

PROJECT 1068 - 8 TREMONT STREET, MILFORD, CT

**COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM**

OWNER OCCUPIED REHABILITATION AND REBUILDING

**CONNECTICUT DEPARTMENT OF HOUSING
HARTFORD, CONNECTICUT 06118**

GENERAL NOTES:

1. WHERE REFERENCED IN THIS PLAN SET, MARTINEZ COUCH & ASSOCIATES, LLC SHALL HEREIN BE REFERRED TO AS "MCA."
2. THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS.
3. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE, AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
4. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT MCA IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS, SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH MCA PRIOR TO BIDDING.
5. REFER TO OTHER PLANS, DETAILS, AND PROJECT MANUAL FOR ADDITIONAL INFORMATION.

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STREET VIEW
(N.T.S.)

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PROJECT 1068
8 TREMONT STREET
MILFORD, CONNECTICUT 06460

**ISSUED FOR BID
NOT FOR CONSTRUCTION**

NO.	DATE	REVISIONS	BY	CHK	APPV
3	12/11/2015	ISSUED FOR BIDDING	MBR	MBR	REC
2	10/29/2015	ISSUED FOR BIDDING	MBR	MBR	REC
1	07/30/2015	ISSUED FOR CT DOH REVIEW AND APPROVAL	KNL	MBR	REC
DRAWN: KNL		CHECKED: MBR	APPROVED: REC	SCALE: N.T.S.	DATE: 07/20/2015

TITLE SHEET

JOB NO.	DRAWING NUMBER	SHEET
33-262-1068	BASEMAP 33-262-1068.dwg	T-0.0

SURVEY NOTES

NORTH ORIENTATION AND COORDINATES REFER TO NAD 83.
ELEVATIONS BASED ON NAVD 1988.

PARCEL OWNER OF RECORD: TERENCE M. MCCONVILLE
25 OLD MUSKET RD.
GLASTONBURY, CT

PARCEL AREA = 1,650 SQ. FT., 0.038 ACRES.

PARCEL IS IN THE R5 ZONING DISTRICT.

PARCEL ID: MAP 27, BLOCK 452, LOT 5, MILFORD ASSESSOR'S MAPPING.

PARCEL ALSO KNOWN AS 8 TREMONT STREET

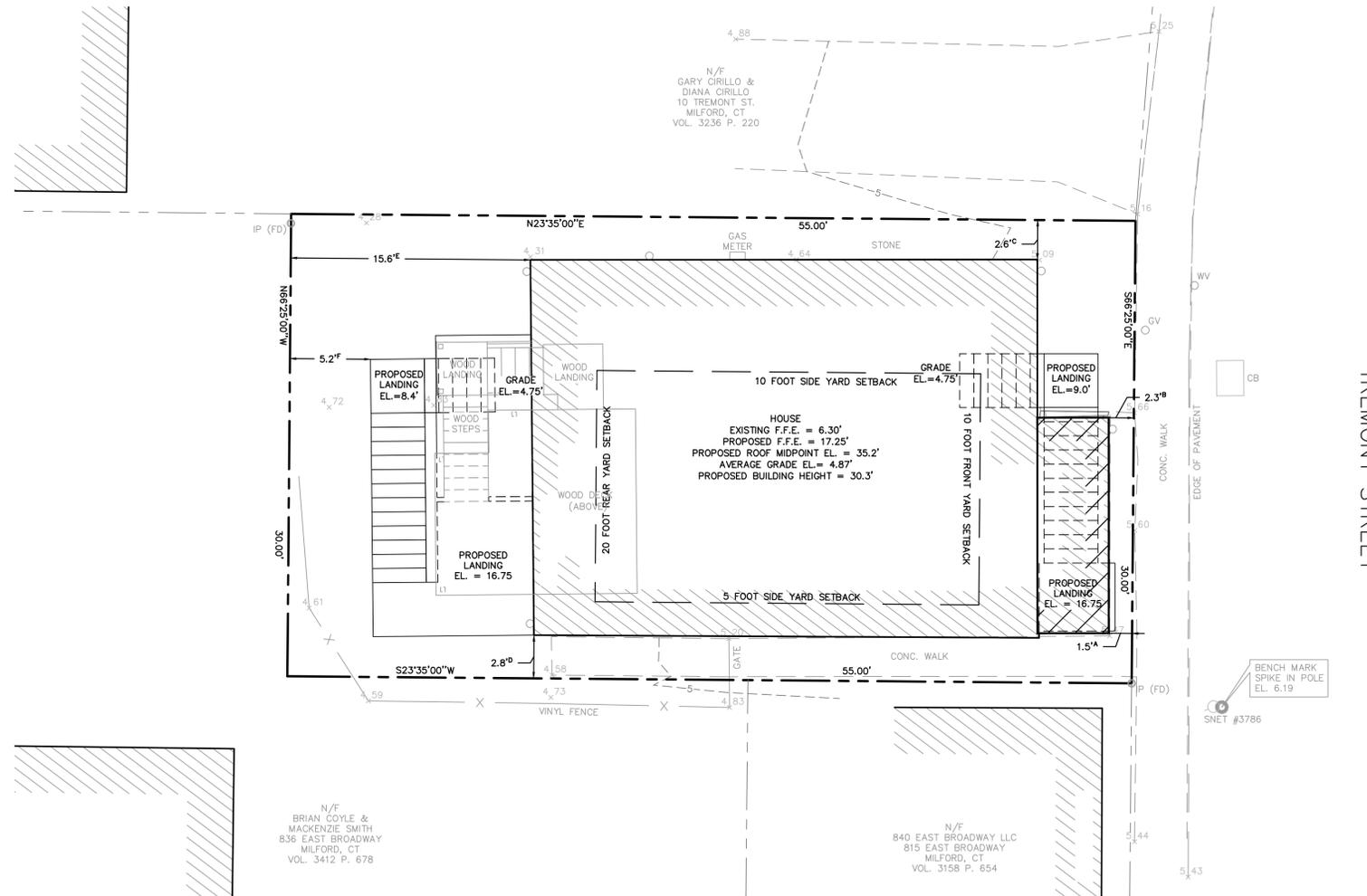
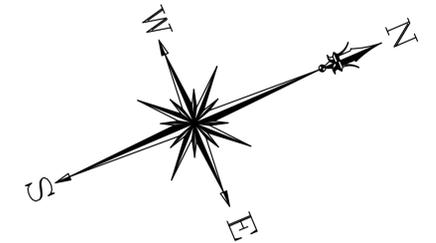
SUBJECT PARCEL IS IN FLOOD ZONE AE (EL. 11) AS SHOWN ON THE FLOOD INSURANCE RATE MAP, NEW HAVEN COUNTY, CONNECTICUT PANEL 529 OF 635, MAP NUMBER 09009C0529J, MAP REVISED JULY 8, 2013 BY FEDERAL EMERGENCY MANAGEMENT AGENCY.

COASTAL JURISDICTION LINE ELEVATION TAKEN FROM "CTDEEP OFFICE OF LONG ISLAND SOUND PROGRAMS COASTAL JURISDICTION LINE ELEVATIONS" TABLE

REFERENCE MAPS:

1) PLOT PLAN FOR TERENCE M. MCCONVILLE #8 TREMONT STREET MILFORD, CONNECTICUT. SCALE 1"=10'. DATE OCT. 23, 2013.

2) MAP OF PROPERTY OWNED BY GEO. B. CLARK & ERNEST L. NETTLETON, SILVER BEACH, MILFORD, CONN. SCALE 1"=40. DATE MARCH 4TH 1911.



AVERAGE GRADE CALCULATION
 AVERAGE GRADE ELEVATION = (Σ POINT ELEVATIONS) / (NUMBER OF POINTS)
 = (4.28 + 5.16 + 4.31 + 4.64 + 5.09 + 4.83 + 4.72 + 5.66 + 4.61 + 5.60 + 4.59 + 4.58 + 4.73 + 4.83 + 5.47) / (15 POINTS)
 = (73.1) / (15 POINTS)
 AVERAGE GRADE ELEVATION = 4.87

SYMBOLS LEGEND

○	Utility Pole	—	Property Line
°WV	Water Valve	--- 4.7(C.J.L.)	Coastal Jurisdiction Line
°GV	Gas Valve	— 5	Contour Line
● IP(FD)	Iron Pin Found	167x32	Spot Grade
□	Catch Basin		

ZONING REGULATIONS (R-5)			
	REQUIRED	EXISTING	PROPOSED
LOT AREA (SQ.FT.)	5,000	*1,650	*1,650
MIN. LOT WIDTH (FT.)	50	*30	*30
MIN. LOT DEPTH (FT.)	70	*55	*55
MIN. FRONT YARD (FT.)	SEE NOTE 1	**1.5 ^A	**1.5 ^A /2.3 ^B
MIN. SIDE YARD (FT.)	SEE NOTE 2	**2.6 ^C **2.8 ^D	**2.6 ^C **2.8 ^D
MIN. REAR YARD (FT.)	20	**15.6 ^E	**15.6 ^E /5.2 ^F
MAX BLDG. COVERAGE	45%	*52.7%	*52.7%
MAX. BLDG. HGT. (FT.)	35	19.1	30.3
LOT COVERAGE	65%	*68.8%	64%

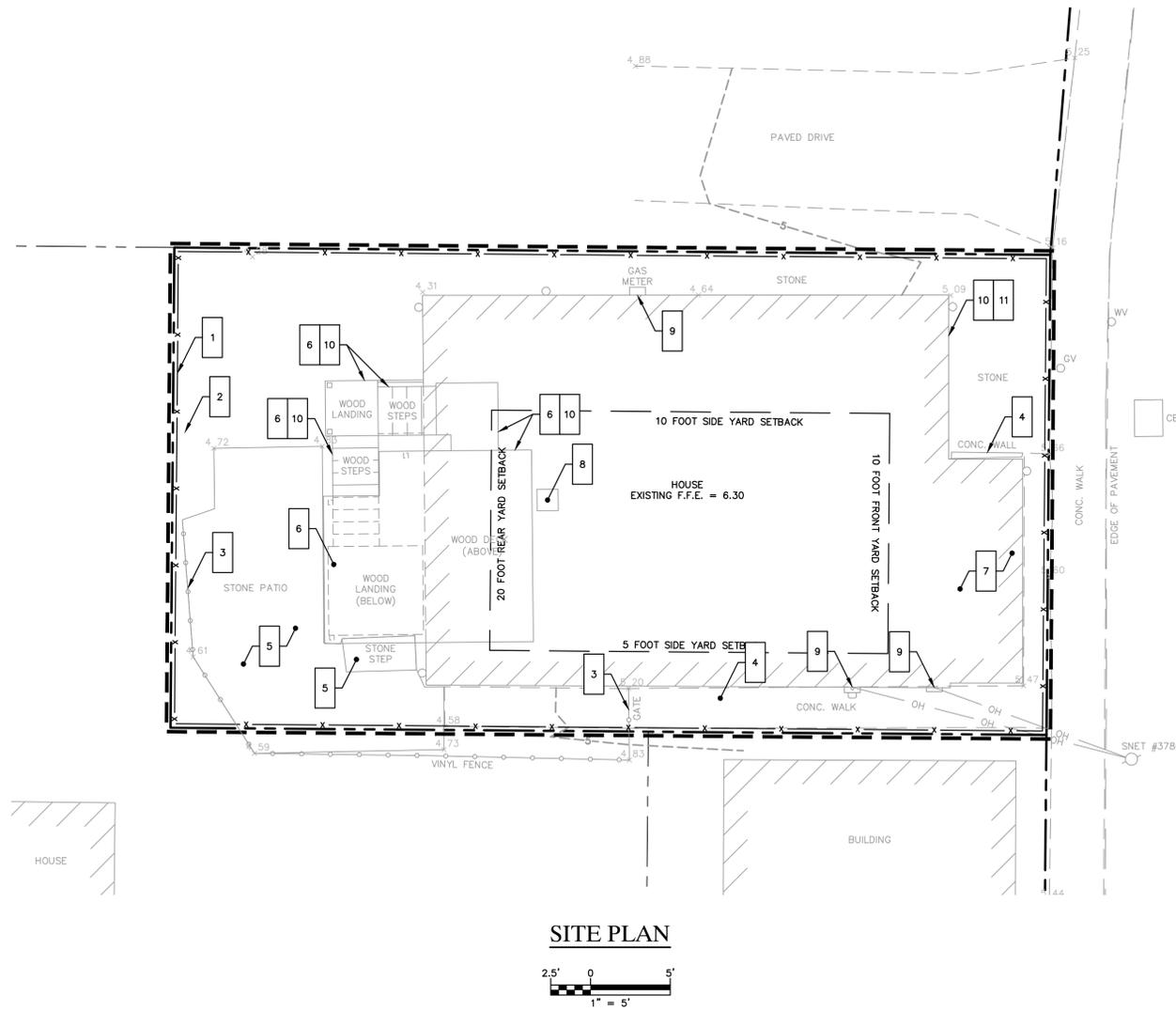
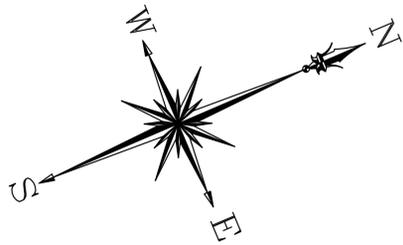
NOTES:
 1. TEN FEET OR THE ACTUAL FRONT YARD SETBACK, WHICHEVER IS GREATER; EXCEPT THAT THE MINIMUM REQUIRED FRONT YARD SHALL NOT BE REQUIRED TO EXCEED 20 FEET.
 2. ONE SIDE TEN (10) FEET; OTHER SIDE FIVE (5) FEET.
 * PREEXISTING NONCONFORMITY
 ** GRANTED BY PREVIOUS VARIANCE

A: SETBACK FROM PRINCIPAL BUILDING TO STREET LINE
 B: SETBACK FROM STEPS TO STREET LINE
 C: SETBACK FROM PRINCIPAL BUILDING TO NORTHWEST SIDE LOT LINE
 D: SETBACK FROM PRINCIPAL BUILDING TO SOUTHEAST SIDE LOT LINE
 E: SETBACK FROM PRINCIPAL BUILDING TO REAR LOT LINE
 F: SETBACK FROM PROJECTING STEPS TO REAR LOT LINE

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REFERENCE MAP:
 1. "TOPOGRAPHIC & BOUNDARY SURVEY" FOR CTDOH AT 8 TREMONT STREET, MILFORD, CONNECTICUT; DATE: 02-07-2015; SCALE: 1"=10'; PREPARED BY MARTINEZ COUCH & ASSOCIATES, LLC

	1084 Cromwell Avenue, Suite A-2 Rocky Hill, CT 06067 Telephone: (860) 436-4364 Fax: (860) 436-4626 www.martinezcouch.com	PROJECT 1068 8 TREMONT STREET MILFORD, CONNECTICUT 06460	ISSUED FOR BID NOT FOR CONSTRUCTION	<table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>REVISIONS</th> <th>BY</th> <th>CHK</th> <th>APPV</th> </tr> <tr> <td>3</td> <td>12/11/2015</td> <td>ISSUED FOR BIDDING</td> <td>MBR</td> <td>MBR</td> <td>REC</td> </tr> <tr> <td>2</td> <td>10/29/2015</td> <td>ISSUED FOR BIDDING</td> <td>MBR</td> <td>MBR</td> <td>REC</td> </tr> <tr> <td>1</td> <td>07/30/2015</td> <td>ISSUED FOR CT DOH REVIEW AND APPROVAL</td> <td>KNL</td> <td>MBR</td> <td>REC</td> </tr> </table>				NO.	DATE	REVISIONS	BY	CHK	APPV	3	12/11/2015	ISSUED FOR BIDDING	MBR	MBR	REC	2	10/29/2015	ISSUED FOR BIDDING	MBR	MBR	REC	1	07/30/2015	ISSUED FOR CT DOH REVIEW AND APPROVAL	KNL	MBR	REC	IMPROVEMENT LOCATION PLAN
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SITE PLAN



NOTE:
 WORK LIMITS DO NOT EXTEND OUTSIDE THE PROPERTY LINES AT 8 TREMONT STREET, MILFORD, CONNECTICUT. "LIMIT OF WORK" LINES ARE DEPICTED OFFSET FROM THE PROPERTY LINES FOR VISUAL CLARITY, DUE TO MAP SCALE LIMITATIONS.

REFERENCE MAP:
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GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL MEASUREMENTS. ANY VARIATIONS FROM CONDITIONS SHOWN ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL AND/OR MCA PRIOR TO BIDDING FOR RESOLUTION IN ACCORDANCE WITH CONTRACT DOCUMENT REQUIREMENTS.
2. ALL REQUIRED PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
3. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF THE NOTED ITEM.
4. WORK LIMITS SHALL BE AS NOTED. ALL ITEMS DISTURBED BY ANY AND ALL CONSTRUCTION ACTIVITIES SHALL BE RESTORED SUBSTANTIALLY TO THE CONDITION THEY EXISTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, TO MCA'S APPROVAL.
5. THE CONTRACTOR AT A MINIMUM SHALL MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AS DIRECTED, AS NECESSARY, AND IN ACCORDANCE WITH CONTRACT REQUIREMENTS, AND SHALL CHECK ALL SYSTEMS ON A DAILY BASIS TO ENSURE THE PREVENTION OF SEDIMENT TRANSPORT AND THE CONTROL OF EROSION.
6. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
8. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

SOIL EROSION AND SEDIMENT CONTROL/DEMOLITION NOTES

1. INSTALL 8' HIGH CHAIN LINK FENCE AROUND PERIMETER OF PROPERTY, AS SHOWN ON PLAN
2. INSTALL SILT FENCE AROUND PERIMETER OF PROPERTY, AS SHOWN ON PLAN
3. REMOVE FENCE AND GATE ADJACENT TO HOUSE ON SOUTHEASTERN SIDE, AS SHOWN ON PLAN, AND PROTECT AND STORE ON SITE FOR REINSTALLATION; REMOVE FENCE AT SOUTHERN CORNER OF PROPERTY, AS SHOWN ON PLAN, AND PROTECT AND STORE ON SITE FOR REINSTALLATION
4. DEMOLISH CONCRETE WALL AT FRONT OF HOUSE, AND REMOVE OFF SITE. DEMOLISH CONCRETE WALK AT NORTHEASTERN AND SOUTHEASTERN SIDES OF HOUSE AS REQUIRED TO COMPLETE WORK, AND REMOVE OFF SITE.
5. REMOVE STONE PATIO AND STONE STEP AT REAR OF HOUSE; SALVAGE OR REPLACE PATIO PAVERS
6. DEMOLISH WOOD LANDING CURRENTLY AT GRADE LEVEL AT REAR OF HOUSE, AND REMOVE OFF SITE. PROTECT REAR STAIRS, LANDING, AND UPPER LEVEL DECK, AS WELL AS ASSOCIATED SUPPORT POSTS.
7. DEMOLISH EXISTING ONE STORY FRONT ROOM; SALVAGE SIDING WHERE POSSIBLE, AND PROTECT AND STORE ON SITE FOR REINSTALLATION; DAMAGED SIDING TO BE REPLACED WITH MATCHING PROFILE
8. DEMOLISH CHIMNEY, AND REMOVE OFF SITE. PROTECT ROOF PENETRATION FROM THE ELEMENTS UNTIL PERMANENT ROOF PATCH IS IN PLACE.
9. COORDINATE ALL UTILITY DISCONNECTS, INCLUDING WATER, ELECTRIC, GAS, AND TELECOMMUNICATIONS
10. SUPPORT HOUSE AND LIFT TO PROPOSED ELEVATION; REAR STAIRS, LANDING, AND UPPER LEVEL DECK TO BE SUPPORTED AND LIFTED WITH HOUSE
11. DEMOLISH EXISTING FOUNDATION, AND REMOVE OFF SITE
12. REMOVE TEMPORARY FENCING UPON COMPLETION OF CONSTRUCTION, AND REMOVE EROSION AND SEDIMENT CONTROLS AFTER STABILIZATION IS COMPLETE

LEGEND

- 1 WORK NOTE
- SITE FEATURE TO BE DEMOLISHED
- LIMIT OF WORK
- # C-2.X DETAIL REFERENCE
= DETAIL NUMBER
X = DETAIL SHEET NUMBER
- ~ SILT FENCE
- x- CHAIN LINK FENCE
- o- EXISTING WOOD FENCE
- o- EXISTING PLASTIC FENCE
- - - EDGE OF EXISTING BITUMINOUS CONCRETE DRIVEWAY
- - - LIMIT OF EXISTING HOUSE AND FOUNDATION
- G- EXISTING GAS LINE
- ☁ EXISTING HEDGE
- - - 8 - - - EXISTING CONTOUR WITH ELEVATION LABEL
- 7.29 EXISTING SPOT GRADE
- PROPERTY LINE



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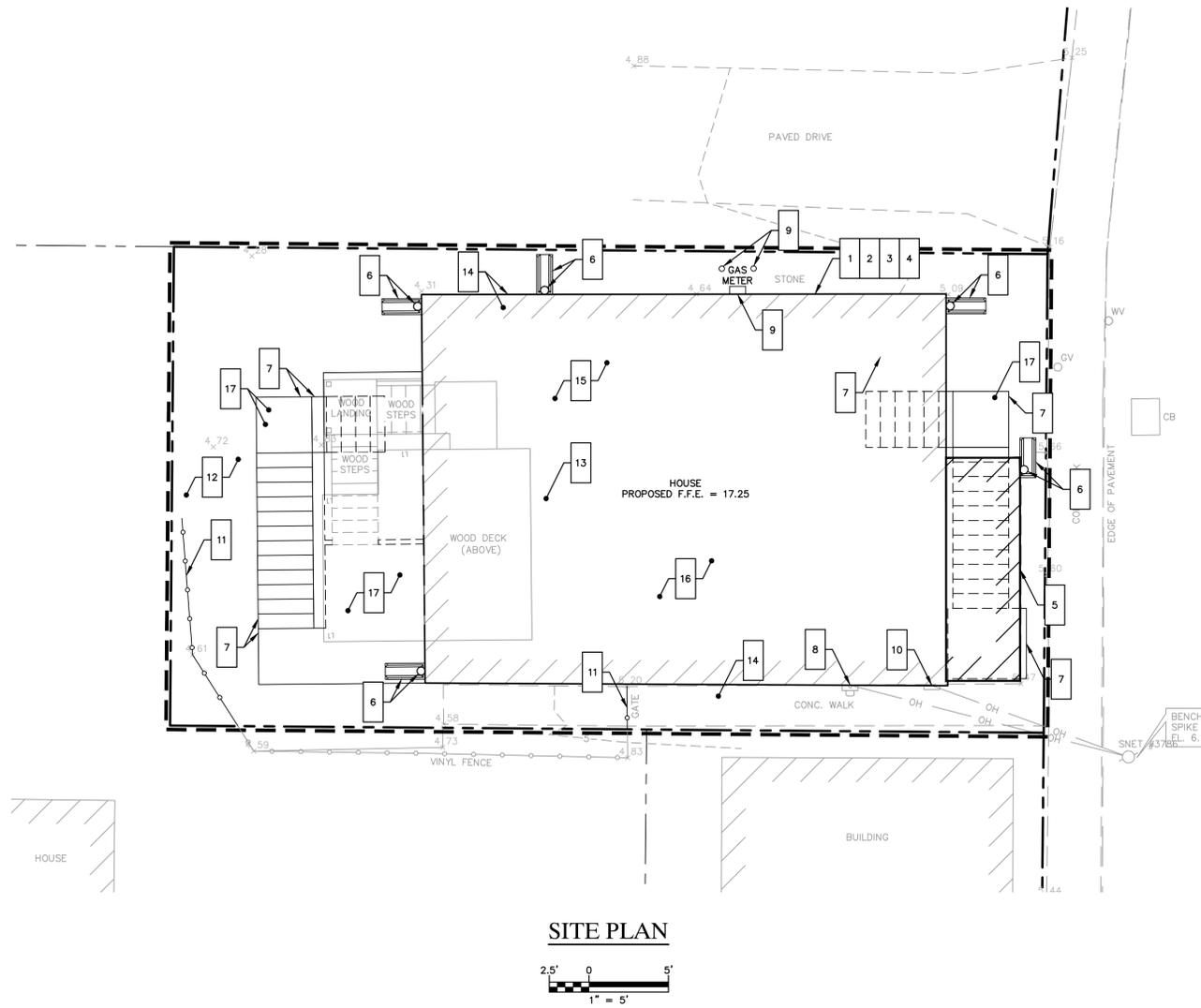
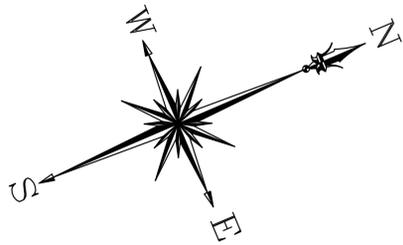
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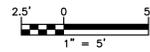
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SOIL EROSION AND SEDIMENT CONTROL/DEMOLITION PLAN

JOB NO.	DRAWING NUMBER	SHEET
33-262-1068	BASEMAP 33-262-1068.dwg	C-1.1



SITE PLAN



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SITE PLAN

JOB NO.	DRAWING NUMBER	SHEET
33-262-1068	BASEMAP 33-262-1068.dwg	C-1.2

GENERAL NOTES

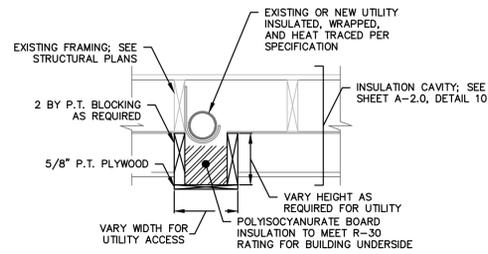
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7. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

WORK NOTES

- 1 SUPPORT HOUSE AND LIFT TO PROPOSED ELEVATION; REAR STAIRS, LANDING, AND UPPER LEVEL DECK TO BE SUPPORTED AND LIFTED WITH HOUSE
- 2 INSTALL NEW FOUNDATION ON PILES UPON COMPLETION OF FOUNDATION DEMOLITION; SEE STRUCTURAL DRAWINGS
- 3 INSTALL FIRST FLOOR FRAMING AND SUPPORTS; SEE STRUCTURAL DRAWINGS
- 4 LOWER HOUSE ONTO SUPPORTS AT PROPOSED ELEVATIONS; SEE STRUCTURAL DRAWINGS
- 5 REFRAME WALL IN FORMER LOCATION OF FRONT ROOM ON FIRST FINISHED LIVING FLOOR OF ELEVATED HOUSE; SEE STRUCTURAL DRAWINGS. FURNISH AND INSTALL MATERIALS FOR NEW FRONT ROOM ON SECOND FINISHED LIVING FLOOR OF ELEVATED HOUSE; SEE STRUCTURAL DRAWINGS. FURNISH AND INSTALL EXTERIOR DOOR, WINDOWS, SIDING, AND ARCHITECTURAL FINISHES FOR NEW WOOD FRAME WALL IN FORMER LOCATION OF FRONT ROOM. FURNISH AND INSTALL WINDOWS, SIDING, AND ARCHITECTURAL FINISHES FOR NEW FRONT ROOM.
- 6 EXTEND EXISTING ROOF DOWNSPOUTS TO GRADE. INSTALL NEW DOWNSPOUT AT NORTH CORNER OF NEWLY CONSTRUCTED FRONT ROOM. FURNISH AND INSTALL CONCRETE SPLASH BLOCKS.
- 7 INSTALL NEW DECKS AND STAIRS AT FRONT AND BACK OF HOUSE AT PROPOSED ELEVATIONS
- 8 COORDINATE RECONNECTION OF OVERHEAD ELECTRICAL SERVICE TO EXISTING SERVICE MAST AT SOUTHEAST SIDE OF HOUSE
- 9 EXTEND WATER, GAS, AND SANITARY SERVICES TO ELEVATED HOUSE; INSULATE, PROTECT, AND MOUNT ALL SERVICES PER CONTRACT SPECIFICATIONS. INSTALL TWO 4-INCH BOLLARDS TO PROTECT GAS METER. RELOCATE GAS METER ADJACENT TO NEW STRUCTURAL COLUMN
- 10 COORDINATE OTHER UTILITY CONNECTIONS, INCLUDING TELECOMMUNICATIONS; RESTORE ALL SERVICES TO FUNCTIONAL SERVICE STATES; SEE SHEET C-1.3
- 11 RESET FENCE AND GATE ADJACENT TO HOUSE ON SOUTHEASTERN SIDE AS SHOWN ON PLAN; RESET FENCE AT SOUTHERN CORNER OF PROPERTY AS SHOWN ON PLAN
- 12 LOAM AND SEED AREAS PREVIOUSLY COVERED BY STONE PATIO NOT COVERED BY NEW DECKS OR STAIRS; LOAM AND SEED ANY BARE AREAS
- 13 FURNISH AND INSTALL ALL MATERIALS TO PATCH ROOF WHERE CHIMNEY WAS REMOVED; MATCH EXISTING CONSTRUCTION. FURNISH AND INSTALL COMBUSTION VENTS FOR ALL APPLIANCES AND UTILITIES PER CONTRACT SPECIFICATION AND 2013 STATE OF CT BUILDING CODE AMENDMENT.
- 14 REPAIR CONCRETE WALK IN ANY LOCATIONS DISTURBED BY CONSTRUCTION
- 14 COMPLETE REMAINING BUILDING WORK (BOTH INTERIOR AND EXTERIOR)
- 15 REINSTALL PAVER PATIO BENEATH HOUSE; COORDINATE LOCATION WITH OWNER
- 16 FURNISH AND INSTALL 8-INCH THICK LAYER OF 3/4-INCH CRUSHED STONE BENEATH MAIN STRUCTURE
- 17 MULCH AREA BENEATH DECKS AND ACCESS STAIRS. RESTORE EXTERIOR AREAS TO PRE-CONSTRUCTION CONDITIONS OR BETTER.

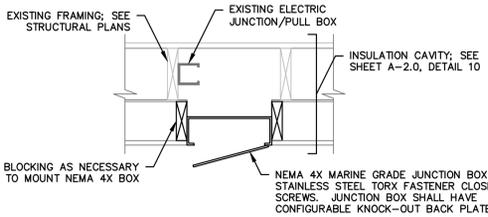
LEGEND

- 1 WORK NOTE
- LIMIT OF WORK
- # = DETAIL NUMBER
C-2.X = DETAIL SHEET NUMBER
- EXISTING WOOD FENCE
- EXISTING PLASTIC FENCE
- EDGE OF EXISTING BITUMINOUS CONCRETE DRIVEWAY
- LIMIT OF ELEVATED HOUSE
- OH EXISTING OVERHEAD LINE
- G EXISTING GAS LINE
- EXISTING HEDGE
- 8 --- EXISTING CONTOUR WITH ELEVATION LABEL
- 7.29 EXISTING SPOT GRADE
- 7.5 PROPOSED SPOT GRADE
- PROPERTY LINE



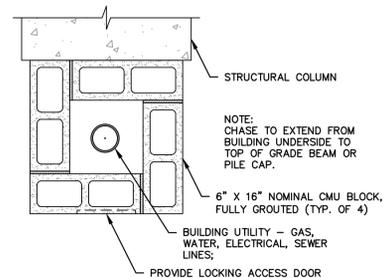
1. ALL FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE STAINLESS STEEL.
2. WIDTH OF UTILITY CHASE SHALL BE FIELD VERIFIED WITH CONTRACTOR AND ENGINEER FOR PROPER ACCESS TO REPLACE, REPAIR, OR MAINTAIN SUBJECT UTILITY.
3. UTILITY CHASE SHALL BE CONSTRUCTED FOR NATURAL GAS SERVICE, SANITARY SEWER DRAIN, AND DOMESTIC WATER SERVICE PIPING.

1 UTILITY ACCESS CHASE
C-1.3 1" = 1'-0"



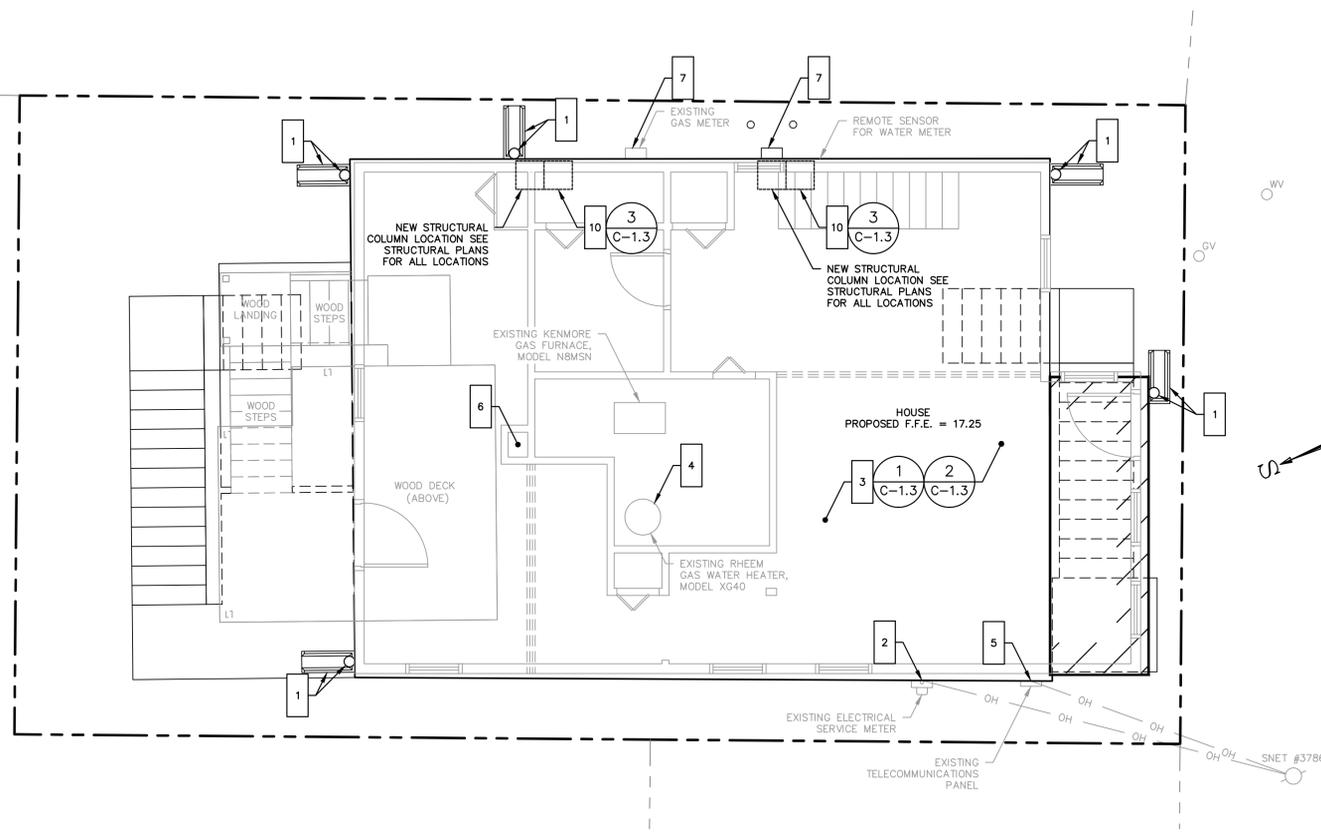
1. ALL FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE STAINLESS STEEL.
2. CONTRACTOR SHALL VERIFY IN FIELD AND REVIEW WITH ENGINEER LOCATIONS OF EXISTING JUNCTION/PULL BOXES FOR NEW ACCESS BOX INSTALLATION.
3. NEMA JUNCTION BOX SHALL BE INSTALLED PER MANUFACTURER INSTRUCTIONS, FLUSH WITH SURROUNDING GYPSUM BOARD, WITH WEATHER TIGHT SEAL.

2 ELECTRICAL JUNCTION BOX ACCESS
C-1.3 1" = 1'-0"

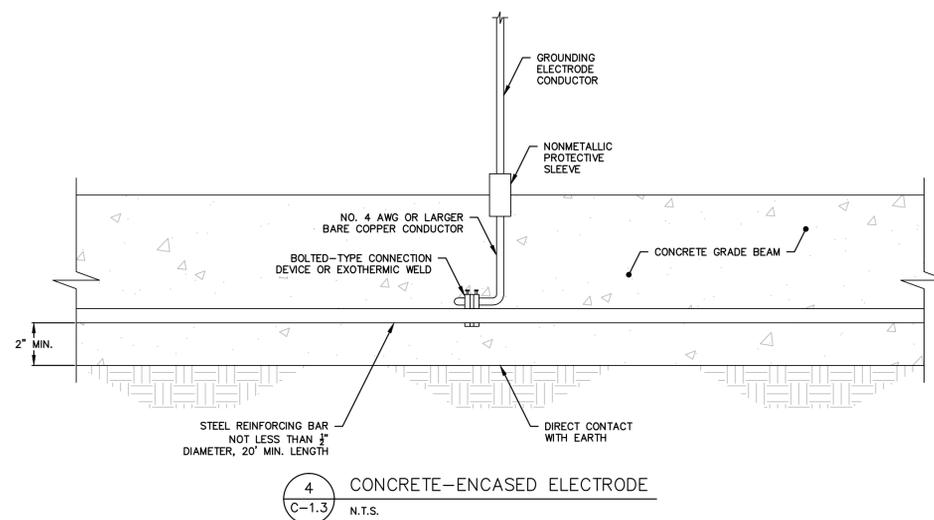
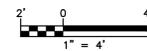


3 COLUMN UTILITY CHASE
C-1.3 1" = 1'-0"

REFERENCE MAP:
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SITE PLAN



4 CONCRETE-ENCASED ELECTRODE
C-1.3 N.T.S.

NOTE:
1. UTILITY LOCATIONS ARE APPROXIMATE.

LEGEND

- 1 WORK NOTE
- LIMIT OF WORK
- # DETAIL REFERENCE
= DETAIL NUMBER
X = DETAIL SHEET NUMBER
- LIMIT OF ELEVATED HOUSE
- OH EXISTING OVERHEAD LINE
- SNET #XXXX EXISTING UTILITY POLE WITH POLE NUMBER
- GV EXISTING GAS VALVE
- WV EXISTING WATER VALVE

GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL MEASUREMENTS. ANY VARIATIONS FROM CONDITIONS SHOWN ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL AND/OR MCA PRIOR TO BIDDING FOR RESOLUTION IN ACCORDANCE WITH CONTRACT DOCUMENT REQUIREMENTS.
2. ALL REQUIRED PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
3. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF THE NOTED ITEM.
4. WORK LIMITS SHALL BE AS NOTED. ALL ITEMS DISTURBED BY ANY AND ALL CONSTRUCTION ACTIVITIES SHALL BE RESTORED SUBSTANTIALLY TO THE CONDITION THEY EXISTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, TO MCA'S APPROVAL.
5. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
6. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
7. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

BUILDING UTILITY GENERAL NOTES

1. PLAN REPRESENTATION OF BUILDING UTILITIES ARE SCHEMATIC IN NATURE. CONTRACTOR SHALL PREPARE AND SUBMIT ALL COORDINATION DRAWINGS AS REQUIRED BY SPECIFICATION DIVISIONS 22, 23, AND 26 AND SUBMIT TO THE ENGINEER FOR APPROVAL.
2. FOR COMPLETE BUILDING UTILITY WORK REQUIREMENTS REFER TO CONTRACT SPECIFICATIONS.
3. IT IS THE PROJECT INTENT TO TURN OVER COMPLETE, FULLY FUNCTIONAL, AND OPERATING UTILITY SYSTEMS TO THE OWNER FOR FINAL ACCEPTANCE OF PROJECT WORK.
4. FINAL PAYMENT WILL NOT BE PROCESSED WITHOUT SUBMITTAL OF ALL TESTING REPORTS OR EVIDENCE THEREOF FOR COMPLETE, FULLY FUNCTIONAL, AND OPERATING UTILITY SYSTEMS, AS REQUIRED BY CONTRACT SPECIFICATIONS AND AUTHORITIES HAVING JURISDICTION.
5. ALL BUILDING PENETRATIONS TO BE SEALED WITH INTUMESCENT FIRE STOP PUTTY, HITL FS-ONE OR APPROVED EQUAL. ALL FINISHES TO BE PATCHED TO MATCH EXISTING ADJACENT CONDITIONS.

WORK NOTES

1. EXTEND EXISTING ROOF DOWNSPOUTS TO GRADE. INSTALL NEW DOWNSPOUT AT NORTH CORNER OF NEWLY CONSTRUCTED FRONT ROOM. FURNISH AND INSTALL CONCRETE SPLASH BLOCKS.
2. COORDINATE RECONNECTION OF OVERHEAD ELECTRICAL SERVICE TO EXISTING SERVICE MAST AT SOUTHEAST SIDE OF HOUSE. RELOCATE METER TO UTILITY PROVIDER APPROVED LOCATION ABOVE 100-YEAR FEMA FLOOD ELEVATION 11.0 (NAVD88).
3. EXTEND WATER, GAS, AND SANITARY SERVICES TO ELEVATED HOUSE; INSULATE, PROTECT, AND MOUNT ALL SERVICES PER CONTRACT SPECIFICATIONS. CONSTRUCT UTILITY ACCESS CHASES FOR DOMESTIC WATER, SANITARY SEWER, AND NATURAL GAS SERVICE PIPING.
4. DISCONNECT GAS-FIRED FURNACE AND WATER HEATER PRIOR TO HOME ELEVATION. RECONNECT, BALANCE, AND COMMISSION AFTER HOME ELEVATION.
5. COORDINATE OTHER UTILITY CONNECTIONS, INCLUDING TELECOMMUNICATIONS; RESTORE ALL SERVICES TO FUNCTIONAL SERVICE STATES.
6. FURNISH AND INSTALL ALL MATERIALS TO PATCH ROOF WHERE CHIMNEY WAS REMOVED; MATCH EXISTING CONSTRUCTION. FURNISH AND INSTALL COMBUSTION VENTS FOR ALL APPLIANCES AND UTILITIES PER CONTRACT SPECIFICATION AND 2013 STATE OF CT BUILDING CODE AMENDMENT. SUBMIT COORDINATION DRAWING TO MCA FOR APPROVAL.
7. RECONNECT GAS METER OR REPLACE AS REQUIRED BY UTILITY PROVIDER. EXTEND NATURAL GAS SERVICE PIPING TO BUILDING ENVELOPE AFTER HOME ELEVATION. COORDINATE RELOCATION OF GAS METER ADJACENT TO NEW CONCRETE COLUMN.
8. EXISTING WATER METER LOCATION UNKNOWN. CONTRACTOR TO FIELD VERIFY LOCATION. CONTRACTOR SHALL REPLACE WATER METER TO COMPLY WITH THE REGIONAL WATER AUTHORITY RULES AND REGULATIONS IF REQUIRED. DOMESTIC WATER SERVICE LINE TO BE REPLACED AS DISTURBED BY CONSTRUCTION ACTIVITY, BUT NOT BEYOND PROPERTY LINE.
9. LOCATION OF SANITARY SERVICE LATERAL UNKNOWN. SANITARY DRAIN PIPING TO BE REPLACED FROM BUILDING UNDERSIDE ENVELOPE TO PROPERTY LINE. NEW SOIL STACK AND HORIZONTAL RUN TO PROPERTY LINE TO BE 6" AWWA C900 PIPE. SEE SANITARY DRAIN SCHEMATIC, THIS SHEET.
10. FURNISH AND INSTALL ALL MATERIALS FOR COLUMN UTILITY CHASE FOR SANITARY SEWER SERVICE, DOMESTIC WATER SERVICE, AND NATURAL GAS SERVICE LINES. SEE PLANS FOR LOCATION OF STRUCTURAL COLUMNS. FIELD LOCATION TO BE DETERMINED IN FIELD AFTER VERIFICATION OF UTILITY LOCATIONS.

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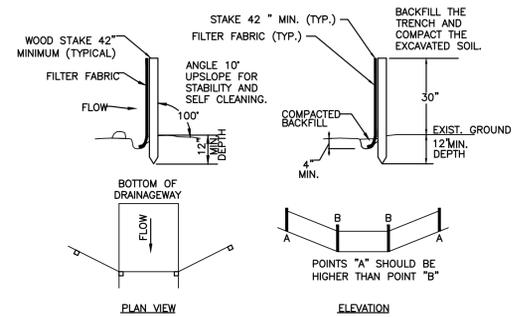
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BUILDING UTILITY PLAN

JOB NO.	DRAWING NUMBER	SHEET
33-262-1068	BASEMAP 33-262-1068.dwg	C-1.3

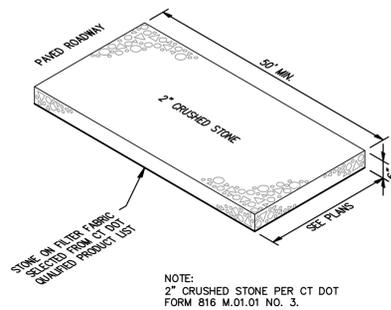
SEEDING SCHEDULE				
PERMANENT SEEDING				
PERMANENT SEEDING SHALL BE ACCOMPLISHED WITH ONE OF THE FOLLOWING SEEDING MIXTURES:				
KIND OF AREA: LAWNS AND HIGH MAINTENANCE AREAS				
SEED MIXTURE	LBS./ACRE	LBS./1,000 SQ.FT.		
KENTUCKY BLUEGRASS	20	0.45		
CREeping RED FESCUE	20	0.45		
PERENNIAL RYEGRASS	5	0.1		
TOTAL	45	1.0		
TEMPORARY SEEDING RATES AND DATES				
SEED MIXTURE	LBS./ACRE	LBS./1,000 SQ.FT.	DATE (1)(3)	DEPTH (2)
ANNUAL RYEGRASS	40	1.0	8/1-10/1 3/1-6/15	0.5 INCHES
SEEDING NOTES: (1) MAY BE PLANTED THROUGHOUT SUMMER IF SOIL IS ADEQUATE OR CAN BE IRRIGATED. (2) SEED AT TWICE THE INDICATED DEPTH FOR SANDY SOILS. SOURCE: U.S. DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE, STORRS, CT				
ORGANIC MULCH MATERIALS AND APPLICATION RATES				
MULCHES	PER ACRE	PER 1,000 SQ.FT.	NOTES	
STRAW OR HAY	1/2-2 TONS	70-90 LBS	FREE FROM MATTER AND COARSE MATTER. MUST BE ANCHORED. SPREAD WITH MULCH BLOWER OR BY HAND.	

1 TYPICAL SEEDING SCHEDULE
C-2.0 N.T.S.



- A) MINIMUM LENGTH OF SILT FENCE IS 15 L.F.
- B) MAXIMUM POST SPACING IS 10 L.F.
- C) JOINTS ONLY AT SUPPORT POST WITH MINIMUM 6" OVERLAP, SECURELY SEALED.
- D) SEDIMENTATION DEPOSITS SHALL BE REMOVED WHEN THEY REACH 1/2 THE HEIGHT OF THE SILT FENCE.
- E) SILT FENCE SHALL NOT BE USED IN A WATER COURSE.
- F) UPON ESTABLISHMENT OF GROUND COVER ON DISTURBED AREAS, AND WHEN DIRECTED BY THE ENGINEER, FENCE WILL BE REMOVED AND ANY SEDIMENTATION WILL BE THINLY SPREAD UPON EXISTING GROUND COVER.

2 TYPICAL SILTATION FENCE
C-2.0 N.T.S.



3 TYPICAL CONSTRUCTION TRACK PAD
C-2.0 N.T.S.

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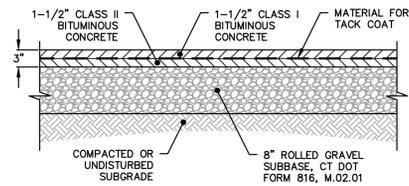
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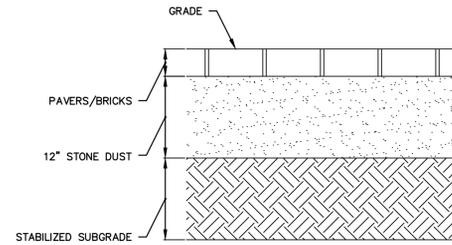
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SOIL EROSION AND
SEDIMENT CONTROL DETAILS

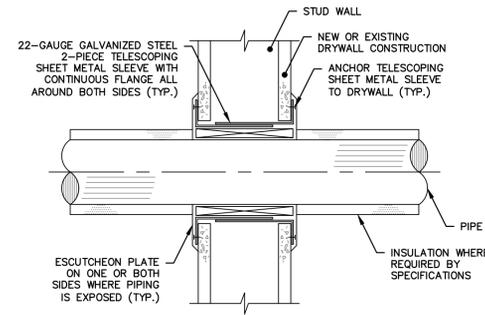
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33-262-1068	BASEMAP 33-262-1068.dwg	C-2.0



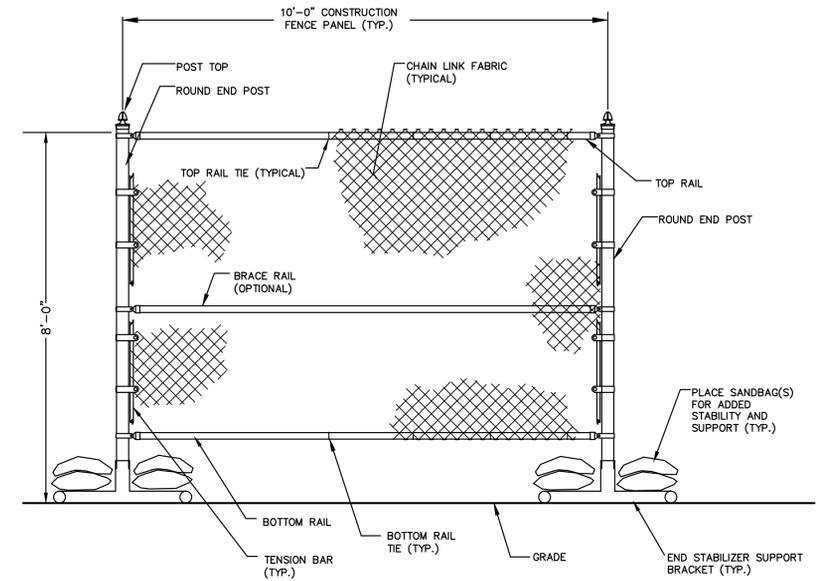
1 TYPICAL BITUMINOUS DRIVEWAY
C-2.1 N.T.S.



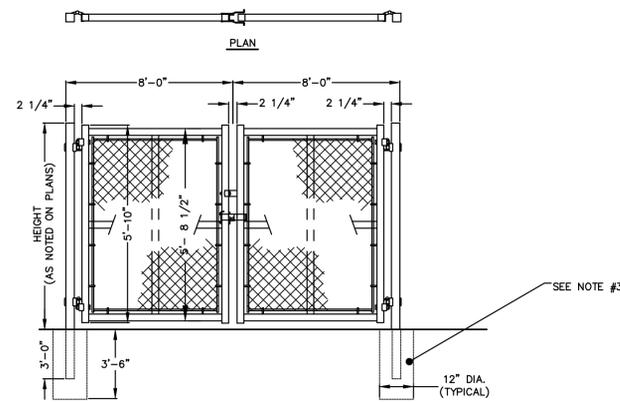
2 TYPICAL BRICK WALKWAY
C-2.1 N.T.S.



3 TYPICAL WALL/FLOOR PENETRATION
C-2.1 N.T.S.

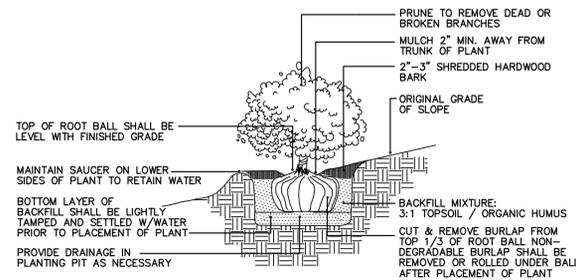


4 TYPICAL PORTABLE CONSTRUCTION CHAIN LINK FENCE
C-2.1 N.T.S.

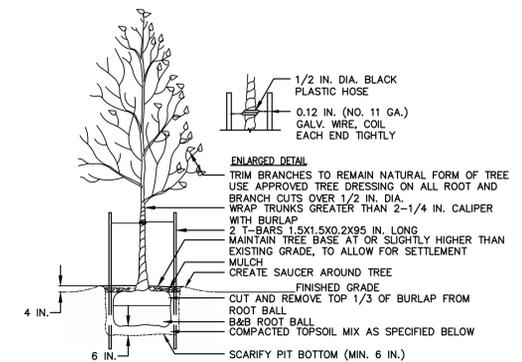


- NOTES:
- GATES SHOULD OPEN TOWARD SITE, AWAY FROM STREET.
 - GATES SHALL HAVE LOCKING MECHANISM THAT CAN BE PADLOCKED.
 - METAL TRIPODS MAY BE USED FOR BOTTOM SUPPORTS INSTEAD OF MOUNTING INTO THE GROUND.
 - MATERIALS, METHODS OF INSTALLATION SHALL BE CONFORM TO *STATE OF CT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FORM 816 M.10.05 OR CURRENT SPECIFICATION FOR SUCH WORK.

5 TYPICAL DOUBLE LEAF CHAIN LINK FENCE GATE
C-2.1 N.T.S.



6 TYPICAL SHRUB
C-2.1 N.T.S.



- NOTES:
- TOPSOIL MIX, SEE SPEC.
 - DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKE.
 - WATER THOROUGHLY AFTER INSTALLATION.
 - REMOVE TREE RINGS AND STAKES TWO YEARS AFTER INSTALLATION.
 - PROVIDE DRAINAGE FOR PLANTING PIT IN IMPERMEABLE SOIL.
 - ALL TREES MUST BE TAGGED AND APPROVED BY CONSULTANT WITHIN 14 DAYS AFTER TENDER CLOSING.

7 TYPICAL DECIDUOUS TREE
C-2.1 N.T.S.

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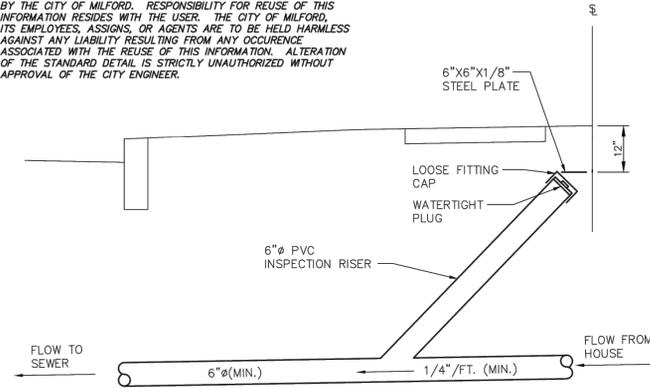
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MISCELLANEOUS DETAILS

JOB NO.	DRAWING NUMBER	SHEET
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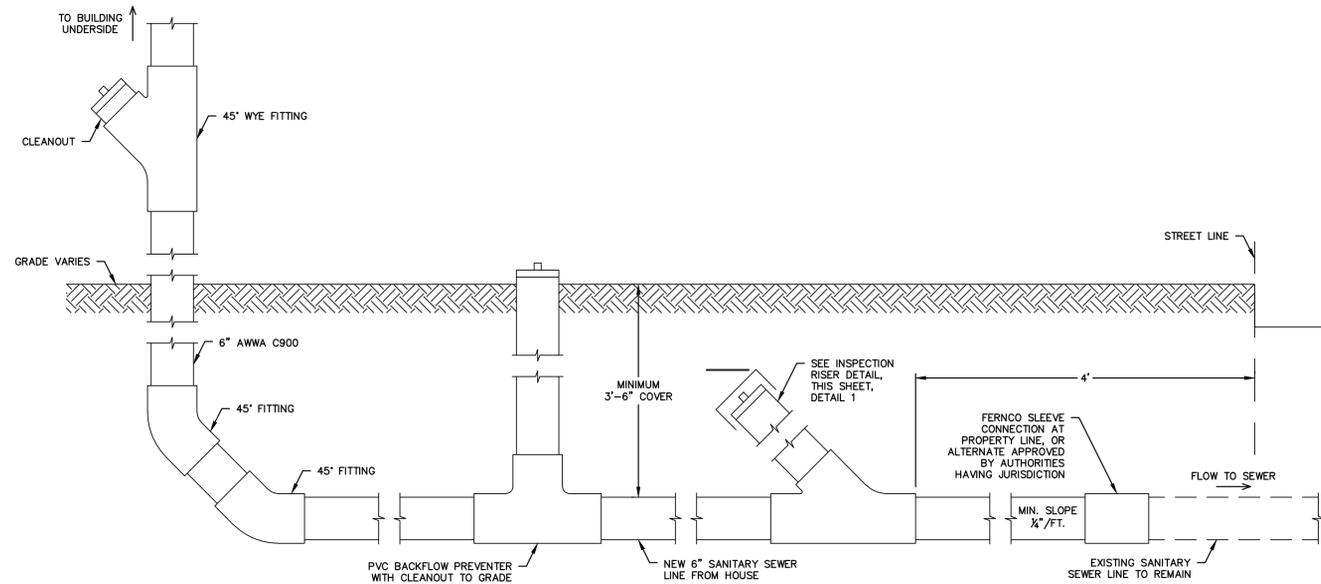


A CONDITION OF ALL SEWER PERMITS FOR INSTALLING RESIDENTIAL SEWER CONNECTIONS IS THE REQUIREMENT TO FURNISH AND INSTALL A SEWER INSPECTION RISER IN THAT AREA OF THE STREET RIGHT-OF-WAY BETWEEN THE CURB AND THE STREETLINE (FRONT PROPERTY LINE). THE INSPECTION RISER IS TO CONSIST OF A 45° WYE FITTING INSTALLED ON THE HOUSE CONNECTION SEWER APPROXIMATELY 4 FEET BEHIND THE STANDARD CURB LOCATION*. A 6" PVC INSPECTION RISER PIPE IS TO BE INSTALLED WITHIN 12" OF THE FINISHED GROUND SURFACE AND FITTED WITH A WATERTIGHT PLUG. A 6"x6"x1/8" STEEL PLATE IS TO BE PLACED ABOVE THE END OF THE INSPECTION RISER WHEN BACKFILLING THE AREA TO GRADE TO ASSIST WITH FUTURE RECOVERY OF THE INSPECTION RISER BY MEANS OF A MAGNETIC DETECTOR.

*IN A SEWER EASEMENT THE INSPECTION RISER IS TO BE AT THE EDGE OF THE EASEMENT.

*IN LOCATIONS WHERE AN EXISTING LATERAL EXTENDS TO THE STREET LINE, THE "Y" CONNECTION SHALL BE PLACED AS CLOSE TO THE STREET LINE AS POSSIBLE, WITH THE INSPECTION RISER EXTENDING TO WITHIN 12" OF GRADE AND LOCATED ON PRIVATE PROPERTY.

1 INSPECTION RISER
C-2.2 N.T.S.



2 SANITARY DRAIN SCHEMATIC
C-2.2 1" = 1'

NOTE:
1. ALL WORK FOR SANITARY SEWER LATERAL TO BE PER SPECIFICATION SECTION 221313.

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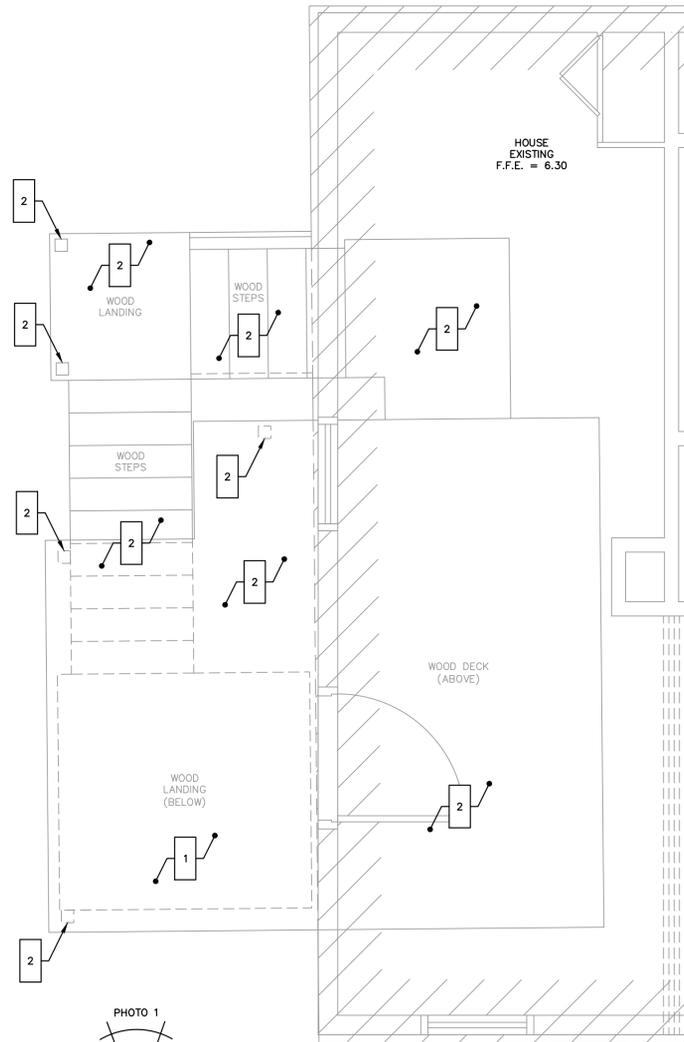
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BUILDING UTILITY DETAILS

JOB NO.	DRAWING NUMBER	SHEET
33-262-1068	BASEMAP 33-262-1068.dwg	C-2.2



**EXISTING CONDITIONS
REAR ACCESS**

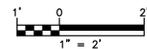
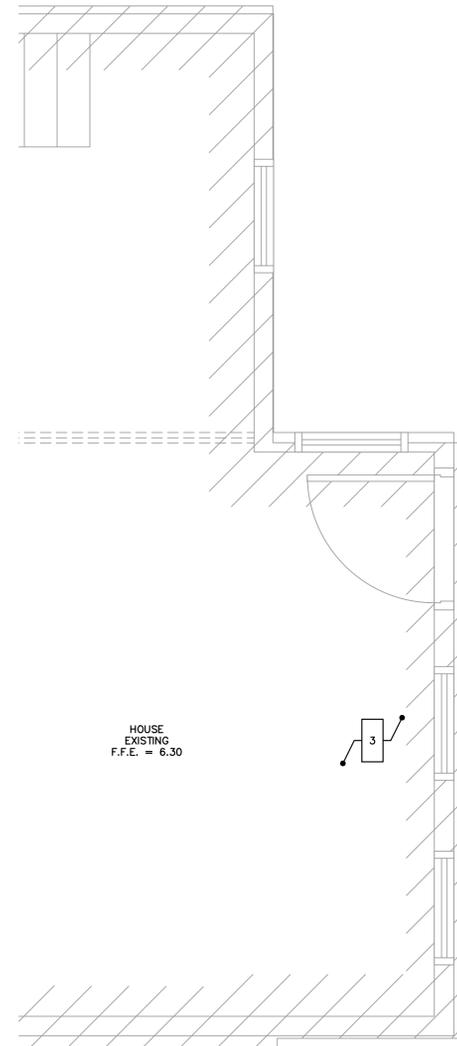


PHOTO 1



PHOTO 2



**EXISTING CONDITIONS
FRONT ACCESS**



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4. WORK LIMITS SHALL BE AS NOTED. ALL ITEMS DISTURBED BY ANY AND ALL CONSTRUCTION ACTIVITIES SHALL BE RESTORED SUBSTANTIALLY TO THE CONDITION THEY EXISTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, TO MCA'S APPROVAL.
5. THE CONTRACTOR AT A MINIMUM SHALL MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AS DIRECTED, AS NECESSARY, AND IN ACCORDANCE WITH CONTRACT REQUIREMENTS, AND SHALL CHECK ALL SYSTEMS ON A DAILY BASIS TO ENSURE THE PREVENTION OF SEDIMENT TRANSPORT AND THE CONTROL OF EROSION.
6. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
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8. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

DEMOLITION NOTES

- 1 DEMOLISH WOOD LANDING CURRENTLY AT GRADE LEVEL AT REAR OF HOUSE, AND REMOVE OFF SITE
- 2 PROTECT REAR STAIRS, LANDING, AND UPPER LEVEL DECK, AS WELL AS ASSOCIATED SUPPORT POSTS
- 3 DEMOLISH EXISTING ONE STORY FRONT ROOM; SALVAGE SIDING WHERE POSSIBLE, AND PROTECT AND STORE ON SITE FOR REINSTALLATION; DAMAGED SIDING TO BE REPLACED WITH MATCHING PROFILE
- 4 SUPPORT HOUSE AND LIFT TO PROPOSED ELEVATION; REAR STAIRS, LANDING, AND UPPER LEVEL DECK TO BE SUPPORTED AND LIFTED WITH HOUSE

REFERENCE MAP:
1. "TOPOGRAPHIC & BOUNDARY SURVEY" FOR CTDOH AT 8 TREMONT STREET, MILFORD, CONNECTICUT; DATE: 02-17-2015; SCALE: 1"=10'; PREPARED BY MARTINEZ COUCH & ASSOCIATES, LLC

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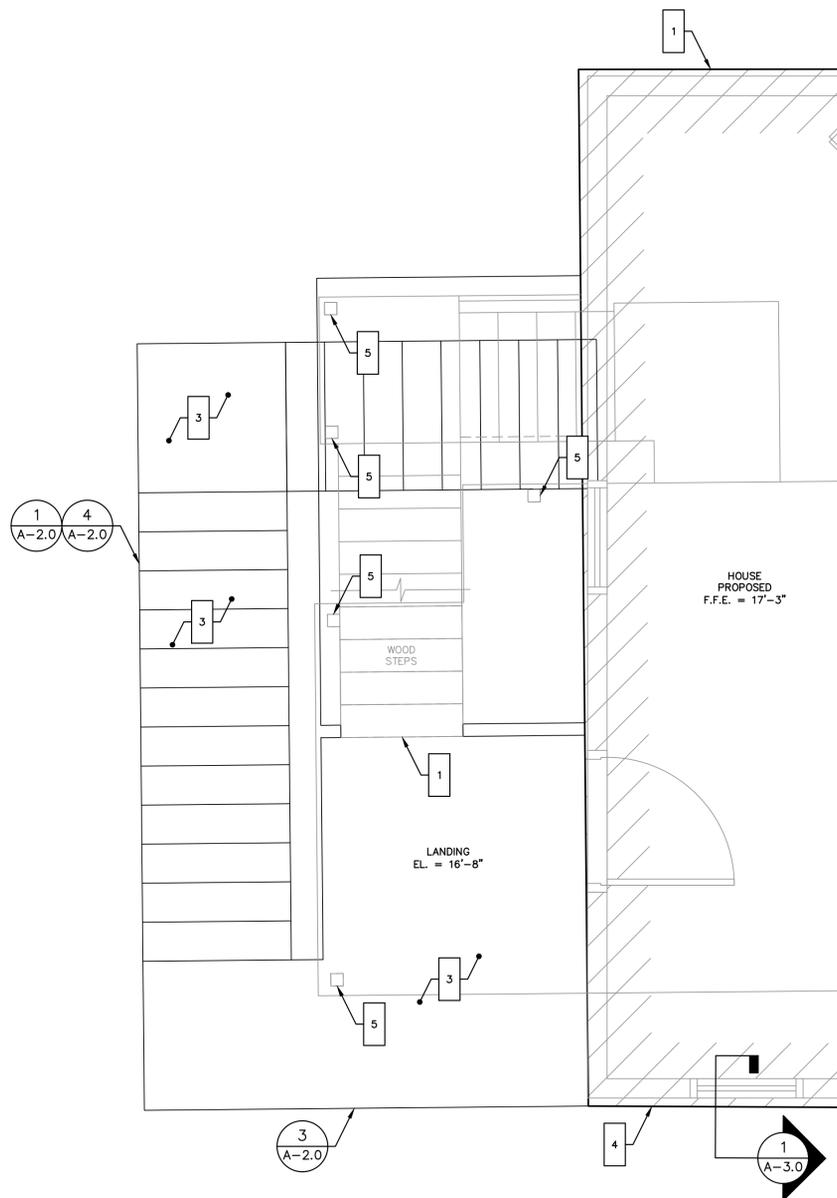
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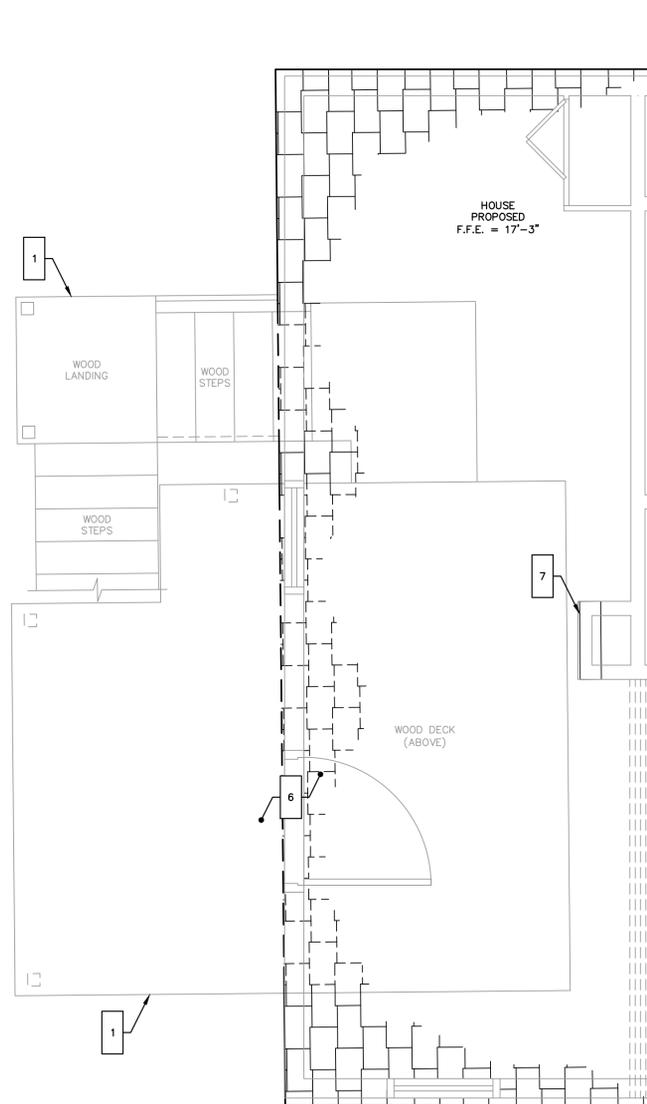
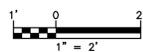
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**EXISTING
BUILDING ACCESS**

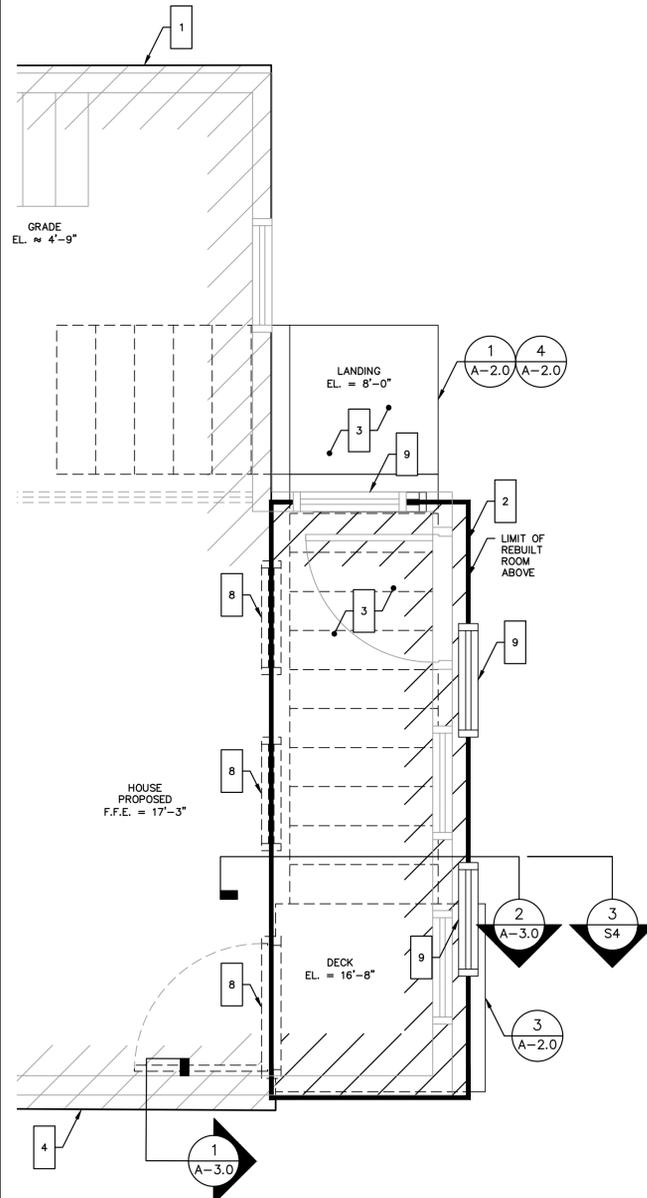
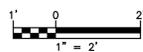
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33-262-1068	BASEMAP 33-262-1068.dwg	A-1.0



**PROPOSED CONDITIONS
REAR ACCESS
LOWER LEVEL**



**PROPOSED CONDITIONS
REAR ACCESS
UPPER LEVEL**



**PROPOSED CONDITIONS
FRONT ACCESS**



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WORK NOTES

1. SUPPORT HOUSE AND LIFT TO PROPOSED ELEVATION; REAR STAIRS, LANDING, AND UPPER LEVEL DECK TO BE SUPPORTED AND LIFTED WITH HOUSE
2. REFRAME WALL IN FORMER LOCATION OF FRONT ROOM ON FIRST FINISHED LIVING FLOOR OF ELEVATED HOUSE; SEE STRUCTURAL DRAWINGS. FURNISH AND INSTALL MATERIALS FOR NEW FRONT ROOM ON SECOND FINISHED LIVING FLOOR OF ELEVATED HOUSE; SEE STRUCTURAL DRAWINGS. FURNISH AND INSTALL EXTERIOR DOOR, WINDOWS, SIDING, AND ARCHITECTURAL FINISHES FOR NEW WOOD FRAME WALL IN FORMER LOCATION OF FRONT ROOM. FURNISH AND INSTALL WINDOWS, SIDING, AND ARCHITECTURAL FINISHES FOR NEW FRONT ROOM.
3. INSTALL NEW DECKS AND STAIRS AT FRONT AND BACK OF HOUSE AT PROPOSED ELEVATIONS
4. FURNISH AND INSTALL ALL MATERIALS FOR NEW RIBBON BOARD AND BUILDING SILL AROUND ENTIRE STRUCTURE
5. SEE STRUCTURAL DRAWINGS FOR SUPPORT OF EXISTING 4X4 POSTS
6. NO WORK AT REAR ACCESS UPPER LEVEL, EXCEPT REPAIR TO UPPER LEVEL DECK IF DAMAGED DURING CONSTRUCTION
7. FURNISH AND INSTALL SECTION OF GUTTER IN LOCATION OF FORMER CHIMNEY
8. COORDINATE ONE (1) DOOR AND TWO (2) WINDOW OPENINGS ON FRONT ROOM AT NEW WOOD FRAME WALL ON FIRST FINISHED LIVING FLOOR OF ELEVATED HOUSE. MATCH EXISTING CASING, TRIM, FINISH, AND STYLE OF EXISTING EXTERIOR DOOR, STORM DOOR, WINDOWS, AND ANY STORM OR WINDOW SCREENS ON INTERIOR AND EXTERIOR WALL FACES.
9. COORDINATE THREE (3) WINDOW OPENINGS ON REBUILT ROOM ON SECOND FINISHED LIVING FLOOR OF ELEVATED HOUSE. MATCH EXISTING CASING, TRIM, FINISH, AND STYLE OF EXISTING WINDOWS AND SCREENS ON INTERIOR AND EXTERIOR WALL FACES.

REFERENCE MAP:
1. "TOPOGRAPHIC & BOUNDARY SURVEY" FOR CTDOH AT 8 TREMONT STREET, MILFORD, CONNECTICUT; DATE: 02-17-2015; SCALE: 1"=10'; PREPARED BY MARTINEZ COUCH & ASSOCIATES, LLC

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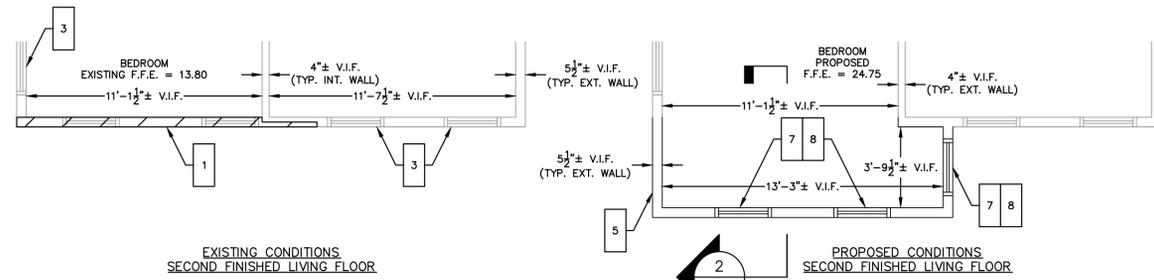
PROJECT 1068
8 TREMONT STREET
MILFORD, CONNECTICUT 06460

**ISSUED FOR BID
NOT FOR CONSTRUCTION**

NO.	DATE	REVISIONS	BY	CHK	APPV
3	12/11/2015	ISSUED FOR BIDDING	MBR	MBR	REC
2	10/29/2015	ISSUED FOR BIDDING	MBR	MBR	REC
1	07/30/2015	ISSUED FOR CT DOH REVIEW AND APPROVAL	KNL	MBR	REC
DRAWN: KNL CHECKED: MBR APPROVED: REC SCALE: 1" = 2' DATE: 07/20/2015					

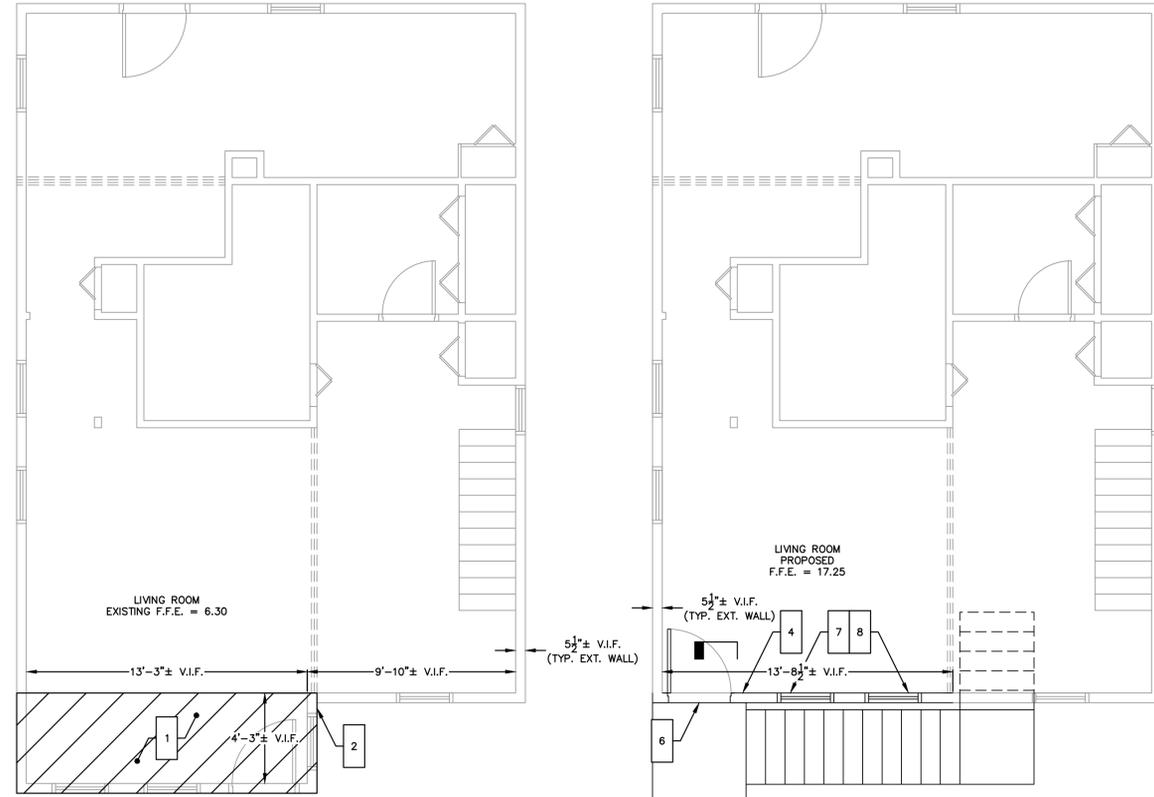
**PROPOSED
BUILDING ACCESS**

JOB NO.	DRAWING NUMBER	SHEET
33-262-1068	BASEMAP 33-262-1068.dwg	A-1.1



EXISTING CONDITIONS
SECOND FINISHED LIVING FLOOR

PROPOSED CONDITIONS
SECOND FINISHED LIVING FLOOR



EXISTING CONDITIONS
FIRST FINISHED LIVING FLOOR

PROPOSED CONDITIONS
FIRST FINISHED LIVING FLOOR

1 FRONT ROOM FLOOR PLANS
A-1.2 1/4" = 1'-0"

GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL MEASUREMENTS. ANY VARIATIONS FROM CONDITIONS SHOWN ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL AND/OR MCA PRIOR TO BIDDING FOR RESOLUTION IN ACCORDANCE WITH CONTRACT DOCUMENT REQUIREMENTS.
2. ALL REQUIRED PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
3. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF THE NOTED ITEM.
4. WORK LIMITS SHALL BE AS NOTED. ALL ITEMS DISTURBED BY ANY AND ALL CONSTRUCTION ACTIVITIES SHALL BE RESTORED SUBSTANTIALLY TO THE CONDITION THEY EXISTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, TO MCA'S APPROVAL.
5. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
6. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
7. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

GENERAL DOOR NOTES

1. ALL DOORS ARE TO BE INSTALLED PER ALL MANUFACTURER REQUIREMENTS.
2. ALL DOORS ARE TO BE LABELED AND TESTED IN ACCORDANCE WITH AAMA 101.

GENERAL WINDOW NOTES

1. ALL WINDOWS ARE TO BE INSTALLED PER ALL MANUFACTURER REQUIREMENTS.
2. ALL WINDOW SILLS TO BE A MINIMUM OF 24" ABOVE APPLICABLE FINISHED FLOOR ELEVATION, BUT NO MORE THAN 36".
3. MINIMUM CLEAR OPENINGS SHALL BE 20".
4. WINDOW OPENINGS SHALL PROVIDE A MINIMUM OF 5.7 S.F. CLEAR OPENING.
5. ALL WINDOWS ARE TO BE LABELED AND TESTED IN ACCORDANCE WITH AAMA 101.
6. ALL SELF-ADHERED MEMBRANES FOR WINDOW FLASHINGS SHALL COMPLY WITH AAMA 711.
7. WINDOW GLAZING TO MEET ENERGY STAR® "WHOLE UNIT" RATINGS FOR NORTHERN CLIMATE ZONE.

WORK NOTES

1. SELECTIVE DEMOLITION OF EXISTING ONE-STORY FRONT ROOM; SELECTIVE DEMOLITION OF EXISTING SECOND FLOOR FRONT WALL. PROTECT BUILDING ENVELOPE DURING CONSTRUCTION. ALL TEMPORARY SHORING AND SUPPORT TO BE PROVIDED BY CONTRACTOR.
2. SALVAGE SIDING WHERE POSSIBLE, AND PROTECT AND STORE ON SITE FOR REINSTALLATION. DAMAGED SIDING TO BE REPLACED WITH MATCHING PROFILE.
3. WINDOWS TO REMAIN.
4. REFRAME WALL IN FORMER LOCATION OF FRONT ROOM ON FIRST FINISHED LIVING FLOOR OF ELEVATED HOUSE; SEE STRUCTURAL DRAWINGS. FURNISH AND INSTALL SIDING AND ARCHITECTURAL FINISHES FOR NEW WOOD FRAME WALL.
5. FURNISH AND INSTALL MATERIALS FOR NEW FRONT ROOM ON SECOND FINISHED LIVING FLOOR OF ELEVATED HOUSE; SEE STRUCTURAL DRAWINGS. FURNISH AND INSTALL SIDING AND ARCHITECTURAL FINISHES FOR NEW FRONT ROOM.
6. COORDINATE ONE (1) DOOR OPENING ON NEW WOOD FRAME WALL OF FRONT ROOM ON FIRST FINISHED LIVING FLOOR OF ELEVATED HOUSE. FURNISH AND INSTALL EXTERIOR DOOR AND STORM DOOR. FURNISH AND INSTALL DOOR CASING AND TRIM TO MATCH EXISTING CONDITIONS ON INTERIOR AND EXTERIOR WALL FACES.
7. COORDINATE FIVE (5) WINDOW OPENINGS ON NEW WOOD FRAME WALLS OF ELEVATED HOUSE AS SHOWN.
8. FURNISH AND INSTALL NEW DOUBLE-HUNG PELLA® 350 SERIES WINDOWS WITH HURRICANESHIELD® IMPACT RESISTANT GLASS, OR APPROVED EQUAL. FURNISH AND INSTALL WINDOW CASING AND TRIM TO MATCH EXISTING CONDITIONS ON INTERIOR AND EXTERIOR WALL FACES. WINDOW WIDTH AND HEIGHT TO BE 32" BY 60" UNLESS OTHERWISE NOTED. FURNISH AND INSTALL MATCHING STORM SCREEN.

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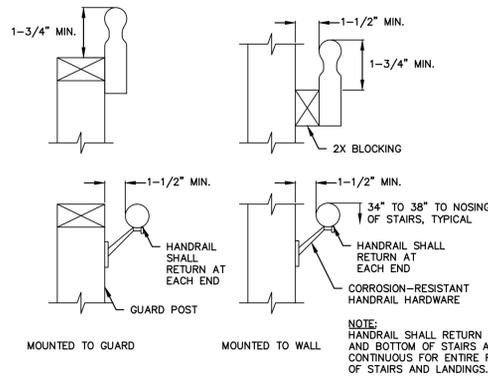
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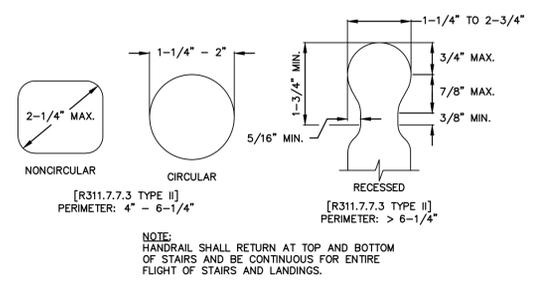
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FLOOR PLANS

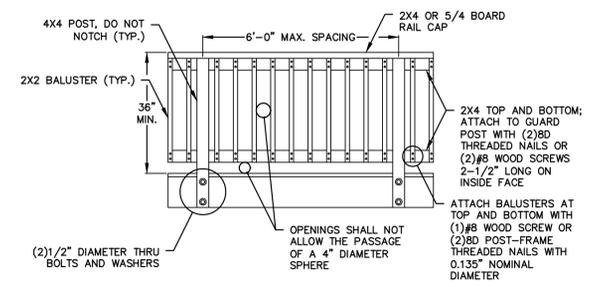
JOB NO.	DRAWING NUMBER	SHEET
33-262-1068	BASEMAP 33-262-1068.dwg	A-1.2



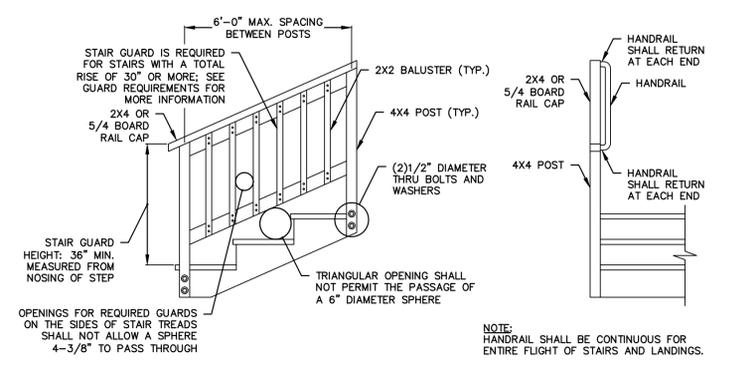
1 TYPICAL HANDRAIL MOUNTING
A-2.0 N.T.S.



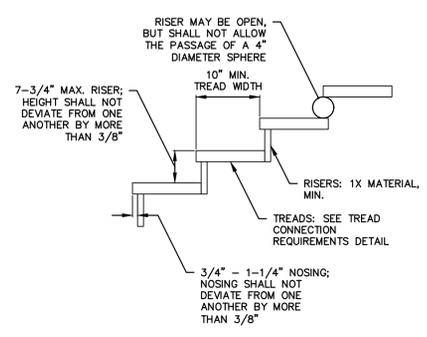
2 TYPICAL HANDRAIL GRIP SIZE
A-2.0 N.T.S.



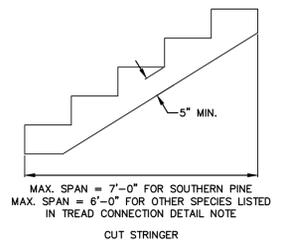
3 TYPICAL DECK RAILING GUARD
A-2.0 N.T.S.



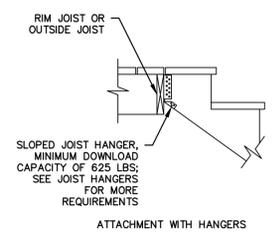
4 TYPICAL STAIR GUARD REQUIREMENTS
A-2.0 N.T.S.



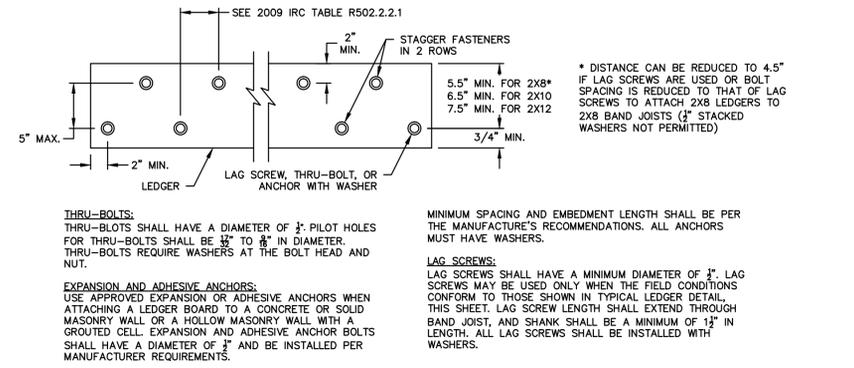
5 TYPICAL TREAD AND RISER
A-2.0 N.T.S.



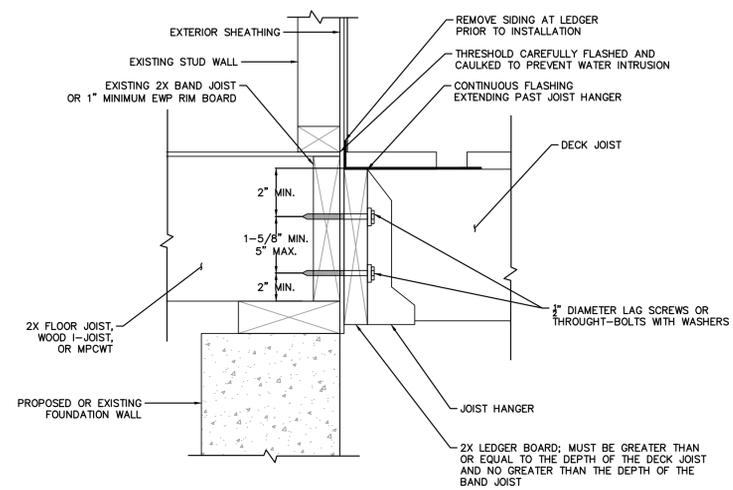
6 TYPICAL STAIR STRINGER REQUIREMENTS
A-2.0 N.T.S.



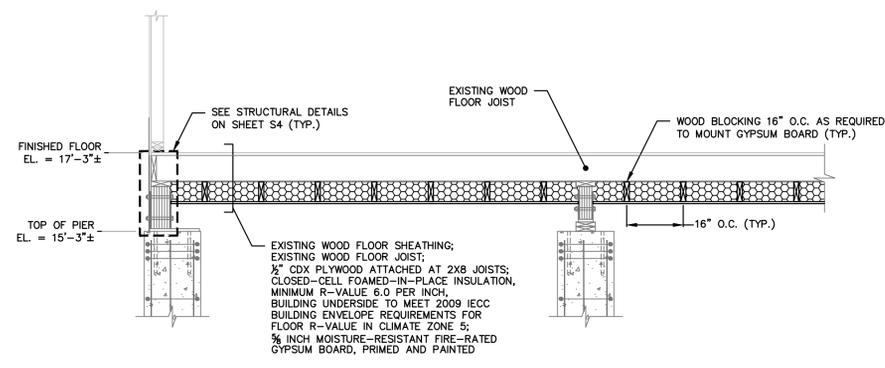
7 TYPICAL STAIR STRINGER ATTACHMENT
A-2.0 N.T.S.



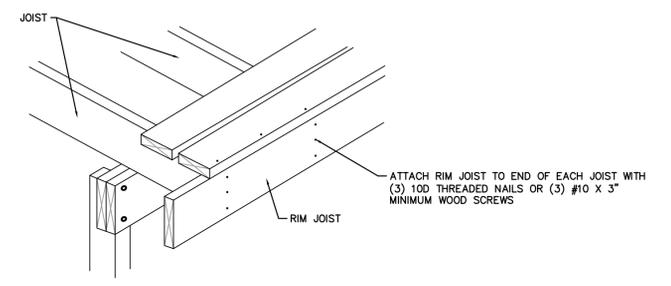
8 TYPICAL LEDGER BOARD FASTENER SPACING AND CLEARANCE
A-2.0 N.T.S.



9 TYPICAL GENERAL ATTACHMENT OF LEDGER
A-2.0 N.T.S.



10 TYPICAL FLOOR CAVITY INSULATION DETAIL
A-2.0 1/2" = 1'-0"



11 TYPICAL RIM JOIST CONNECTION
A-2.0 N.T.S.

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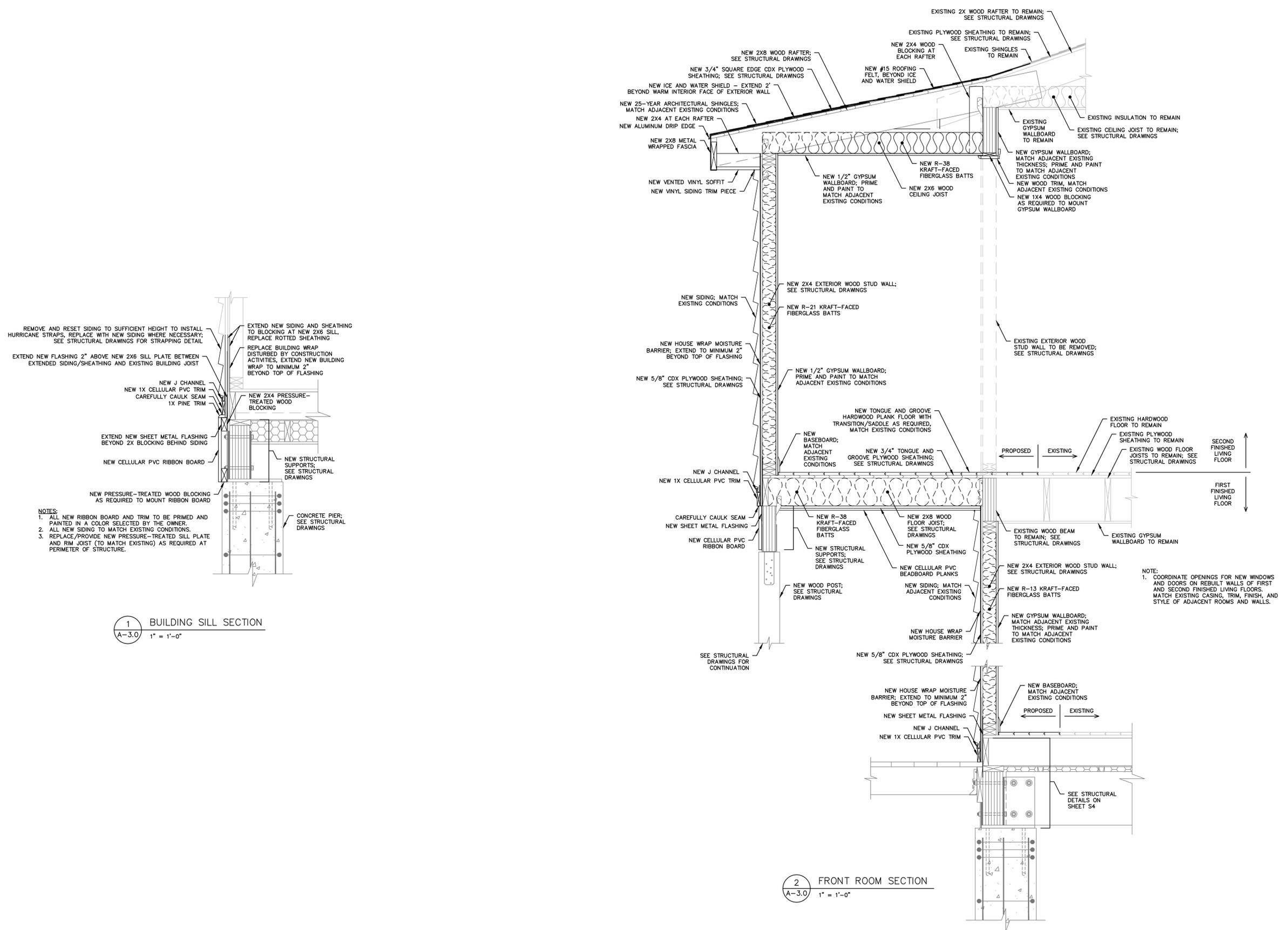
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DECK AND STAIR DETAILS

JOB NO.	DRAWING NUMBER	SHEET
33-262-1068	BASEMAP 33-262-1068.dwg	A-2.0



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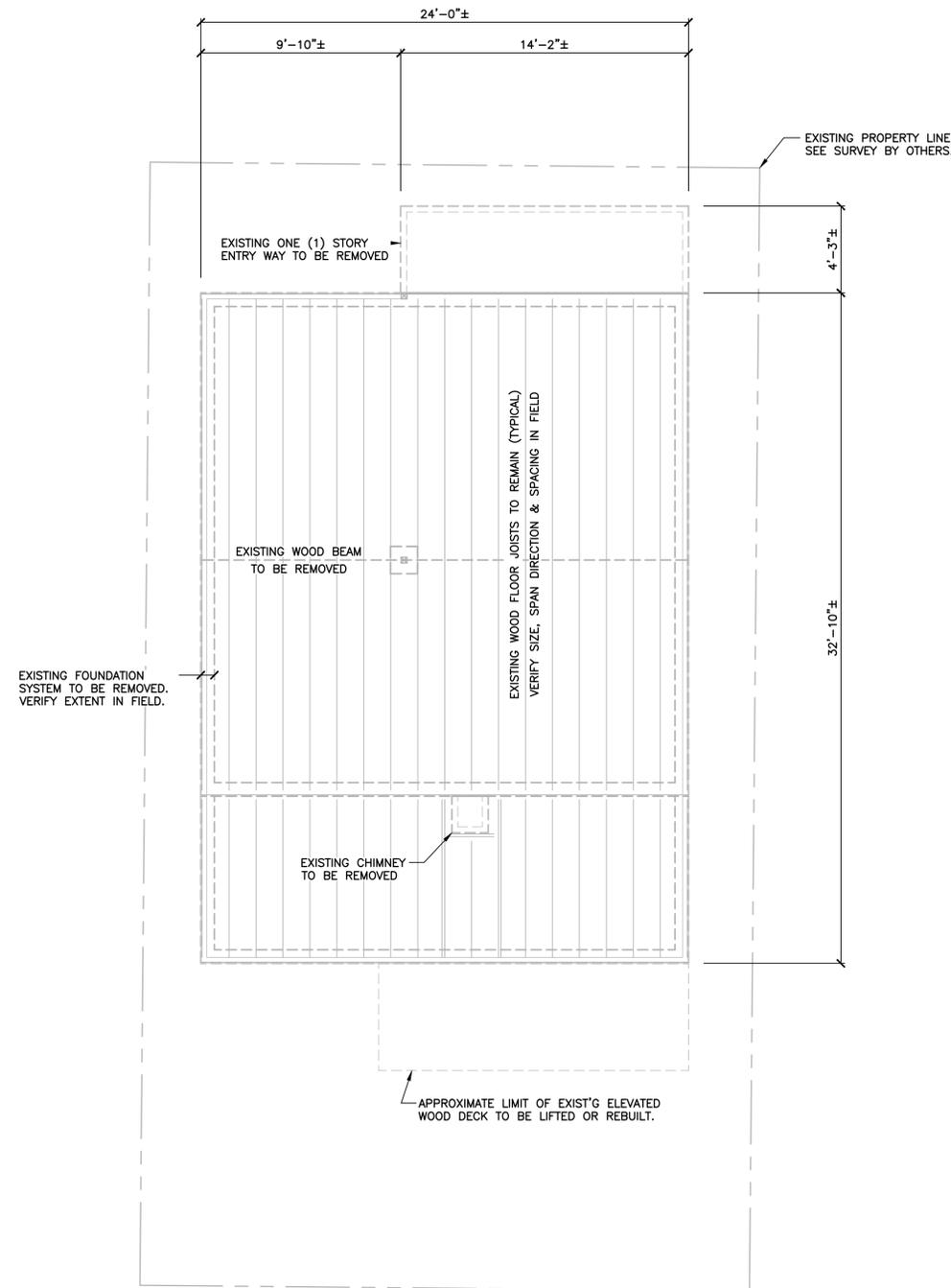
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DRAWN: KNL CHECKED: MBR APPROVED: REC SCALE: AS NOTED DATE: 07/20/2015

BUILDING SECTIONS

JOB NO.	DRAWING NUMBER	SHEET
33-262-1068	BASEMAP 33-262-1068.dwg	A-3.0



EXISTING CONDITIONS PLAN

SCALE: 1/4" = 1'-0"

NOTES:

1. THE EXISTING WOOD FRAMED SUPERSTRUCTURE SHALL BE ADEQUATELY SHORED PRIOR TO DEMOLITION OF EXISTING FOUNDATION CONSTRUCTION.
2. REFER TO THE ACCOMPANYING DRAWINGS FOR PLANS, DETAILS AND ADDITIONAL REQUIREMENTS RELATED TO THE NEW FOUNDATION AND FRAMING SYSTEM TO SUPPORT THE EXISTING SUPERSTRUCTURE TO BE ELEVATED.
3. CONDITIONS SHOWN ARE BASED SOLELY ON AVAILABLE INFORMATION AND HAVE NOT BEEN INDEPENDENTLY VERIFIED TO BE COMPLETELY ACCURATE.

DESIGN BASIS

GOVERNING CODE2005 STATE BUILDING CODE + 2009 & 2013 CONNECTICUT AMENDMENTS

GENERAL NOTES:

SHOP DRAWINGS ARE TO BE CHECKED BY THE CONTRACTOR AND BEAR THE CHECKER'S INITIALS BEFORE BEING SUBMITTED TO THE ENGINEER.
 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, ANGLES, AND EXISTING CONDITIONS BEFORE PROCEEDING WITH ANY WORK.
 IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.
 IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE CONSTRUCTION PROCEDURE AND SEQUENCE, AND TO ENSURE THE SAFETY OF THE EXISTING BUILDING AND ITS COMPONENT PARTS DURING CONSTRUCTION. THIS INCLUDES THE ADDITION OF WHATEVER SHORING, BRACING, ETC. THAT MAY BE REQUIRED.

WORK THESE DRAWINGS WITH THOSE OF OTHER TRADES FOR LOCATIONS OF OPENINGS, RECESSES, BUILT-IN WORK, ETC.

FOUNDATION NOTES

REFER TO GEOTECHNICAL REPORT PREPARED BY DR. CLARENCE WELTI, P.E., P.C., DATED APRIL 13, 2015 FOR SUBSURFACE PREPARATION & RELATED REQ'MENTS.

ALL NEW FOUNDATIONS SHALL BE SUPPORTED BY NEW HELICAL PULldOWN PILES MANUFACTURED BY EARTH CONTACT PRODUCTS, LLC, OLATHE KA, OR APPROVED EQUAL.

HELICAL PILES

ALL HELICAL PILES SHALL DEVELOP A MINIMUM ALLOWABLE LOAD CARRYING CAPACITY OF 10 TONS (20 KIPS) UNLESS OTHERWISE NOTED.

ALL HELICAL PILES SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT. THE PROPOSED HELICAL PILE SHALL HAVE A MINIMUM SHAFT SIZE OF 3 1/2" OUTSIDE DIAMETER x 0.300" WALL THICKNESS, BE FILLED SOLID w/ GROUT AND BE HOT DIP GALVANIZED IN ACCORDANCE WITH ASTM 123 AND BE SUBMITTED FOR APPROVAL PRIOR TO COMMENCEMENT OF ANY WORK. SUBMITTAL SHALL INCLUDE SIZE, STRENGTH, GALVANIZING, DEPTH, SEAT TYPE AND SIZE.

INSTALL ONE (1) TEST PILE PRIOR TO CONSTRUCTION.

CONCRETE

MATERIALS:

ALL CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 5,000 PSI AT 28 DAYS. CONTRACTOR TO SUBMIT CONCRETE MIX DESIGN.

ALL DETAILING, FABRICATION, AND ERECTION OF REINFORCING BARS, UNLESS OTHERWISE NOTED, MUST FOLLOW THE LATEST ACI CODE AND LATEST ACI "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES".

ALL REINFORCING STEEL SHALL BE EPOXY COATED IN ACCORDANCE WITH ASTM A775.

NO CALCIUM CHLORIDE OR ADMIXTURES CONTAINING MORE THAN 1% CHLORIDE BY WEIGHT OF ADMIXTURE SHALL BE USED IN THE CONCRETE.

PROVIDE 5% TO 7% AIR ENTRAINMENT IN ALL CONCRETE.

UNLESS OTHERWISE NOTED, ALL LAP SPLICES SHALL BE CLASS B.

STRUCTURAL STEEL

ANGLES, MISCELLANEOUS PLATES AND BARS.....ASTM A36
 BOLTS.....ASTM A325
 WELDING ELECTRODE.....ASTM E 70

ALL PERMANENTLY EXPOSED STRUCTURAL STEEL SHALL BE HOT DIP GALVANIZED IN ACCORDANCE WITH ASTM A123. ALL OTHER STEEL SHALL BE SHOP PRIMED GRAY TO 2 MIL THICKNESS.

ALL WELDING SHALL BE DONE BY A CERTIFIED WELDER IN ACCORDANCE WITH A.W.S. STANDARDS.

ALL STRUCTURAL STEEL, FROM DELIVERY TO THE JOB SITE TO AFTER ERECTION SHALL CONFORM TO ALL REQUIREMENTS OF ASTM A6.

STRUCTURAL LUMBER

STRUCTURAL LUMBER USED FOR BRIDGING, BLOCKING AND OTHER MISCELLANEOUS FRAMING SHALL BE NOT LESS THAN NO. 2 GRADE DOUGLAS FIR AND SHALL HAVE THE FOLLOWING MINIMUM ALLOWABLE UNIT STRESSES:

EXTREME FIBER IN BENDING..... $F_b = 875$ PSI
 HORIZONTAL SHEAR..... $F_v = 95$ PSI
 TENSION PARALLEL TO GRAIN..... $F_t = 825$ PSI
 COMPRESSION PERPENDICULAR TO GRAIN..... $F_c = 385$ PSI
 COMPRESSION PARALLEL TO GRAIN..... $F_c = 1,050$ PSI
 MODULUS OF ELASTICITY..... $E = 1,700,000$ PSI

MOISTURE CONTENT OF ALL FRAMING LUMBER WHEN DELIVERED TO THE PROJECT SITE SHALL NOT EXCEED 19%.

NAILING AND OTHER FASTENING SHALL BE AS PER TABLE 2304.9.1, FASTENING SCHEDULE, OF THE 2005 STATE OF CONNECTICUT BUILDING CODE.

PLYWOOD WALL SHEATHING SHALL BE NOMINAL 5/8" THICK SQUARE EDGE EXTERIOR GRADE CDX AND CONTAIN (4) INNER PLYS.

PLYWOOD ROOF SHEATHING SHALL BE NOMINAL 3/4" THICK SQUARE EDGE EXTERIOR GRADE.

ENGINEERED WOOD PRODUCTS

ELEMENTS, FOLLOWING ERECTION, JOISTS SHALL BE SHEATHED AND PROTECTED TO MAINTAIN STRESS-GRADED MOISTURE CONTENT NOT TO EXCEED 19%.

PARALLAM PLUS PSL WOLMANIZED MEMBERS USED FOR BEAMS AND HEADERS SHALL HAVE THE FOLLOWING MINIMUM ALLOWABLE UNIT STRESSES:

EXTREME FIBER IN BENDING..... $F_b = 1,827$ PSI
 HORIZONTAL SHEAR..... $F_v = 197$ PSI
 TENSION PARALLEL TO GRAIN..... $F_t = 1,397$ PSI
 COMPRESSION PERPENDICULAR TO GRAIN..... $F_c = 368$ PSI
 COMPRESSION PARALLEL TO GRAIN..... $F_c = 1,508$ PSI
 MODULUS OF ELASTICITY..... $E = 1,460,000$ PSI



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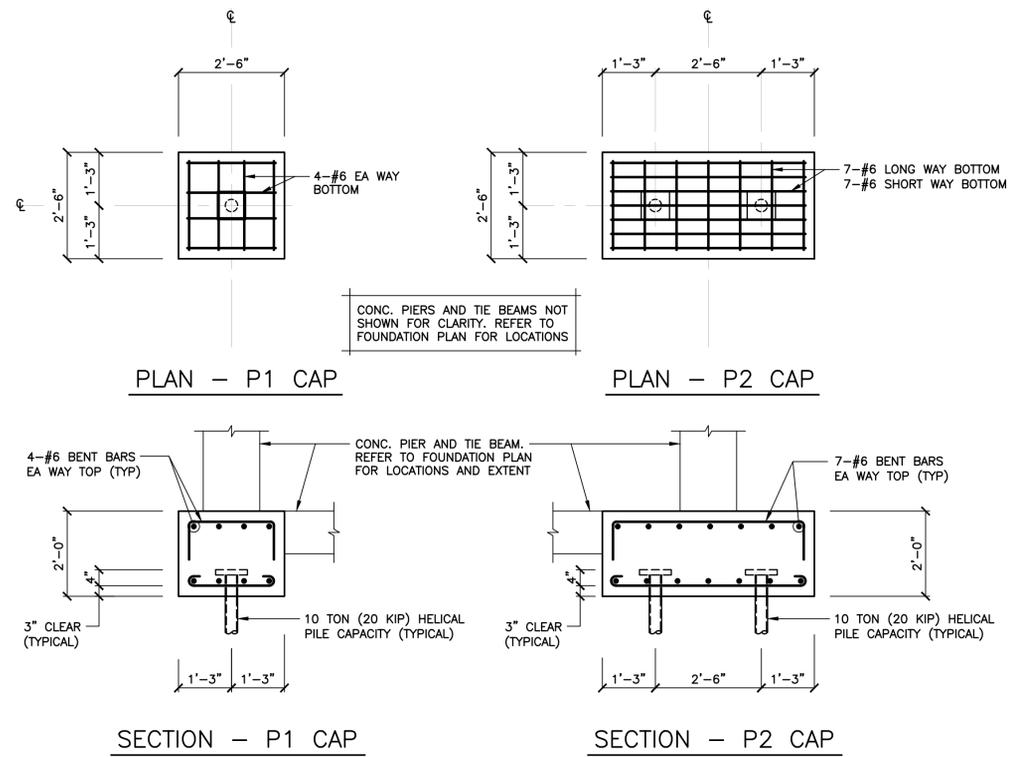
THOMAS A. TORRENTI, P.C.
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 Orange, CT 06477-7153 ttorrenti@optonline.net

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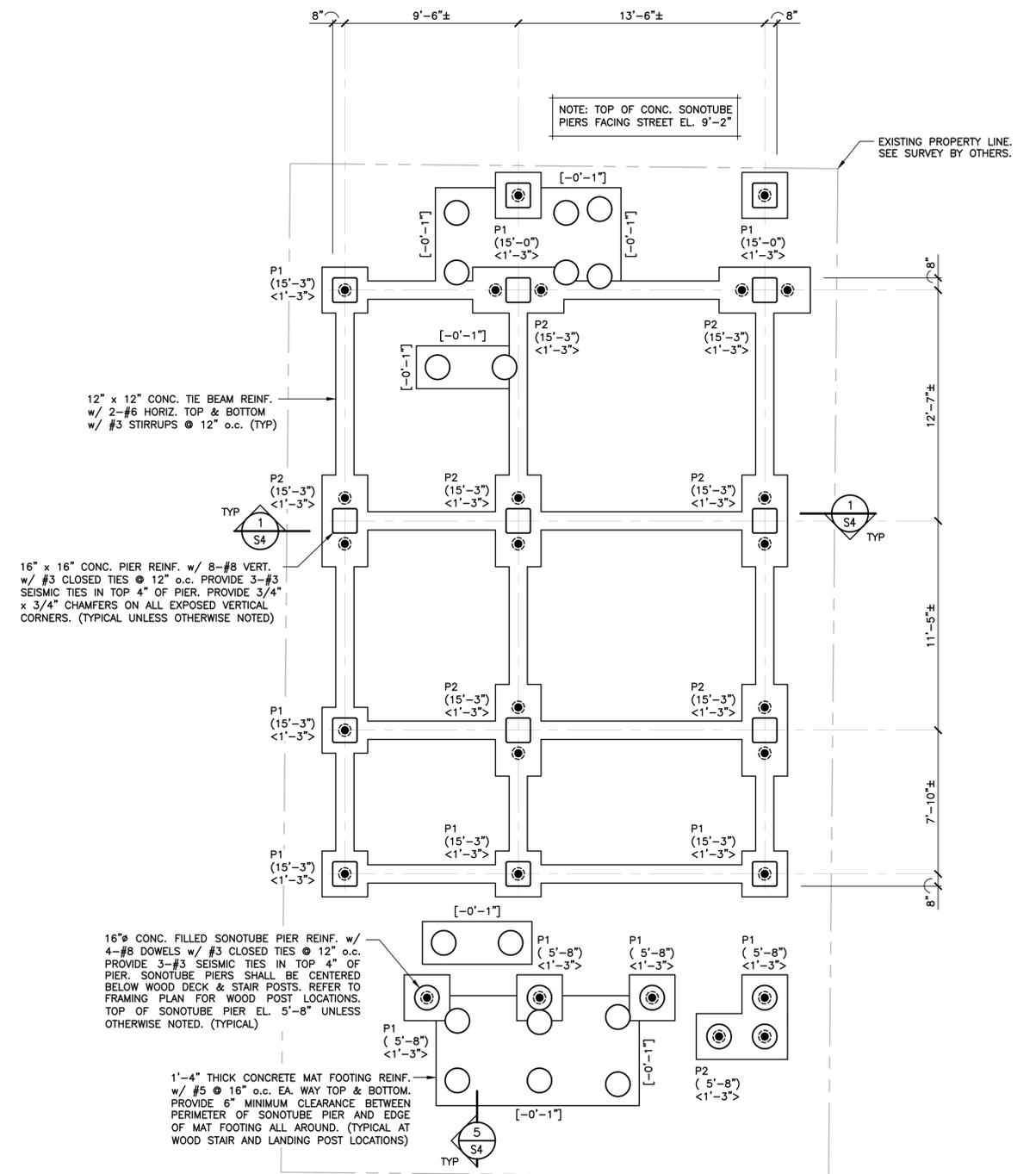
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THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND SEAL
 THOMAS A. TORRENTI, P.E.

FOUNDATION DESIGN		
EXISTING CONDITIONS PLAN & STRUCTURAL NOTES		
JOB NO.	DRAWING NUMBER	SHEET
33-262-1068	21514 S1-S4.dwg	S1



TYPICAL CONCRETE PILE CAP DETAILS
 SCALE: 1/2" = 1'-0"



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

LEGEND:

- P# PILE CAP MARK (SEE DETAILS THIS DWG)
- <...> EL. TOP OF CONC. PILE CAP
- (.....) EL. TOP OF CONC. PIER
- [.....] EL. BOTTOM OF CONC. MAT FOOTING
- DENOTES 10 TON (20 KIP) CAPACITY HELICAL PILE. FIELD VERIFY ALL HELICAL PILE LOCATIONS.



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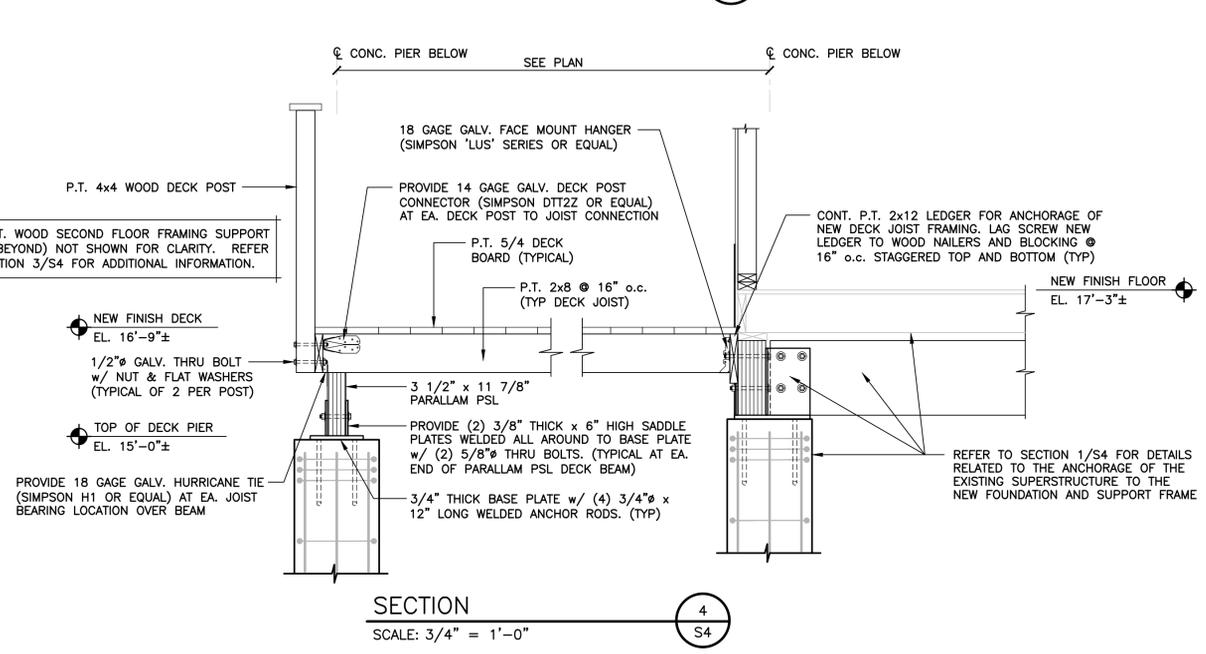
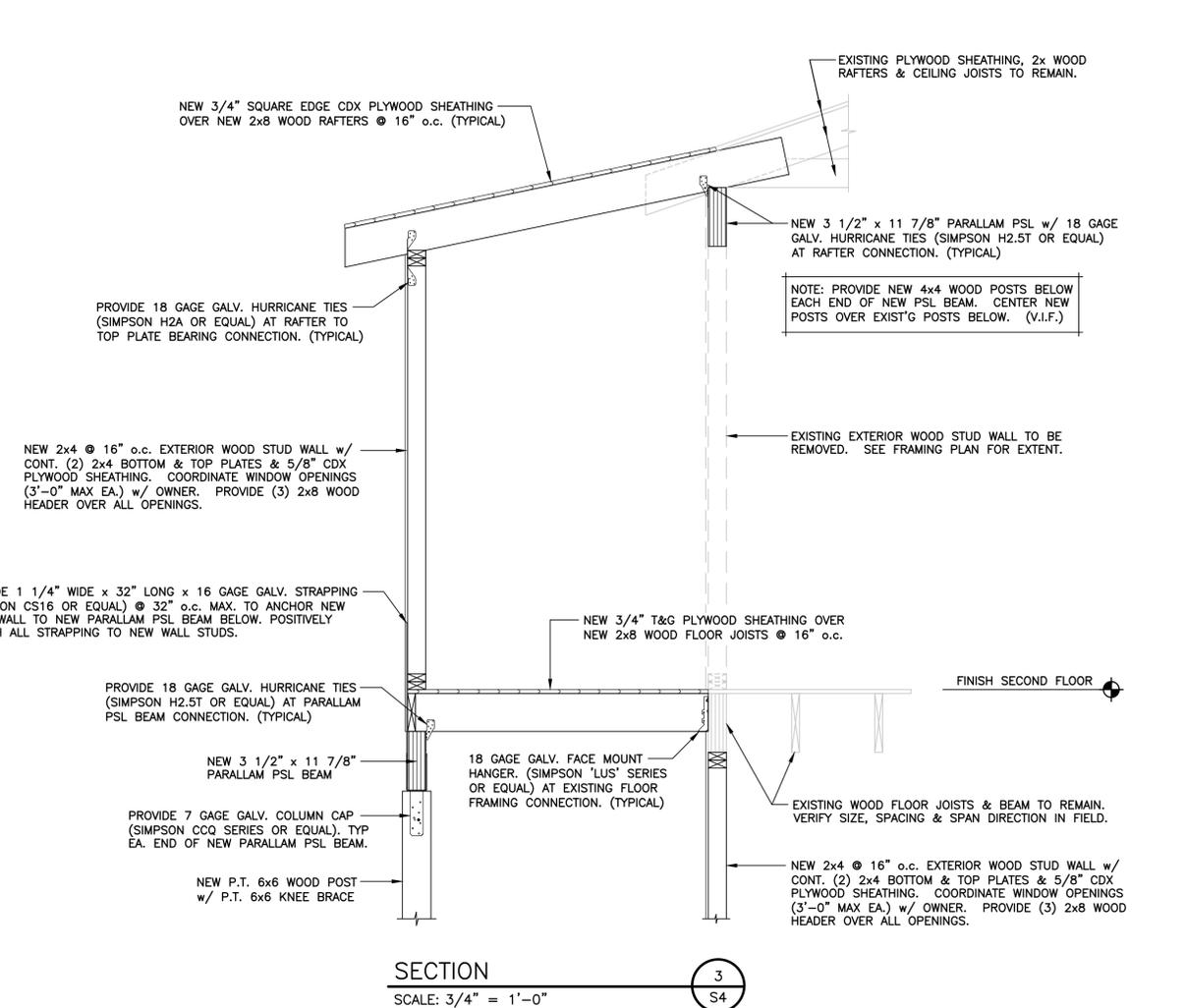
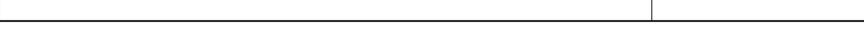
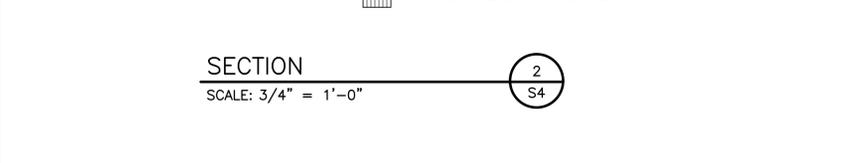
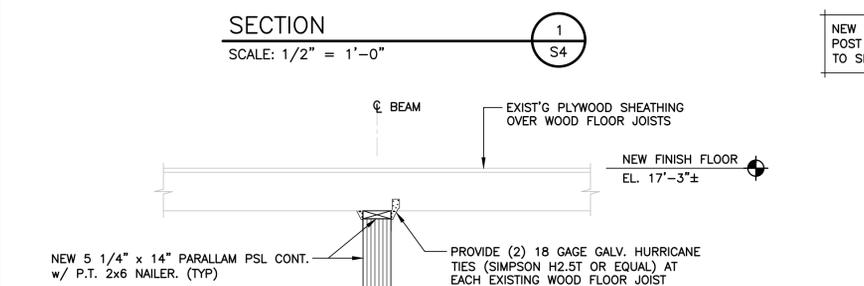
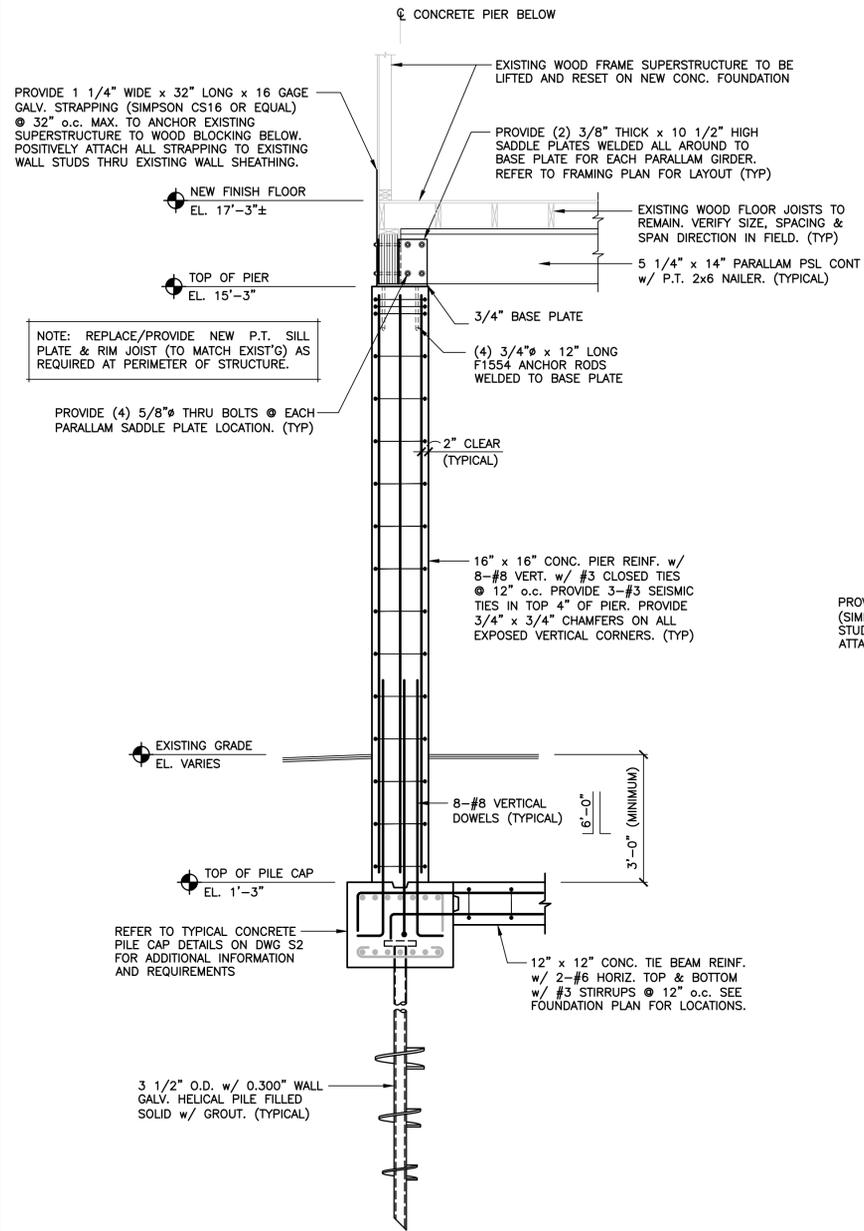
THOMAS A. TORRENTI, P.E.

FOUNDATION DESIGN

FOUNDATION PLAN & PILE CAP DETAILS

JOB NO.	DRAWING NUMBER	SHEET
33-262-1068	21514 S1-S4.dwg	S2





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CONSTRUCTION INSPECTION • GIS • WASTEWATER

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3	12/11/2015	ISSUED FOR BIDDING	DEB	TAT	TAT
2	10/29/2015	ISSUED FOR BIDDING	DEB	TAT	TAT
1	07/30/2015	ISSUED FOR CT DOH REVIEW AND APPROVAL	DEB	TAT	TAT

DRAWN BY: DEB CHECKED BY: TAT SCALE: AS NOTED DATE: 07/20/2015

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND SEAL

FOUNDATION DESIGN

SECTIONS

JOB NO.	DRAWING NUMBER	SHEET
33-262-1068	21514 S1-S4.dwg	S4

THOMAS A. TORRENTI, P.E.