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THE STATE OF CONNECTICUT
DEPARTMENT OF HOUSING (DOH)
COMMUNITY DEVELOPMENT BLOCK GRANT DISASTER RECOVERY PROGRAM (CDBG-DR)

OWNER OCCUPIED REHABILITATION AND REBUILDING PROGRAM (OORR)

**NEW FOUNDATIONS, ALTERATIONS
RAISING EXISTING RESIDENCE
INTERIOR REPAIRS AND ALTERATIONS
JEAN QUARTIANO RESIDENCE
38 MINOR ROAD
EAST HAVEN, CONNECTICUT 06512**

ADDENDUM NO. 1048-1

Date: February 17, 2015

Application No. 1048
LAA Project No. 1524-26

This Addendum forms part of the Contract Documents and amends the original Bidding Documents dated February 13, 2015, only in the following particulars. Original provisions of the Contract Documents shall remain in effect except as specifically amended by this Addendum.

Bidders shall consider amendments and the resulting cost differences shall be included in all bids.

Acknowledge receipt of this Addendum in the space provided on the Bid Proposal Form. Failure to do so may subject the bidder to disqualification.

A. GENERAL

1. Drawing No. A-101-Foundation Plan and First Floor Plan was inadvertently omitted from the posted bid set, and is issued herewith.
2. Omit extraneous copy of drawing S-101, from the posted bid set.

END OF ADDENDUM 1048-1

Attachment: Dwg A-101 dated 2.13.15

STRUCTURAL ENGINEER:



SURVEYOR:



ENVIRONMENTAL ENGINEER:



ISSUE NO.	ISSUE DATE	DESCRIPTION
1	13 FEB 2015	ISSUED FOR BID

ISSUE NO.	ISSUE DATE	DESCRIPTION
1	13 FEB 2015	ISSUED FOR BID

State Of Connecticut
Department Of Housing
505 Hudson Street
Hartford, Connecticut 06106

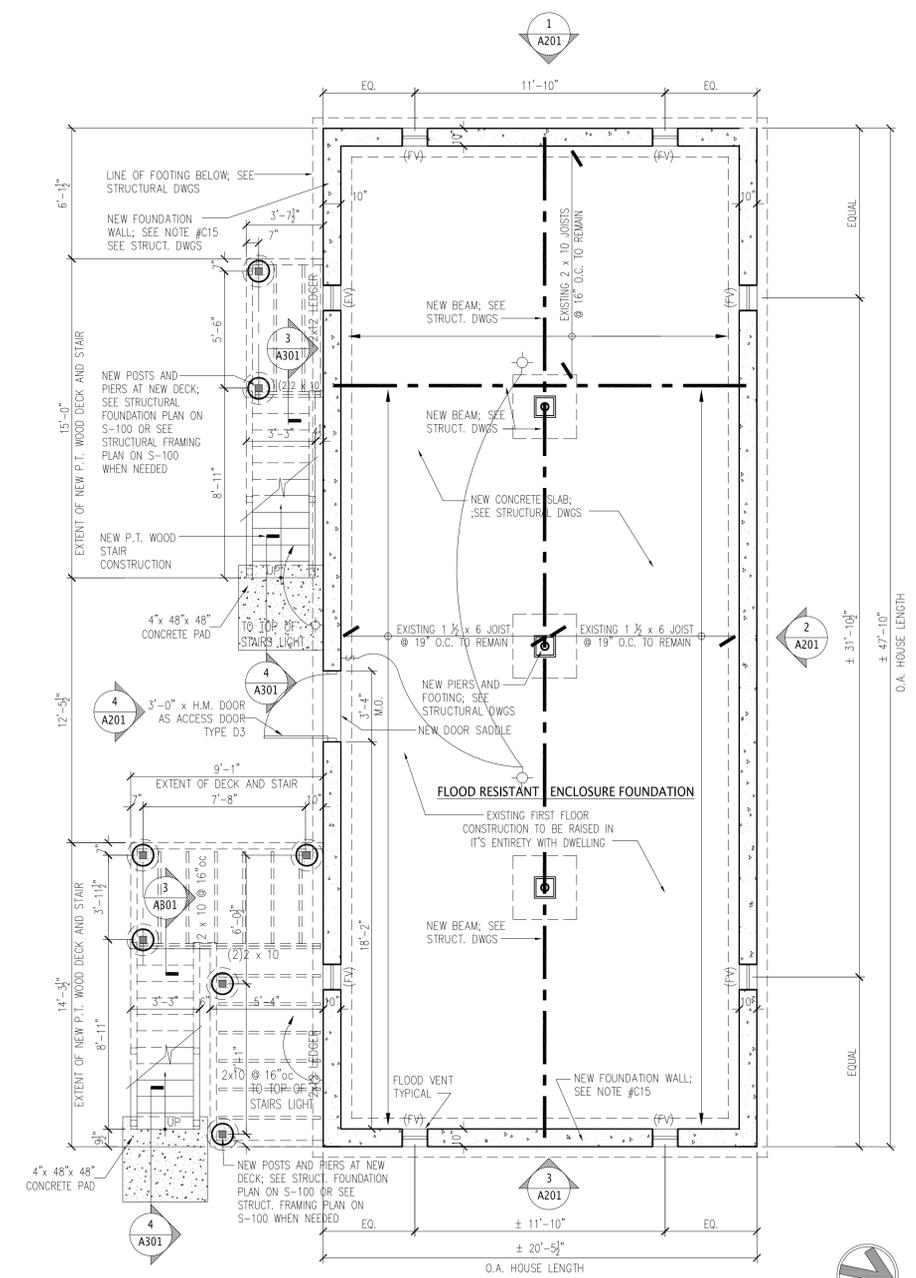
Application No. 1048
NEW FOUNDATION, RAISING EXISTING
RESIDENCE & INTERIOR REPAIRS & ALTERATIONS
FOR
JEAN QUARTIANO
38 Minor Road
East Haven, Connecticut 06512

FOUNDATION PLAN AND
FIRST FLOOR PLAN

PROJECT NO.: 1524-26 SCALE AS NOTED

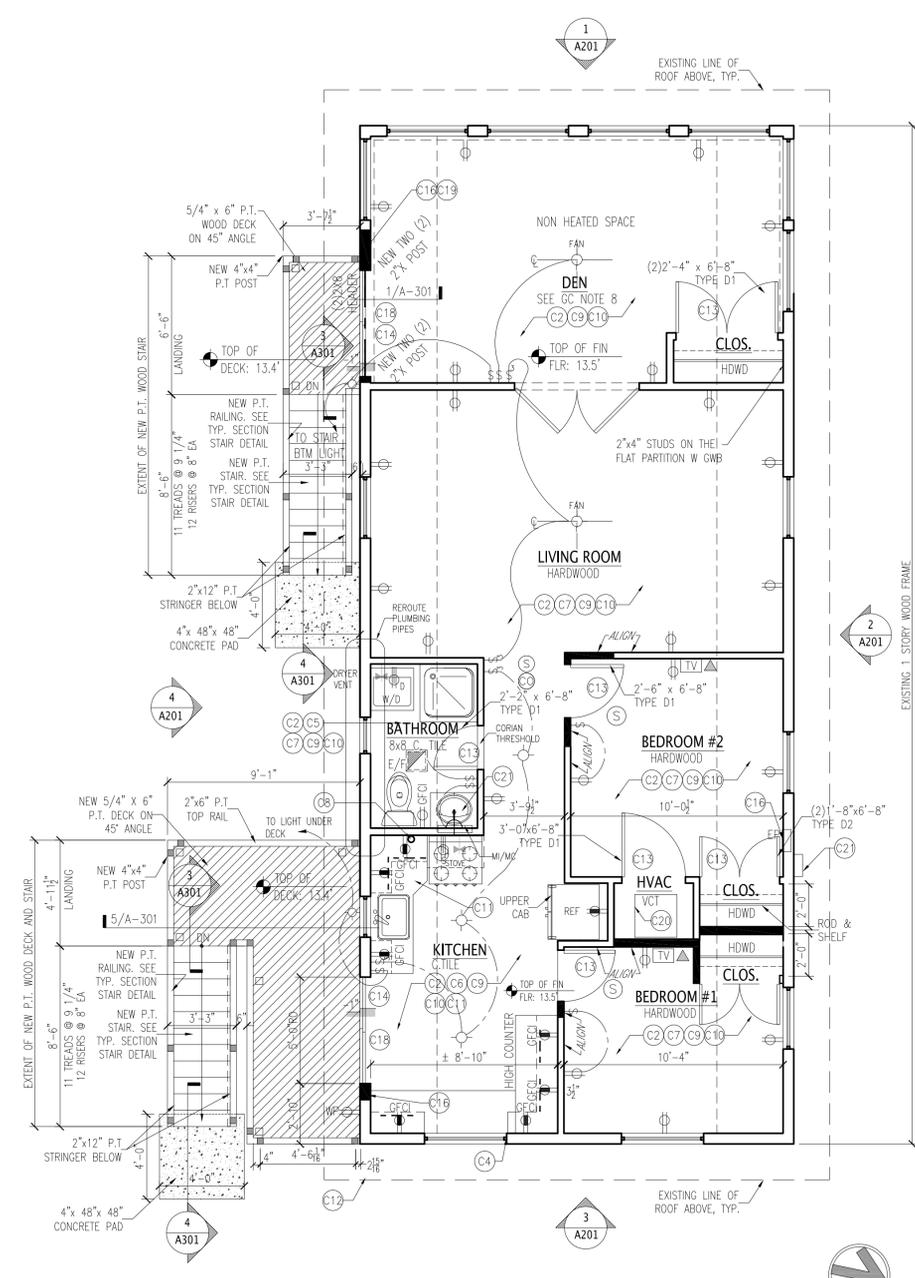
DRAWING NO.:

A-101

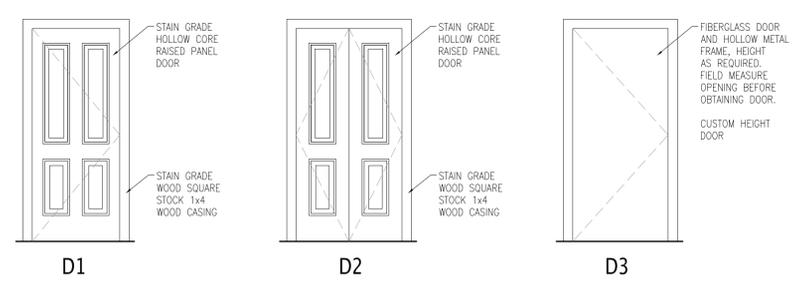


1 FOUNDATION PLAN
1/4" = 1'-0"

- ### GENERAL CONSTRUCTION NOTES
1. PROVIDE BASE BOARD FIN TUBE RADIATION (FTR) WHERE INDICATED. LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 2. PROVIDE TOE KICK HEATER UNIT IN KITCHEN BASE CABINETS. PROVIDE HARDWOOD FLOORING WHERE INDICATED ON THE PLANS. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 3. PROVIDE BATHROOM 8"x8" CERAMIC TILE FLOORING WITH CERAMIC TILE BASE AS LISTED. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 4. PROVIDE 1X4 STAINED WOOD BASE THROUGHOUT, EXCEPT BATHROOM.
 5. PROVIDE NEW HANGER ROD AND SHELF IN CLOSETS WHERE MISSING (TYPICAL).
 6. PROVIDE NEW JUNCTION BOX FOR CEILING FAN/ LIGHT COMBO AT FIRST FLOOR NEW MASTER BEDROOM. CEILING FAN/ LIGHT UNIT IS NOT INCLUDED IN CONTRACT AND SHALL BE EXPENDED AT OWNER'S EXPENSE.
 7. PROVIDE NEW VCT FLOORING. COLOR TO BE SELECTED BY OWNER. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 8. INSTALL (OWNER PROVIDED) HARDWOOD FLOORING. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION. CONTRACTOR SHALL PROVIDE ADDITIONAL FLOORING TO MATCH WHERE NEEDED.



2 FIRST FLOOR PLAN
1/4" = 1'-0"



3 INTERIOR DOOR ELEVATIONS
1/4" = 1'-0"

CONSTRUCTION KEYED NOTES

(C1) DIMENSIONS ARE TAKEN TO FACE OF WOOD FRAMING OR CONCRETE UNLESS OTHERWISE NOTED.	(C12) REPLACE REMOVED DRIP EDGE WITH NEW TO MATCH EXISTING. PATCH THE ADJACENT ROOF AREA IF DAMAGED DURING DRIP EDGE REPLACEMENT.
(C2) PROVIDE NEW GYPSUM WALL BOARD AT AREAS WHERE REMOVED. THICKNESS TO MATCH EXISTING. SEAL THE INSULATION VAPOR BARRIER, SPACKLE, TAPE, AND SAND TO MATCH EXISTING WALL. PRIME AND REPAINT ALL WALLS WITH TWO COATS, COLOR AS SELECTED BY THE OWNER.	(C13) PROVIDE NEW PRE-HUNG INTERIOR DOORS INCLUDING ALL DOOR HARDWARE. PROVIDE NEW DOOR TRIM. DOOR HARDWARE PROVIDED UNDER CONTRACT ALLOWANCE.
(C3) PROVIDE KRAFT FACED R-21 FIBERGLASS INSULATION AT EXTERIOR WALL FRAMING WHERE MISSING. OVERLAP PAPER FACE OVER EXISTING AND SEAL.	(C14) EXISTING DOOR AND FRAME TO BE REMOVED.
(C4) REPAIR ROTTED SECTION OF EXISTING WINDOW FRAME AS REQUIRED WITH NEW MATERIAL.	(C15) NEW CAST IN PLACE CONCRETE 10" FOUNDATION WALL AND 12" X 20" FOOTINGS. SEE STRUCTURAL DRAWINGS.
(C5) NEW BATHROOM PLUMBING FIXTURES, PROVIDED UNDER CONTRACT ALLOWANCE. PROVIDE NEW BATHROOM VANITY AS PER CONTRACT ALLOWANCE.	(C16) EXISTING ELECTRICAL SERVICE PANEL REMAIN. REPLACE ANY WIRING THAT HAS BEEN DAMAGED OR EXPOSED TO SALT WATER. EXISTING INTERIOR ELECTRICAL PANEL TO REMAIN.
(C6) KITCHEN APPLIANCES SHOWN ARE BY THE OWNER. PROVIDE POWER AND GAS CONNECTIONS AS REQUIRED.	(C17) PROVIDE NEW 2x FRAMING TO MATCH EXISTING CONSTRUCTION. PROVIDE NEW EXTERIOR SHEATHING AND SIDING TO MATCH. PROVIDE INSULATION AND WEATHER BARRIER. SEE ELEVATIONS FOR MORE INFORMATION.
(C7) INSTALL NEW HYDRONIC FIN TUBE RADIATION (FTR) BASE BOARDS IN THE ROOM.	(C18) NEW 5'-0" SLIDING GLASS DOOR. ANDERSEN 200 SERIES OR AS APPROVED BY ARCHITECT.
(C8) EXISTING VENT STACK PIPE TO REMAIN. CABINETRY TO BE CUSTOM FIT AROUND PIPING.	(C19) EXISTING WINDOW TO BE REMOVED.
(C9) REPLACE ALL ELEC DEVICES AND WIRING. PROVIDE NEW ELECTRICAL DEVICES UP TO 4'-0" A.F.F AND WIRING, WHERE ELECTRICAL DEVICES AND ASSOCIATED WIRING WERE DAMAGED (TYPICAL ALL ROOMS).	(C20) NEW CONDENSING BOILER WITH INTEGRATED DOMESTIC HOT WATER.
(C10) PROVIDE NEW PLYWOOD SUBFLOOR WHERE MISSING OR DAMAGED. SCREW AND GLUE TO FLOOR JOISTS IN ALL LOCATIONS. PROVIDE NEW FINISH FLOOR AS SPECIFIED. (TYPICAL @ ALL ROOMS)	(C21) EXISTING OVERHEAD ELECTRICAL & CABLE TV SERVICE CABLES SHALL BE DISCONNECTED & RECONNECTED AFTER LIFTING OPERATION. EXISTING ELECTRICAL METER TO REMAIN COORDINATE WITH UTILITY COMPANIES.
(C11) PROVIDE NEW KITCHEN CABINETRY ITEMS INCLUDING BUT NOT LIMITED TO BASE CABINETS, UPPER CABINETS, COUNTER TOPS, AND ASSOCIATED HARDWARE. CONTRACT ALLOWANCE.	

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