR DOOR	PT POINT
	QT QUARRY TILE
DS DOOR STOP	R RISE(R)
DW DISH WASHER	RA RETURN AIR
DWG DRAWING	RAD RADIUS
DWR DRAWER	RD ROOF DRAIN
EA EACH	REF REFERENCE
EF EXHAUST FAN	REINF REINFORCE
EH ELECTRIC HEATER	REM REMOVE
EL/ELEV. ELEVATION	REQD REQUIRED
ELEC ELECTRIC	REV REVISION
EMER EMERGENCY	RH RIGHT HAND
ENG ENGINEER	RM ROOM
EP ELECTRIC PANEL	RO ROUGH OPENING
EQ EQUAL	RPM REVOLUTIONS PER MINUTE
EQUIP EQUIPMENT	SA SUPPLY AIR
EXIST'G EXISTING	SC SOLID CORE
EXP EXPANSION	SHT SHEET
EXT EXTERIOR	SIM SIMILAR
FACT FIN FACTORY FINISH	SP SPEAKER
FBO FURNISHED BY OTHERS	SPEC(S) SPECIFICATION(S)
FE FIRE EXTINGUISHER	SQ SQUARE
FEC FIRE EXTINGUISHER CABINET	SQ FT SQUARE FOOT (FEET)
FFE FINISH FLOOR ELEVATION	SO IN SQUARE INCH
FIN FINISHED	SS STAINLESS STEEL
FL FLUORESCENT	ST STREET
FOF FACE OF FINISH	STL STEEL
FP FIRE PROOFING	STD STANDARD
FPSC FIRE PROOF SOLID CORE	SUS SUSPENDED
FR FIRE RESISTANT	SYM SYMMETRICAL
FS FULL SCALE	SYM SYM
FT FEET	SYS SYSTEM
FTR FINNED TUBE RADIATION	T & G TONGUE & GROOVE
GA GAUGE	TEL TELEPHONE
GC GENERAL CONTRACTOR	TEMP TEMPERATURE
GL GLASS	THERM THERMOSTAT
GWB GYPSUM WALLBOARD	THK THICKNESS
HC HOLLOW CORE	THRU THROUGH
HD HEAVY DUTY	TOS TOP OF SLAB
HDW HARDWARE	TR TREAD
HDWD HARDWOOD	TST TOP OF STEEL
HM HOLLOW METAL	TV TELEVISION
HOR HORIZONTAL	TYP TYPICAL
HR HOUR	UON UNLESS OTHERWISE NOTED
HT HEIGHT	V VOLTS
HTG HEATING	VAC VACUUM
HVAC HEATING, VENT, AIR COND.	VCT VINYL COMPOSITE TILE
HWH HOT WATER HEATER	VERT VERTICAL
ID INSIDE DIAMETER	VIF VERIFY IN FIELD
IN INCH	W WIDTH
INCL INCLUDE(ING)	W/ WITH
INFO INFORMATION	W/O WITHOUT
INSUL INSULATION	WB WOOD BASE
INTR INTERIOR	WC WATER CLOSET
INV INVERT	WO WOOD
IRC INTERNATIONAL RESIDENTIAL CODE	WP WATERPROOF
J-BOX JUNCTION BOX	WPT WORKING POINT
JT JOINT	WR WATER RESISTANT
KO KNOCK OUT	WT WEIGHT
KPL KICKPLATE	YD YARD

LIST OF DRAWINGS

ARCHITECTURAL DRAWINGS	M.E.P. DRAWINGS
CS COVERSHEET	P-1 PLUMBING PLANS
T-1 TITLE SHEET; GENERAL NOTES, DRAWING LIST, APPLICABLE CODES, SITE MAP, SYMBOL LEGEND, ETC.	P-2 PLUMBING PLANS
C-1 ARCHITECTURAL SITE PLAN	M-1 MECHANICAL PLANS
A-1 FOUNDATION PLAN AND DETAILS & NAILING SCHED. AND CONNECTIONS DETAILS	E-1 ELECTRICAL PLANS
A-2 SECOND & THIRD FLR., SECOND FLR. RCP, ATTIC PLAN, ROOF PLAN, AND WALL TYPES	E-2 ELECTRICAL PLANS
A-2.1 ENLARGED PLANS	SP-1 SPECIFICATIONS
A-3 SECTION & DETAILS	
A-3.1 DETAILS	
A-4 FRONT AND RIGHT SIDE ELEVATION	
A-4.1 REAR & LEFT SIDE ELEVATION	
A-5 WINDOW & DOOR SCHEDULES AND DETAILS	
A-6 FINISH SCHEDULE, INTERIOR ELEVATIONS	
A-7 FRAMING PLANS	

LOCATION MAP



LEGEND

	GRAVEL
	CONCRETE
	MORTAR, GROUT
	STEEL
	FRAMING LUMBER
	HARDWOOD
	PLYWOOD
	BATT INSULATION
	GYPSUM WALLBOARD
	KEY NOTE
	DETAIL DRAWING NO.
	BUILDING SECTION
	WALL SECTION
	SECTION DETAIL
	COLUMN GRID
	PLAN / WALL DETAIL
	INTERIOR ELEVATION DRAWING NO.
	DATUM POINT (ELEVATION)
	DOOR NUMBER
	WINDOW NUMBER
	PARTITION TYPE
	REVISION FLAG
	REFERENCE KEY
	REMOVAL NOTE
	ROOM NUMBER
	EQUIPMENT TYPE
	CABINET TYPE
	CARBON MONOXIDE DETECTOR
	SMOKE DETECTOR (HARD WIRE)
	HEAT DETECTOR (HARD WIRE)
	CEILING FAN/LIGHT

BUILDING DESIGN DATA

GROUP R-3 FOR SINGLE FAMILY (3) STORY DWELLING	FLOOD ZONE - AE 11:
BUILDING CATEGORY: II	REQUIRED: DFE = 11.00' + 1'-0" FREEBOARD x 1.25 (500-YEAR FLOOD ELEVATION)
CONSTRUCTION TYPE: V	PROPOSED: DFE = 14.75' (TOP OF FOUNDATION)
PROPOSED BUILDING MEAN HEIGHT 34'-8"	PROPOSED: DFE = 16.12' (TOP OF FINISH FLOOR)
WIND SPEED 100 MPH [PER IRC 2009 AND 2013 CT AMENDMENTS(AMD)]	DESIGNED FOR 500-YEAR FLOOD BASED ON SHPO & NFIP REGULATORY REQUIREMENTS:
WIND IMPORTANCE FACTOR - (I _w)=1.49 - PER TABLE R301.2(3)	FLOOD PLAIN MANAGEMENT REGULATIONS BY LOCAL JURISDICTION AND PER
WIND EXPOSURE - "C"	LATEST FIRM FLOOD MAPS & CONSENSUS STANDARDS

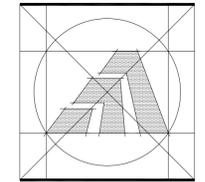
APPLICABLE CODES

APPLICABLE CODES: 2009 INTERNATIONAL RESIDENTIAL CODE AND CT 2013 AMENDMENTS.	
PER SECTION R301 DESIGN CRITERIA -	PER SECTION R311 - MEANS OF EGRESS -
R301.1 APPLICATION / MEETS REQUIREMENTS	R311.1 - MEANS OF EGRESS / PROVIDED
R301.2 - CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA / MEETS REQUIREMENTS	R311.2 - EGRESS DOOR / PROVIDED
R301.2.1 (AMD) - WIND LIMITATIONS / MEETS REQUIREMENTS	R311.3.1 - FLOOR ELEVATIONS AT THE REQUIRED EGRESS DOOR / PROVIDED PER EXCEPTION
TABLE R301.2.(1) (AMD) - CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA:	PER SECTION R312 - GUARDS -
(AMD) - GROUND SNOW LOAD - 30 LBS PSF / PROVIDED	R312.1 - WHERE REQUIRED / PROVIDED
(AMD) - WIND SPEED (MPH) - 100 MPH PER APPENDIX R / MEETS REQUIREMENTS	R312.2 - HEIGHT / MEETS REQUIREMENTS
(AMD) - SEISMIC DESIGN CATEGORY - CATEGORY B - (N/A)	R312.3 - OPENING LIMITATIONS / MEETS REQUIREMENTS
(AMD) - FLOOD HAZARD - AE	PER SECTION R313 - AUTOMATIC FIRE SPRINKLER SYSTEM -
(AMD) - SUBJECT TO DAMAGE - FROST LINE DEPTH - 42 INCHES / PROVIDED	R313.2 (AMD) - ONE AND TWO FAMIL DWELLINGS AUTOMATIC FIRE SPRINKLER SYSTEM / NOT PROVIDED
R301.2(2) - COMPONENT AND CLADDING LOADS:	PER SECTION R314 - SMOKE ALARM:
Roof Zone 1, 2, & 3 - W/ 100 MPH - WIND = 24.59' - 31.29' PRESSURE MAX. (50 D.P. PROVIDED)	R314 - SMOKE ALARMS (PROVIDED)
Wall Zone 4 - W/ 100 MPH - WIND = +26.82' - 28.05' PRESSURE MAX. (50 D.P. PROVIDED)	R314.4 (AMD) - POWER SOURCE (MEETS REQUIREMENTS)
Wall Zone 5 - W/ 100 MPH - WIND = 26.82' - 35.9' PRESSURE MAX. (50 D.P. PROVIDED)	PER SECTION R315 - CARBON MONOXIDE ALARM:
R301.2(3) - HEIGHT AND EXPOSURE COEFFICIENTS FOR TABLE R301.2(2):	R315.1 (AMD) - CARBON MONOXIDE ALARMS (PROVIDED)
1.49 ADJUSTMENT PROVIDED	PER SECTION R316 - FOAM PLASTIC:
R301.2.1.4 (AMD) - EXPOSURE CATEGORY / EXPOSURE C	R316.4 - THERMAL BARRIER (MEETS REQUIREMENTS)
R301.4 - DEAD LOADS & R301.5 - LIVE LOADS -	PER SECTION R317 - PROTECTION OF WOOD AND WOOD BASED PRODUCTS AGAINST DECAY:
ATTIC FLOOR: 10 PSF DL / 20 PSF SL / PROVIDED	R317.1 - LOCATION REQUIRED (MEETS REQUIREMENTS)
SECOND FLOOR: 12 PSF DL / 30 PSF LL / PROVIDED	PER SECTION R318 - PROTECTION AGAINST SUBTERRANEAN TERMITES:
MAIN FLOOR: 12 PSF DL / 40 PSF LL / PROVIDED	R318.1 - SUBTERRANEAN TERMITE CONTROL METHODS (METHOD #3 PROVIDED)
DECK FLOOR: 12 PSF DL / 40 PSF LL (HOT TUB DECK AREA 100 PSF LL) / PROVIDED	PER SECTION R319 - SITE ADDRESS:
R301.6 (AMD) - ROOF LOAD - 30 POUND MIN. / PROVIDED	R319.1 - ADDRESS NUMBERS (MEETS REQUIREMENTS)
R301.7 - ALLOWABLE DEFLECTION / MEETS REQUIREMENTS	PER SECTION R320 - ACCESSIBILITY:
PER SECTION R302 - FIRE-RESISTANT CONSTRUCTION:	R320.1 - SCOPE (NOT REQUIRED / NOT PROVIDED)
R302.1 (AMD) - EXTERIOR WALLS - MINIMUM FIRE SEPERATION / PROVIDED - NO RATING REQUIRED	PER SECTION R321 - ELEVATORS AND PLATFORM LIFTS:
PER SECTION R303 - LIGHT, VENTILATION AND HEATING / MEETS REQUIREMENTS	(NOT REQUIRED / NOT PROVIDED)
PER SECTION R304 - MINIMUM ROOM AREAS / MEETS REQUIREMENTS	PER SECTION R322 - FLOOD-RESISTANT CONSTRUCTION:
PER SECTION R305 - CEILING HEIGHTS / MEETS REQUIREMENTS	R322.1 - GENERAL (COMPLIES)
PER SECTION R306 - SANITATION / MEETS REQUIREMENTS (BACKFLOW VALVE PROVIDED)	R322.1.2 - STRUCTURAL SYSTEM (PROVIDED)
PER SECTION R307 - TOILET, BATH AND SHOWER SPACES / MEETS REQUIREMENTS	R322.1.3 - FLOOD-RESISTANT CONSTRUCTION (MEETS REQUIREMENTS)
PER SECTION R308 - GLAZING -	R322.1.4 - ESTABLISHING THE DESIGN FLOOD ELEVATION - 100-YEAR REQUIRED (AE 11' + 1'-0" FREEBOARD)
R308.4 - HAZARDOUS LOCATIONS / TEMPERED WINDOWS PROVIDED	R322.1.4.1 - DETERMINATION OF THE DESIGN FLOOD ELEVATION (500-YEAR FLOOD PROVIDED)
PER SECTION R309 - GARAGES -	R322.1.5 - LOWEST FLOOR (EXCEEDS MIN. REQUIREMENTS)
R309.1 - FLOOR SURFACE / MEETS REQUIREMENTS	R322.1.6 - PROTECTION OF MECHANICAL AND ELECTRICAL (PROVIDED)
R309.3 - FLOOD HAZARD AREAS / MEETS REQUIREMENTS	R322.1.7 - PROTECTION OF WATER SUPPLY AND SANITARY SEWAGE SYSTEMS (PROVIDED)
R309.4 - AUTOMATIC GARAGE DOOR OPENERS / MEETS REQUIREMENTS	R322.1.8 - FLOOD RESISTANT MATERIALS (PROVIDED)
PER SECTION R310 - EMERGENCY ESCAPE AND RESCUE OPENINGS -	R322.1.10 - AS-BUILT ELEVATION DOCUMENTATION (PROVIDED)
R310.1 - EMERGENCY ESCAPE AND RESCUE REQUIRED / PROVIDED	R322.2.1 - ELEVATION REQUIREMENTS (PROVIDED)
R310.1.1 - MINIMUM OPENING AREA / PROVIDED IN EACH BEDROOM	R322.2.2 - ENCLOSED AREA BELOW DESIGN FLOOD ELEVATION (MEETS #1 REQUIREMENTS)

PROJECT DATA

OWNER: LAURIE ROBINSON
89 COOPER AVE.
MILFORD, CT.

SITE LOCATION: 89 COOPER AVE.
MILFORD, CT.



Amaya Architects
American Institute of Architects

284 RACEBROOK RD. TEL (203) 795 5656
ORANGE, CT 06477 FAX (203) 799 3871

Sheet Title:

TITLE SHEET

APPLICATION # 1070

ROBINSON RESIDENCE

89 COOPER AVE.

Milford, Connecticut 06460

STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
OWNER OCCUPIED REHABILITATION
AND REBUILDING PROGRAM (OORR)

STRUCTURAL ENGINEER:
DERRICK SCHULL, P.E.
26 BLAIR STREET
MILFORD, CONNECTICUT

Date: 07/21/2014

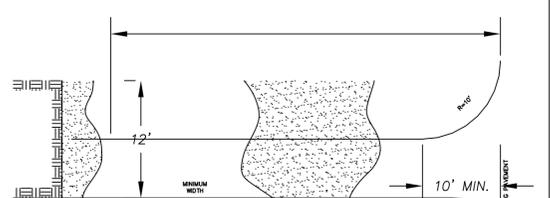
Project Number: 1070
Drawn By: J.V.L.

Sheet Number:
T1

REFER TO THE FOLLOWING:

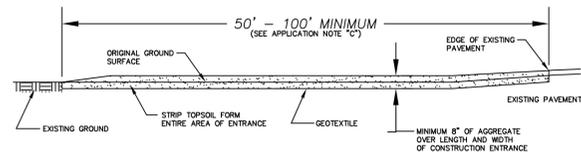
MAPS:

- "MAP OF SHORE PROPERTY OWNED BY MARTIN J. BRADY, MILFORD, CONN. PREPARED BY: V.B. CLARKE, DATED: APRIL 19 12." ON FILE IN THE MILFORD TOWN CLERK'S. FILE # A-17.
- UNDERGROUND UTILITIES, IF ANY ARE UNKNOWN.
- THE WORD CERTIFY IS AN EXPRESSION OF PROFESSIONAL OPINION BY THE LICENSED LAND SURVEYOR WHICH IS BASED ON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF, AS SUCH CONSTITUTES NEITHER A GUARANTEE OR WARRANTY.
- REFERENCE IS HEREBY MADE TO STATE OF CONNECTICUT STATUTE 8-13a, REGARDING BUILDINGS MORE THAN 3 YEARS OLD.
- RECORD MAP DOES NOT CLOSE AND FIELD EVIDENCE IS INCONSISTENT. PROPERTY LINES ARE A "BEST FIT" OF ALL AVAILABLE EVIDENCE.
- SUBJECT PARCEL IS LOCATED IN FLOOD ZONE "AE-9" AS SCALED FROM F.I.R.M. CITY OF MILFORD COMMUNITY PANEL 534 OF 635, 09009C0529J, DATED JULY 8, 2013, NAD 88 DATUM.
- PROPERTY IS SURVEYED AS IN POSSESSION.
- ELEVATIONS AS SHOWN HEREON ARE BASED ON A CITY OF MILFORD BENCH MARK, 4D-2, N.G.V.D. 1929 DATUM AND CONVERTED TO N.A.D 88.



ANTI-TRACKING PAD WILL BE DESIGN FOR SITE FOLLOWING THESE GUIDE LINES DIMENSIONS WILL BE A BEST FIT FOR SITE

PLAN VIEW N.T.S.



CROSS SECTION N.T.S.

MAINTENANCE:

- AS REQUIRED, APPLY ADDITIONAL STONE OR WASH AND REWORK EXISTING STONE.
- REMOVE ANY SEDIMENT APPEARING ON IN ROADWAYS OR STORM DRAINS IMMEDIATELY.

CONSTRUCTION ENTRANCE

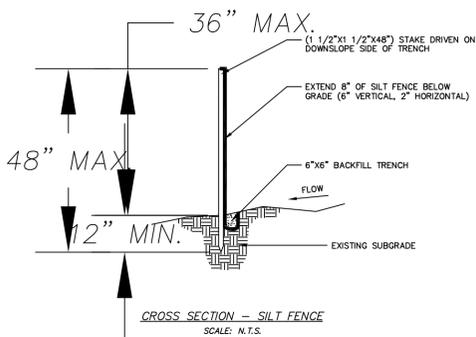
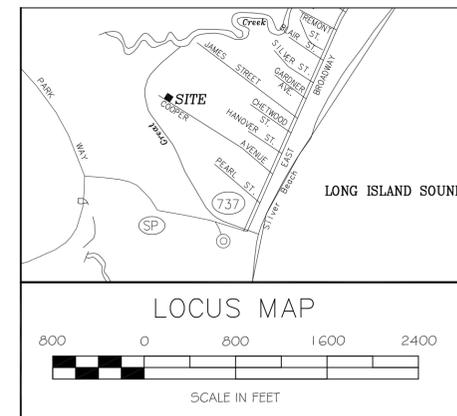
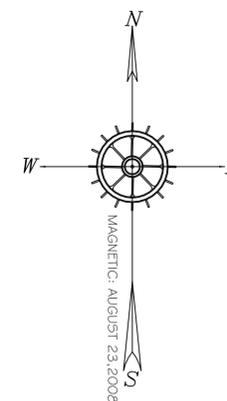
DEFINITION: AN ENTRANCE TO THE SITE SPECIFICALLY DESIGNED TO REDUCE THE AMOUNT OF SEDIMENT TRACKED OFF SITE BY VEHICLES.

APPLICATION:

- A - LOCATED WHERE CONSTRUCTION VEHICLES ENTER AND LEAVE WORK SITE ONTO PUBLIC R.O.W.
- B - REDUCES BUT MAY NOT ELIMINATE NEED FOR STREET SWEEPING.
- C - FOR SANDY OR GRAVELLY SOIL ON SITE, MINIMUM LENGTH IS 50'. FOR SILTY OR CLAY SOILS ON SITE, MINIMUM LENGTH IS 100'.
- D - PLAN TO MAKE STONE AVAILABLE FOR MAINTENANCE OF ENTRANCE.

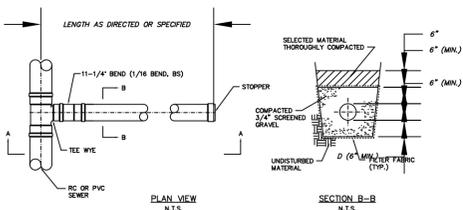
INSTALLATION:

- CLEAR ENTRANCE OF ALL VEGETATION AND EXTRANEOUS MATERIALS AND STRIP EXISTING TOPSOIL FROM CONSTRUCTION ENTRANCE LOCATION.
- AT POORLY DRAINED LOCATION INSTALL SUBSURFACE DRAINAGE, PROVIDE FOR SURFACE WATER CONVEYANCE UNDER ENTRANCE WITH CULVERTS AS NEEDED.
- PLACE FILTER FABRIC UNDERLIER OVER THE FULL WIDTH AND LENGTH OF ENTRANCE AND COVER WITH CONN. DOT #3 (2") STONE TO A DEPTH OF NO LESS THAN 8".
- AS NEEDED, INSTALL WASH RACKS AND SEDIMENTATION FACILITIES FOR WASHING, WHEN MAJORITY OF MUD IS NOT REMOVED FROM VEHICLES TRAVELING OVER STONE. SEDIMENT SHOULD BE INTERCEPTED AND TRAPPED SO IT CAN BE REMOVED AND STABILIZED.



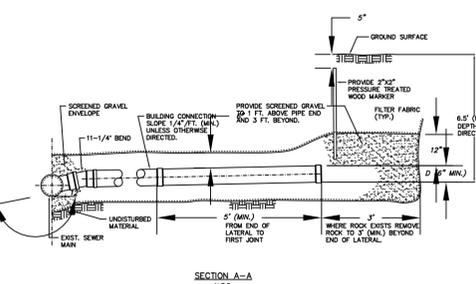
CROSS SECTION - SILT FENCE SCALE: N.T.S.

NOTE:
1. FOR PVC BUILDING CONNECTION ON RC SEWER, PROVIDE PVC ADAPTER.
2. SEE SHEET 5-1 FOR INSPECTION FACILITY DETAIL.



PLAN VIEW N.T.S.

SECTION B-B N.T.S.



SECTION A-A N.T.S.

BUILDING LATERAL SEWER (FOR PVC PIPE)

THIS MAP IS NOT VALID IF ALTERED BY ANYONE OTHER THAN THE ORIGINAL SURVEYOR

THIS MAP IS NOT VALID UNLESS EMBOSSED WITH SEAL OF CERTIFYING SURVEYOR

FIELD SURVEY CONFORMS TO METHODS RECOMMENDED IN CLASS "A-2" SURVEY, HORIZONTAL CLASS "T-2" SURVEY, VERTICAL

I HEREBY STATE TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AND CONFORMS TO THE STANDARDS OF A CLASS A-2 SURVEY.

SCOTT K. MUNDY, L.S. # 70160



THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. THE TYPE OF SURVEY IS A PROPERTY SURVEY AND IS A DEPENDENT RESURVEY.

NOTE: USE ONLY APPROVED ARCHITECTS PLANS FOR CONSTRUCTION.

NOTE: ALL MATERIAL EXCAVATED WILL BE HAULED OFF SITE.

NO CHANGE OF GRADES PROPOSED.

EROSION & SEDIMENTATION CONTROL

- INSTALL SILT FENCE AND ANTI TRACKING PAD CONSTRUCTION SEQUENCE

- CALL UNDERGROUND MARKING ORGANIZATION "CALL BEFORE YOU DIG" AND INDICATE THE PROPOSED WORK FOR MARKING. (811)

- INSTALL ANTI-TRACKING PAD AS SHOWN.

- INSTALL SILT FENCE AND HAYBALES AS SHOWN

- EXCAVATE FOOTINGS.

- EXCAVATE UTILITIES.

- ALL EXCAVATED MATERIAL WILL BE HAULED OFF SITE

- CONSTRUCT NEW SINGLE FAMILY RESIDENCE.

ASSESSOR'S INFORMATION & AREA:

MAP	22
BLOCK	458
PARCEL	51 E
AREA	4,380 SF
ACRES	0.101

ZONING REQUIREMENTS
ZONE R-5

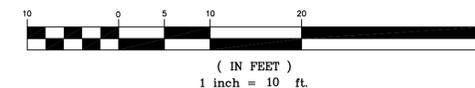
SECTION 3.2.4.1 SCHEDULE OF LOT AND BUILDING REQUIREMENTS FOR SINGLE ONE FAMILY RESIDENTIAL DISTRICT

R - 5 ZONE	MINIMUM REQUIRED MAXIMUM ALLOWED	EXISTING CONDITIONS	PROPOSED CONDITIONS	AS-BUILT CONDITIONS
Minimum Lot Area	5,000 S.F.	4,380 S.F.	4,380 S.F.	
SETBACK REQUIREMENTS				
Setback From Street Line	10'	19.6'	8.0' & 15.0'	
Setback From Side Property Lines	5 & 10	3.7' & 10.9'	8.0' & 23.5'	
Setback From Rear Property Line	20	9.6'	16.0'	
BUILDING AND LOT COVERAGE				
Maximum Height For A Building Or Structure	35	24'±	32.92'	
Maximum Number Of Stories Per Building	3	2	3	
Maximum Building Floor Area As A Percentage Of Lot Area	45%	24.2%	27.0%	
Maximum Building Lot Coverage As A Percentage Of Lot Area	55%	45.9%	43.0%	

* AT STAIRS ** AT HOUSE

ZONING LOCATION SURVEY
SITE PLAN
PREPARED FOR
LAURIE L. ROBINSON
#89 COOPER AVENUE
MILFORD, CONNECTICUT

GRAPHIC SCALE



LEGEND

- CB TF = 57.5' CATCH BASIN/ TOP OF FRAME
- MH TF = 56.9' MANHOLE/ TOP OF FRAME
- UTILITY POLE
- SIGN
- HYDRANT
- WATER VALVE
- PARKING SPACE NUMBERS
- FINISH FLOOR ELEVATION
- HANDICAPPED PARKING
- SPOT ELEVATION

Scott K. Mundy, L.S.

P.O. BOX 3158
MILFORD, CONNECTICUT
06460
OFFICE: 203.882.8706
scott.k.mundy@snet.net

8-23-08

FB: 1-07-49

DRAWN BY: S.K.M.

PROJ NO.: 8-08

CHECKED BY: S.K.M.

DWG. NO.: 8-08-MAP

SCALE: 1" = 10'

WETLANDS REVIEW: 7-15-14

SITE PLAN: 5-29-14

SITE PLAN: 9-2-13