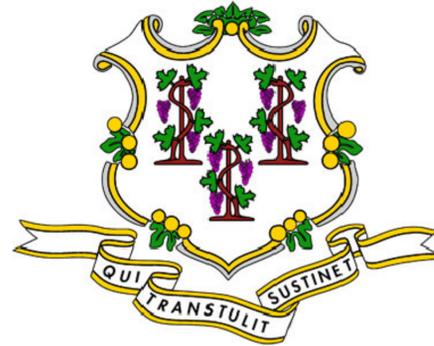


# SUPER STORM SANDY *Response and Recovery*

## STATE OF CONNECTICUT DEPARTMENT OF HOUSING COMMUNITY DEVELOPMENT BLOCK GRANT DISASTER RECOVERY PROGRAM

### OWNER OCCUPIED REHABILITATION AND REBUILDING PROGRAM (OORR)

GOVERNOR OF CONNECTICUT:  
DANNEL P. MALLOY



COMMISSIONER OF HOUSING:  
EVONNE M. KLEIN

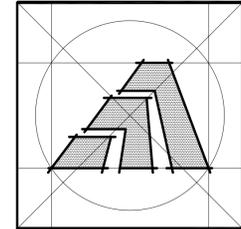
## APPLICATION NO. 1065

**DINAN RESIDENCE  
17 ORLAND STREET  
MILFORD, CONNECTICUT 06460**

**JULY 31, 2014**



ARCHITECT:



**Amaya Architects**

American Institute of Architects

284 RACEBROOK RD. TEL (203) 795 5656  
ORANGE, CT 06477 FAX (203) 799 3871

STRUCTURAL ENGINEER:

**ASCHETTINO ASSOCIATES, LLC**

325 MORGAN LANE  
WEST HAVEN, CT. 06516  
OFFICE: 203-933-3334  
FAX: 203-933-7824

M.E.P. ENGINEER:



Loureiro Engineering Associates, Inc.  
100 Northwest Drive  
Plainville, Connecticut 06062  
Phone: 860-747-6181 / Fax: 860-747-8822  
An Employee Owned Company  
email: info@loureiro.com  
Comm No. 01MH4.08

LAND SURVEYOR:

**PAUL J. STOWELL  
LAND SURVEYING SERVICES**

171 WILCOX ROAD  
MILFORD, CT. 06460  
OFFICE: 203-537-0046  
FAX: 203-799-8341

**GENERAL NOTES**

- SCOPE OF WORK INCLUDES: ELEVATE EXISTING HOUSE, ADD NEW REINF. CONC. FOUNDATION, ADD NEW DECK AND STAIRS, AND INTERIOR AND STRUCTURAL ALTERATIONS.
- THE WORK DESCRIBED IN THESE DOCUMENTS IS TO MEET HIGHEST QUALITY STANDARDS IN BOTH MATERIAL AND WORKMANSHIP. ANY SUBSTANDARD WORK WILL BE REJECTED.
- ALL WORK SHALL CONFORM TO THE MUNICIPALITY'S APPLICABLE BUILDING CODE, FIRE DEPT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE BUILDING DEPT, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES AS REQUIRED BY GOVERNING MUNICIPAL AGENCIES.
- THE CONTRACTOR SHALL VERIFY ALL DRAWING DIMENSIONS AND FIELD CONDITIONS, AND SHALL REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCING WORK.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWING.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH THE REQUIREMENTS OF LOCAL AUTHORITIES.
- THE CONTRACTOR SHALL LAYOUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR ALL OTHER TRADES (PLUMBING, ELECTRICAL, ETC.) IF APPLICABLE.
- PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGNING IF APPLICABLE.
- THE CONTRACTOR UPON COMPLETION OF JOB, SHALL APPLY FOR CERTIFICATE OF OCCUPANCY, AND SHALL ARRANGE FOR BUILDING DEPT INSPECTIONS AND SIGN-OFFS REQUIRED TO OBTAIN CERTIFICATE OF OCCUPANCY.
- MANUFACTURED ARTICLES ARE TO BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS IN ALL CASES. CONTRACTOR SHALL NOTIFY DESIGNER OF ANY CONDITIONS THAT IS IN CONFLICT WITH MANUFACTURER'S SPECIFICATIONS OR INSTRUCTIONS THAT MIGHT VOID A MANUFACTURER'S WARRANTY.
- THE CONTRACTOR SHALL ASSEMBLE IN A BINDER AND PASS ALONG TO THE OWNER ALL EQUIPMENT AND MATERIAL WARRANTIES THAT MAY EXTEND BEYOND THE BASE GUARANTEE PERIOD, AS WELL AS INSTALLATION AND MAINTENANCE INSTRUCTIONS IF APPLICABLE.
- NO SUBSTITUTIONS FOR MATERIALS SPECIFIED HEREIN SHALL BE PERMITTED WITHOUT PRIOR APPROVAL BY ARCHITECT.
- ARCHITECT AND ASSOCIATED CONSULTANTS DISCLAIMS ANY ACTUAL OR CONSEQUENTIAL DAMAGES ARISING FROM THIRD PARTY RELATIONSHIPS. THESE DRAWINGS DO NOT PROVIDE ALL OR ANY SPECIFIC DETAIL IN AREAS INCLUDING BUT NOT LIMITED TO NAILING, GLUING, CAULKING, FLASHING, PAINTING AND WATERPROOFING, OR CRAFTSMANSHIP. G.C. IS RESPONSIBLE TO PROVIDE PROPER SUPERVISED WORKMANSHIP.

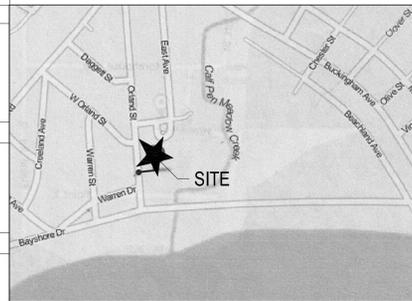
**ABBREVIATIONS**

AC AIR CONDITIONING	L LENGTH
ACU AIR CONDITIONING UNIT	LAM LAMINATE
AFF ABOVE FINISHED FLOOR	LAV LAVATORY
AHU AIR HANDLING UNIT	LBL LABEL
ALUM ALUMINUM	LBS POUNDS
ANOD ANODIZED	LH LEFT HAND
AT ACOUSTICAL TILE	LN FT LINEAR FEET
BD BOARD	LT LIGHT
BLDG BUILDING	LTG LIGHTING
BO BY OTHERS	MAS MASONRY
CAB CABINET	MAX MAXIMUM
CD CEILING DIFFUSER	MECH MECHANICAL
CFM CUBIC FEET PER MINUTE	MFR MANUFACTURE(R)
< CENTER LINE	MIN MINIMUM
CLG CEILING	MISC MISCELLANEOUS
CLL CONTRACT LIMIT LINE	MM MILLIMETER
CMU CONCRETE MASONRY UNIT	MO MASONRY OPENING
COL COLUMN	MTD MOUNTED
CONC CONCRETE	MTL METAL
CONST CONSTRUCTION	MULL MULLION
CONT CONTINUOUS	MW MILLWORK
CPT CARPET(ED)	NA NOT APPLICABLE
CS COUNTER SINK	NIC NOT IN CONTRACT
CT CERAMIC TILE	NO NUMBER
CNT COUNTER	NOM NOMINAL
CU FT CUBIC FEET	NTS NOT TO SCALE
CU IN CUBIC INCHES	OC ON CENTER
CW COLD WATER (CITY)	OD OUTSIDE DIAMETER
D DEPTH	OPNG OPENING
DEMO DEMOLITION	OPP OPPOSITE
DET DETAIL	PART PARTITION
DF DRINKING FOUNTAIN	PL PLATE
DHW DOMESTIC HOT WATER	PL LAM PLASTIC LAMINATE
DIAG DIAGONAL	PLBG PLUMBING
DIAM DIAMETER	PLYWD PLYWOOD
DIM DIMENSION	PNL PANEL
DN DOWN	PNT PAINT
DR DOOR	PT POINT
	QT QUARRY TILE
DS DOOR STOP	R RISE(R)
DW DISH WASHER	RA RETURN AIR
DWG DRAWING	RAD RADIUS
DWR DRAWER	RD ROOF DRAIN
EA EACH	REF REFERENCE
EF EXHAUST FAN	REINF REINFORCE
EH ELECTRIC HEATER	REM REMOVE
EL.ELEV. ELEVATION	REQD REQUIRED
ELEC ELECTRIC	REV REVISION
EMER EMERGENCY	RH RIGHT HAND
ENG ENGINEER	RM ROOM
EP ELECTRIC PANEL	RO ROUGH OPENING
EQ EQUAL	RPM REVOLUTIONS PER MINUTE
EQUIP EQUIPMENT	SA SUPPLY AIR
EXIST'G EXISTING	SC SOLID CORE
EXP EXPANSION	SHT SHEET
EXT EXTERIOR	SIM SIMILAR
FACT FIN FACTORY FINISH	SP SPEAKER
FBO FURNISHED BY OTHERS	
FE FIRE EXTINGUISHER	SPEC(S) SPECIFICATION(S)
FEC FIRE EXTINGUISHER CABINET	SQ SQUARE
FEE FINISH FLOOR ELEVATION	SQ FT SQUARE FOOT (FEET)
FIN FINISHED	SQ IN SQUARE INCH
FL FLUORESCENT	SS STAINLESS STEEL
FPF FACE OF FINISH	ST STREET
FP FIRE PROOFING	STL STEEL
FPSC FIRE PROOF SOLID CORE	STD STANDARD
FR FIRE RESISTANT	SUSP SUSPENDED
FS FULL SCALE	SYM SYMMETRY(ICAL)
FT FEET	SYS SYSTEM
FTR FINNED TUBE RADIATION	T & G TONGUE & GROOVE
GA GALISE	TEL TELEPHONE
GC GENERAL CONTRACTOR	TEMP TEMPERATURE
GL GLASS	THERM THERMOSTAT
GWB GYPSUM WALLBOARD	THK THICKNESS
HC HOLLOW CORE	THRU THROUGH
HD HEAVY DUTY	TOS TOP OF SLAB
HDW HARDWARE	TR TREAD
HDWD HARDWOOD	TST TOP OF STEEL
HM HOLLOW METAL	TV TELEVISION
HOR HORIZONTAL	TYP TYPICAL
HR HOUR	UON UNLESS OTHERWISE NOTED
HT HEIGHT	V VOLTS
HTG HEATING	VAC VACUUM
HVAC HEATING, VENT, AIR COND.	VCT VINYL COMPOSITE TILE
HWH HOT WATER HEATER	VERT VERTICAL
ID INSIDE DIAMETER	VIF VERIFY IN FIELD
IN INCH	W WIDTH
INCL INCLUDE(ING)	W/O WITHOUT
INFO INFORMATION	WB WOOD BASE
INSUL INSULATION	WC WATER CLOSET
INTR INTERIOR	WD WOOD
INV INVERT	WP WATERPROOF
IRC INTERNATIONAL RESIDENTIAL CODE	WPT WORKING POINT
J-BOX JUNCTION BOX	WR WATER RESISTANT
JT JOINT	WT WEIGHT
KNOCK OUT	YD YARD
KPL KICKPLATE	

**LIST OF DRAWINGS**

ARCHITECTURAL DRAWINGS	STRUCTURAL DRAWINGS
CS COVERSHEET	S-101 FOUNDATION AND FIRST FLOOR PLAN
T-1 TITLE SHEET: GENERAL NOTES, DRAWING LIST, APPLICABLE CODES, SITE MAP, SYMBOL LEGEND, ETC.	S-201 SECTION AND TYPICAL DETAILS
Ex-1 EXISTING PLANS	S-301 NOTES
Ex-2 EXISTING ELEVATIONS	
Ex-3 EXISTING SECTION	
C-1 ARCHITECTURAL SITE PLAN	
R-1 REMOVAL PLANS	
A-1 PROPOSED FOUNDATION PLAN	
A-2 PROPOSED FIRST FLOOR PLAN, ROOF PLAN, AND ATTIC FRAMING PLAN	
A-3 PROPOSED ELEVATIONS	
A-4 PROPOSED SECTION AND DETAILS	
A-5 ENLARGED PLANS, INT. ELEVATIONS, DOOR SCHEDULES AND DETAILS	

**LOCATION MAP**



**BUILDING DESIGN DATA**

GROUP R-3 FOR SINGLE FAMILY (3) STORY DWELLING	FLOOD ZONE - AE 11:
BUILDING CATEGORY: II	REQUIRED: DFE = 11.00' + 1'-0" FREEBOARD x 1.25 (500-YEAR FLOOD ELEVATION)
CONSTRUCTION TYPE: V	PROPOSED: DFE = 14.75' (TOP OF FOUNDATION)
PROPOSED BUILDING MEAN HEIGHT 21'-1" +/-	PROPOSED: DFE = 16.71' (TOP OF FINISH FLOOR)
WIND SPEED 100 MPH [PER IRC 209 AND 2013 CT AMENDMENTS(AMD)]	DESIGNED FOR 500-YEAR FLOOD BASED ON SHPO & NFIP REGULATORY REQUIREMENTS:
WIND IMPORTANCE FACTOR - (Iw)=1.49 - PER TABLE R301.2(3)	FLOOD PLAIN MANAGEMENT REGULATIONS BY LOCAL JURISDICTION AND PER
WIND EXPOSURE - "C"	LATEST FIRM FLOOD MAPS & CONSENSUS STANDARDS

**APPLICABLE CODES**

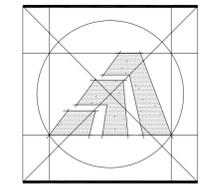
APPLICABLE CODES: 2009 INTERNATIONAL RESIDENTIAL CODE AND CT 2013 AMENDMENTS.	
PER SECTION R301 - DESIGN CRITERIA -	PER SECTION R311 - MEANS OF EGRESS -
R301.1 APPLICATION / MEETS REQUIREMENTS	R311.1 - MEANS OF EGRESS / N/A (EXISTING)
R301.2 - CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA / MEETS REQUIREMENTS	R311.2 - EGRESS DOOR / N/A (EXISTING)
R301.2.1 (AMD) - WIND LIMITATIONS / MEETS REQUIREMENTS	R311.3.1 - FLOOR ELEVATIONS AT THE REQUIRED EGRESS DOOR / N/A (EXISTING)
TABLE R301.2.1(1) (AMD) - CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA:	PER SECTION R312 - GUARDS -
(AMD) - GROUND SNOW LOAD - 30 LBS PSF / PROVIDED	R312.1 - WHERE REQUIRED / PROVIDED
(AMD) - WIND SPEED (MPH) - 100 MPH PER APPENDIX R / MEETS REQUIREMENTS	R312.2 - HEIGHT / MEETS REQUIREMENTS
(AMD) - SEISMIC DESIGN CATEGORY - CATEGORY B - (N/A)	R312.3 - OPENING LIMITATIONS / MEETS REQUIREMENTS
(AMD) - FLOOD HAZARD - AE	PER SECTION R313 - AUTOMATIC FIRE SPRINKLER SYSTEM -
(AMD) - SUBJECT TO DAMAGE - FROST LINE DEPTH - 42 INCHES / PROVIDED	R313.2 (AMD) - ONE AND TWO FAMILY DWELLINGS AUTOMATIC FIRE SPRINKLER SYSTEM / N/A (EXISTING)
R301.2(2) - COMPONENT AND GLAZING LOADS:	PER SECTION R314 - SMOKE ALARM:
Roof Zone 1, 2, & 3 - W/ 100 MPH - WIND = 24.59 / -31.29 PRESSURE MAX. (50 D.P. PROVIDED)	R314 - SMOKE ALARMS (PROVIDED)
Wall Zone 4 - W/ 100 MPH - WIND = +26.82 / -29.05 PRESSURE MAX. (50 D.P. PROVIDED)	R314.4 (AMD) - POWER SOURCE (MEETS REQUIREMENTS)
Wall Zone 5 - W/ 100 MPH - WIND = 26.82 / -35.9 PRESSURE MAX. (50 D.P. PROVIDED)	PER SECTION R315 - CARBON MONOXIDE ALARM:
R301.2(3) - HEIGHT AND EXPOSURE COEFFICIENTS FOR TABLE R301.2(2):	R315.1 (AMD) - CARBON MONOXIDE ALARMS (PROVIDED)
1.49 ADJUSTMENT PROVIDED	PER SECTION R316 - FOAM PLASTIC:
R301.2.1.4 (AMD) - EXPOSURE CATEGORY / EXPOSURE C	R316.4 - THERMAL BARRIER / N/A
R301.4 - DEAD LOADS & R301.5 - LIVE LOADS -	PER SECTION R317 - PROTECTION OF WOOD AND WOOD BASED PRODUCTS AGAINST DECAY:
ATTIC FLOOR: 10 PSF DL / 20 PSF SL / PROVIDED ONLY FOR NEW MECH. AREA.	R317.1 - LOCATION REQUIRED (MEETS REQUIREMENTS)
SECOND / MAIN FLOOR: 10 PSF DL / 40 PSF LL / NEW FLOOR BEAMS PROVIDED	PER SECTION R318 - PROTECTION AGAINST SUBTERRANEAN TERMITES:
DECK FLOOR: 10 PSF DL / 40 PSF LL / PROVIDED	R318.1 - SUBTERRANEAN TERMITE CONTROL METHODS (METHOD #3 PROVIDED)
R301.6 (AMD) - ROOF LOAD - EXISTING	PER SECTION R319 - SITE ADDRESS:
R301.7 - ALLOWABLE DEFLECTION / N/A	R319.1 - ADDRESS NUMBERS (MEETS REQUIREMENTS)
PER SECTION R302 - FIRE-RESISTANT CONSTRUCTION:	PER SECTION R320 - ACCESSIBILITY:
R302.1 (AMD) - EXTERIOR WALLS - MINIMUM FIRE SEPERATION / EXISTING WALLS - NO RATING REQUIRED	R320.1 - SCOPE (NOT REQUIRED / NOT PROVIDED)
NEW DECKS AND STAIRS / MEET 5'-0" REQUIREMENTS - NO RATING REQUIRED	PER SECTION R321 - ELEVATORS AND PLATFORM LIFTS:
PER SECTION R303 - LIGHT, VENTILATION AND HEATING / MEETS REQUIREMENTS	(NOT REQUIRED / NOT PROVIDED)
PER SECTION R304 - MINIMUM ROOM AREAS / MEETS REQUIREMENTS	PER SECTION R322 - FLOOD-RESISTANT CONSTRUCTION:
PER SECTION R305 - CEILING HEIGHTS / MEETS REQUIREMENTS	R322.1 - GENERAL (COMPLIES)
PER SECTION R306 - SANITATION / MEETS REQUIREMENTS (BACKFLOW VALVE PROVIDED)	R322.1.2 - STRUCTURAL SYSTEM (PROVIDED)
PER SECTION R307 - TOILET, BATH AND SHOWER SPACES / MEETS REQUIREMENTS	R322.1.3 - FLOOD-RESISTANT CONSTRUCTION (MEETS REQUIREMENTS)
PER SECTION R308 - GLAZING -	R322.1.4 - ESTABLISHING THE DESIGN FLOOD ELEVATION - 100-YEAR REQUIRED (AE 11' + 1'-0" FREEBOARD)
R308.4 - HAZARDOUS LOCATIONS / TEMPERED WINDOWS PROVIDED	R322.1.4.1 - DETERMINATION OF THE DESIGN FLOOD ELEVATION (500-YEAR FLOOD PROVIDED)
PER SECTION R309 - GARAGES -	R322.1.5 - LOWEST FLOOR (EXCEEDS MIN. REQUIREMENTS)
R309.1 - FLOOR SURFACE / MEETS REQUIREMENTS	R322.1.6 - PROTECTION OF MECHANICAL AND ELECTRICAL (PROVIDED)
R309.3 - FLOOD HAZARD AREAS / MEETS REQUIREMENTS	R322.1.7 - PROTECTION OF WATER SUPPLY AND SANITARY SEWAGE SYSTEMS (PROVIDED)
R309.4 - AUTOMATIC GARAGE DOOR OPENERS / MEETS REQUIREMENTS	R322.1.8 - FLOOD RESISTANT MATERIALS (PROVIDED)
PER SECTION R310 - EMERGENCY ESCAPE AND RESCUE OPENINGS -	R322.1.10 - AS-BUILT ELEVATION DOCUMENTATION (PROVIDED)
R310.1 - EMERGENCY ESCAPE AND RESCUE REQUIRED / N/A (EXISTING)	R322.2.1 - ELEVATION REQUIREMENTS (PROVIDED)
R310.1.1 - MINIMUM OPENING AREA / PROVIDED IN EACH BEDROOM 5.7 REQ'D / N/A (EXISTING)	R322.2.2 - ENCLOSED AREA BELOW DESIGN FLOOD ELEVATION (MEETS #1 REQUIREMENTS)

**PROJECT DATA**

OWNER:	DEBORAH A. DINAN 17 ORLAND ST. MILFORD, CONNECTICUT 06460
SITE LOCATION:	17 ORLAND ST. MILFORD, CONNECTICUT 06460

**LEGEND**

	GRAVEL
	CONCRETE
	MORTAR, GROUT
	STEEL
	FRAMING LUMBER
	HARDWOOD
	PLYWOOD
	BATT INSULATION
	GYPSUM WALLBOARD
	KEY NOTE
	DETAIL DRAWING NO.
	BUILDING SECTION
	WALL SECTION
	SECTION DETAIL
	COLUMN GRID
	PLAN / WALL DETAIL
	INTERIOR ELEVATION DRAWING NO.
	DATUM POINT (ELEVATION)
	DOOR NUMBER
	WINDOW NUMBER
	PARTITION TYPE
	REVISION FLAG
	REFERENCE KEY
	REMOVAL NOTE
	ROOM NUMBER
	EQUIPMENT TYPE
	CABINET TYPE
	C.O.D. CARBON MONOXIDE DETECTOR
	S.D. SMOKE DETECTOR (HARD WIRE)
	H.D. HEAT DETECTOR (HARD WIRE)
	CEILING FAN/LIGHT



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Sheet Title:

**TITLE SHEET**

APPLICATION # 1065

**DINAN RESIDENCE**  
17 Orland Street  
Milford, Connecticut 06460

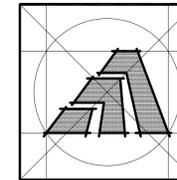
**STATE OF CONNECTICUT**  
**DEPARTMENT OF HOUSING**  
**COMMUNITY DEVELOPMENT BLOCK GRANT**  
**DISASTER RECOVERY PROGRAM**  
OWNER OCCUPIED REHABILITATION  
AND REBUILDING PROGRAM (OORR)

Date: 07/31/2014

Project Number: 1065  
Drawn By: J.V.L.

Sheet Number:  
**T1**





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Sheet Title:  
EXISTING ELEVATIONS

APPLICATION # 1065

DINAN RESIDENCE  
17 Orland Street  
Milford, Connecticut 06460

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DEPARTMENT OF HOUSING  
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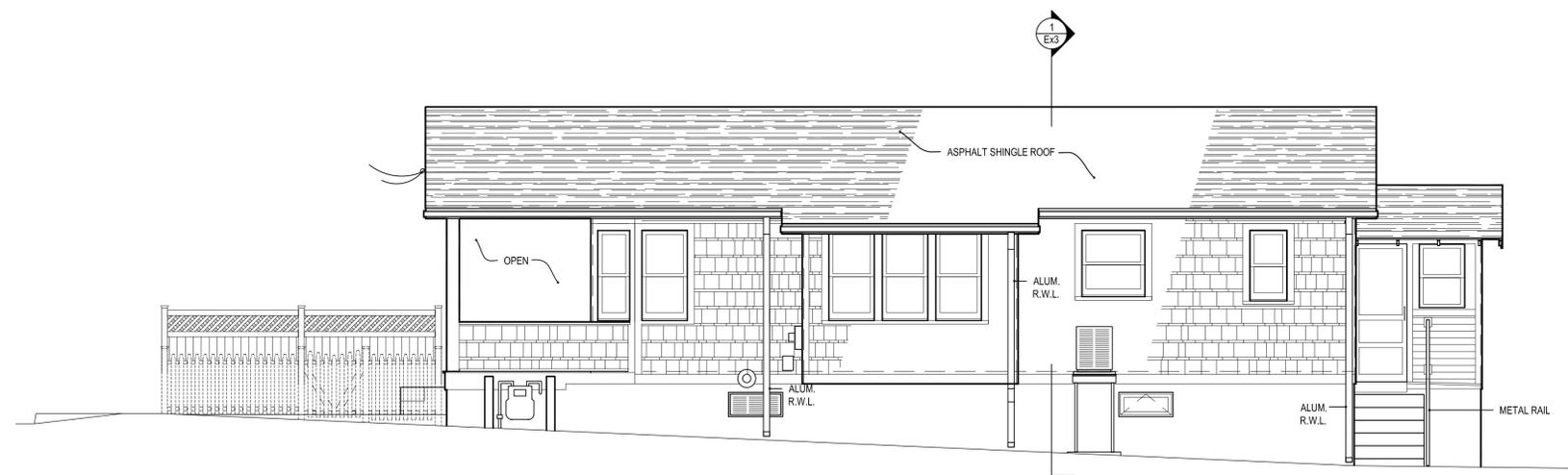
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Sheet Number:

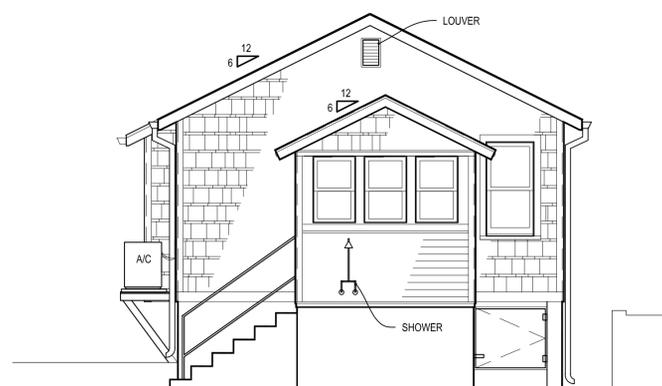
Ex2



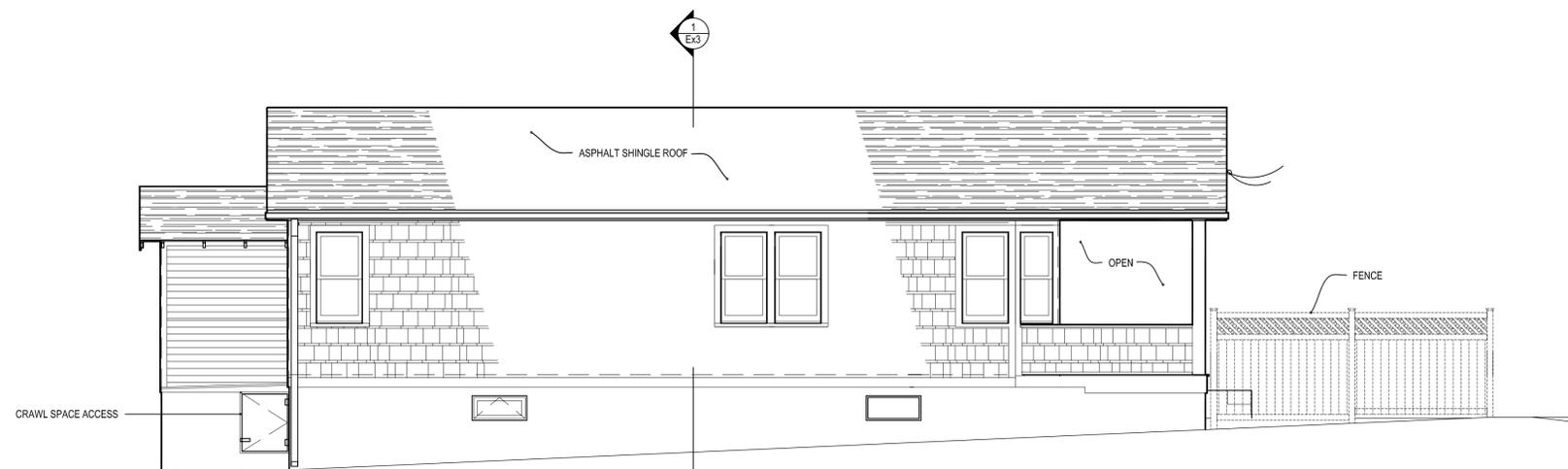
1  
Ex2 SCALE: 1/4" = 1'-0"



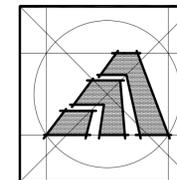
2  
Ex2 EXISTING RIGHT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



3  
Ex2 EXISTING REAR ELEVATION  
SCALE: 1/4" = 1'-0"



4  
Ex2 EXISTING LEFT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



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Sheet Title:  
**PROPOSED  
ARCHITECTURAL SITE PLAN**

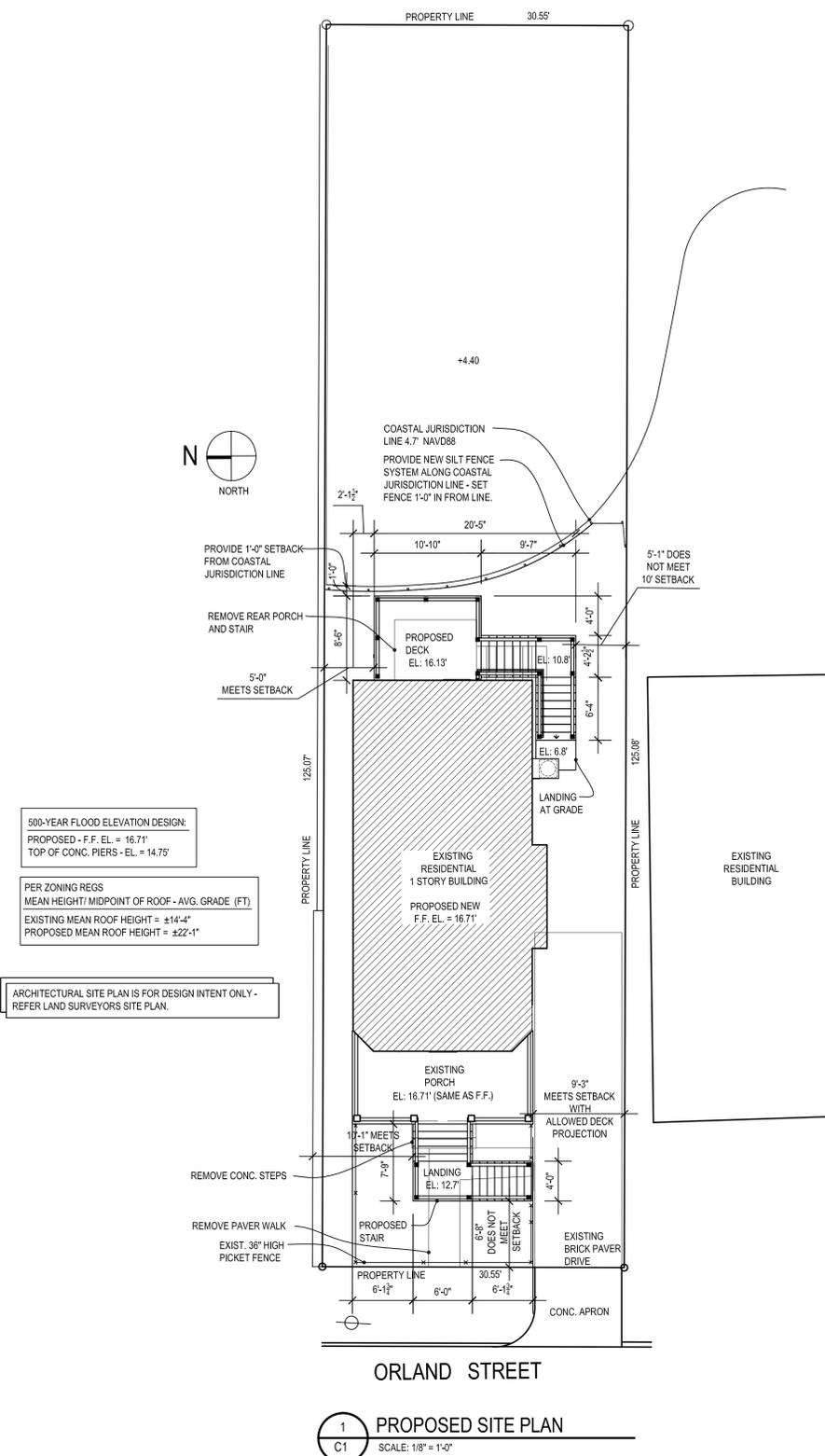
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AND REBUILDING PROGRAM (OORR)**

Date: 07/31/2014

Project Number: 1065  
Drawn By: J.V.L.

Sheet Number:  
**C1**

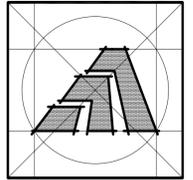


500-YEAR FLOOD ELEVATION DESIGN:  
PROPOSED - F.F. EL. = 16.71'  
TOP OF CONC. PIERS - EL. = 14.75'

PER ZONING REGS  
MEAN HEIGHT/ MIDPOINT OF ROOF - AVG. GRADE (FT.)  
EXISTING MEAN ROOF HEIGHT = ±14'-4"  
PROPOSED MEAN ROOF HEIGHT = ±22'-1"

ARCHITECTURAL SITE PLAN IS FOR DESIGN INTENT ONLY -  
REFER LAND SURVEYORS SITE PLAN.

**1**  
**C1** PROPOSED SITE PLAN  
SCALE: 1/8" = 1'-0"



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Sheet Title:  
**EXISTING SECTION**

APPLICATION # 1065

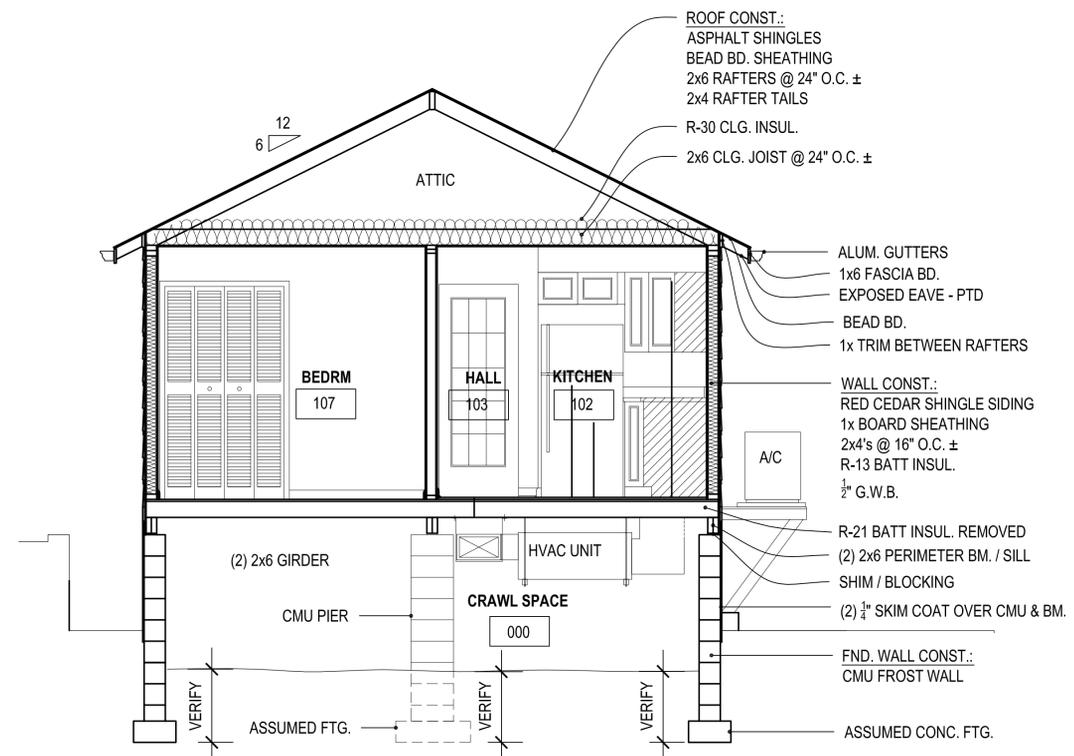
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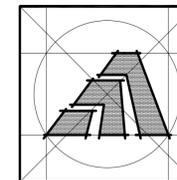
Date: 07/31/2014

Project Number: 1065  
Drawn By: J.V.L.

Sheet Number:  
**Ex3**



**1** EXISTING BUILDING SECTION  
Ex3 SCALE: 1/4" = 1'-0"



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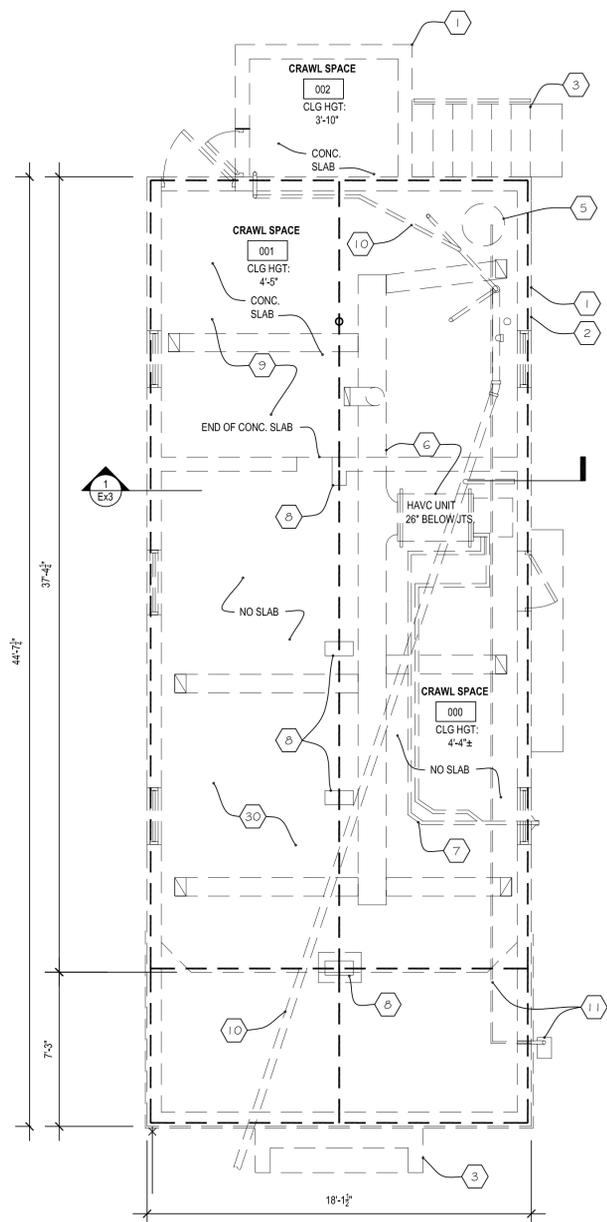
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**REMOVAL TAG LEGEND**

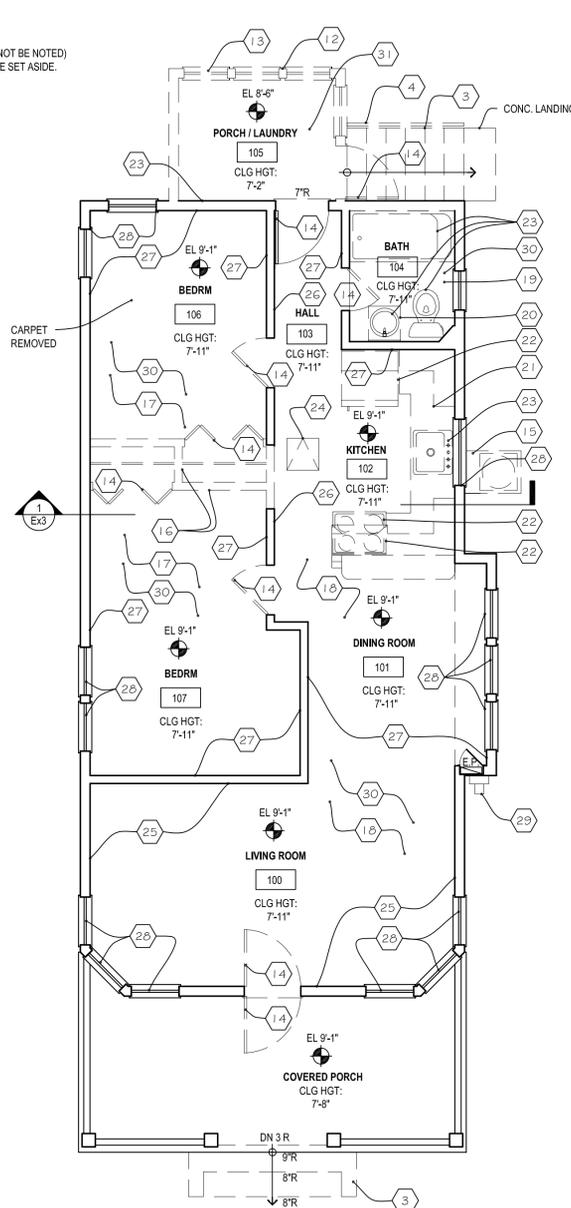
ELECTRICAL AND PLUMBING MISC. NOT DENOTED  
ALL UTILITIES SHALL BE LOCATED AND DISCONNECTED PRIOR TO COMMENCING WORK.  
ALL SHORING SHALL BE IN PLACE PRIOR TO REMOVAL OF STRUCTURAL ELEMENTS.

- |                                      |  |  |  |
|--------------------------------------|--|--|--|
| 1 CMU FOUNDATION WALL AND CONC. FTG. | 10 DRAIN PIPE  | 19 TILE & UNDERLAYMENT   | 27 48" OF G.W.B. AND BASE TRIM   |
| 2 PERIMETER WD. BEAM                 | 11 GAS LINE & METER (TO BE RELOCATED SEE MECH. DRAWINGS) | 20 18" VANITY  | 28 WINDOW TRIM ONLY - TO FACILITATE THE REPLACEMENT OF INSULATION, G.W.B., AND BEAD BOARD AS REQ'D     |
| 3 CONCRETE STEPS                     | 12 EXTERIOR WD. STUD WALL SYSTEM                         | 21 KITCHEN CABINETS & COUNTERS   | 29 ELECTRICAL METER (TO BE RELOCATED SEE ELECTRICAL DRAWINGS)  |
| 4 WROUGHT IRON RAILING               | 13 WINDOWS   | 22 APPLIANCES: 28" REF., 30" RANGE AND VENT HOOD                                   | 30 ALL ELECTRICAL WIRING EXTENDING UP TO 48" ABOVE THE EXISTING FIRST FLOOR - SEE ELECTRICAL DRAWINGS. |
| 5 WATER HEATER                       | 14 DOOR, FRAME AND TRIM                                  | 23 PLUMBING / FIXTURES - SET ASIDE FOR REUSE OR REPLACE TO MATCH EXISTING.         | 31 WOOD FLOOR SYSTEM: JOIST AND 1x T&G FIR DECKING.  |
| 6 FURNACE & DUCTS                    | 15 AC PLATFORM   | 24 ATTIC ACCESS (SEE ATTIC FLOOR PLAN FOR NEW OPENING)                             | 32 ENTIRE ROOF SYSTEM: ASPHALT SHINGLES, 1x SHEATHING, AND RAFTERS                                     |
| 7 FURNACE PVC VENT PIPE              | 16 INTERIOR WD. STUD WALL SYSTEM                         | 25 FULL WALL HT. BEAD BOARD, AND HALF WALL OF G.W.B. AND INSULATION. ALL BASE TRIM |  |
| 8 CMU PIERS & CONC. FTG.             | 17 CARPET / NAIL STRIPS                                  | 26 36" HIGH BEAD BOARD, G.W.B. AND CHAIR RAILTRIM                                  |  |
| 9 CONCRETE SLAB                      | 18 LAMINATED FLOATING WOOD FLOORING                      |  |  |

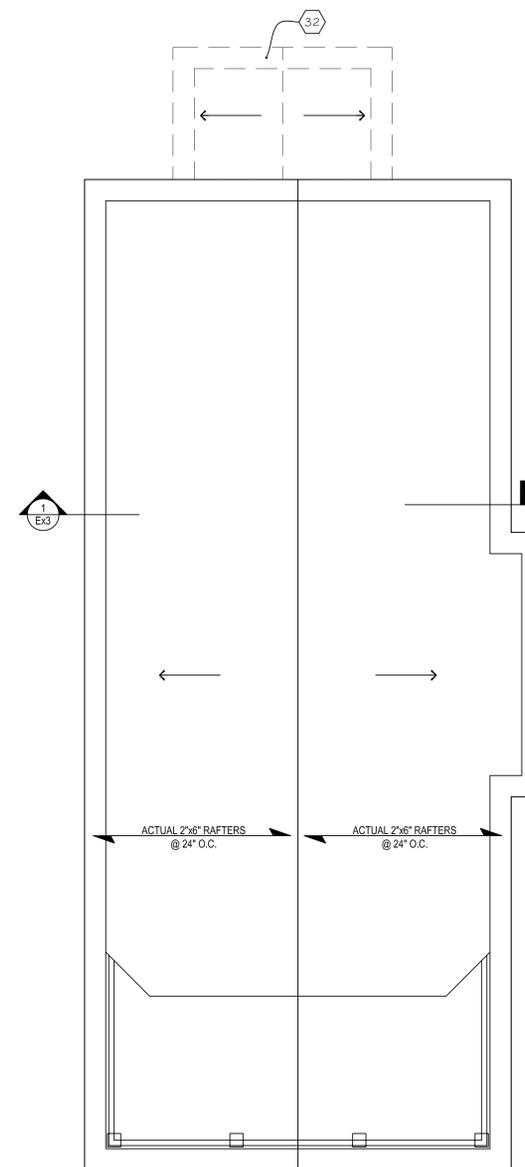
**LEGEND**  
 [Solid Line] EXISTING  
 [Dashed Line] REMOVED (MISC. ITEMS MAY NOT BE NOTED) VERIFY WITH G.C. ITEMS TO BE SET ASIDE.



**1 BASEMENT REMOVAL PLAN**  
SCALE: 1/4" = 1'-0"



**2 FIRST FLOOR REMOVAL PLAN**  
SCALE: 1/4" = 1'-0"



**2 ROOF REMOVAL PLAN**  
SCALE: 1/4" = 1'-0"

Sheet Title:  
**REMOVAL PLANS**

APPLICATION # 1065

**DINAN RESIDENCE**  
17 Orland Street  
Milford, Connecticut 06460

**STATE OF CONNECTICUT  
DEPARTMENT OF HOUSING  
COMMUNITY DEVELOPMENT BLOCK GRANT  
DISASTER RECOVERY PROGRAM  
OWNER OCCUPIED REHABILITATION  
AND REBUILDING PROGRAM (OORR)**

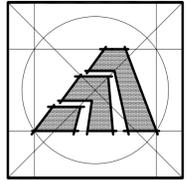
Date: 07/31/2014

Project Number: 1065  
Drawn By: J.V.L.

Sheet Number:  
**R1**







**Amaya Architects**  
American Institute of Architects

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ORANGE, CT 06477 FAX: (203) 799 3871

Sheet Title:  
PROPOSED ELEVATIONS

APPLICATION # 1065

DINAN RESIDENCE  
17 Orland Street  
Milford, Connecticut 06460

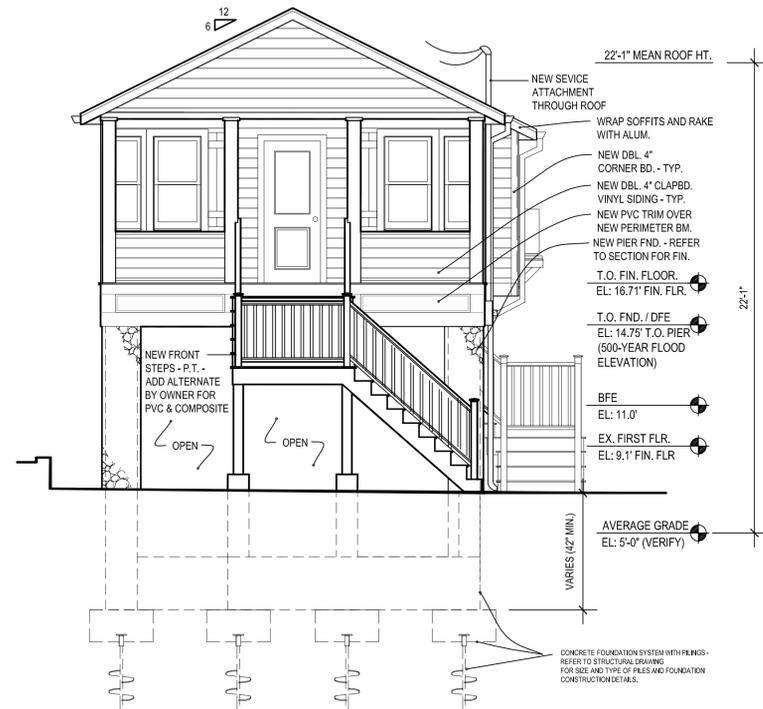
STATE OF CONNECTICUT  
DEPARTMENT OF HOUSING  
COMMUNITY DEVELOPMENT BLOCK GRANT  
DISASTER RECOVERY PROGRAM  
OWNER OCCUPIED REHABILITATION  
AND REBUILDING PROGRAM (OORP)

Date: 07/31/2014

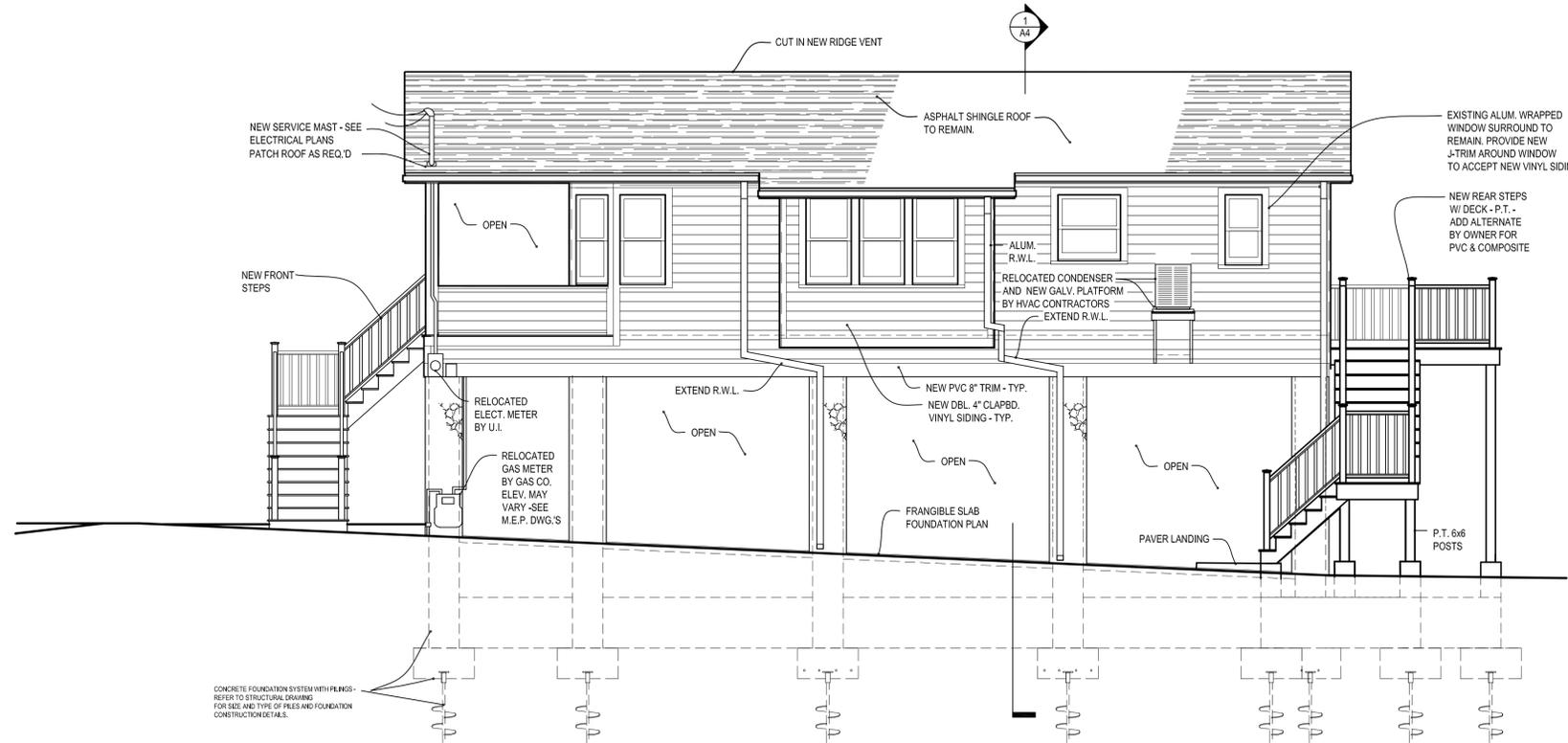
Project Number: 1065  
Drawn By: J.V.L.

Sheet Number:

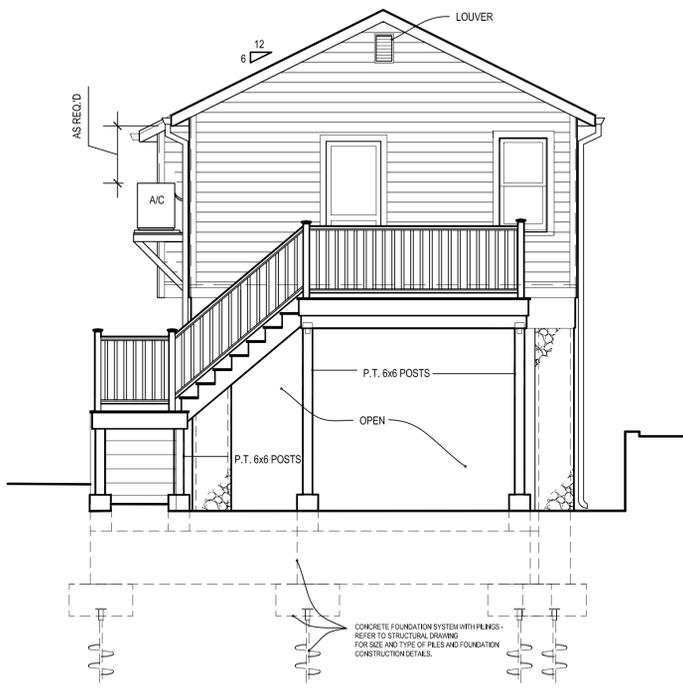
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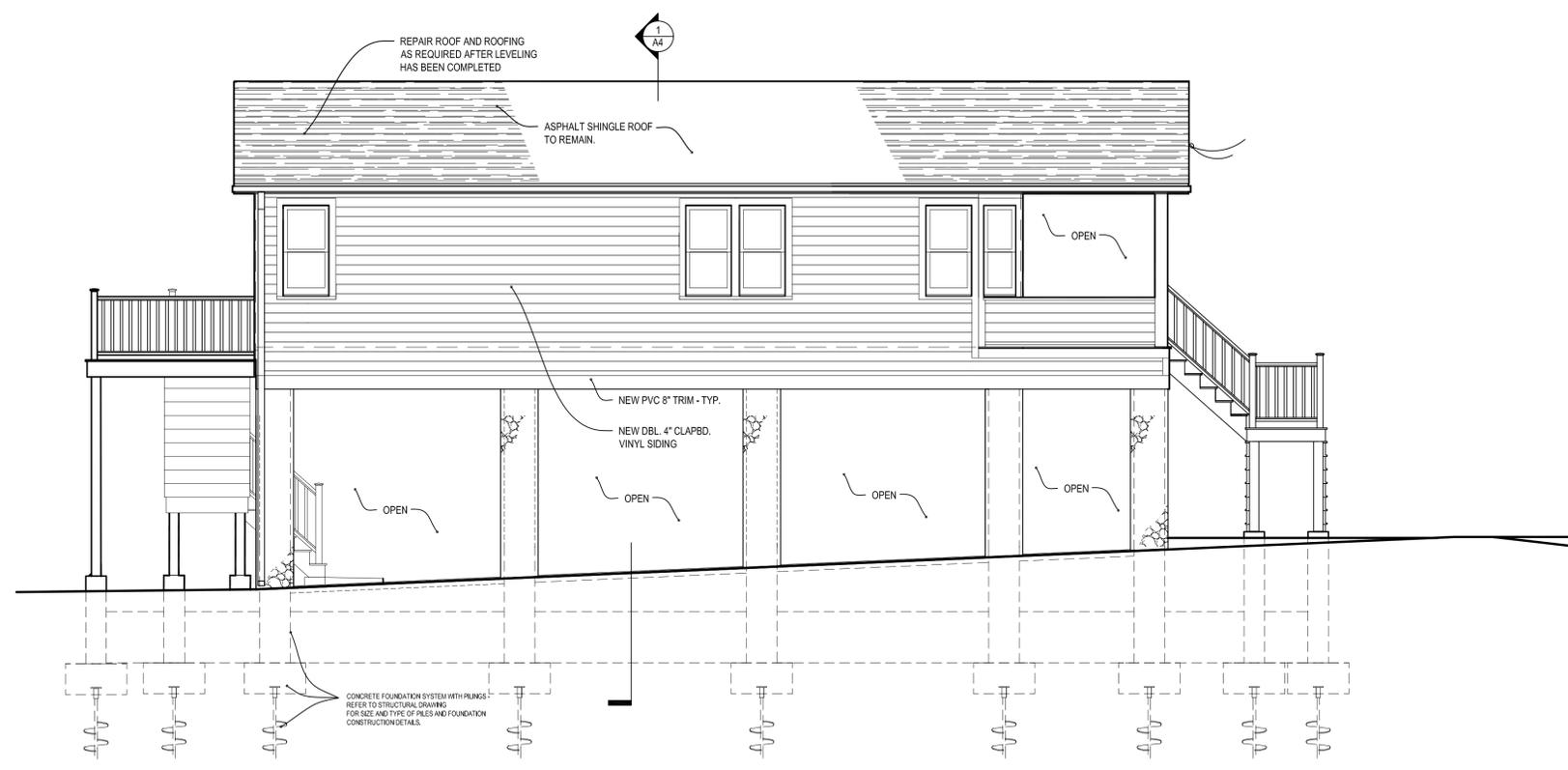
1 EXISTING FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



2 EXISTING RIGHT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

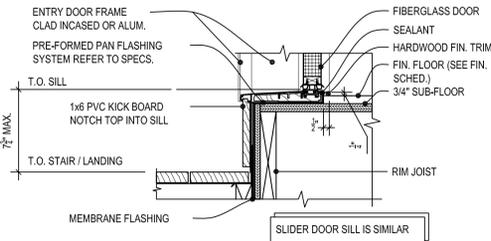


3 EXISTING REAR ELEVATION  
SCALE: 1/4" = 1'-0"

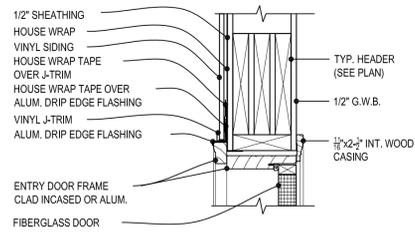


4 EXISTING LEFT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

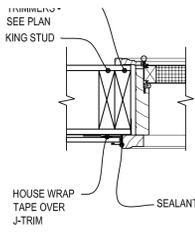




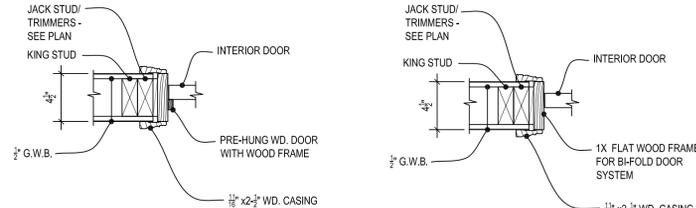
**1 EXT. DOOR SILL DETAIL**  
SCALE: 1-1/2" = 1'-0"



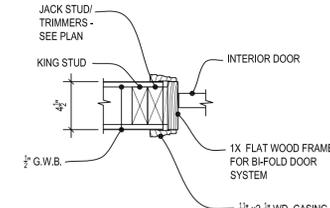
**2 EXT. HEAD DETAIL**  
SCALE: 1-1/2" = 1'-0"



**3 EXT. JAMB DETAIL**  
SCALE: 1-1/2" = 1'-0"



**4 INT. JAMB DETAIL**  
SCALE: 1-1/2" = 1'-0" (HEAD SIM.)



**5 INT. JAMB DETAIL**  
SCALE: 1-1/2" = 1'-0" (HEAD SIM.)

FINISH SCHEDULE		MISC. ABBREVIATIONS		COLORS BY FAMILY		NOTE:		
PTD - PAINTED	CT - CERAMIC TILE	WARM - WARM NEUTRAL	1. ALL CEILINGS SHALL BE PRIMED AND PAINTED FLAT WHITE.	2.1. ALL WINDOW AND DOOR CASING SHALL BE PRIMED & PAINTED (MATCH COLOR).				
NP - NOT PAINTED	STD - STAINLESS	GREEN - GREENS						
WA - NOT APPLICABLE	LWD - LAMINATED WOOD	BLUE - BLUES						
LWD - HARDWOOD (W/ WHITE GRAIN)	CGT. BG. - CEMENT BOARD							
CGT. BG. - CEMENT BOARD								

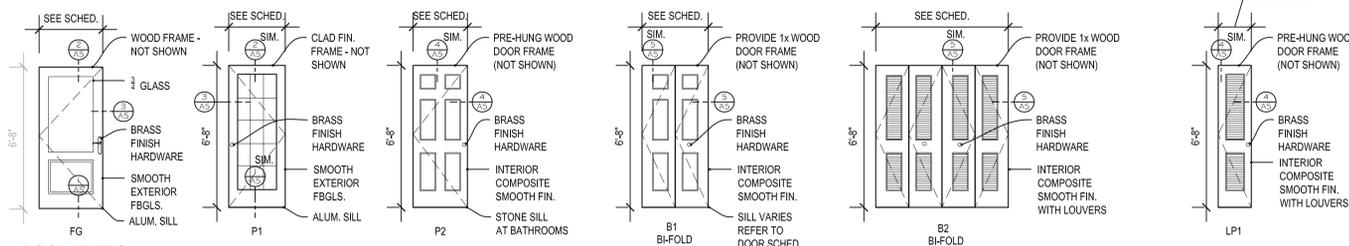
REV.#	NUM.	ROOM NAME	FLOOR	BASE	NORTH WALL	EAST WALL	SOUTH WALL	WEST WALL	CEILING HEIGHT	CEILING MAT'L	REMARKS			
	200	LIVING ROOM	EX. WD.	LWD	NA	WOOD	PTD	WHITE	GWB	PTD	WHITE	EXIST.	G.W.B.	BEAD BD. FULL HT. (MATCH EXIST.)
	201	DINING AREA	EX. WD.	LWD	NA	WOOD	PTD	WHITE	GWB	PTD	WHITE	EXIST.	G.W.B.	
	202	KITCHEN	EX. WD.	LWD	NA	WOOD	PTD	WHITE	GWB	PTD	WHITE	EXIST.	G.W.B.	
	203	HALL	EX. WD.	LWD	NA	WOOD	PTD	WHITE	GWB	PTD	WHITE	EXIST.	G.W.B.	
	204	BATH	EX. WD.	LWD	NA	WOOD	PTD	WHITE	GWB	PTD	WHITE	EXIST.	G.W.B.	
	205	LAUNDRY	EX. WD.	LWD	NA	WOOD	PTD	WHITE	GWB	PTD	WHITE	EXIST.	G.W.B.	
	206	BEDROOM	EX. WD.	CARPET	F.B.D.	WOOD	PTD	WHITE	GWB	PTD	WHITE	EXIST.	G.W.B.	
	207	BEDROOM	EX. WD.	CARPET	F.B.D.	WOOD	PTD	WHITE	GWB	PTD	WHITE	EXIST.	G.W.B.	

DOOR SCHEDULE		ABBREVIATIONS:		PERFORMANCE NOTE: EXTERIOR DOORS SHALL BE 0.31	
CGT - COMPOSITE	ALUM - ALUMINUM	PTD - PAINTED	INT - INTERIOR	U-FACTOR BETTER AND MIN. DP 50 RATING	PROVIDE IMPACT RESISTANT GLASS AS REQ'D
WD - WOOD	MTL - METAL	STD - STANDARD	EXT - EXTERIOR		

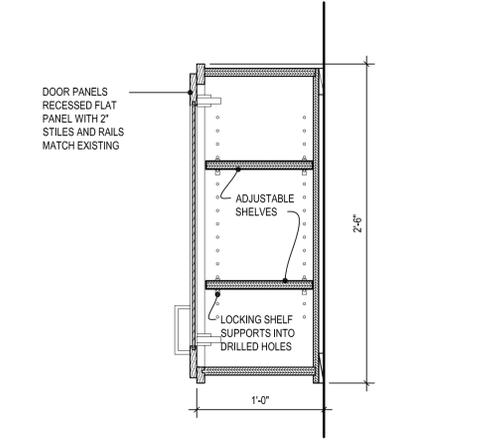
REV.#	DR. NUM.	ROOM NUMBER	DOOR SIZE OR UNIT NUMBER (WIDTH X HEIGHT)	DOOR TYPE	MAT'L	FINISH	FRAME	DETAILS	HARDWARE SET	REMARKS	
	200	200	2'-8" x 8'-8" (SINGLE DOOR)	FG	FGLS	STD	WD	PTD	2/AS 3/AS 1/AS	1	MATCH EXISTING
	203	203	2'-2" x 8'-8" (SINGLE DOOR)	P1	CLAD	STD	WD	PTD	2/AS 3/AS 1/AS	1	MATCH EXISTING
	204	204	2'-0" x 8'-8" (SINGLE DOOR)	P2	WD	PTD	WD	PTD	4/AS 4/AS	5	STONE THRESHOLD - MATCH EXISTING
	205	205	3'-0" x 8'-8" (BI-FOLD DOOR)	B1	WD	PTD	WD	PTD	5/AS 5/AS	8	STONE THRESHOLD - MATCH EXISTING
	205A	205A	1'-10" x 8'-8" (SINGLE DOOR)	LPI	WD	PTD	WD	PTD	4/AS 4/AS	7	
	206	206	2'-4" x 8'-8" (SINGLE DOOR)	P2	WD	PTD	WD	PTD	4/AS 4/AS	5	
	206.1	206	3'-0" x 8'-8" (BI-FOLD DOOR)	B2	WD	PTD	WD	PTD	5/AS 5/AS	8	
	207	207	2'-2" x 8'-8" (SINGLE DOOR)	P2	WD	PTD	WD	PTD	4/AS 4/AS	5	
	207.1	207	3'-0" x 8'-8" (BI-FOLD DOOR)	B2	WD	PTD	WD	PTD	5/AS 5/AS	8	

\* NOTE: DOOR SUPPLIER IS TO REVIEW ALL PLANS, ELEVATIONS & SCHEDULES. WINDOW & DOOR SUPPLIER TO REVIEW ALL ASPECTS OF DOOR SPECIFICATIONS & FUNCTIONS WITH THE OWNER AND/OR GENERAL CONTRACTOR. DOOR SUPPLIER TO PROVIDE SUBMITTALS FOR APPROVAL OF ALL SUPPLIED ITEMS BEFORE PLACING DOOR ORDER.

HARDWARE:  
 1# HEVED ENTRY KNOB SET - SINGLE CYLINDER - BRASS  
 2# NOT USED  
 3# NOT USED  
 4# NOT USED  
 5# INTERIOR PRIVACY KNOB SET - BRASS  
 7# INTERIOR PASSAGE KNOB SET - BRASS  
 8# INTERIOR DUMMY DOOR KNOB - BRASS

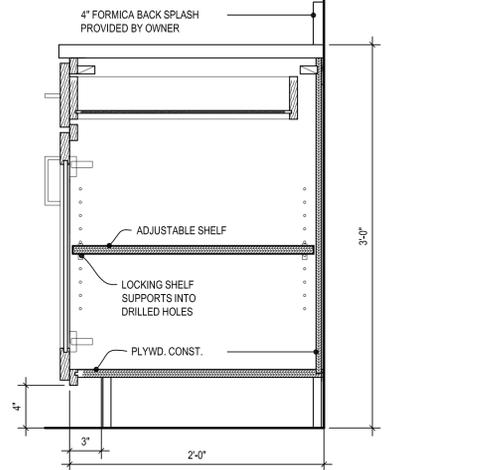


**DOOR TYPES**  
SCALE: 1/4" = 1'-0"

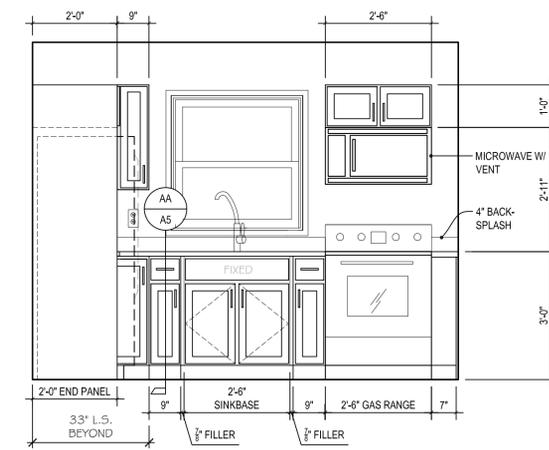


**BB TYP. WAL CABINET SECTION**  
SCALE: 1-1/2" = 1'-0"

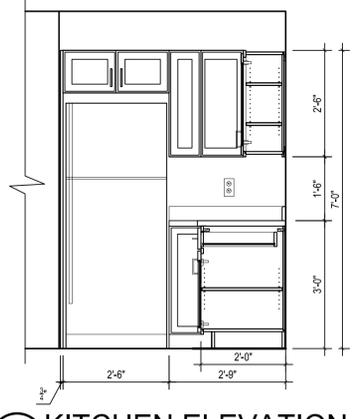
GENERAL NOTES:  
 1. ALL SHELVES SHALL BE FINISHED PLYWD.  
 2. USE FULL EXTENSION HARDWARE  
 3. PROVIDE MIN. REQUIRED CLEARANCE  
 4. FREE-SWINGING HINGES  
 5. VERIFY ALL HARDWARE WITH OWNER



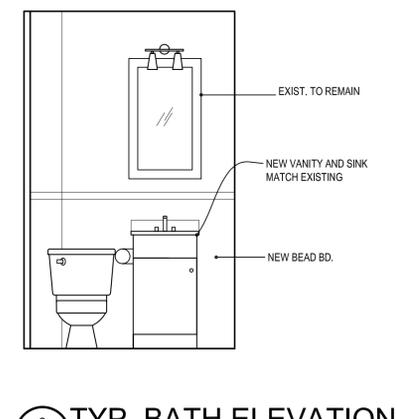
**AA TYP. BASE CABINET SECTION**  
SCALE: 1-1/2" = 1'-0" DRAWER BASE SIM.



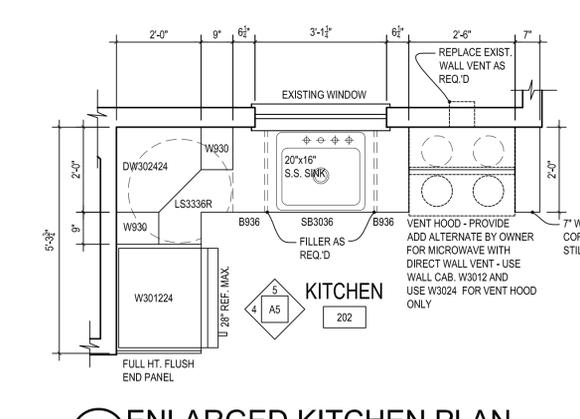
**5 KITCHEN ELEVATION**  
SCALE: 1/2" = 1'-0"



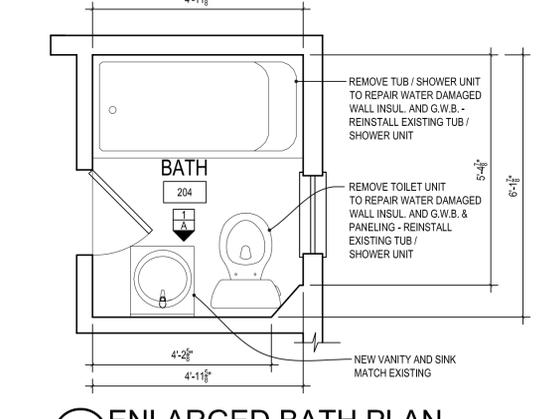
**4 KITCHEN ELEVATION**  
SCALE: 1/2" = 1'-0"



**3 TYP. BATH ELEVATION**  
SCALE: 1/2" = 1'-0"



**2 ENLARGED KITCHEN PLAN**  
SCALE: 1/2" = 1'-0"



**2 ENLARGED BATH PLAN**  
SCALE: 1/2" = 1'-0"

**Amaya Architects**  
American Institute of Architects

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Sheet Title:  
 ENLARGED PLANS, ELEVATIONS, SCHEDULES, AND DETAILS

APPLICATION # 1065

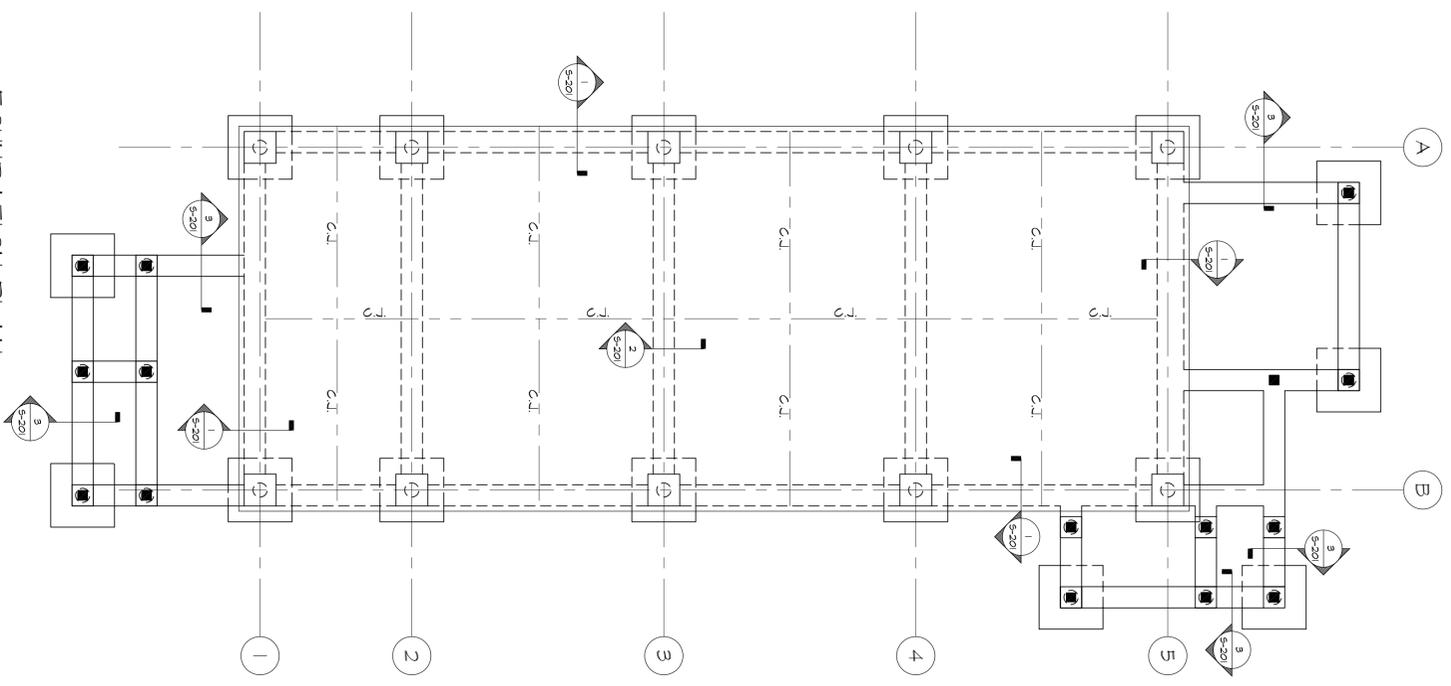
**DINAN RESIDENCE**  
 17 Orland Street  
 Milford, Connecticut 06460

STATE OF CONNECTICUT  
 DEPARTMENT OF HOUSING  
 COMMUNITY DEVELOPMENT BLOCK GRANT  
 DISASTER RECOVERY PROGRAM  
 OWNER OCCUPIED REHABILITATION  
 AND REBUILDING PROGRAM (OORR)

Date: 07/31/2014

Project Number: 1065  
 Drawn By: J.V.L.

Sheet Number:  
**A5**

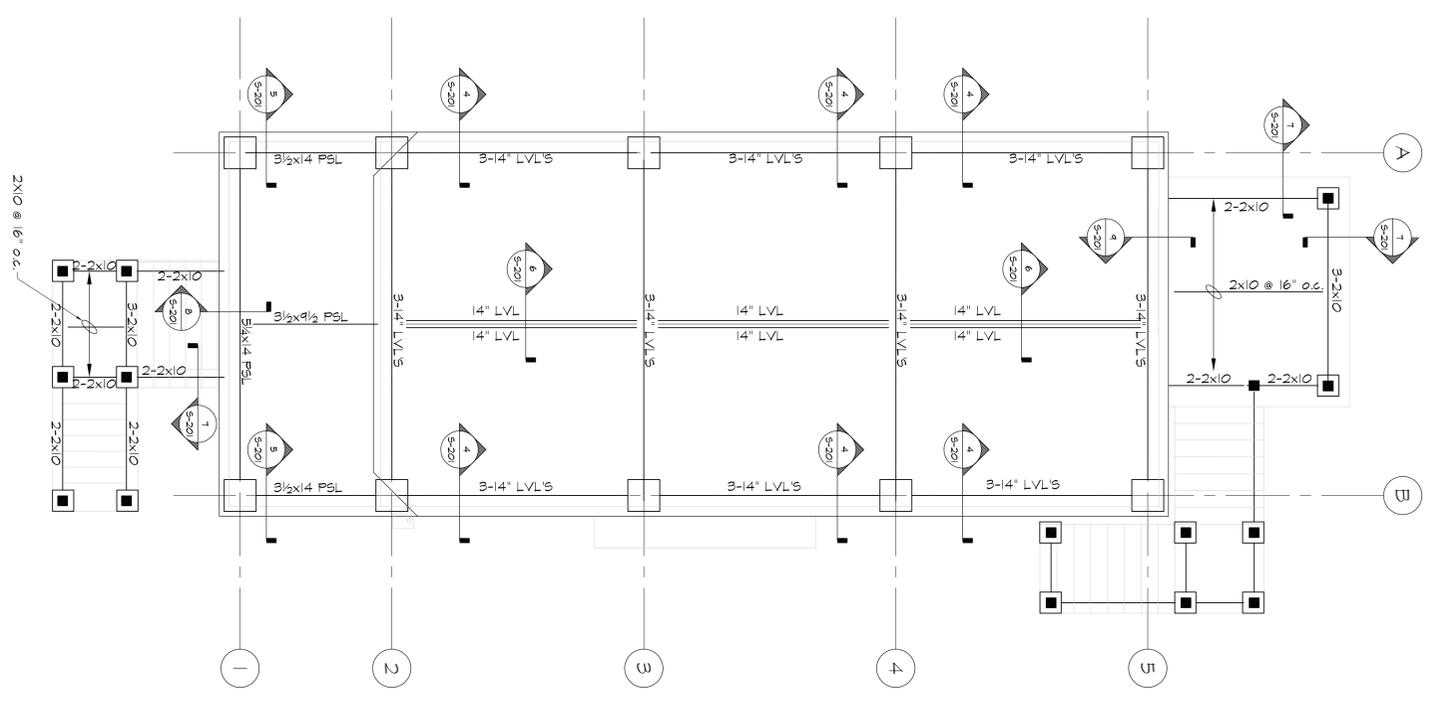


**FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"

NOTES:

1. NEW FLOOR CONSTRUCTION: 4" CONCRETE SLAB-ON-GRADE ABOVE 8" COMPACTED GRAVEL FILL BASE OVER COMPACTED SUBBASE.
2. TOP OF NEW CONCRETE SLAB-ON-GRADE VARIES WITH GRADE ELEVATION FROM ELEVATION 6'-9" TO ELEVATION 8'-6".
3. BOTTOM OF PILE CAPS AND GRADE BEAMS ELEVATION = 2'-6".
4. TOP OF HOUSE CONCRETE PIERS ELEVATION 14'-4". TOP OF DECK/STAIR CONCRETE PIERS TO BE 8" ABOVE GRADE, TYPICAL.
5. "C.J." ON PLAN DENOTES LOCATION OF CONTROL JOINT IN SLAB-ON-GRADE. SEE TYPICAL DETAIL.
6. ( ) ON PLAN DENOTES A PILE WITH A MIN. CAPACITY OF 15 TONS (30000 LBS). PILES CONTRACTOR IS RESPONSIBLE TO DETERMINE TYPE AND SIZE OF PILES TO ACHIEVE REQUIRED CAPACITY. SEE AVAILABLE GEOTECHNICAL DATA AND GATHER ADDITIONAL DATA AS REQUIRED TO PROPERLY DESIGN PILES.
7. ■ ON PLAN DENOTES 5/4" PRESERVATIVE TREATED POST FOR THE EXTERIOR DECKS, TYPICAL.
8. ALL WOOD FRAMING FOR DECKS TO BE PRESERVATIVE TREATED.
9. FOR DIMENSION SEE ARCHITECTURAL DWGS. ALL DIMENSIONS MUST BE FIELD VERIFIED AND COORDINATED WITH EXISTING HOUSE PRIOR TO THE INSTALLATION OF PILES AND FOUNDATIONS.



**FIRST FLOOR SUPPORT FRAMING PLAN**

SCALE: 1/4" = 1'-0"

NOTES:

1. PROVIDE SIMPSON STRONG-TIE JOIST ANCHORS AT ALL NEW WOOD FRAMING CONNECTIONS AS REQUIRED.
2. FOR DIMENSION SEE ARCHITECTURAL DWGS. ALL DIMENSIONS MUST BE FIELD VERIFIED AND COORDINATED WITH EXISTING HOUSE PRIOR TO THE INSTALLATION OF PILES AND FOUNDATIONS.

REVISIONS:	DATE	DESCRIPTION

These documents have been prepared specifically for this project. The Engineer's responsibility is limited to the design and construction of the structure shown on these drawings. The Engineer is not responsible for the design or construction of any other structure or for any other aspect of the project. The Engineer's liability is limited to the design and construction of the structure shown on these drawings. ASCHETTINO ASSOCIATES, LLC

CERTIFICATION:


**Aschettino Associates, LLC**  
 Structural Engineers

375 Morgan Lane - Unit 109  
 West Haven, Connecticut 06516

Telephone: 203-933-3334  
 Fax: 203-933-7824

www.aschettino.com

PROJECT NAME & LOCATION:

**DINAN RESIDENCE RENOVATIONS  
NEW FOUNDATION AND FRAMING  
FOR PROPOSED HOUSE RAISING**

**18 ORLANDO STREET  
MILFORD, CONNECTICUT**

DRAWING TITLE:  
**FOUNDATION AND  
FIRST FLOOR PLAN**

SCALE:  
AS NOTED

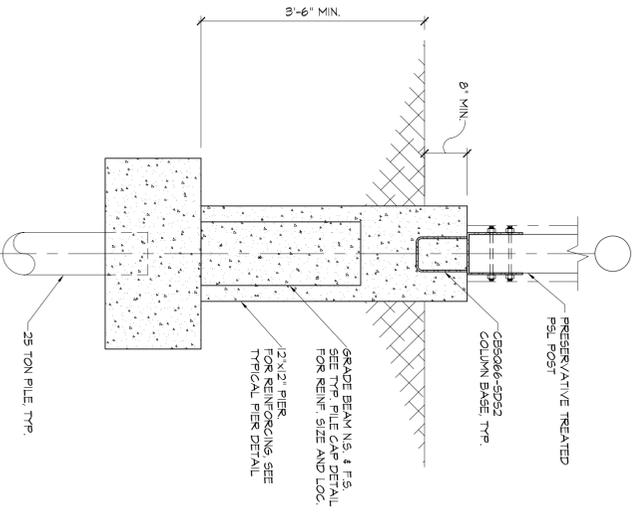
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07-31-14

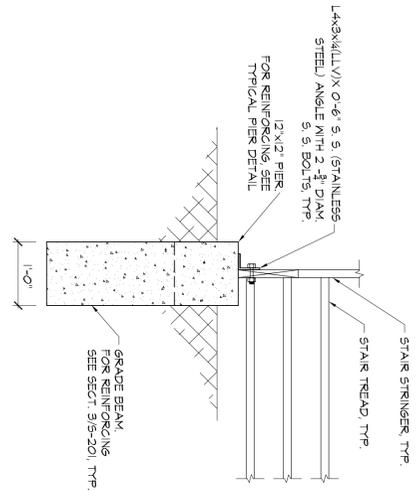
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2013-164

S-101

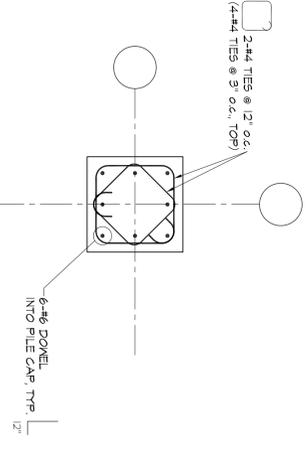




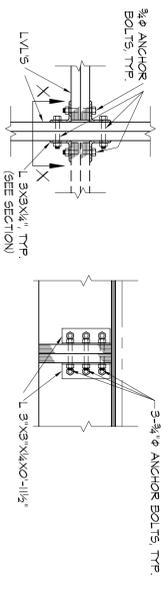
**TYPICAL EXTERIOR COLUMNS**  
NO SCALE



**TYPICAL STAIR STRINGER CONN. DETAIL AT BASE**  
NO SCALE

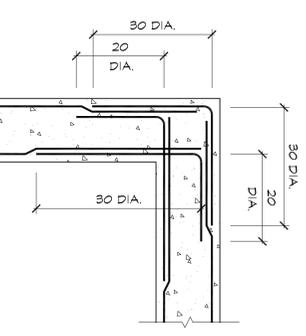


**TYPICAL PIER REINFORCING DETAIL**  
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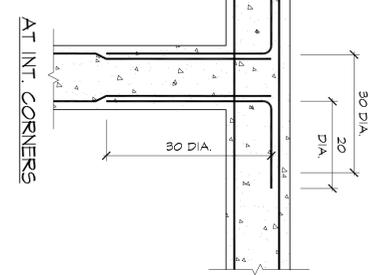


**SECTION "X-X"**

**TYPICAL LVL TO LVL CONNECTION DETAIL**  
SCALE: 3/4" = 1'-0"



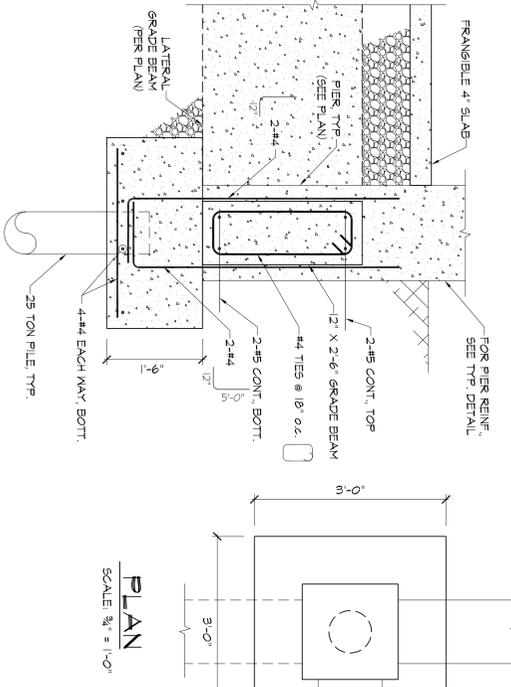
**AT EXT. CORNERS**



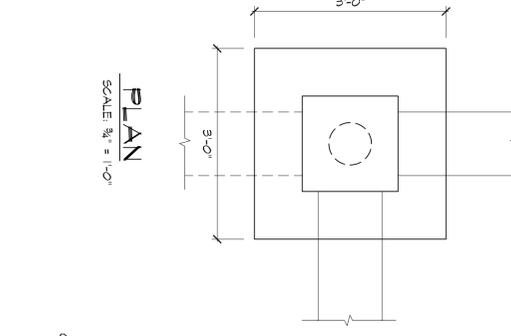
**AT INT. CORNERS**

**TYPICAL PLAN DETAILS @ GRADE BMS. CORNER BARS**  
NO SCALE

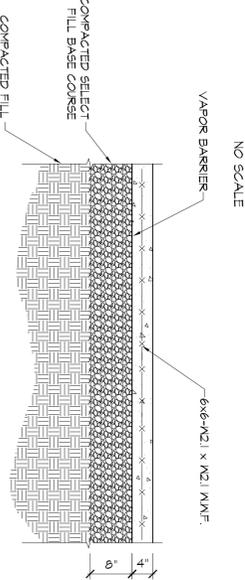
NOTES:  
1. ADDITIONAL REINFORCING IS TO MATCH SIZE AND SPACING OF TYPICAL GRADE BEAMS REINFORCING.  
2. DETAIL APPLIES TO ALL CORNERS OF CONCRETE GRADE BEAMS, DOUBLE DOWNELS @ T INTERSECTIONS.



**TYPICAL PILE CAP DETAILS**  
SCALE: 3/4" = 1'-0"



**TYPICAL CONTROL JOINT DETAIL AT SLAB-ON-GRADE**  
NO SCALE



**TYPICAL SLAB-ON-GRADE DETAIL @ GARAGE**  
NO SCALE

**DESIGN BASIS**

- The Foundation has been designed in accordance with the latest Connecticut State Building Code (RC 2003 with State of Connecticut 2005 Supplement).
- ACI Building Code Requirements for Structural Concrete (ACI 318-latest edition) and Details and Detailing of Concrete Reinforcement (ACI 315 - latest edition).
- Minimum compressive strength of concrete at 28 days: 3000 psi at other concrete elements
- Liquid membrane forming compounds shall comply with ASTM C 309, Type I, Class A
- All bar reinforcing for concrete and masonry to conform to ASTM A 615 grade 60 (cold formed).
- Welded wire fabric shall conform to ASTM A 185.

**GENERAL NOTES**

- All work to conform to requirements of all publications and notes listed under "Design Basis".
- Architectural drawings of Modular House and all other drawings as required shall be used in conjunction with Structural drawings to develop details and dimensions for shop drawings, fabrication, erection and construction.
- General Contractor shall maintain a set of latest reviewed shop drawings on job site.
- It is the Contractor's sole responsibility to follow all applicable safety codes and regulations during all phases of construction.
- Should any information on the structural drawings conflict with any other part of the drawings, the General Contractor shall notify the Engineer and an interpretation will be given.
- There shall be no change to the work that is indicated and/or directed by the structural contract documents without a revision describing that change which shall be issued in writing by Aschettino Associates, LLC.

- All sections, details, notes, dimensions and conditions are applicable at any other location where conditions and details are similar but are not specifically noted as such or are not shown.
- See manufacturer's instructions for mounting and securing Pre-Fabricated Modular sections.
- The structure has been designed to be stable and self supporting after the construction is complete. It is the Contractor's sole responsibility for the building's stability during construction. This responsibility also includes but is not limited to method and sequence of erection, temporary shoring and temporary bracing.
- All proprietary anchoring systems to be installed into concrete elements in strict accordance with the manufacturer's recommendations using the required supplemental components such as screen tubes, dowelling adhesives, etc.

**FOUNDATION NOTES**

- Bottoms of all exterior grade Beams to be minimum of 3'-6" below finished grade unless otherwise noted.
- All soil surrounding and beneath footings shall be protected from frost during the course of construction.
- Placement of all compacted fill and compaction of subgrade shall be under the full time direction of a qualified geotechnical engineer. Concrete slabs and footings shall not be placed until fill and subgrade have been checked in place and approved by the geotechnical engineer.
- Backfilling shall proceed to equal heights on both sides of foundation walls, piers, grade beams to prevent movement due to unbalanced earth pressure. Where earth is on one side of wall only, backfilling and compaction shall not start until floor slabs or adequate bracing is provided for lateral support at top and bottom of wall.

**CONCRETE NOTES**

- Concrete accessories must be adequate to maintain reinforcing accurately in place and be non-corrosive, non-staining type.
- Saw-cut control joints in a square pattern immediately after concrete has set sufficiently so that cutting does not produce shredding of the concrete, but before concrete has had a chance to crack due to initial shrinkage. The cutting period will vary according to the rate of setting of the concrete. It is the contractor's sole responsibility to cut these joints at the proper time and using the proper procedure to minimize shrinkage cracking and produce a clean, straight joint.

- Place concrete foundation walls/grade Beams in alternate sections not exceeding 60 feet in length (30 feet from any corner), allowing a minimum of 48 hours to elapse between placement of adjacent pours. At all construction joints continue all horizontal reinforcing through the joint a minimum of 60 diameters and provide additional #4 x 5'-0" long reinforcing bars at 12" o.c. each face unless otherwise noted on drawings.
- Log all bar reinforcing in concrete elements 48 diameters (unless otherwise noted).
- Welded wire fabric reinforcing to have minimum side and end laps of 6' and to be discontinuous at control joints (See Detail). For supported slabs, end laps should be minimum of 12".
- Apply liquid membrane forming concrete curing compound to slab-on-grade as soon as finishing operations are complete (within two hours). Apply in accordance with manufacturer's recommendations.
- The contractor shall notify the architect and structural engineer of record a minimum of 48 hours before any concrete is poured.

**WOOD NOTES**

- All 2x to be Douglas Fir #2 or better.
- All LVL's and PSL's are by Truss Joist McWilliam or approved equal.
- Cross bracing or solid blocking is to be provided between all floor joists at midspan.
- Nail exterior wall plywood with a minimum of 8d nails @ 4" o.c. at all edges and 8d nails @ 6" o.c. at all intermediate studs.
- All lumber and PSL's supporting exterior deck to be preservative treated, typically.

REVISIONS:	DATE	DESCRIPTION

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ENGINEER: TASH BH.  
ASCHETTINO ASSOCIATES, LLC

CERTIFICATION:

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Structural Engineers

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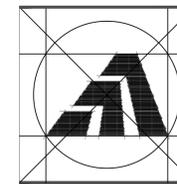
www.aschettino.com

PROJECT NAME & LOCATION:  
**DINAN RESIDENCE RENOVATIONS  
NEW FOUNDATION AND FRAMING  
FOR PROPOSED HOUSE RAISING**

18 ORLANDO STREET  
MILFORD, CONNECTICUT

DRAWING TITLE:
NOTES

SCALE:	DRAWN BY:
AS NOTED	DC
DRAWING NO.:	JOB NUMBER:
S-301	2013-125
DATE:	07-31-14



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An Employee Owned Company  
email: info@loureiro.com  
Comm No. 01MH4.03

Sheet Title:  
PLUMBING PLANS

APPLICATION # 1065

DINAN RESIDENCE  
17 Orland Street  
Milford, Connecticut 06460

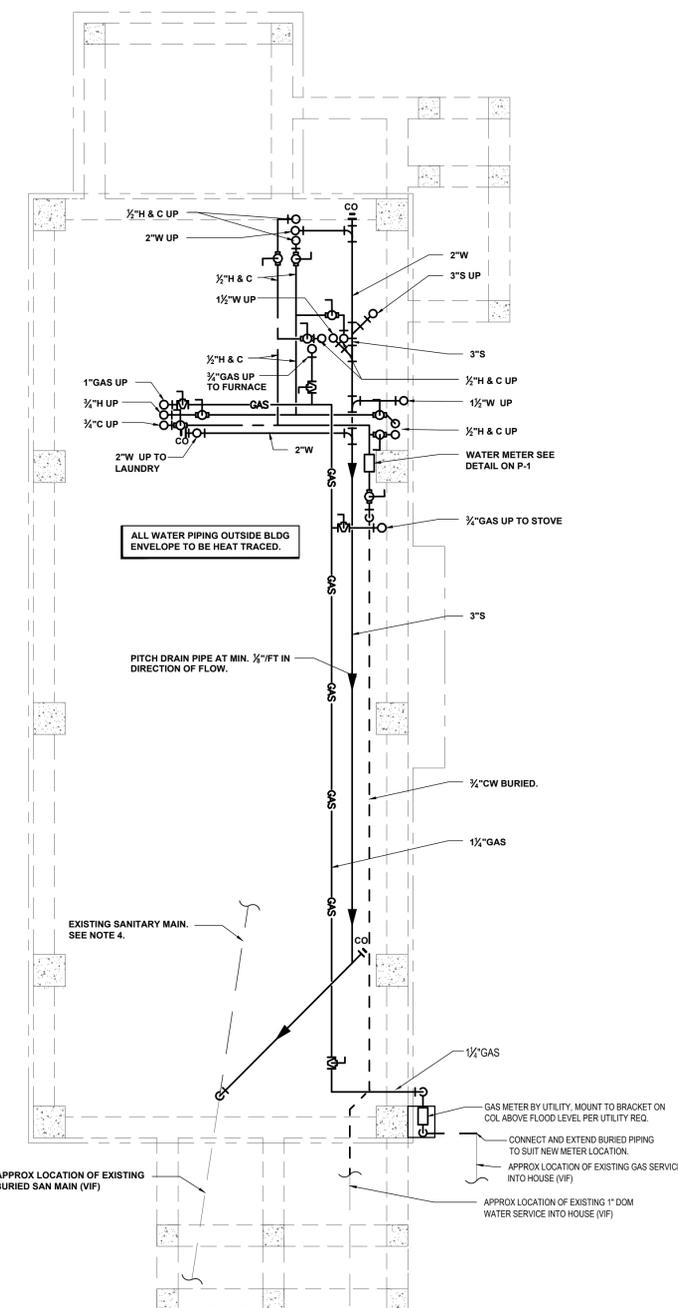
STATE OF CONNECTICUT  
DEPARTMENT OF HOUSING  
COMMUNITY DEVELOPMENT BLOCK GRANT  
DISASTER RECOVERY PROGRAM  
(CDBG-DR)

Date: \_\_\_\_\_

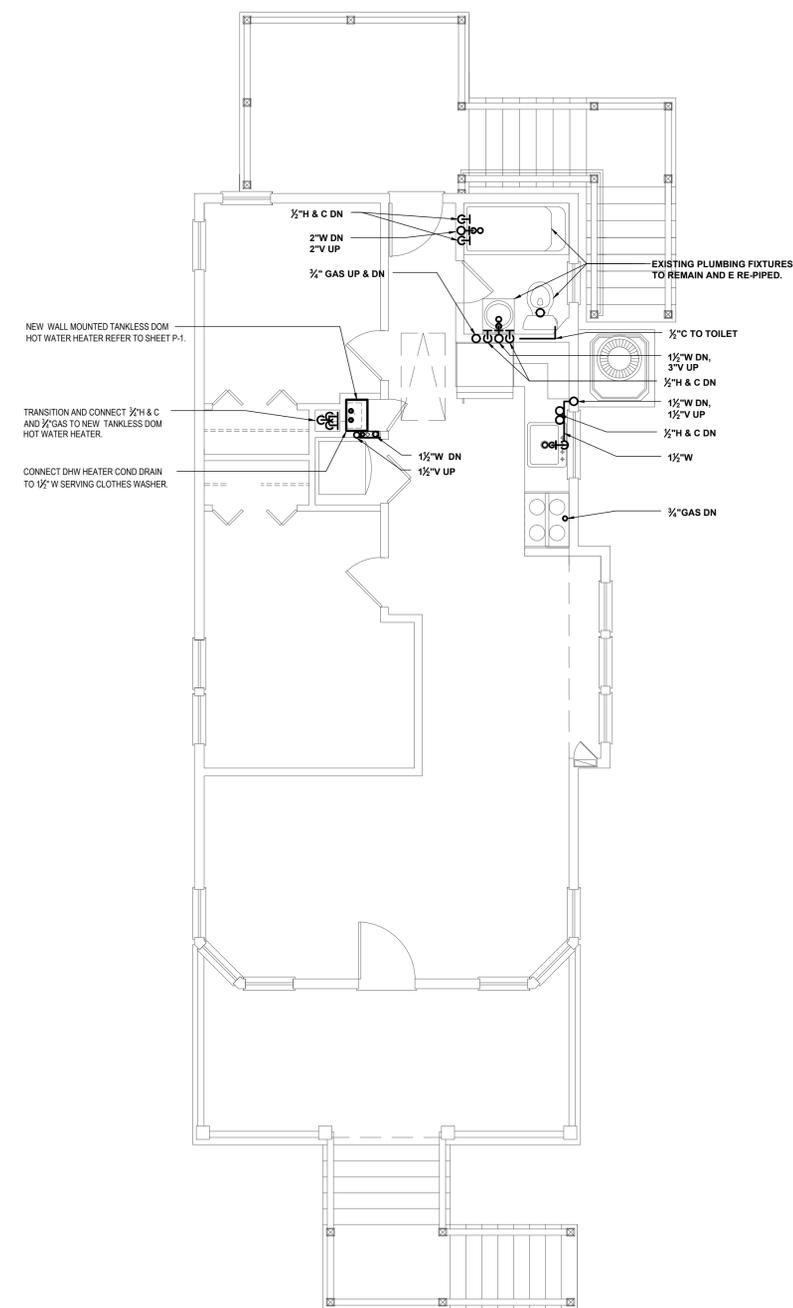
Job Number: \_\_\_\_\_  
Drawn By: JTF  
Approved By: RJS

Sheet Number:

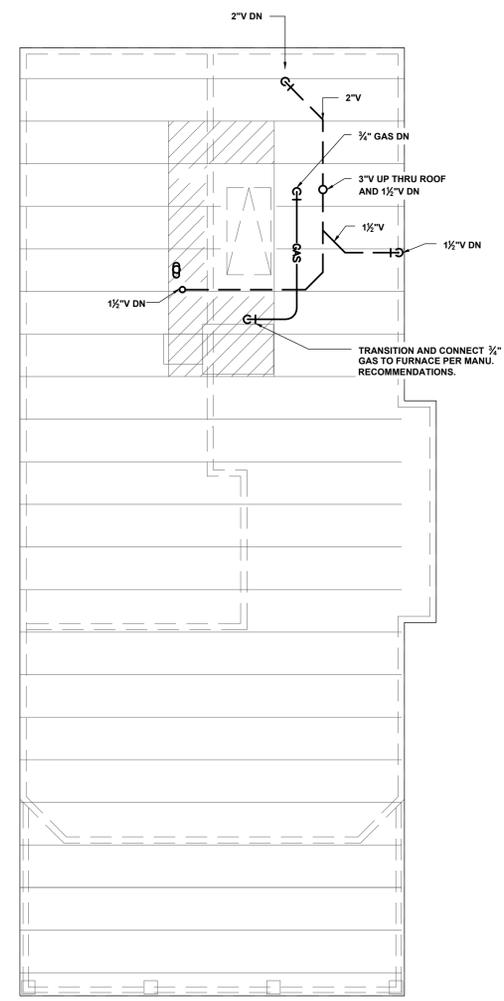
P-1



1 FOUNDATION PLAN  
1/4"=1'-0"



2 FLOOR PLAN  
1/4"=1'-0"

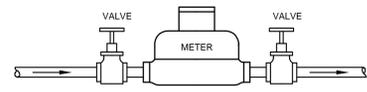


3 ATTIC PLAN  
1/4"=1'-0"

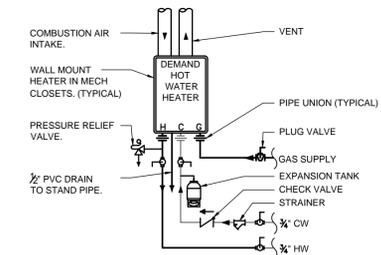
PLUMBING SYMBOL LEGEND					
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	WASTE, SOIL AND STORM		BUTTERFLY VALVE		UNION
	BURIED PIPE		CHECK VALVE		CIRCULATING PUMP
	COLD		PRESSURE REDUCING VALVE		FLOOR DRAIN
	HOT		BACKFLOW PREVENTER		ROOF DRAIN
	RECIRCULATION		PLUG VALVE		CLEAN OUT
	VENT		CONTROL VALVE		THERMOMETER
	BALL VALVE		HOSE BIBB		PIPE ELBOW UP
	GATE VALVE		PRESSURE RELIEF VALVE		PIPE ELBOW DN
	OS&Y GATE VALVE		STRAINER		CAP

NOTE: ABOVE LEGEND IS GENERAL IN NATURE. NOT ALL SYMBOLS ARE ASSOCIATED WITH THIS PROJECT.

- NOTE:
1. INFORMATION SHOWN IS BASED UPON CASUAL FIELD OBSERVATIONS. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE START OF WORK.
  2. PIPE ROUTING SHOWN IS SCHEMATIC IN NATURE. ACTUAL ROUTING SHALL BE COORDINATED WITH EXISTING UTILITIES AND OTHER TRADES PRIOR TO THE START OF WORK.
  3. DOMESTIC COLD WATER, SANITARY AND NATURAL GAS SERVICES TO BE ELEVATED ABOVE FLOOD LEVEL AND INSTALLED PER UTILITY REQUIREMENTS.
  4. REMOVE ALL H. C. GAS & DRAIN PIPING SERVING BLDG AND RE-PIPE AS SHOWN.



4 TYPICAL WATER METER PIPING DETAIL



5 WATER HEATER PIPING SCHEMATIC DIAGRAM

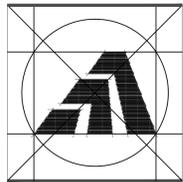
NOTE: INSTALL WATER HEATER PER MANUFACTURERS RECOMMENDATIONS.

ALL PIPING AND FITTINGS BY CONTRACTOR. METER SUPPLIED BY UTILITY.

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email: info@loureiro.com  
Comm No. 01MH4.03

Sheet Title:  
MECHANICAL PLANS

APPLICATION # 1065

DINAN RESIDENCE  
17 Orland Street  
Milford, Connecticut 06460

STATE OF CONNECTICUT  
DEPARTMENT OF HOUSING  
COMMUNITY DEVELOPMENT BLOCK GRANT  
DISASTER RECOVERY PROGRAM  
(CDBG-DR)

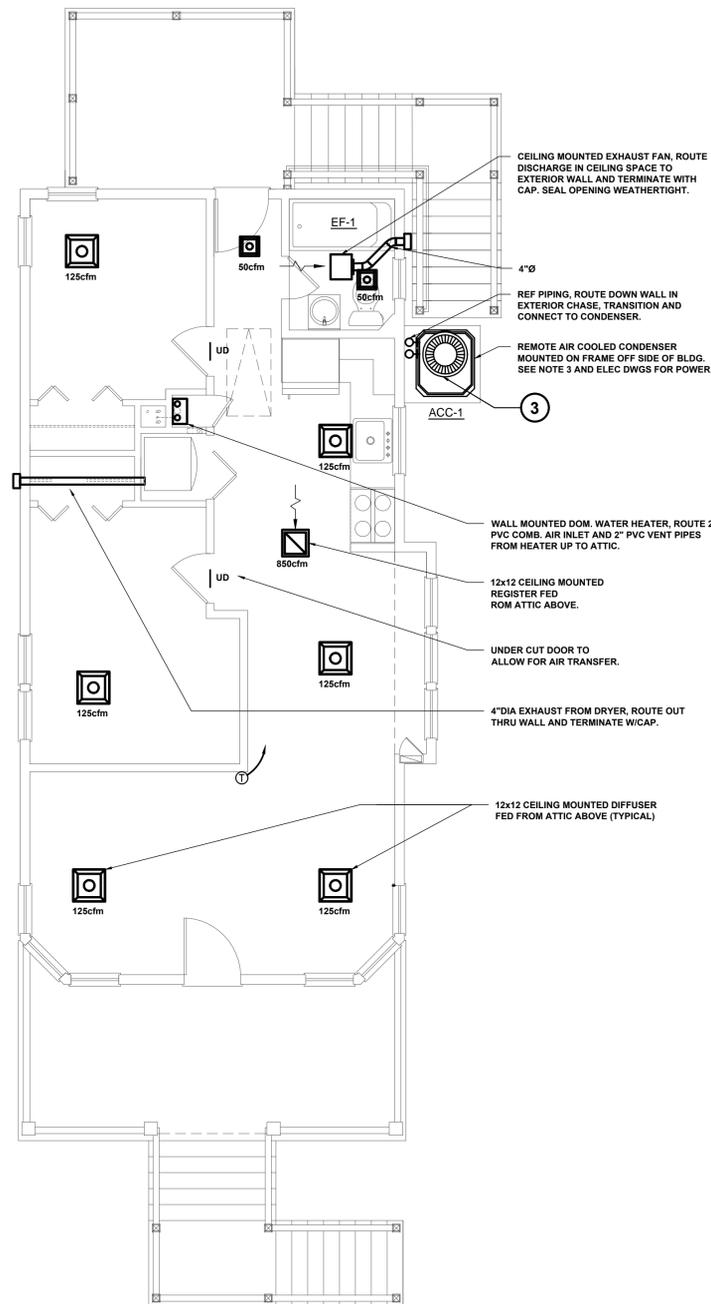
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Job Number:  
Drawn By: JTF  
Approved By: RJS

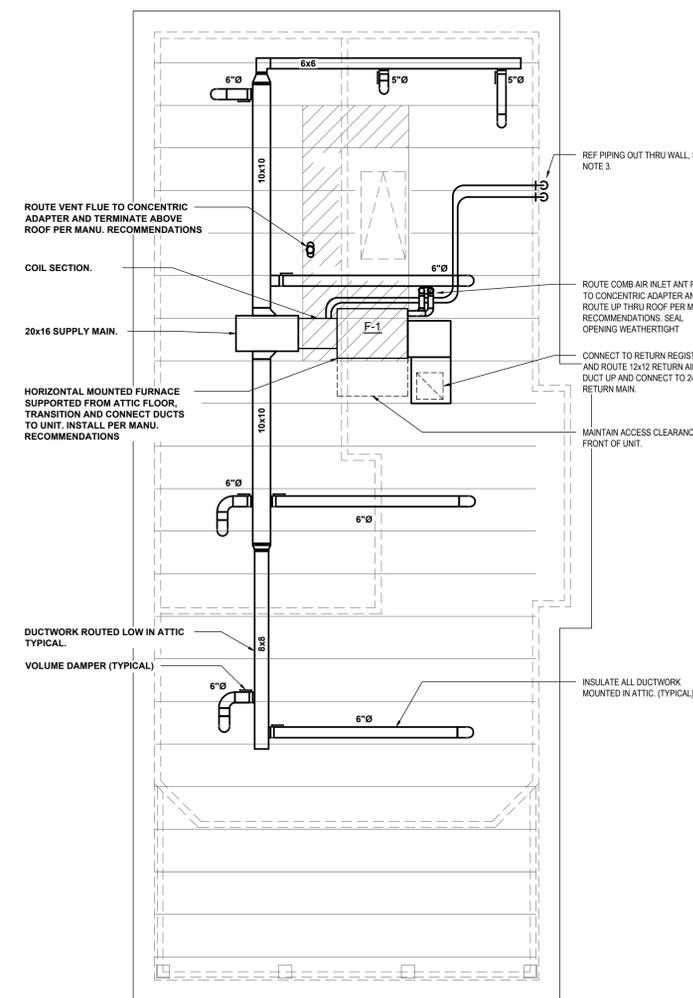
Sheet Number:  
**M-1**



MECHANICAL SYMBOL LEGEND					
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
S/A	SUPPLY AIR	→	SUPPLY AIR OR OUTSIDE AIR FLOW	UD	UNDERCUT DOOR
R/A	RETURN AIR	←	RETURN AIR OR EXHAUST AIR FLOW	CUH	CABINET UNIT HEATER
O/A	OUTSIDE AIR	↓	VOLUME DAMPER (VD)	ESP	EXTERNAL STATIC PRESSURE
EXH	EXHAUST AIR	⊠	REGISTER OR GRILLE	→	PIPE ELBOW TURNED UP
EF	EXHAUST FAN	⊠	DIFFUSER	→	PIPE ELBOW TURNED DOWN
AFF	ABOVE FINISHED FLOOR	▤	R/A RECTANGULAR DUCT RISER	→	PIPE TEE UP
BOD	BOTTOM OF DUCT ELEVATION	▥	S/A RECTANGULAR DUCT RISER	→	PIPE TEE DN
HX	HEAT EXCHANGER	⊠	EXH RECTANGULAR DUCT RISER	—	PIPE CAP
FD	FIRE DAMPER	⊠	R/A ROUND DUCT RISER	⊠	GATE VALVE
CFM	CUBIC FEET PER MINUTE	⊠	S/A ROUND DUCT RISER	⊠	BALL VALVE
C	COLD WATER (DOMESTIC)	⊠	EXH ROUND DUCT RISER	⊠	PRESSURE GAUGE W/SHUTOFF COCK
ACC	AIR-COOLED CONDENSER	⊠	THERMOSTAT	⊠	CHECK VALVE
RTU	PACKAGED ROOF TOP AC UNIT	⊠	MOTORIZED DAMPER	⊠	BLIND FLANGE
VD	VOLUME DAMPER	⊠	TEMPERATURE SENSOR	⊠	CONTROL VALVE
UH	UNIT HEATER	⊠	FLEXIBLE CONNECTOR	⊠	SOLENOID VALVE
PF	PADDLE TYPE FAN	⊠	BALANCE VALVE	⊠	STRAINER
AC	AIR CONDITIONING	⊠	DRAIN VALVE	⊠	MANUAL AIR VENT
MAU	MAKE-UP AIR UNIT	⊠	PIPE UNION	⊠	PIPE REDUCER
CP	CONTROL PANEL	⊠	STRAINER WITH BLOWDOWN	⊠	DIRECTION OF FLOW
HWS&R	HOT WATER SUPPLY & RETURN	⊠	THERMOMETER	⊠	2-WAY CONTROL VALVE
P	PUMP	⊠	LOUVERED DOOR	⊠	3-WAY CONTROL VALVE
UD	UNDERCUT DOOR	⊠			



1 FIRST FLOOR PLAN  
1/4"=1'-0"



2 ATTIC PLAN  
1/4"=1'-0"

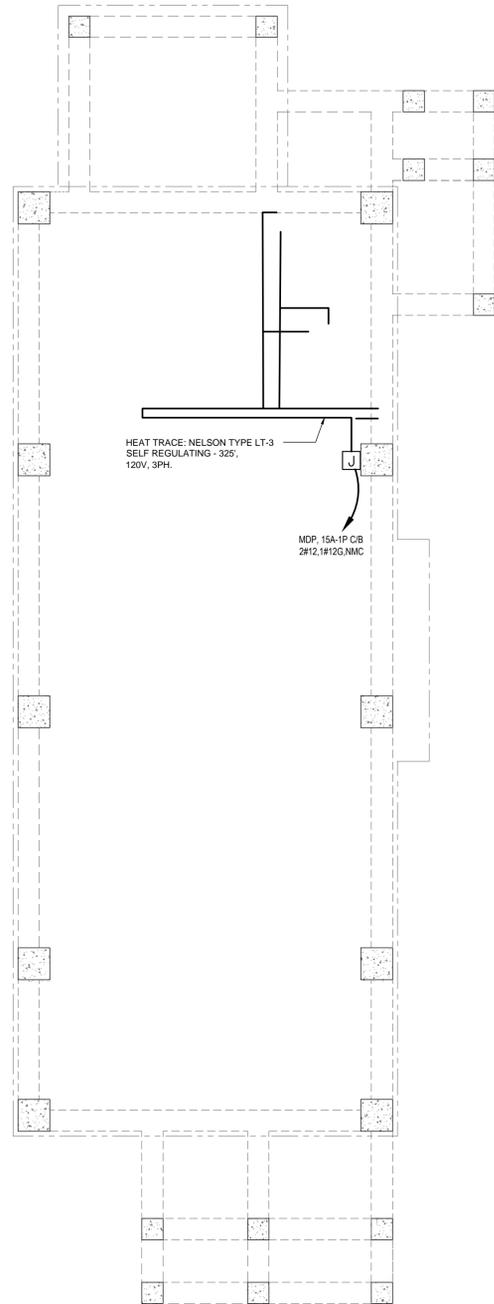
EXHAUST FAN SCHEDULE											
NUMBER	AIR FLOW (CFM)	STATIC PRESSURE	MOTOR SPEED	FAN SPEED	HP	ELEC	AREA SERVING	TYPE	SONES	MANU/MODEL	REMARKS
EF-1	80	0.25" W.G.	-	1166RPM	12W	120V/1PH	BATHROOMS	CABINET	0.6	PANASONIC MODEL FV-08VKSL3	SEE NOTES 1, 2 & 3

NOTES:  
1) MANU/MODEL LISTED ARE ONLY USED AS THE BASIS FOR DESIGN. REFER TO SPECIFICATIONS FOR LIST OF ACCEPTABLE MANU/MODELS.  
2) PROVIDE ALL FANS WITH DISCONNECT SWITCHES, AND BACKDRAFT DAMPERS.  
3) ALL FANS TO BE ENERGY STAR RATED.

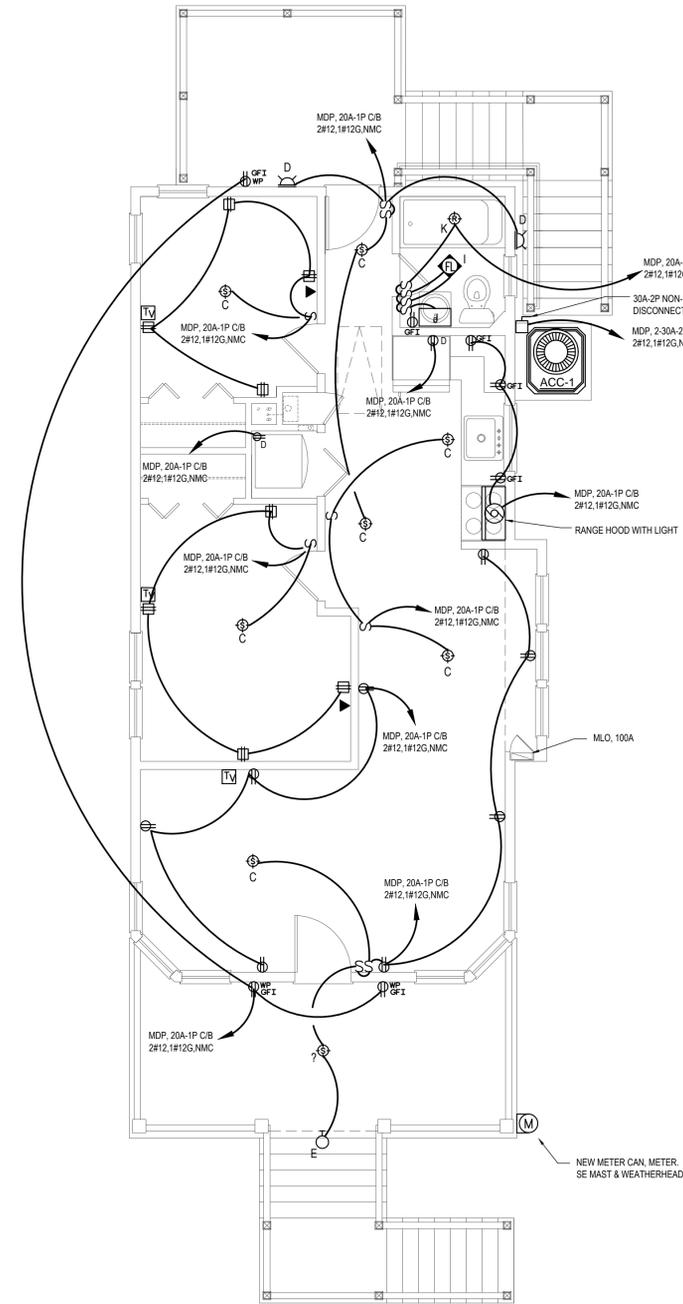
NOTES:

- INFORMATION SHOWN IS BASED UPON CASUAL FIELD OBSERVATIONS. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE START OF WORK.
- CONTRACTOR TO COORDINATE WITH EXISTING UTILITIES AND OTHER TRADES PRIOR TO THE START OF WORK.
- ALL AIR CONDITIONING COMPONENTS PROVIDED WITH SYSTEM INCLUDING COOLING COIL, COND DRAIN, REF PIPING, REMOTE CONDENSER AND ALL ASSOCIATED ACCESSORIES ARE AN ADD ALTERNATE.

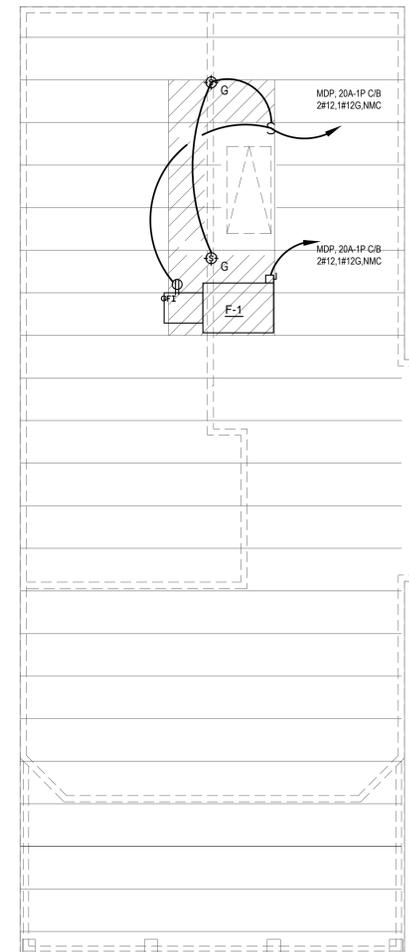
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1 FOUNDATION PLAN  
1/4"=1'-0"



2 FIRST FLOOR PLAN  
1/4"=1'-0"



3 ATTIC PLAN  
1/4"=1'-0"

ELECTRICAL FIXTURE KEY

A	PENDANT LIGHT FIXTURE
B	SURFACE MOUNTED LIGHT FIXTURE
C	RECESSED CEILING LIGHT FIXTURE
D	RECESSED EFL FIXTURE
E	WALL MOUNTED LIGHT FIXTURE
F	EXTERIOR SURFACE LIGHT W/PIR
G	MOTION DETECTOR
H	FLUORESCENT TUBE FIXTURE
S	SINGLE POLE SWITCH
S3	THREE WAY SWITCH
ST	TIMER SWITCH
R	DUPLEX RECEPTACLE
RGI	DUPLEX WITH GROUND FAULT INTERRUPTER
RWP	DUPLEX WATER PROOF GROUND FAULT INTERRUPTER
QR	QUADROPLEX RECEPTACLE
DR	DEDICATED RECEPTACLE
DRY	DRYER RECEPTACLE
TO	TELEPHONE OUTLET / INTERNET OUTLET
CTV	COAXIAL CABLE FOR TELEVISION
FAN	EXHAUST FAN
FANL	EXHAUST FAN/LIGHT
CFAN	CEILING FAN
SD	SMOKE DETECTOR
CD	CARBON MONOXIDE DETECTOR
MDP	MAIN DISTRIBUTION PANEL
NMX	ROMEX

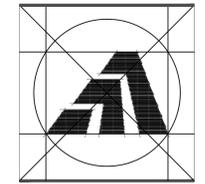
NOTE: WHERE OUTLETS ARE NOT SPECIFICALLY LOCATED ON THE DRAWINGS, PROVIDE MINIMUM NUMBER TO SATISFY LOCAL AND ALL GOVERNING CODES. LOCATE AS DETERMINED IN THE FIELD WITH THE ARCHITECT. WHERE OUTLETS ARE REQUIRED BY CODE AND INSTALLED WITHOUT SUCH SPECIFIC DIRECTION, LOCATE AS DIRECTED BY THE ARCHITECT.

NOTE: COORDINATE FIXTURE LOCATION WITH FRAMING, HVAC PLANS AND INTERIOR DRAWINGS.

NOTES:  
1. A/C EQUIPMENT IS ADD ALTERNATE BY OWNER.  
2. IF A/C IS INSTALLED - ALL SE EQUIP. AND MAIN PANEL MUST BE UPSIZED TO A 240/120V, 1φ, 100A SYSTEM. MUST ALSO BE ADD ALTERNATE BY OWNER. SE CABLE 3#4/0, 1#4G, COPPER CABLE.

LUMINAIRE SCHEDULE					
SYMBOL	LABEL	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LAMP
A	A	PROGRESS LIGHTING	P5011-09	12"Ø INCANDESCENT PENDANT FIXTURE WITH BRUSHED NICKEL FINISH, PRE-WIRED WITH 1Ø OF WIRE UL-CUL LISTED	1 (m) 100w
B	B	PROGRESS LIGHTING	P5012-09	20"Ø INCANDESCENT PENDANT FIXTURE WITH BRUSHED NICKEL FINISH, PRE-WIRED WITH 1Ø OF WIRE UL-CUL LISTED	1 (m) 100w
C	C	KICHLER	8109	INCANDESCENT 2 LAMP FLUSH MOUNT INDOOR CEILING FIXTURE WITH BRUSHED NICKEL FINISH	2 60W
D	D	RAB LIGHTING	FF42QTPICES	EXTERIOR FLUORESCENT FLOOD LIGHT, DIE CAST ALUMINUM HOUSING, TEMPERED GLASS	42W TRIPLE
E	E	LITHONIA LIGHTING	QSC 13F-120-P-LP-WH	EXTERIOR FLUORESCENT WALL LIGHT, ALUMINUM HOUSING WITH WHITE ACRYLIC DIFFUSER, DUSK/DAWN PHOTOCELL	13W GU25BASE
F	F	QUORUM INTERNATIONAL	Q680-9	1 LIGHT OUTDOOR WALL SCONCE, BLACK OR WHITE FINISH, UL DAMP RATED	1 100W
G	G	QUORUM INTERNATIONAL	3009-3-65	SATIN NICKEL MODERN SINGLE FLUSH MOUNT CEILING FIXTURE, GLASS COVER, DAMP LOCATION RATED	1 60W
H1,2	H1,2	PRESCOLITE	H1 - DBXQL H2 - LBBLEDAL1L	RECESSED LED DOWN LIGHT MODULE WITH QUICKLINK LED DOWNLIGHT AIRSHIELD HOUSING	-
I	I	BROAN	QTXE110FLT	ULTRA QUIET HIGH PERFORMANCE BATH FAN/LIGHT FIXTURE WITH MODERN STYLED GRILLE	2 18W GU24 W/4W NIGHT LIGHT
J	J	SEA GULL	44061-962	2 LIGHT BATH VANITY FIXTURE IN BRUSHED NICKEL SATIN WHITE GLASS, UL DAMP RATED	2 100W
K	K	WAC LIGHTING	HR-LED331-WT WITH HR-LED309-NIC-W	RECESSED LED DOWN LIGHT WITH NEW CONSTRUCTION HOUSING	3 LEDS MAX 6W
L	L	SEA GULL	5326-962	SINGLE LIGHT BRUSHED NICKEL CEILING FIXTURE WITH WHITE GLASS DIFFUSER	A19 60W MAX.

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Comm No. 01MH4.03

Sheet Title:  
ELECTRICAL PLANS

APPLICATION # 1065

DINAN RESIDENCE  
17 Orland Street  
Milford, Connecticut 06460

STATE OF CONNECTICUT  
DEPARTMENT OF HOUSING  
COMMUNITY DEVELOPMENT BLOCK GRANT  
DISASTER RECOVERY PROGRAM  
(CDBG-DR)

Date:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Job Number:  
Drawn By: JTF  
Approved By: JKH

Sheet Number:  
**E-1**

**DIVISION 16000 - MECHANICAL**

**PART 1 - GENERAL**

- 1.1 PIPE HANGERS AND SUPPORTS SHALL MEET THE REQUIREMENTS OF MSS SP-69 AND SP-89 DEVELOPED BY THE MANUFACTURERS STANDARDIZATION SOCIETY OF THE VALVES AND FITTINGS INDUSTRY INC.
- 1.2 SEISMIC SUPPORTS AND RESTRAINTS FOR EQUIPMENT, DUCTWORK AND PIPING SHALL MEET STATE BUILDING CODE REQUIREMENTS AND SMACNA SEISMIC RESTRAINT MANUAL GUIDELINES.
- 1.3 GENERAL PIPING REQUIREMENTS:
  - A. ALL PIPING SHALL BE RUN PARALLEL TO THE LINE OF THE BUILDING.
  - B. PITCH OF LINES SHALL BE UNIFORM AND TRUE WITH NO SAGS, POCKETS OR TRAPS. ECCENTRIC FITTINGS SHALL BE USED WHERE NECESSARY TO PROVIDE COMPLETE DRAINAGE.
  - C. PROVIDE ISOLATION VALVES AT ALL CONNECTIONS TO FIXTURES AND ALL BRANCH TAKE-OFFS.
  - D. PROVIDE MANUAL VENT VALVES AT ALL HIGH POINTS AND DRAIN VALVES AT ALL LOW POINTS.
  - E. SCREWED PIPE JOINTS SHALL BE MADE WITH TEFLON PIPE THREAD TAPE OR APPROVED PIPE JOINT COMPOUND.

- 1.4 GENERAL DUCTWORK REQUIREMENTS:
  - A. ALL DUCTWORK SHALL BE INSTALLED STRAIGHT AND PARALLEL TO LINE OF BUILDING AND SHALL BE SUBSTANTIALLY SUPPORTED AS REQUIRED BY SMACNA MANUALS.
  - B. DUCT SIZES SHOWN SHALL BE STRICTLY FOLLOWED AND NO CHANGES IN SHAPE OR DIMENSIONS SHALL BE MADE BY THE CONTRACTOR WITHOUT FIRST OBTAINING APPROVAL FROM THE ENGINEER. WHERE DUCTS MUST BE OFFSET TO CLEAR STRUCTURAL MEMBERS AND, IF NECESSARY TO ALTER DIMENSIONS OF THE DUCTS, THIS MAY BE DONE PROVIDED THE CROSS-SECTIONAL AREA IS IN NO CASE REDUCED.
  - C. ALL DUCT RUNS SHALL BE CHECKED FOR CLEARANCES BEFORE INSTALLATION OF ANY DUCTWORK. ABOVE HUNG CEILINGS, DUCT LOCATIONS AND ELEVATIONS MUST BE COORDINATED WITH WORK OF OTHER TRADES TO AVOID CONFLICTS WITH EXISTING DUCTWORK, PIPING, CONDUIT AND RECESSED FIXTURES. CLEARANCES BELOW DUCTS IN EQUIPMENT ROOMS AND AREAS WITHOUT HUNG CEILINGS MUST BE ADEQUATE FOR ACCESS AND MAINTENANCE OF EQUIPMENT.
  - D. INSTALL FLEXIBLE DUCT CONNECTIONS AT INLET AND DISCHARGE DUCT CONNECTIONS TO FANS.
  - E. INSTALL MINIMUM 10" X 12" ACCESS DOOR FOR INSPECTION IN DUCTS AT ALL DUCT MOUNTED ACCESSORIES, CONTROL COMPONENTS AND WHERE SHOWN ON THE DRAWINGS.

- 1.5 TESTING:
  - A. ALL PIPING SYSTEMS INSTALLED UNDER THIS CONTRACT SHALL BE PRESSURE TESTED WITH CLEAN WATER, UNLESS NOTED OTHERWISE, TO INSURE TIGHTNESS.
    - 1. HOT AND COLD WATER SUPPLY PIPING SHALL BE TESTED TO 150 PSIG.
    - 2. DRAINAGE AND VENT PIPING SHALL BE TESTED TO 10 FOOT HEAD OF WATER.
    - 3. GAS PIPING SHALL BE TESTED IN ACCORDANCE WITH NFPA 54. TEST PRESSURE SHALL BE 3 PSIG. TEST MEDIUM SHALL BE AIR, NITROGEN OR CARBON DIOXIDE.
    - 4. REFRIGERATION PIPING SHALL BE TESTED TO 200 PSIG. TEST MEDIUM SHALL BE NITROGEN.
  - B. CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL PLUGS, PIPING, VALVES, HOSES, AND PUMPS NECESSARY FOR THE REQUIRED TESTS AND FOR PROPER DISPOSAL OF THE TEST MEDIUM UPON COMPLETION OF THE TESTS.

- 1.6 CLEANING OF THE PIPING SYSTEMS:
  - A. UPON COMPLETION OF ALL WORK AND SATISFACTORY TESTING, ALL PIPING SYSTEMS (EXCEPT REFRIGERATION AND GAS PIPING) SHALL BE FLUSHED WITH WATER TO REMOVE DIRT, GRIT, CHIPS AND FOREIGN MATTER. GAS PIPING SHALL BE PURGED OF AIR IN ACCORDANCE WITH NFPA 54.
  - B. WATER FOR FLUSHING SHALL BE USED IN SUFFICIENT QUANTITY TO PRODUCE A VELOCITY OF AT LEAST 2.5 FEET PER SECOND. FLUSHING SHALL CONTINUE UNTIL DISCHARGE WATER SHOWS NO DISCOLORATION OR EVIDENCE OF FOREIGN MATERIALS.
  - C. DURING FLUSHING OPERATION, ALL VALVES SHALL BE OPERATED SEVERAL TIMES, BYPASSES OPENED AND EQUIPMENT FLUSHED.
  - D. UPON COMPLETION OF FLUSHING OPERATIONS, ALL STRAINERS, FILTERS AND BLOWDOWNS SHALL BE REMOVED AND CLEANED OF ACCUMULATED WASTE.
  - E. CARE SHOULD BE TAKEN TO INSURE THE COMPLETE REMOVAL OF ALL WATER FROM THE LINE OR SYSTEM AFTER TESTING. IF THERE IS ANY DANGER OF CONTAMINATION OR FREEZING, BLOW OUT THE FLUID WITH DRY, OIL-FREE AIR.

- 1.7 CLEANING AND STERILIZATION OF POTABLE WATER SYSTEM: PURGE OF DELETERIOUS MATTER AND DISINFECT PRIOR TO USE. THE METHOD TO BE FOLLOWED SHALL BE THAT PRESCRIBED BY THE HEALTH AUTHORITY HAVING JURISDICTION, OR, IN THE ABSENCE OF A PRESCRIBED METHOD, THE PROCEDURE DESCRIBED IN EITHER AWWA C652 OR AWWA C5186.
- 1.8 INSULATION FOR REFRIGERANT PIPING SHALL BE FLEXIBLE ELASTOMERIC CELLULAR, ARMSTRONG ARMAFLEX AP OR APPROVED EQUAL. SEAMS AND JOINTS SHALL BE SEALED WITH MANUFACTURERS ADHESIVE. ALL INSULATION SHALL BE FINISHED WITH MANUFACTURERS FINISH. INSULATION THICKNESS AT SUCTION LINE AND LIQUID LINE SHALL BE 1-1/2".
- 1.9 PIPE INSULATION SHALL BE RIGID, HEAVY DENSITY, PREFORMED GLASS FIBER, WITH ALL SERVICE JACKET. JACKET SHALL HAVE PRESSURE SENSITIVE TAPE CLOSURE. BUTT JOINTS SHALL HAVE 3" WIDE TAPE OF SAME MATERIAL. VALVES AND FITTINGS SHALL BE INSULATED WITH ZESTON, OR APPROVED EQUAL, INSULATED PVC, ONE PIECE, SNAP-TYPE COVERS AND ZESTON 1 1/2" Z-TAPE, 10 MIL. EXTERIOR INSULATED PIPES SHALL HAVE ALUMINUM JACKET. INSULATION THICKNESS AS FOLLOWS:

SYSTEM	INSULATION THICKNESS
A. DOMESTIC COLD WATER EXTERIOR TO BLDG ENVELOPE	2"
B. DOMESTIC COLD WATER	1-1/2"
C. DOMESTIC HOT WATER AND TEMPERED HW	1-1/2"

- 1.10 PIPE IDENTIFICATION:
  - A. ALL PIPING SHALL BE IDENTIFIED WITH NAME AND FLOW DIRECTION ARROWS. MARKERS SHALL BE PLACED EVERY 40 LINEAL FEET ON STRAIGHT RUNS, AT CHANGES IN DIRECTION, AND AT WALL PENETRATIONS (BOTH SIDES).
  - B. PIPE MARKERS SHALL BE EQUAL TO SETMARK, AS MANUFACTURED BY SETON NAMEPLATE CO.
    - 1. TEXT AND BACKGROUND COLORS SHALL FOLLOW ANSI A13.1.

**PART 2 - PLUMBING**

- 2.1 WATER PIPING: SHALL BE TYPE L HARD DRAWN COPPER TUBING CONFORMING TO ASTM B88, WITH ASME B16.22 WROUGHT COPPER FITTINGS, ASTM B32 SOLDER GRADE 95TA JOINTS.
- 2.2 BURIED DRAINAGE PIPING: SANITARY AND VENT PIPING SHALL BE CENTRIFUGALLY SPUN, BELL AND SPIGOT, SERVICE WEIGHT, CAST IRON PIPE, TAR COATED CONFORMING TO ASTM A74. FITTINGS SHALL BE MADE OF SAME MATERIAL AS PIPE AND SHALL BE COMPATIBLE WITH IT. JOINTS SHALL BE MADE USING NEOPRENE RUBBER GASKET FOR PUSH-ON JOINTING.
- 2.3 ABOVE GROUND DRAINAGE PIPING: SANITARY AND VENT PIPING SHALL BE CENTRIFUGALLY SPUN, BELL AND SPIGOT, SERVICE WEIGHT NO HUB CAST IRON PIPE, TAR COATED, CONFORMING TO ASTM A74. FITTINGS SHALL BE MADE OF SAME MATERIAL AS PIPE AND SHALL BE COMPATIBLE WITH IT. JOINTS SHALL BE MADE USING NEOPRENE SEALING SLEEVE AND A 4-BAND STAINLESS STEEL SHIELD WITH TIGHTENING DEVICE.
- 2.4 NATURAL GAS PIPING: NATURAL GAS PIPING SHALL BE SCHEDULE 40 BLACK STEEL CONFORMING TO ASTM A53. FITTINGS SHALL BE 150 LB MALLEABLE IRON SCREWED CONFORMING TO ASTM B16.3. JOINTS SHALL BE THREADED OR WELDED IN ACCORDANCE WITH ANSI B31.2 AND NFPA 54.
- 2.5 VALVES SHALL BE AS FOLLOWS:
  - A. BALL VALVES: 2" AND SMALLER - JAMESBURY CLINCHER SERIES 2000.
  - B. PLUG VALVES: 2" AND SMALLER - DEZURIK SERIES 100.

- 2.6 WATER HAMMER ARRESTERS: TYPE "K" HARD DRAWN COPPER BARREL, BRASS PISTON AND THREADED ADAPTER, NORMAL OPERATING PRESSURE 35 TO 250 PSIG. WATER HAMMER ARRESTERS SHALL BE PRECISION PLUMBING PRODUCTS INC., SC SERIES, MODEL SC500 OR EQUAL.
- 2.7 PLUMBING FIXTURES (OR APPROVED EQUAL):
  - A. WATER CLOSET: ADA COMPLIANT, VITREOUS CHINA, FLOOR MOUNTED, ELONGATED BOWL, WHITE, 1.28 GPF, KOHLER MODEL K-3837 WITH KOHLER MODEL K-4774 SEAT.
  - B. LAVATORY: ADA COMPLIANT, VITREOUS CHINA, PEDESTAL MOUNTED, WHITE, 4" CENTERS, KOHLER MODEL K-2286. PROVIDE CHROME FINISHED, DUAL LEVER HANDLE FAUCET, KOHLER MODEL K-12266 WITH 1.5 GPM AERATOR AND 1-1/4" TAILPIECE WITH POP-UP DRAIN.
  - C. SHOWER: 60"x30" FLOOR MOUNTED, WHITE, RECEPTOR, HIGH GLOSS ACRYLIC, STERLING MODEL Z717110 WITH KOHLER MODEL K-76600 SLIDING SHOWER DOORS. PROVIDE CHROME FINISHED KOHLER MODEL K-12014-4 SHOWER TRIM WITH KOHLER MODEL K-304RITE-TEMP PRESSURE BALANCING, DIAPHRAGM TYPE MIXING VALVE WITH HIGH TEMP LIMIT SAFETY.
  - D. KITCHEN SINK: ADA COMPLIANT, COUNTER MOUNTED, SELF-RIMMING, 18 GA. STAINLESS STEEL, SINGLE HOLE, JUST MODEL SLX-Z55A-GR. PROVIDE SINGLE HANDLE, TOUCH-CONTROL, PULL OUT SPRAY, CHROME FINISHED FAUCET, KOHLER MODEL K-560 WITH 1.8 GPM AERATOR, DRAIN WITH STRAINER AND 1-1/2" TAILPIECE.
  - E. CLOTHES WASHER CONNECTION: SYMMONS MODEL W-602 WITH BRASS WATER CONTROL VALVES AND DRAIN.

- 2.8 PLUMBING EQUIPMENT
  - A. DOMESTIC WATER HEATER SHALL BE ENERGY STAR RATED, PACKAGED, WALL MOUNTED, NATURAL GAS-FIRED, TANKLESS, ULTRA HIGH EFFICIENCY (0.88 ENERGY FACTOR), CONDENSING TYPE, NAVIEN MODEL NPE-180S OR APPROVED EQUAL, PROVIDE WITH INTEGRAL DDC CONTROLS, FULLY MODULATING BURNER WITH DIRECT SPARK IGNITION, DUAL STAINLESS STEEL HEAT EXCHANGERS, GAS VALVE WITH SAFETIES, PLUMB EASY VALVE SET, DIRECT VENT WITH OUTDOOR VENT KIT AND CONDENSATION NEUTRALIZATION KIT. HEATER SHALL BE DESIGNED FOR USE WITH 115V/1-PHASE POWER. CAPACITY SHALL BE 15,000 TO 150,000 BTUH WITH AN ENERGY FACTOR OF 0.98.
  - B. WATER HEATER FLUE AND COMBUSTION AIR INTAKE SHALL BE SCHEDULE 40 PVC WITH SOLVENT WELD FITTINGS.

**PART 3 - HVAC**

- 3.1 UNIT HEATER
  - A. NATURAL GAS-FIRED, SEPARATED COMBUSTION, LOW PROFILE, SINGLE-STAGE WITH DIRECT SPARK IGNITION MODINE HOT DAWG MODEL HDS-30. CAPACITY SHALL BE 30,000 BTUH.
- 3.2 EXHAUST FAN
  - A. ENERGY STAR RATED, LOW NOISE, CEILING MOUNT TYPE, FAN SHALL BE VARIABLE SPEED, DIRECT DRIVE, BRUSHLESS DC MOTOR, ACUSTICALLY INSULATED AND ANCA CERTIFIED. PROVIDE FAN WITH CEILING GRILLE, 32-WATT FLUORESCENT LIGHT AND 4-WATT NIGHT LIGHT. NOISE LEVEL SHALL BE LESS THAN 1 SONE AT HIGH SPEED. FAN SHALL BE PANASONIC WHISPER-LITE SERIES MODEL FV-08VQL4.
- 3.3 REMOTE AIR-COOLED CONDENSER
  - A. R-410A BASED, MINIMUM 14.50 SEER, AMERICAN STANDARD SILVER SI SERIES. CONDENSER SHALL BE DESIGNED FOR USE WITH EXISTING AMERICAN STANDARD FREEDOM 90 GAS-FIRED FURNACE. CONTRACTOR TO FIELD VERIFY REQUIRED CAPACITY.
- 3.4 PIPING
  - A. REFRIGERANT PIPING SHALL BE TYPE L ACR COPPER TUBING WITH WROUGHT COPPER FITTINGS AND 95S SOLDERED JOINTS.
- 3.5 DUCTWORK SHALL BE CONSTRUCTED OF GALVANIZED STEEL IN ACCORDANCE WITH ASHRAE AND SMACNA STANDARDS. PROVIDE TURNING VANES WHERE SQUARE ELBOWS ARE USED. ACCESS DOORS AT ALL DUCT MOUNTED CONTROL DEVICES AND VOLUME DAMPERS AS REQUIRED FOR PROPER BALANCING OF THE SYSTEM. FLEXIBLE DUCT SHALL BE THERM-FLEX MODEL 144F WITH 1 1/2" INSULATION, UL 181 LISTING AND MAXIMUM LENGTH OF 8'-0".
- 3.6 DIFFUSER, REGISTERS AND GRILLES
  - A. SHALL BE EQUAL TO QUALITY AND PERFORMANCE OF MODELS MANUFACTURED BY TITUS. SIZES AND TYPES SHALL MATCH EXISTING.
- 3.7 CONTROLS: ELECTRONIC CONTROLS SHALL INCLUDE THERMOSTATS, CONTROL PANELS, RELAYS, TRANSFORMERS, SENSORS AND ACCESSORIES AS REQUIRED TO PERFORM THE SEQUENCES AS DESCRIBED BELOW. INSTALLATION OF CONDUIT, CONDUCTORS AND ELECTRICAL DEVICES SHALL CONFORM TO DIVISION 16000 - ELECTRICAL.

- A. CONTROLS, SEQUENCES-OF-OPERATION:
  - 1. EXHAUST FAN SHALL OPERATE UPON ACTIVATION OF ROOM LIGHT SWITCH, FAN SHALL OPERATE ON HIGH SPEED SUBJECT TO A (A0.1) TIME DELAY.
  - 2. GAS UNIT HEATER FAN SHALL START WHEN THE SPACE TEMPERATURE DROPS BELOW 70 DEG F (ADJUSTABLE), CONTROL IS BY ROOM THERMOSTAT.

- 4.1 CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE START OF WORK INCLUDING SIZES OF PIPING TO BE RE-USED. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DIFFERENCES FROM THE DESIGN DOCUMENTS ARE NOTED.
- 4.2 CONTRACTOR SHALL COORDINATE WITH ALL TRADES PRIOR TO THE START OF WORK.
- 4.3 ALL EQUIPMENT SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS.
- 4.4 CONTRACTOR SHALL INSTRUCT HOMEOWNER ON THE PROPER OPERATION AND MAINTENANCE OF ALL EQUIPMENT AT THE COMPLETION OF CONSTRUCTION AT A TIME CONVENIENT TO THE OWNER.
- 4.5 CONTRACTOR SHALL PROVIDE TWO COPIES OF PROJECT O&M MANUALS TO THE OWNER AT COMPLETION OF PROJECT.

**DIVISION 1600 - ELECTRICAL**

**WORK INCLUDED - THE WORK TO BE PROVIDED UNDER THIS DIVISION INCLUDES:**

- A. FEEDERS AND PANELS.
  - B. POWER WIRING FOR MECHANICAL AND PLUMBING EQUIPMENT.
- SCOPE - THIS WORK SHALL CONSIST OF THE FURNISHING OF ALL LABOR, MATERIALS AND SERVICES REQUIRED COMPLETE, READY FOR CORRECTION OPERATION, ALL ELECTRICAL WORK CALLED FOR BY THE ACCOMPANYING DRAWINGS AND SPECIFICATIONS. ALL ELECTRICAL SHALL BE PERFORMED IN ACCORDANCE WITH THE 2011 NATIONAL ELECTRICAL CODE, STATE AND LOCAL CODES.**

**PERMITS, FEES AND INSPECTIONS -** THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES, OBTAIN ALL PERMITS, PAY ALL GOVERNMENTAL AND STATE SALES TAXES AND FEES APPLICABLE. THE CONTRACTOR SHALL FILE ALL DRAWINGS, AND OBTAIN ALL NECESSARY APPROVAL FROM PROPER AUTHORITY OR AGENCY HAVING JURISDICTION, OBTAIN ALL REQUIRED CERTIFICATES OF INSPECTION COVERING HIS WORK. THE CONTRACTOR SHALL SEE THAT ALL REQUIRED INSPECTIONS AND TESTS ARE MADE AND SHALL COOPERATE TO MAKE THESE TESTS AS THOROUGH AND AS READILY MADE AS POSSIBLE.

**COORDINATION -** ALL WORK SHALL BE CARRIED OUT IN CONJUNCTION WITH OTHER TRADES AND FULL COOPERATION SHALL BE GIVEN IN ORDER THAT ALL WORK MAY PROCEED WITH A MINIMUM OF DELAY AND INTERFERENCE.

**GUARANTEES -** ALL WORKMANSHIP AND MATERIALS SHALL BE FULLY GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL COMPLETION OF THE ENTIRE INSTALLATION COVERED BY THIS CONTRACT. SHOULD ANY DEFECTS OCCUR DURING THIS GUARANTEE PERIOD, THE CONTRACTOR SHALL REPAIR AND/OR REPLACE ALL DEFECTIVE EQUIPMENT, MATERIALS AND/OR WORK WITHOUT COST TO THE OWNER.

**TEMPORARY LIGHT AND POWER -** FURNISH AND INSTALL TEMPORARY ELECTRICAL POWER AND LIGHTING FOR USE BY ALL CONTRACTORS DURING THE COURSE OF CONSTRUCTION. ALL TEMPORARY WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE ARTICLES IN THE NATIONAL ELECTRICAL CODE, O.S.A. AND WITH ALL REQUIREMENTS OF ANY AUTHORITIES HAVING JURISDICTION OVER WORK.

**MATERIALS AND WORKMANSHIP -** ALL MATERIALS AND APPARATUS REQUIRED FOR THE WORK EXCEPT AS OTHERWISE SPECIFIED, SHALL BE NEW AND OF FIRST-CLASS QUALITY AND SHALL BE FURNISHED, DELIVERED, ERRECTED, CONNECTED AND FINISHED IN EVERY DETAIL AND SO SELECTED AND ARRANGED AS TO FIT PROPERLY INTO THE BUILDING SPACES. WHERE NO SPECIFIC KIND OR QUALITY OF MATERIAL IS GIVEN, A FIRST-CLASS STANDARD ARTICLE AS ACCEPTED BY THE ARCHITECT SHALL BE FURNISHED. ALL EQUIPMENT AND MATERIALS SHALL BE SPECIFICATION GRADE AND BEAR THE UNDERWRITER'S LABEL. ALL WORK SHALL BE OF A QUALITY CONSISTENT WITH GOOD TRADE PRACTICE AND SHALL BE INSTALLED IN A NEAT, WORKMANLIKE MANNER. THE ARCHITECT RESERVES THE RIGHT TO REJECT ANY WORK WHICH, IN HER OPINION, HAS BEEN INSTALLED IN A SUB-STANDARD, DANGEROUS OR UNSERVICEABLE MANNER. THE CONTRACTOR SHALL REPLACE SAID WORK IN A SATISFACTORY MANNER AT NO EXTRA CHARGE TO THE OWNER.

**PENETRATION SEALANT -** ALL PENETRATIONS SHALL BE SEALED WITH 3M INTUMESCENT FIRE BARRIER PENETRATION SEALANT, APPLIED PER MANUFACTURERS AND U.L. GUIDELINES.

**MATERIALS.**

**GENERAL -** ALL MATERIALS AND EQUIPMENT PROVIDED UNDER THIS SECTION SHALL BE NEW, FIRST GRADE, BEST OF THEIR SECTION AND SHALL MEET THE REQUIREMENTS OF ALL STANDARDS SET UP TO GOVERN THE MANUFACTURE OF ELECTRICAL MATERIALS AND COMPLY WITH ALL APPLICABLE CODES AND STANDARDS. ALL EQUIPMENT AND MATERIALS SHALL BE SPECIFICATION GRADE AND BEAR UNDERWRITER'S (U.L.) LABEL.

**POWER -** FROM UTILITY AT 240/120V, 1 PHASE, 3 WIRE IS AVAILABLE FROM EXISTING UTILITY METER AND METER CAN AS SHOWN ON THE DRAWINGS

**WIRE -** CONDUCTORS SHALL BE U.L. LISTED, 600 VOLTS, 90 DEG. C., SINGLE CONDUCTOR TYPE THWN/THHN, 98% CONDUCTIVITY ANNEALED UNCOATED COPPER WITH PVC INSULATION COVERED WITH NYLON SHEATH JACKET. TESTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE UNDERWRITER'S LABORATORIES STANDARD 83. WIRE SHALL BE IDENTIFIED BY SURFACE MARKING, INDICATING MANUFACTURER'S IDENTIFICATION, CONDUCTOR SIZE AND METAL, VOLTAGE RATING, U.L. SYMBOL AND TYPE DESIGNATION. CONDUCTORS SHALL BE STRANDED. MINIMUM SIZE SHALL BE #12AWG UNLESS OTHERWISE INDICATED. MANUFACTURED BY ESSEX, ROME CABLE, TRIANGLE CABLE OR GENERAL CABLE.

**NON METALIC SHEATHED CABLE -** TYPE - NM-B CABLE SHALL BE OF MAXIMUM OPERATING VOLTAGE 600 VOLTS, MAXIMUM CONDUCTOR OPERATION, TEMPERATURE: 90°C DRY (CONDUCTOR AMPACITY IS LIMITED TO 60°C, IN ACCORDANCE WITH NEC).

**ARMORED CABLE (AC) -** ARMORED CABLE SHALL BE OF GALVANIZED STEEL INTERLOCKING ARMOR CONSTRUCTION, COLOR CODED THERMOPLASTIC INSULATED COPPER CONDUCTORS 90 DEG. C, 600 VOLTS. CONDUCTOR SIZES SHALL BE AS INDICATED ON THE DRAWINGS. IF NOT INDICATED, THE SIZES OF POWER AND LIGHTING CONDUCTORS SHALL NOT BE LESS THAN SIZE #12AWG. MANUFACTURED BY AMERICAN FLEXIBLE CONDUIT, TRIANGLE OR SOUTHWIRE. CONNECTORS SHALL BE SQUEEZE TYPE, DIE CAST ZINC OR MALLEABLE IRON - CADMIUM PLATED, MANUFACTURED BY OZ GEDNEY, APPLETON OR THOMAS-BETTS.

**FITTINGS -** CONDUIT STRAPS SHALL BE SNAP-TYPE, DOUBLE RIBBED STEEL - ZINC PLATED. METAL CLAD CABLE AND FLEXIBLE METALLIC CONDUIT CONNECTORS SHALL BE MALLEABLE IRON-ZINC PLATED, MALE HUB THREADS WITH LOCKNUT.

**BOXES -** RECESSED OUTLET BOXES SHALL BE DRAWN STEEL, GALVANIZED WITH A MINIMUM DEPTH OF 1-1/2 INCHES. MINIMUM SIZE SHALL BE 4 INCH X 4 INCH SQUARE. PROVIDE AND INSTALL PLASTER RINGS AS REQUIRED. OUTLET BOXES FOR SURFACE MOUNTED SWITCHES AND RECEPTACLES SHALL BE TYPE FD, CAST FERROALLOY WITH THREADED HUBS. PROVIDE GASKETED COVER AS REQUIRED.

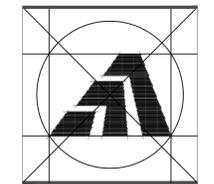
**SWITCHES -** SPECIFICATION GRADE, 120-277VAC, 20 AMP, SINGLE POLE. COLOR SHALL BE (IVORY) (GRAY) (WHITE) (BROWN) (RED). RECEPTACLE AND SWITCH COVER PLATES SHALL BE (SMOOTH THERMOPLASTIC) (STAINLESS STEEL 302) (IVORY) (RED) (LABELED EMERGENCY) (WHERE INDICATED).

**PANELBOARDS -** PANELBOARDS: NEMA PB 1, CIRCUIT BREAKER TYPE. USE EXISTING PANEL AND EXISTING CIRCUIT BREAKER NOTED IN PANEL FOR BOILER CIRCUIT.

**IDENTIFICATION -** PROVIDE AND INSTALL MARKERS FOR ALL CONDUITS, MARKERS SHALL BE BRADY TYPE ADHESIVE-BACKED, PLASTIC-FACED OF SUITABLE COLOR. MARKER SHALL IDENTIFY SYSTEM AND ELECTRICAL CHARACTERISTICS. INSTALL MARKERS AT POINT OF ORIGIN, TERMINATION, ADJACENT TO EACH INTERMEDIATE SPLICE, AND ALL BOXES IN RUN. IDENTIFY ALL CONDUCTORS AT ORIGIN, TERMINATION AND AT INTERMEDIATE BOXES BY MEANS OF "BRADY" TYPE, PRESSURE SENSITIVE, PLASTIC COATED FACE STICK-ON LABELS EXCEPT FEEDERS SHALL HAVE PHENOLIC TAGS ENGRAVED WITH CIRCUIT DESIGNATIONS AND ATTACHED WITH PLASTIC TIE-WRAPS.

**TESTING -** UPON COMPLETION OF HIS WORK, CONTRACTOR SHALL CONDUCT (WITH OTHER RELATED CONTRACTORS) OPERATING TESTS OF ALL ELECTRICALLY OPERATED OR CONTROLLED EQUIPMENT FOR APPROVAL AT SUCH TIME AS THE OWNER MAY DIRECT. EQUIPMENT SHALL OPERATE IN ACCORDANCE WITH THE REQUIREMENTS OF DRAWINGS AND SPECIFICATIONS. TESTS SHALL BE PERFORMED IN THE PRESENCE OF OWNER. THE CONTRACTOR SHALL PROVIDE LABOR, MATERIALS, AND INSTRUMENTS REQUIRED FOR ELECTRICAL PORTION OF TESTS. DEFECTIVE MATERIALS AND WORKMANSHIP DISCLOSED BY TEST SHALL BE CORRECTED AT CONTRACTOR'S EXPENSE.

**PROTECTIVE PAINTING -** TOUCH-UP FACTORY PAINTED EQUIPMENT THAT HAS BEEN DAMAGED DURING HANDLING OR INSTALLATION. FEATHER DAMAGED AREA AND APPLY PRIMER PLUS TWO FRESH COATS TO EXISTING FINISH.



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Comm No. 01MH4.03

**Sheet Title:**  
**MEP SPECIFICATIONS**

**APPLICATION # 1065**

**DINAN RESIDENCE**  
17 Orland Street  
Milford, Connecticut 06460

**STATE OF CONNECTICUT  
DEPARTMENT OF HOUSING  
COMMUNITY DEVELOPMENT BLOCK GRANT  
DISASTER RECOVERY PROGRAM  
(CDBG-DR)**

Date:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Job Number:  
Drawn By: RJS/JKH  
Approved By:

Sheet Number:  
**SP-1**

PROGRESS 6/20/14  
NOT FOR CONSTRUCTION

**PAUL J. STOWELL  
LAND SURVEYING SERVICES**

171 WILCOX ROAD  
MILFORD CT. 06460  
PHONE (860)537-0046  
FAX (860) 799-8341



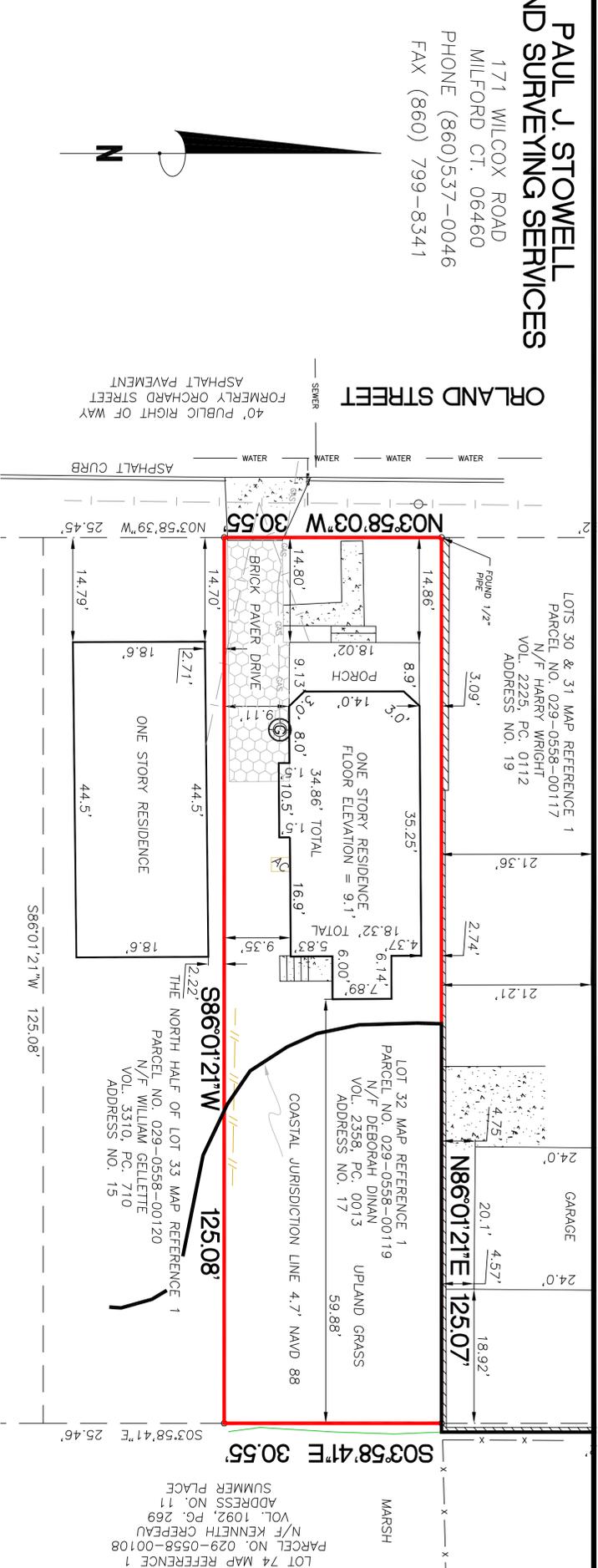
ASSESSOR MAP 29 (NOT TO SCALE)



CURRENT FLOOD MAP (NOT TO SCALE)

**LEGAL DESCRIPTION**

A CERTAIN PIECE OR PARCEL OF LAND WITH THE BUILDINGS AND IMPROVEMENTS THEREON, LOCATED IN THE CITY OF MILFORD, COUNTY OF NEW HAVEN AND STATE OF CONNECTICUT, KNOWN AS ASSESSOR'S MAP 29, BLOCK 558, LOTS 119 AND 19A, CONSISTING OF 3821 SQUARE FEET, MORE OR LESS DESCRIBED AS:  
LOT 32 MAP NUMBER E-330 AS RECORDED IN THE OFFICE OF THE CLERK, CITY OF MILFORD, COUNTY OF NEW HAVEN, STATE OF CONNECTICUT.



A2 EXISTING CONDITION SURVEY

SCHEDULE OF LOT 19A AND BUILDING REQUIREMENTS (R-5)

CATEGORY	MIN. REQUIRED	MAX. PERMITTED	EXISTING	PROPOSED
LOT AREA	5000 SQ. FT.	N/A	3821 SQ. FT.	3821 SQ. FT.
LOT DEPTH	50'	N/A	133'	133'
FRONT YARD SETBACKS (MINIMUM REQUIRED)	N/A	N/A	14.8'	14.8'
FRONT YARD	ONE SIDE 10' AND ONE SIDE 5'	9.1' & 2.7'	9.1' & 2.7'	9.1' & 2.7'
REAR YARD	20'	N/A	59.9'	59.9'
STORIES	3	3	1.1"	2
HEAVY BLDG. AREA	45%	45%	22.56	22.56
***LOT COVERAGE	65%	65%	32.61	32.61

\*10' OR ACTUAL FRONT YARD SETBACK, WHICHEVER IS GREATER.  
SHALL NOT BE REQUIRED TO BE COMPLETED.  
\*\*10' OR ACTUAL FRONT YARD SETBACK, WHICHEVER IS GREATER.  
\*\*\*LOT COVERAGE 1246/2821X100=32.81%

FLOOD ZONE AE 11'  
"FIRM" MAP 090082 0534 J, DATED 07-08-2013 (NAVD 1988 DATUM)  
(1 1/2"x1 1/2"x48") STAKE DRIVEN ON DOWNSLOPE SIDE OF TRENCH

- LEGEND**
- CENTERLINE
  - WOOD FENCE
  - X- METAL FENCE
  - CONC. WOOD
  - CHALK WOOD
  - ZZZZZZZ CONCRETE BLOCK WALL
  - OVERHEAD WIRES
  - CONCRETE FENCE
  - GUY ANCHOR
  - + 5.50' DENOTES ELEVATION
  - ☺ DENOTES TREE
  - ☒ DENOTES WETLAND FLAG
  - ☐ MONITORING WELL
  - ☑ CABLE JUNCTION BOX
  - POWER/LIGHT POLE
  - WATER METER
  - ☒ CLAMP PAD

**NOTES**

1. BASIS OF BEARINGS AS INDICATED ON SKETCH.
2. LEGAL DESCRIPTION WRITTEN BY THIS SURVEYOR.
3. THE LANDS SHOWN HEREON WERE NOT ABSTRACTED BY OWNERSHIP OR OTHER INSTRUMENTS OF RECORD.
4. UNDERGROUND OR INTERIOR PORTIONS OF FOOTINGS, FOUNDATIONS, WALLS OR OTHER NON-VISIBLE IMPROVEMENTS WERE NOT LOCATED.
5. ELEVATIONS ARE BASED ON THE NAVD 88 UNLESS OTHERWISE SHOWN.
6. FENCE TIES ARE TO THE CENTERLINE OF FENCE. WALL TIES ARE TO THE FACE OF WALL.
7. IN SOME INSTANCES GRAPHIC REPRESENTATIONS HAVE BEEN ENLARGED TO MORE CLEARLY ILLUSTRATE THE RELATIONSHIP BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES IN ALL CASES DIMENSIONS SHALL CONTROL. THE LOCATION OF THE IMPROVEMENTS SHOWN HEREON ARE IN SUBSTANTIAL AGREEMENT WITH RECORD VALUES UNLESS OTHERWISE NOTED.
8. EXISTING CORNERS FOUND OFF WITNESS PROPERTY CORNERS.
9. DISTRICT LINES NOT PROPOSED IMPROVEMENTS.
10. DISTRICT LINES NOT PROPOSED IMPROVEMENTS.
11. FLOOD ZONE LINES DEPICT THE PRELIMINARY BOUNDARY ON DISPLAY IN THE OFFICE OF PLANNING AND ZONING. TO BE ADOPTED IN JUNE 2013.

**SILT FENCE DETAIL**

FOR DEBORAH DINAN ON ADDRESS NO. 17 ORLAND STREET MILFORD, CONNECTICUT, 06460

**PLOT PLAN**

THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTION 20-300B-1 THROUGH 20-300B-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

THIS SURVEY CONFORMS TO A CLASS A-2 HORIZONTAL ACCURACY & A T-2 VERTICAL ACCURACY

SURVEY TYPE: PROPERTY/TOPOGRAPHIC SURVEY  
BOUNDARY DETERMINATION CATEGORY: RESURVEY  
PROPERTY OWNER: DEBORAH DINAN  
FIELD SURVEY DATE 05-03-2013  
PLOT PLAN ADDED 08-05-2013  
PLACED REAR DECK ON C/L 10-28-2013  
MAP REFERENCE: