

# QUISENBERRY ARCARI

## ARCHITECTS, LLC

318 Main Street, Farmington, CT 06032    www.qa-architects.com    t (860) 677 - 4594    f (860) 677 - 8534

REHABILITATION / RECONSTRUCTION WORK FOR:

# PIETRINA SAPPERN

APPLICANT #1038

ISSUE DATE: OCTOBER 27, 2014

7 MELBA STREET

MILFORD, CT

### LIST OF DRAWINGS

- G1.0 COVER
- GENERAL NOTES
- SITE PLAN
- A-1 DEMO PLANS / FIRST FLOOR & DECK FRAMING PLANS / DETAILS
- A-2 ELEVATIONS / PAVER LAYOUT
- A-3 SECTIONS / DOOR INFORMATION
- A-4 BATH & KITCHEN RENOVATION / DETAILS
- S-101 FOUNDATION & FIRST FLOOR PLAN
- S-201 SECTIONS & TYPICAL DETAILS
- S-301 NOTES
- E-1 ELECTRICAL
- M-1 MECHANICAL & PLUMBING

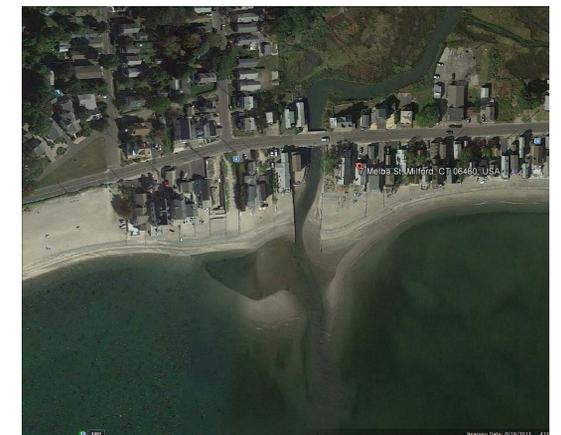
### COMMUNITY DEVELOPMENT BLOCK GRANT DISASTER RECOVERY PROGRAM (CDBG-DR)

### OWNER OCCUPIED REHABILITATION & REBUILDING PROGRAM (OORR)

SPONSORED IN CONJUNCTION WITH FUNDING FROM  
THE CONNECTICUT DEPARTMENT OF HOUSING



### LOCATION MAP



(INSERT STREET ADDRESS, CITY/TOWN) (QA#1346-?)

ABBREVIATIONS		FINISHES	
A.F.F.	Above Finish Floor	HGT.	Height
A.C.	Acoustic, Acoustical	H.M.	Hollow Metal
A.C.T.	Acoustical Tile	HORIZ.	Horizontal
A/C	Air Conditioning	H.B.	Hose Bibb
A.H.U.	Air Handling Unit	IN.	Inch
ALT.	Alternate	INCL.	Included
ALUM.	Aluminum	INFO.	Information
ALF.	Aluminum Frame	I.D.	Inside Diameter
ANCH.	Anchor, Anchorage	INSUL.	Insulation
AB.	Anchor Bolt	INT.	Interior
L	Angle	JT.	Joint
ANOD.	Anodized	K.P.	Kick Plate
APFR.	Approved	LAB	Laboratory
ARCH.	Architect, Architectural	LAV.	Lavatory
ASB.	Asbestos	LTG.	Lighting
A.P.B.O.	As Provided By Owner	MACH.	Machine
A.S.B.O.	As Selected By Owner	MAINT.	Maintenance
ASPH.	Asphalt	MFRG.	Manufacturer
ASSY.	Assembly	M.BD.	Marker Board
ASST.	Assistant	MA5.	Masonry
AUTO.	Automatic	M.O.	Masonry Opening
BM	Beam	MAT.	Material
BRG.	Bearing	MAX.	Maximum
BEV.	Bevel, Beveled	MECH.	Mechanical
BIT.	Bituminous	MEZZ.	Mezzanine
BLK.	Block	MIN.	Minimum
BLKG.	Blocking	MISC.	Miscellaneous
BD.	Board	N	North
BOT.	Bottom	N.I.C.	Not In Contract
B.O.	Bottom Of	N.T.S.	Not To Scale
B.E.J.	Brick Expansion Joint	OFF.	Office
BLDG.	Building	O.C.	On Center
B.U.R.	Built Up Roofing	O.H.	Overhead
CAB.	Cabinet	O.D.	Outside Diameter
C.U.H.	Cabinet Unit Heater	PTD.	Painted
CAP.	Capacity	PR.	Pair
CASE	Casement	P.T.D.	Paper Towel Dispenser
CLG.	Ceiling	PASS.	Passage
CLGHT.	Ceiling Height	PERP.	Perpendicular
CEM.	Cement	PLAS.	Plaster
CTR.	Center	PLAM.	Plastic Laminate
CL	Centerline	PL	Plate
C.T.	Ceramic Tile	PLUMB.	Plumbing
C.BD.	Chalk Board	PLYWD.	Plywood
CLO.	Closet	PVC.	Polyvinylchloride
COL.	Column	P.E.J.	Precast Expansion Joint
CONC.	Concrete	PREFAB.	Prefabricated
CONF.	Conference	QTY.	Quantity
CJ	Control Joint	Q.T.	Quarry Tile
CONT.	Continuous	RAD.	Radius
CONTR.	Contractor	RWC	Rain Water Conductor
CORR.	Corridor	REC.V.	Receiving
CRS.	Course, Courses	REFR.	Refrigerator
DEG.	Degree	REINF.	Reinforce
DEMO.	Demolition	REM	Remove
DEPT.	Department	REQD	Required
DET.	Detail	REV.	Revised, Revision
DIA.	Diameter	R.	Riser
DIM.	Dimension	R.D.	Roof Drain
DIST.	Distance	RM.	Room
DR.	Door	S.N.D.	Sanitary Napkin Dispenser
DBL.	Double	S.N.R.	Sanitary Napkin Receptacle
D.H.	Double Hung	SCHED.	Schedule
DN	Down	SC.	Scupper
D.S.	Downspout	SECT.	Section
DWG.	Drawing	S.J.	Seismic Joint
D.F.	Drinking Fountain	SHT.	Sheet
EA.	Each	SIM.	Similar
ELEC.	Electric, Electrical	S.D.	Soap Dispenser
EWC.	Electric Water Cooler	S.T.D.	Sound Transmission Class
EL	Elevation	S.T.C.	Sound Transmission Coefficient
ELEV.	Elevator	SPEC.	Specifications
EMERG.	Emergency	SQ.	Square
EQ.	Equal	S.F.	Square Feet
EQUIP.	Equipment	S.S.	Stainless Steel
EXIST.	Existing	STD.	Standard
E.T.R.	Existing To Remain	STL.	Steel
EXP.	Expansion	STOR.	Storage
E.J.	Expansion Joint	STRUCT.	Structure, Structural
EXT.	Exterior	S.STL.	Structural Steel
E.I.F.S.	Exterior Insulation Finish System	SUSP.	Suspend, Suspension
FT.	Feet, Foot	S.A.T.C.	Susp. Acoustic Tile Ceiling
F.R.G.P.	Fiber Reinforced Gypsum Panel	T.BD.	Tack Board
FIN.	Finish, Finished	THRU	Through
F.E.	Fire Extinguisher	T.P.D.	Toilet Paper Dispenser
F.R.	Fire Retardant	T.M.E.	To Match Existing
FPRFG.	Fireproofing	T&G	Tongue and Groove
FIXT.	Fixture	T.O.	Top Of
FLASH	Flashing	T.	Tread
FLR.	Floor	TYP.	Typical
F.D.	Floor Drain	U.L.	Underwriter's Laboratory
FLR.FIN.	Floor Finish	U.H.	Unit Heater
FTG.	Footing	U.V.	Unit Ventilator
FDN	Foundation	U.O.N.	Unless Otherwise Noted
FURN.	Furnish, Furnishings, Furniture	VEST.	Vestibule
FURR.	Furred, Furring	VCT.	Vinyl Composition Tile
GA.	Gauge	W.P.	Waterproofing
GALV.	Galvanized	W.W.F.	Welded Wire Fabric
GYP. BD.	Gypsum Board	W.BD.	White Board
G.C.	General Contractor	W	With
H.C.	Handicapped	WD.	Wood

**GYPSUM BOARD**

- PROVIDE AND INSTALL GYPSUM WALL BOARD IN ACCORDANCE WITH AMERICAN STANDARD SPECIFICATIONS FOR THE APPLICATION AND FINISHING OF GYPSUM WALLBOARD, AS APPROVED BY THE AMERICAN STANDARDS ASSOCIATION, LATEST EDITION; APPLICABLE PARTS THEREOF ARE HEREBY MADE A PART OF THIS SPECIFICATION EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE CALLED FOR IN THE SPECIFICATION, IN LOCAL CODES, OR BY THE MANUFACTURER OF THE GYPSUM WALLBOARD, WHOSE REQUIREMENTS SHALL BE FOLLOWED.
- PROVIDE AND INSTALL MOISTURE-RESISTANT GYPSUM WALLBOARD WHERE REQUIRED. PROVIDE TYPE X GYPSUM BOARD AS CALLED FOR ON THE DRAWINGS.
- PROVIDE 1/2" TYPE X GYPSUM BOARD AT ALL WALLS BETWEEN GARAGE AND HOUSE. 5/8" TYPE X GYPSUM BOARD SHALL BE PROVIDED AT GARAGE CEILING WHICH HAS LIVING SPACE ABOVE.

**PAINT**

- APPLICATION OF PAINT OR OTHER COATING SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. READY-MIXED PAINT SHALL NOT BE THINNED, EXCEPT AS PERMITTED IN THE APPLICATION INSTRUCTIONS.

**THERMAL & MOISTURE PROTECTION**

- INSTALL AND INSTALL BUILDING THERMAL INSULATION IN ACCORDANCE WITH THE FOLLOWINGS:
  - EXTERIOR WALLS: R-19 MINIMUM
  - SLOPED CEILINGS: R-30 MINIMUM
  - FLAT CEILINGS: R-38 MINIMUM
  - CEILINGS OVER UNCONDITIONED SPACE: R-21 MINIMUM
  - CEILINGS OVER BASEMENT: R-21 MINIMUM
- INSTALL VENTING IN SLOPED CEILING AREAS TO PERMIT AIRFLOW ALONG THE COOL SIDE OF THE INSULATION FROM THE EAVE TO RIDGE.
- DO NOT LEAVE KRAFT-PAPER FACED INSULATION EXPOSED. INSTALL TYPE FSK FOIL TO PROTECT EXPOSED INSULATION.
- INSTALL EITHER INTERIOR AND/OR EXTERIOR FOUNDATION INSULATION AS REQUIRED BY LOCAL BUILDING CODES.

**ELECTRICAL NOTES**

- ELECTRICAL DRAWINGS ARE INTENDED TO BE USED FOR SCHEMATIC DESIGN ONLY. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF FINAL ELECTRICAL DESIGN.
- FINAL LOCATIONS OF ALL ELECTRICAL DEVICES AND THEIR INTENDED OPERATION IS TO BE COORDINATED WITH THE OWNER.
- ELECTRICAL CONTRACTOR SHALL PURCHASE AND INSTALL ALL NEW COMPONENTS AS REQUIRED TO PROPERLY SERVICE THE SPACE(S) AFFECTED BY THIS CONSTRUCTION PROJECT. IF THE MODIFICATION OF EXISTING ELECTRICAL SYSTEMS IS NECESSARY, SUCH MODIFICATIONS SHALL NOT ADVERSELY AFFECT THE OPERATION OF THESE SYSTEMS.
- ELECTRICAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
- COORDINATE ELECTRICAL WORK WITH THE WORK OF OTHER TRADES. DO NOT ALTER THE WORK OF PREVIOUS TRADES WITHOUT PRIOR APPROVAL.
- ELECTRICAL CONTRACTOR MUST PROVIDE AND INSTALL ALL DUCT WORK ASSOCIATED WITH EXHAUST FANS.
- PERFORM ALL NEW ELECTRICAL WORK IN ACCORDANCE WITH LOCAL CODES AND ACCEPTED STANDARDS OF PRACTICE.

**ELECTRICAL MOUNTING HEIGHTS**

- ALL DIMENSIONS ARE TO THE CENTER OF THE DEVICE UNLESS OTHERWISE NOTED. SEE ELECTRICAL DRAWINGS FOR TYPES AND LOCATIONS.
- RECEPTACLES: 18" A.F.F. (AT LOCATIONS ABOVE CASEWORK, MOUNT BOTTOM OF RECEPTACLE AT 2" ABOVE BACKSPASH, AT LOCATIONS BELOW CASEWORK, MOUNT AT 24" A.F.F.)
- EXTERIOR RECEPTACLES: 24" A.F.F. (20" A.F.F.)
- SWITCHES: 48" A.F.F.
- BOILER EMERGENCY SWITCHES: 60" A.F.F.
- DATA / PHONE OUTLETS: 18" A.F.F.
- TV OUTLETS: 18" A.F.F. OR 18" BELOW FINISHED CEILING
- WALL PHONE: 48" A.F.F. TO CENTER OF EARPIECE
- SECURITY KEYPAD: 48" A.F.F.

**CONCRETE**

- ALL CONCRETE WORK SHALL BE IN COMPLIANCE WITH THE 'BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE' (ACI 318) AND 'SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDING' (ACI 301).
- CONCRETE SHALL HAVE THE FOLLOWING MINIMUM COMPRESSIVE STRENGTH AT THE AGE OF 28 DAYS: 3000PSI, EXCEPT 4000PSI FOR EXTERIOR WORK.
- CONCRETE SHALL HAVE A SLUMP NOT EXCEEDING 5", EXCEPT FOR 4" SLABS.
- CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FOR THE CURING OF CONCRETE AS DIRECTED BY ACI 301. USE OF CALCIUM CHLORIDE SHALL NOT BE PERMITTED.
- REINFORCING BARS SHALL BE DEFORMED BILLET STEEL BARS AND CONFORM TO ASTM A-615-GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO ASTM-A-185.
- REINFORCING BARS MARKED 'CONT.' SHALL BE LAPPED 32 BAR DIAMETERS AT SPLICES AND CORNERS, HOOKED AT DISCONTINUOUS ENDS. WELDED WIRE FABRIC SHALL BE LAPPED 6" AT END SPLICES.
- CONTRACTOR SHALL INSTALL ALL ANCHORS, ANCHOR BOLTS, LEVELING PLATES, AND ALL INSERTS TO BE SET IN CONCRETE AS REQUIRED FOR THE WORK OF ALL TRADES.
- ALUMINUM OBJECTS SHALL NOT BE EMBEDDED OR IN CONTACT WITH CONCRETE.
- REINFORCED CONCRETE FLOOR SLABS SHALL BE PLACED ON A MINIMUM OF 6" OF CRUSHED 3/4" STONE ON STRUCTURAL FILL PLACED IN 8" LAYERS AND COMPACTED TO 95% OF MODIFIED OPTIMUM DENSITY ON FIRM, INORGANIC, VIRGIN SOIL. NOT LESS THAN ONE LAYER OF STRUCTURAL FILL SHALL BE USED.

**CONCRETE MASONRY**

- ALL MASONRY SHALL CONFORM TO AND BE ERECTED IN ACCORDANCE WITH ACI 530 BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES AND ACI 530.1 SPECIFICATION FOR MASONRY STRUCTURES.
- ALL MASONRY WALLS ARE TO BE CONSTRUCTED OF CONCRETE MASONRY WITH COMPRESSIVE STRENGTH F<sub>m</sub> = 1500 P.S.I. THE CONTRACTOR IS RESPONSIBLE FOR ASSURING MASONRY STRENGTH AS SPECIFIED.
- TYPE "M" OR "S" MORTAR SHALL BE USED IN ALL MASONRY.
- CONTINUOUS HORIZONTAL JOINT REINFORCING SHALL BE INSTALLED IN ALTERNATE COURSES OF ALL MASONRY. EXTERIOR MASONRY VENEER SHALL BE TIED TO INTERIOR MASONRY BLOCKWORK IN ACCORDANCE WITH DRAWING NOTATIONS.
- REINFORCING STEEL FOR MASONRY SHALL BE GRADE 60. ALL LAP SPLICES SHALL BE A MINIMUM OF 48 BAR DIAMETERS (I.E. #4 BAR = 24").
- ALL MASONRY UNIT CORES CONTAINING REINFORCING BARS SHALL BE FILLED WITH 2000 P.S.I. GROUT. GROUT SHALL BE INSTALLED IN USING LOW LIFT GROUT METHOD (5'-0" MAXIMUM LIFTS).

**METALS**

- STRUCTURAL STEEL COMPONENTS SHALL CONFORM TO THE CURRENT SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS AS ADOPTED BY THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION.
- UNLESS OTHERWISE NOTED, ALL STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH ASTM SPECIFICATIONS A-36. STEEL FOR PIPE COLUMNS SHALL BE IN ACCORDANCE WITH ASTM SPECIFICATIONS A-501.
- ALL STEEL-TO-STEEL CONNECTIONS SHALL BE FABRICATED IN ACCORDANCE WITH INDUSTRY STANDARD PRACTICES FOR BOLTED OR WELDED CONNECTIONS.
- ALL STEEL SHALL BE PAINTED WITH ONE SHOP COAT OF RED-OXIDE PRIMER. GALVANIZED MEMBERS SHALL BE UTILIZED WHERE SHOWN ON THE DRAWINGS.

**WOOD**

- ALL STRUCTURAL WOOD SHALL BE IN ACCORDANCE WITH THE 'NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION' AND THE 'MANUAL OF HOUSE FRAMING' AS PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION (NFPA), INCLUDING PROVISIONS FOR NAILING, FIRE STOPPING, ANCHORAGE, FRAMING AND BRACING.
- UNLESS NOTED OTHERWISE ON THE DRAWINGS, STRUCTURAL LUMBER SHALL BE AS FOLLOWS:
  - INTERIOR EXPOSURE: STRUCTURAL WOOD PROTECTED FROM MOISTURE SHALL BE HEM-FIR #2 OR BETTER
  - EXTERIOR EXPOSURE: STRUCTURAL WOOD EXPOSED TO MOISTURE, THE WEATHER, IN CONTACT WITH CONCRETE, LOCATED WITHIN 8 INCHES OF SOIL, OR LESS THAN 1 1/8 INCHES FROM THE FLOOR OF A CRAWL SPACE SHALL BE PRESERVATIVE TREATED SOUTHERN YELLOW PINE #2 OR BETTER, WITH RETENTION MEETING OR EXCEEDING THE REQUIREMENTS OF THE BUILDING CODE.
  - PLYWOOD: PLYWOOD SHALL BE IN ACCORDANCE WITH THE AMERICAN PLYWOOD ASSOCIATION (APA) SPECIFICATIONS (Y 510). PLYWOOD FLOOR DECKING SHALL BE CONTINUOUS OVER TWO OR MORE SPANS WITH THE FACE-GRAIN RUNNING PERPENDICULAR TO SUPPORT JOISTS.
    - ROOF SHEATHING: C-D/EXT-APA, 1/2" THICK
    - WALL SHEATHING: C-D/EXT-APA, 1/2" THICK
    - SUBFLOORING: C-D/EXT-APA, 3/4" THICK
- NAILING SCHEDULE SHALL BE IN ACCORDANCE WITH THE LOCAL BUILDING CODE'S 'RECOMMENDED FASTENING SCHEDULE'. NAIL PLYWOOD SHEATHING AND SUBFLOORING 8/0 C AT EDGES AND 12/0 C. ALONG INTERMEDIATE SUPPORTS, LEAVING SPACES BETWEEN PANELS AS RECOMMENDED BY THE APA. UTILIZE RING-SHANK OR SCREW TYPE NAILS FOR PLYWOOD SUBFLOORING AND APPLY APPROPRIATE CONSTRUCTION ADHESIVE TO ADEQUATELY SECURE PLYWOOD TO FLOOR JOISTS.
- INSTALL JOIST HANGERS, COLUMN CAPS AND BASES WHERE REQUIRED. METAL FABRICATIONS SHALL BE OF APPROPRIATE SIZE AND TYPE FOR THE MEMBERS AND SUPPORT CONDITIONS. WHERE FLANGE SUPPORT JOIST HANGERS ARE USED IN CONJUNCTION WITH STEEL BEAMS, CARE SHALL BE TAKEN TO INSTALL THE HANGERS CLEAR OF CONTACT WITH THE STEEL BEAM BY INSTALLING 2X WOOD TOP PLATES.
- NOTCHING SHALL NOT EXCEED 1/8TH OF THE DEPTH OF A JOIST OR RAFTER AND SHALL OCCUR ONLY IN THE OUTER QUARTER OF THE SPAN. NOTCHES SHALL NOT BE PERMITTED IN THE MIDDLE HALF OF THE SPAN. NOTCH LENGTH SHALL NOT EXCEED 1/3RD OF THE JOIST DEPTH. NOTCHES ARE NOT PERMITTED IN ENGINEERED LUMBER PRODUCTS.
- HOLES IN JOISTS OR RAFTERS SHALL OCCUR IN THE MIDDLE 1/3RD OF THE SPAN. THE HOLE DIAMETER SHALL NOT EXCEED 1/3RD OF THE JOIST DEPTH. HOLES IN ENGINEERED LUMBER PRODUCTS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES.
- ENGINEERED LUMBER INDICATED ON THE DRAWINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. JOISTS LABELED TJI ARE COMPOSITE I-JOISTS AS MANUFACTURED BY TRUS-JOIST. MEMBERS LABELED LVL ARE LAMINATED VENEER LUMBER (1.98 MICROLLAM BY TRUS-JOIST), THE SUBSTITUTION OF OTHER PRODUCTS ARE ONLY PERMITTED WITH BACKUP ENGINEERING PLANS AND CALCULATIONS.

**FOUNDATION**

- ALL FOOTINGS SHALL REST ON UNDISTURBED SOIL WITH A MINIMUM BEARING CAPACITY OF 4000 PSF. BACKFILL OVER-EXCAVATION WITH CONCRETE, NOT ADDITIONAL SOIL.
- NO BACKFILLING OF FOUNDATION WALLS SHALL BE UNDERTAKEN UNTIL SUITABLE WALL BRACING (TEMPORARY OR PERMANENT) HAS BEEN INSTALLED.
- DO NOT POUR FOOTINGS ON FROZEN SOIL. REMOVE ALL FROST PRIOR TO POURING CONCRETE.
- BOTTOM OF FOOTINGS SHALL BE INSTALLED BELOW GRADE TO PROVIDE PROTECTION FROM FROST PENETRATION. CONSULT WITH LOCAL BUILDING OFFICIALS REGARDING REQUIRED DEPTH IN THE LOCAL WHERE THE FOUNDATION IS CONSTRUCTED.
- PROVIDE 2-#5 REINFORCING BARS CONTINUOUS IN THE TOP AND BOTTOM OF WALLS, AND IN CONTINUOUS FOOTINGS. SEE FOUNDATION PLAN FOR ADDITIONAL REINFORCING REQUIRED AT COLUMN FOOTINGS.
- PROVIDE 1/2" DIAMETER ANCHOR BOLTS AT 6'-0" C. MAXIMUM TO SECURE FRAMING SILL TO FOUNDATION.
- PROVIDE EXTERIOR AND/OR INTERIOR FOOTING DRAINS AS REQUIRED BY SITE CONDITIONS.
- INSTALL FOUNDATION WATERPROOFING TO BELOW GRADE SURFACES.
- INSTALL FOUNDATION INSULATION AS REQUIRED BY LOCAL CODES.

GROUND SNOW LOAD		WIND DESIGN		SEISMIC DESIGN CATEGORY		SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP
SPEED (mph)	TOPOGRAPHIC effects	WIND EXPOSURE CATEGORY	R	WIND EFFECTS	APPEND. R	Weathering	Frost Inc. depth	Termin.	TEMP
30 psf	APPEND. R	R	n/a	R301, 2, 1, 4	APPEND. R	SEVERE	42"	MODERATE TO HEAVY	7° F
ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARD	AIR FREEZING INDEX	MEAN ANNUAL TEMP	CLIMATE ZONE					
YES	FEMA MAP .500 OR LESS	50° F	5A						

CODES THIS PROJECT WAS DESIGNED TO:

2009 INTERNATIONAL RESIDENTIAL CODE W/ 2013 CONNECTICUT AMENDMENT  
 2009 INTERNATIONAL ENERGY CONSERVATION CODE W/ 2013 CONNECTICUT AMENDMENT  
 2011 NATIONAL ELECTRICAL CODE (NFPA 70) W/ 2013 CONNECTICUT AMENDMENT

**ARCHITECTURAL SYMBOLS**

	EXISTING WALL
	WALL TO BE DEMOLISHED
	NEW STUD WALL
	NEW CMU WALL
	NEW FOUNDATION WALL
	ROOM NAME FLOOR FINISH ROOM SIZE (if applicable)
	SECTION MARKER
	ELEVATION MARKER
	WINDOW IDENTIFICATION
	ELEVATION MARKER
	EXISTING DOOR
	NEW DOOR

**KITCHEN HARDWOOD**  
15'-0" x 12'-0"

**GENERAL NOTES**

- ALL CONSTRUCTION ON THIS HOME, AND ANY CHANGES MADE TO THE DESIGN OF THIS HOME, EITHER BEFORE OR DURING CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE BUILDING CODE. NOTHING REPRESENTED WITHIN THESE PLANS SHALL ALLEVIATE THE APPLICABLE CODE REQUIREMENTS FOR THE CONSTRUCTION RELATED TO THIS PROJECT.
- NOTIFY QUISENBERRY ARCARI ARCHITECTS, LLC AT (860) 677-4594 IMMEDIATELY IF PROBLEMS SHOULD ARISE DURING THE CONSTRUCTION ON THIS HOME WITH RESPECT TO STRUCTURAL INTEGRITY, FRAMING CONFLICTS, OR GENERAL CONCERNS.
- THESE DRAWINGS DO NOT REPRESENT ALL COMPONENTS OR DETAILS REQUIRED TO PROPERLY CONSTRUCT THIS HOME. IT IS ASSUMED THAT THE WORK WILL BE PERFORMED BY COMPETENT, SKILLED AND LICENSED TRADE CONTRACTORS IN ACCORDANCE WITH INDUSTRY STANDARDS AND CARE.
- UNLESS OTHERWISE NOTED ON THE DRAWINGS, ALL NEW FINISHES (ROOFING, SIDING, TRIM, ETC.) SHALL MATCH EXISTING.
- PATCH EXISTING AREAS AFFECTED BY THE NEW WORK. MATCH EXISTING FINISHES GUIDELINES.
- EXTEND EXISTING SERVICES (MECHANICAL, PLUMBING, ELECTRICAL, ETC.) TO ACCOMMODATE THE NEW CONSTRUCTION. PROVIDE UPGRADES TO EXISTING COMPONENTS AS NECESSARY TO PROVIDE SATISFACTORY PERFORMANCE WITHIN THE COMPLETED STRUCTURE.
- PRELIMINARY INSPECTIONS INDICATE DETECTIONS OF HAZARDOUS MATERIALS. REFER TO PROJECT SPECIFICATIONS FOR ABETMENT PROTOCOLS.

**QUISENBERRY ARCARI ARCHITECTS, LLC**  
 www.qa-architects.com  
 T (860) 677-4594  
 F (860) 677-8534  
 318 Main Street  
 Farmington, CT 06032

**REHABILITATION/RECONSTRUCTION WORK FOR:**

**PIETRINA SAPPERN**  
 APPLICANT #1038

**7 MELBA STREET**  
 MILFORD, CT

**Sheet Description:**

**GENERAL NOTES**

**Issue Dates:**  
OCTOBER 27, 2014

**No Scale**

**Project #:** QA 1346-29 **Drawn By:** JJ

**Sheet #:** G1.1

# McMinn and Associates Land Use Consultants, Surveyors

171 WILCOX ROAD  
MILFORD CT. 06460  
PHONE (860)537-0046  
FAX (860) 799-8341



### NOTES

THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTION 20-300B-1 THROUGH 20-300B-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996;

THIS SURVEY CONFORMS TO A CLASS A-2 HORIZONTAL ACCURACY & A T-2 VERTICAL ACCURACY

SURVEY TYPE: PROPERTY/TOPOGRAPHIC SURVEY

BOUNDARY DETERMINATION CATEGORY: RESURVEY

PROPERTY OWNER: PIETRINA SAPPERN

FIELD SURVEY DATE 01-07-2013  
ADDED PLOT PLAN 05-15-2013

MAP REFERENCE:

1. MAP NUMBER E-283 ON FILE IN THE OFFICE OF THE CLERK, CITY OF MILFORD, STATE OF CONNECTICUT
2. ALL SURVEYS AND MAPS ON FILE IN THE PLANNING AND ZONING OFFICE, CITY OF MILFORD PERTAINING TO RESIDENCE NUMBERS 1 THROUGH 48

FLOOD ZONE VE 13'  
"FIRM" MAP 090082 0534 J, DATED  
JULY 8TH 2013 (NAVD 1988 DATUM)

PROPOSED FLOOR ELEVATIONS  
(NAVD 1988 DATUM)

1. GROUND UNDER BUILDING FOOTPRINT 6.5'
2. FINISHED FLOOR 18.75'
3. LOWEST HORIZONTAL MEMBER 17.25'
4. THIS PROJECT FALLS WITHIN THE C.A.M. ARER.
5. THIS PROJECT FALLS OUTSIDE THE WETLANDS BUT WITHIN THE WETLAND REVIEW AREA.
6. THIS PROJECT FALLS WITHIN THE LIMITS OF MODERATE WAVE ACTION.

\*\*ADD 1.09' TO CONVERT ELEVATIONS INTO NGVD 1929 DATUM  
AIR CONDITIONER TO BE AT 14' NAVD 1988

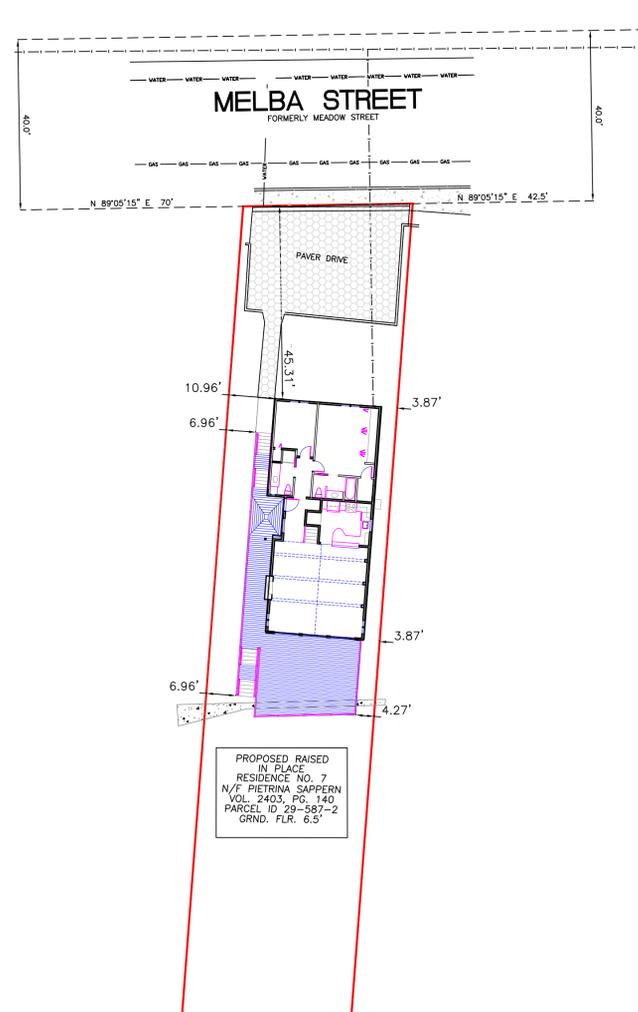
NAVD 1988 SEA LEVELS  
-1.1 MEAN SEA LEVEL  
-3.3 MEAN LOW WATER  
2.9 MEAN HIGH WATER (PROPERTY LINE)  
4.6 HIGH HIGH TIDE

### SCHEDULE OF LOT 19 AND BUILDING REQUIREMENTS (R-5)

CATEGORY	MIN. REQUIRED	MAX. PERMITTED	EXISTING	PROPOSED
LOT AREA	5000 SQ. FT.	N/A	9385 SQ.FT	9385 SQ.FT
LOT WIDTH	50'	N/A	40'	40'
LOT DEPTH	70'	N/A	235.5'	235.5'
PRINCIPAL USE SETBACKS (MINIMUM REQUIRED)				
FRONT YARD	N/A	N/A	45.3'	45.3'
SIDE YARD	ONE SIDE 10' AND ONE SIDE 5'	N/A	3.7' & 10.7'	3.7' & 10.7'
REAR YARD	20'	N/A	116.6'	116.6'
STORIES	3	N/A	2	2
HEIGHT	35'	N/A	±22'	±22'
***% BLDG. AREA	45%	N/A	14%	14%
***% LOT COVERAGE	65%	N/A	34.8%	35.3%

\*10' OR ACTUAL FRONT YARD SETBACK, WHICHEVER IS GREATER, SHALL NOT BE REQUIRED TO BE GREATER THAN 20'  
\*\*\*% BLDG. AREA 1343/9385\*100=14.3%  
\*\*\*% LOT COVERAGE 3267/9385\*100=34.8%  
SIDE LINE AVERAGED

## PROPERTY SURVEY/PLOT PLAN FOR PIETRINA SAPPERN ON ADDRESS NO. 7 MELBA STREET MILFORD, CONNECTICUT, 06460



## PLOT PLAN

### NOTES

1. BASIS OF BEARINGS AS INDICATED ON SKETCH.
2. LEGAL DESCRIPTION WRITTEN BY THIS SURVEYOR.
3. THE LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THIS OFFICE FOR EASEMENTS, RIGHT-OF-WAYS, OWNERSHIP OR OTHER INSTRUMENTS OF RECORD.
4. UNDERGROUND OR INTERIOR PORTIONS OF FOOTINGS, FOUNDATIONS, WALLS OR OTHER NON-VISIBLE IMPROVEMENTS WERE NOT LOCATED.
5. ELEVATIONS ARE BASED ON THE NAVD 88 UNLESS OTHERWISE SHOWN.
6. FENCE TIES ARE TO THE CENTERLINE OF FENCE. WALL TIES ARE TO THE FACE OF WALL.
7. IN SOME INSTANCES GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE THE RELATIONSHIP BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. IN ALL CASES DIMENSIONS SHALL CONTROL THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.
8. THE DIMENSIONS AND DIRECTIONS SHOWN HEREON ARE IN SUBSTANTIAL AGREEMENT WITH RECORD VALUES UNLESS OTHERWISE NOTED.
9. EXISTING CORNERS FOUND OFF WITNESS PROPERTY CORNERS
10. OBSTRUCTED CORNERS ARE WITNESSED BY IMPROVEMENTS.
11. DASHED LINES DEPICT PROPOSED IMPROVEMENTS.
12. BUILDING DIMENSIONS AND TIES TO PROPERTY ARE TO FACE OF VINYL SIDING.
13. FLOOD ZONE LINES DEPICT THE PRELIMINARY BOUNDARY ON DISPLAY IN THE OFFICE OF PLANNING AND ZONING. TO BE ADOPTED IN JUNE 2013

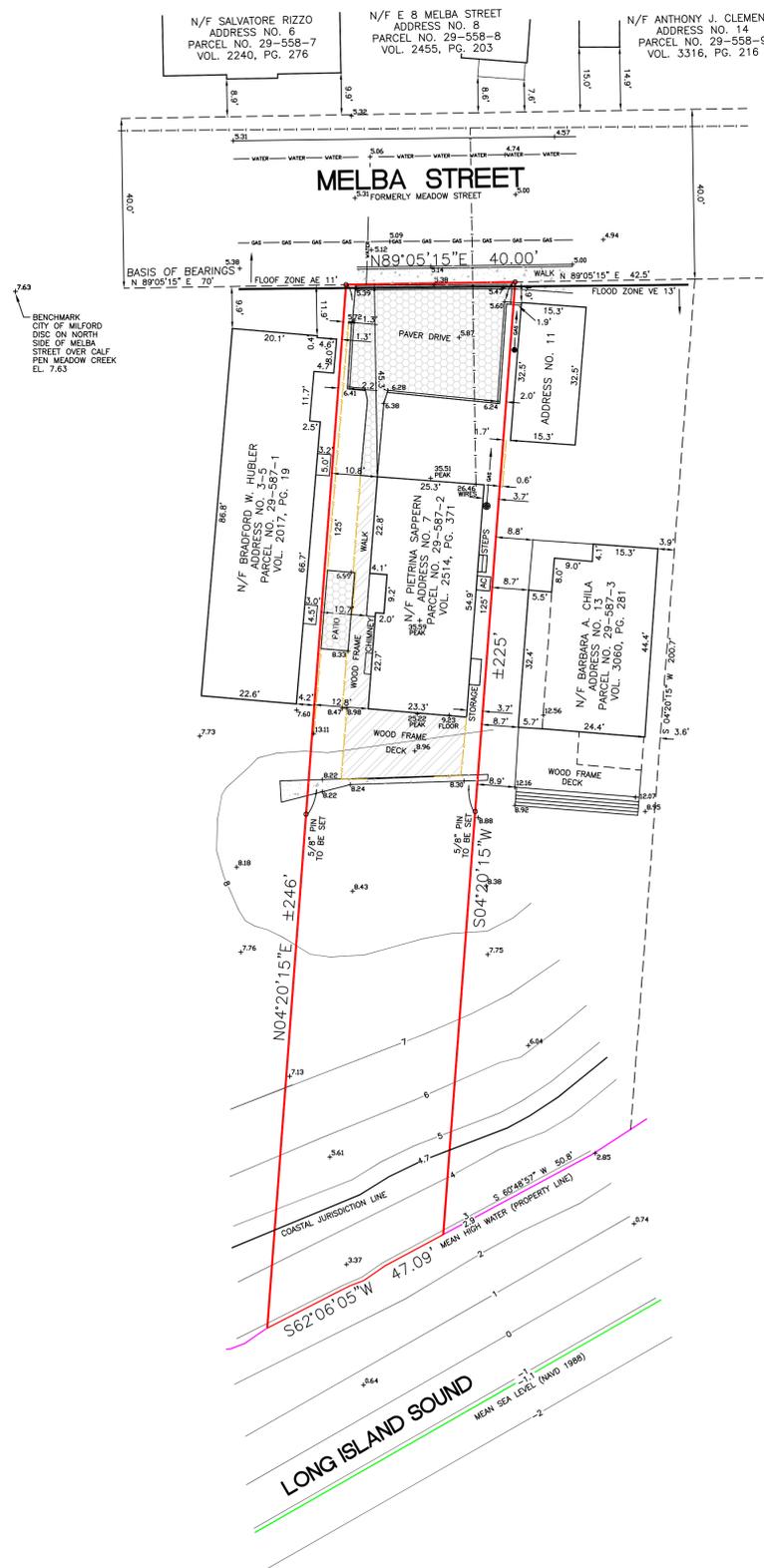
CENTERLINE	CONCRETE BLOCK WALL	MONITORING WELL
WOOD FENCE	OVERHEAD WIRES	CABLE JUNCTION BOX
METAL FENCE	CONCRETE FENCE	POWER/LIGHT POLE
	GUY ANCHOR	WATER METER
	+ 5.50' DENOTES ELEVATION	CL&P PAD

I HEREBY CERTIFY THAT THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC ADOPTED ON SEPTEMBER 26TH, 1996.

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A CONNECTICUT LICENSED SURVEYOR

BY \_\_\_\_\_ DATE \_\_\_\_\_

PAUL J STOWELL PROFESSIONAL LAND SURVEYOR CONNECTICUT LICENSE NO. 70216

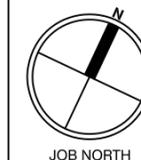


## A2 EXISTING CONDITION SURVEY

### LEGAL DESCRIPTION

A CERTAIN PIECE OR PARCEL OF LAND WITH THE BUILDINGS AND IMPROVEMENTS THEREON, LOCATED IN THE CITY OF MILFORD, COUNTY OF NEW HAVEN AND STATE OF CONNECTICUT, KNOWN AS ASSESSOR'S MAP 29, BLOCK 587, LOT 2, CONSISTING OF 9385 SQUARE FEET, MORE OR LESS DESCRIBED AS:

LOT 'C' BUILDING LOTS AT POND POINT BEACH, EDGAR C. PLATT ET. ALS., RECORDED AS MAP NUMBER E-283 IN THE OFFICE OF THE CLERK, CITY OF MILFORD, COUNTY OF NEW HAVEN, STATE OF CONNECTICUT.



**PROJECT # 1346-29**  
**RENOVATIONS TO SAPPERN RESIDENCE**  
**7 MELBA STREET, MILFORD, CT**

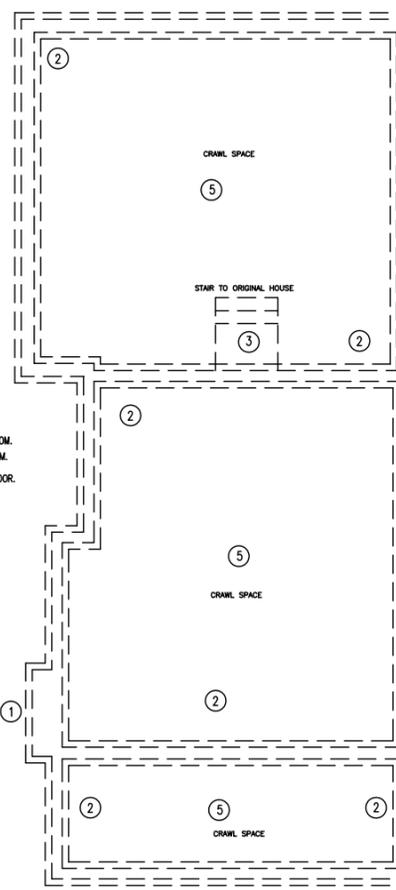
Drawing Information  
**DEMO PLANS**  
**FIRST FLOOR PLAN**  
**DECK FRAMING PLAN**  
**DETAILS**

Date: OCTOBER 27, 2014  
 Scale: AS NOTED  
 Drawn By: RM  
 Drawing Number

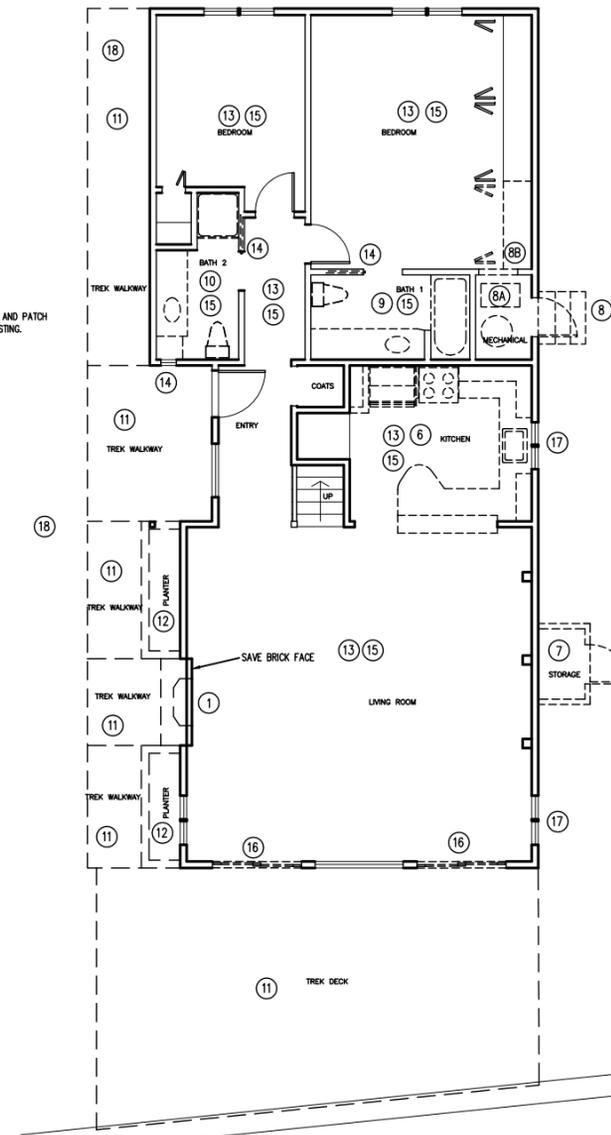
**A-1**

**DEMO NOTES:**

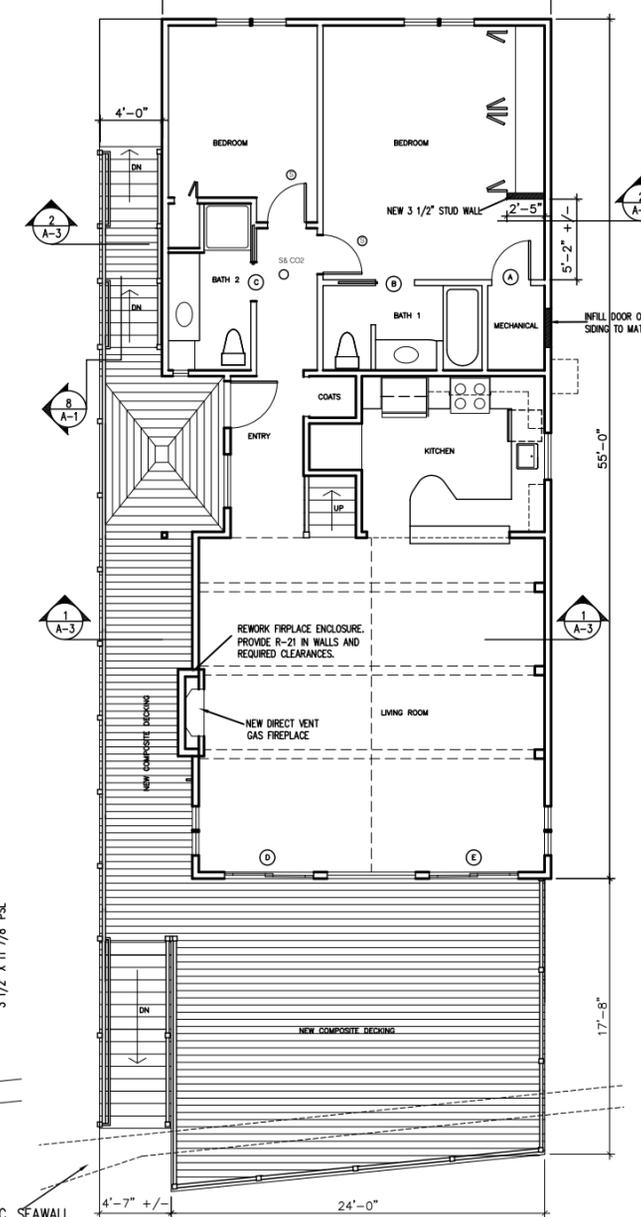
- NOTE:  
 1. DISCONNECT ALL ELECTRICAL AND PLUMBING BELOW THE FIRST FLOOR IN THE CRAWL SPACE.  
 2. LOCATE EXISTING WATER, GAS, AND SANITARY LINES. RELOCATE OR PROVIDE NEW UTILITIES AS REQUIRED.  
 3. BEFORE COMMENCING DEMOLITION, THE BUILDING WILL NEED TO BE RAISED TO THE REQUIRED HEIGHT.  
 4. BEFORE COMMENCING DEMOLITION, VERIFY BEARING WALLS AND SHORE AS REQUIRED. SEE STRUCTURAL DRAWINGS.
- 1 REMOVE EXISTING CHIMNEY BASE ONCE THE FIREPLACE, AND MASONRY STACK TO ROOF ARE REMOVED.
  - 2 REMOVE EXISTING CONC. CRAWL SPACE FOOTING AND FOUNDATION WALLS.
  - 3 REMOVE EXISTING CONCRETE STOOP AND BASE.
  - 4 DISCONNECT ALL ELECTRICAL AND PLUMBING BELOW THE FIRST FLOOR IN THE CRAWL SPACE.
  - 5 ONCE ALL CONC. IS REMOVED, FILL BASEMENT AND CRAWL SPACE WITH SOIL AND COMPACT IN 6" LIFTS TO 95% COMPACTION.
  - 6 REMOVE ALL EXISTING KITCHEN BASE CABINETS, SINK, SECTION OF WALL, STOVE, REFRIGERATOR, AND COUNTERTOPS. COUNTERTOP AND COOKTOP TO BE SALVAGED FOR POSSIBLE REUSE.
  - 7 REMOVE EXISTING STORAGE SHED IN ITS ENTIRETY.
  - 8 REMOVE EXISTING STAIR AND DOOR TO MECHANICAL ROOM.
  - 8A REMOVE EXISTING FURNACE, AND HOT WATER HEATER FROM MECHANICAL ROOM. CENTRAL VAC UNIT TO REMAIN AND RELOCATED AS REQUIRED IN MECH. ROOM.
  - 8B REMOVE EXISTING SECTION OF MECHANICAL ROOM WALL FOR NEW ACCESS DOOR. REMOVE SECTION OF CLOSET FOR NEW ACCESS DOOR, PATCH TO MATCH.
  - 9 REMOVE EXISTING TOILET, SINK, SHOWER, FLOOR TILE, AND COUNTERTOP. COUNTERTOP AND GLASS SHOWER DOOR TO BE SALVAGED FOR POSSIBLE REUSE.
  - 10 REMOVE EXISTING TOILET, SINK, SHOWER, FLOOR TILE, AND COUNTERTOP. COUNTERTOP AND GLASS SHOWER DOOR TO BE SALVAGED FOR POSSIBLE REUSE.
  - 11 REMOVE EXISTING TREX DECKING AND ASSOCIATED FRAMING.
  - 12 REMOVE EXISTING PLANTERS.
  - 13 REMOVE EXISTING GYP BO AND INSULATION TO ABOVE THE FLOOD WATER LEVEL AT AN EXISTING GYP BO JOINT. THIS APPLIES TO ALL ROOMS ON THE FIRST FLOOR.
  - 14 REMOVE AND REPLACE EXISTING POCKET DOORS. REMOVE WALL AS REQUIRED TO INSTALL NEW.
  - 15 REMOVE AND REPLACE DAMAGED OR WARPED PLY. WD. SUB FLOOR IN ALL FIRST FLOOR SPACES. PROVIDE 1/4" PLY. WD. OVER EXISTING SUB-FLOOR IF REQUIRED BY TILE INSTALLER.
  - 16 REMOVE EXISTING SLIDING DOORS.
  - 17 REMOVE AND REPLACE EXISTING WINDOWS NOTED ON BUILDING ELEVATIONS.
  - 18 REMOVE ALL DRIVEWAY, WALK AND PATIO PAVERS. STACK IN A LOCATION THAT WILL NOT INTERFERE WITH CONSTRUCTION. TO BE REINSTALLED SEE 5/A-2 FOR NEW PAVEMENT LAYOUT.



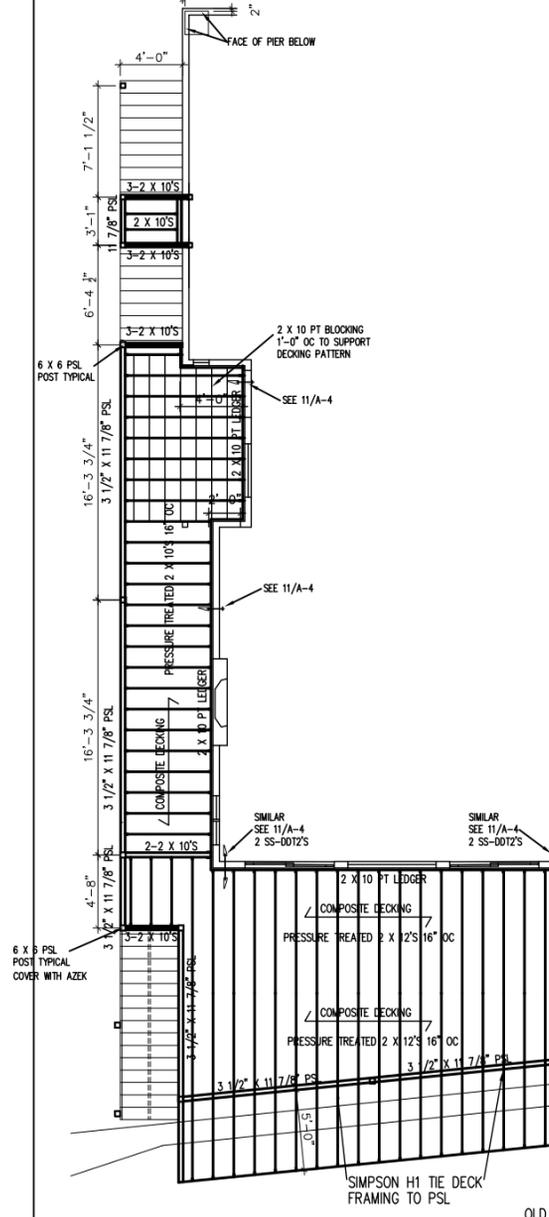
1 FOUNDATION DEMO PLAN  
 SCALE: 3/16" = 1'-0"



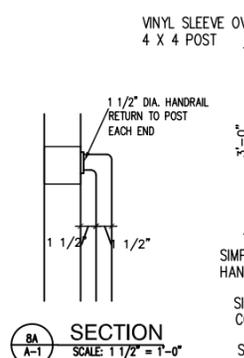
2 DEMOLITION PLAN  
 SCALE: 3/16" = 1'-0"



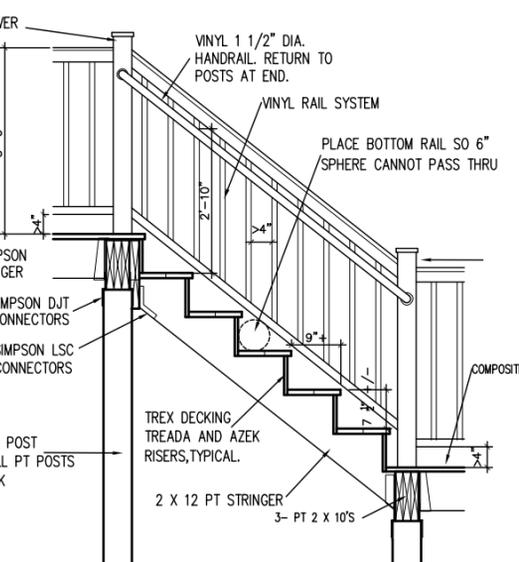
3 FIRST FLOOR PLAN  
 SCALE: 3/16" = 1'-0"



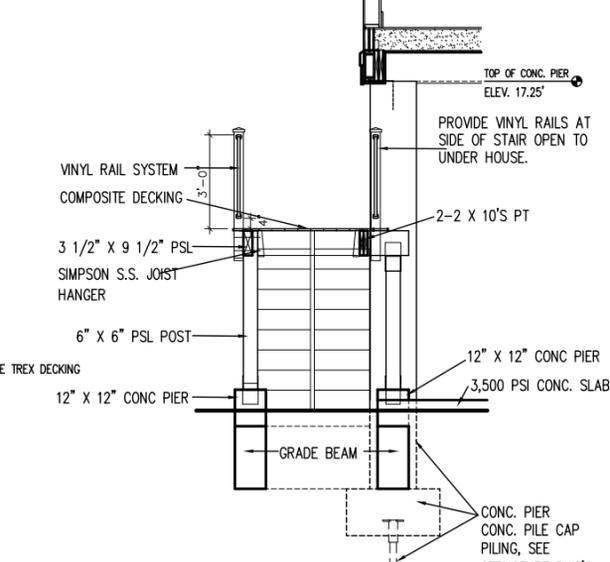
1 DECK FRAMING  
 SCALE: 3/16" = 1'-0"



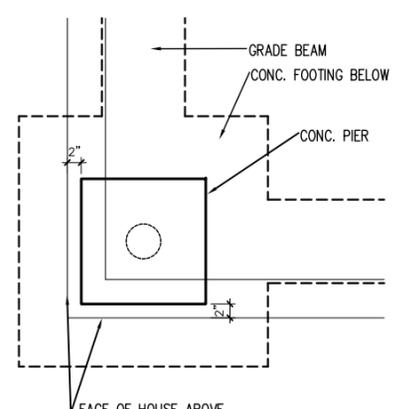
BA SECTION  
 SCALE: 1 1/2" = 1'-0"



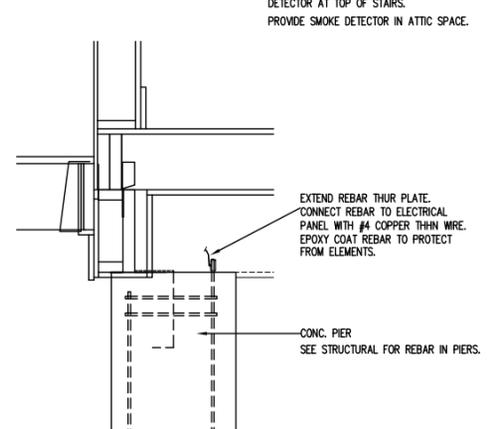
8 TYPICAL STAIR DETAIL  
 SCALE: 3/8" = 1'-0"



6 STAIR DETAIL  
 SCALE: 3/8" = 1'-0"



5 TYPICAL CORNER PIER PLAN  
 SCALE: 1" = 1'-0"



7 REBAR GROUNDING  
 SCALE: NTS

**ZONING INFORMATION**

ZONING DISTRICT: R-5

MINIMUM REQUIREMENTS		
	REQUIRED	ACTUAL
LOT AREA (SQ. FT.)	5,000	9,385
LOT WIDTH (FT.)	50'	40'
LOT DEPTH (FT.)	70'	235.5'

PRINCIPAL USES

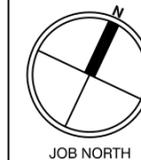
	REQUIRED	ACTUAL
FRONT YARD (FT.)	20'	45.3'
EACH SIDE YARD (FT.)	10' & 5'	3.7' & 10.7'
REAR YARD (FT.)	20'	116.6'

MAXIMUM PERMITTED

	ALLOWED	ACTUAL
BLDG. HEIGHT STORIES	3	3
FEET (IN HEIGHT)	35'	34'-5"
BUILDING AREA AS % OF LOT	45%	14%
LOT COVERAGE	65%	26%

CALL BEFORE YOU DIG  
 1-800-922-4455

RICH MILLER DESIGNS  
 42 PAULINE AVE., WEST HAVEN, CT  
 203-479-2194 RCM17@ATT.NET

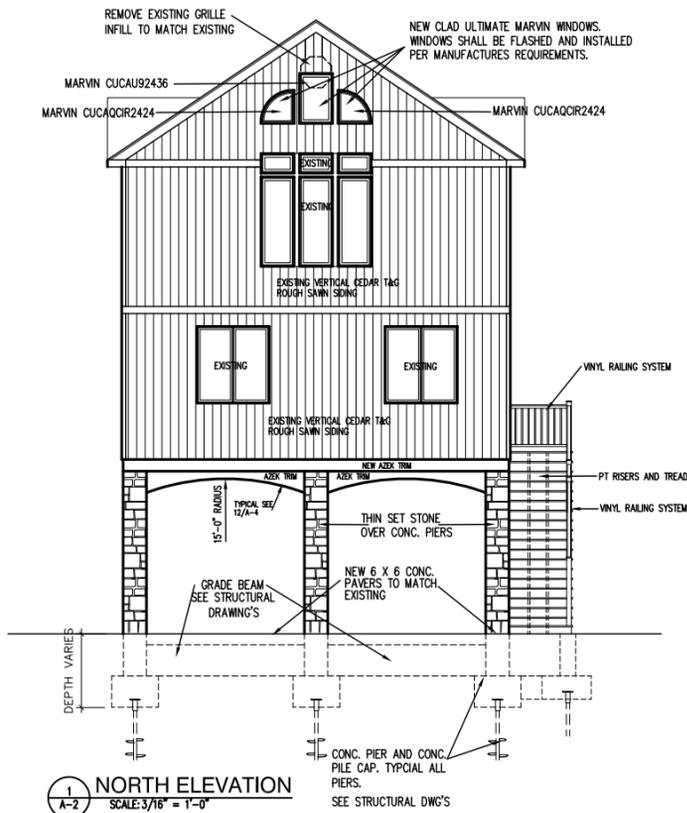


**PROJECT # 1346-29**  
**RENOVATIONS TO SAPPERN RESIDENCE**  
**7 MELBA STREET, MILFORD, CT**

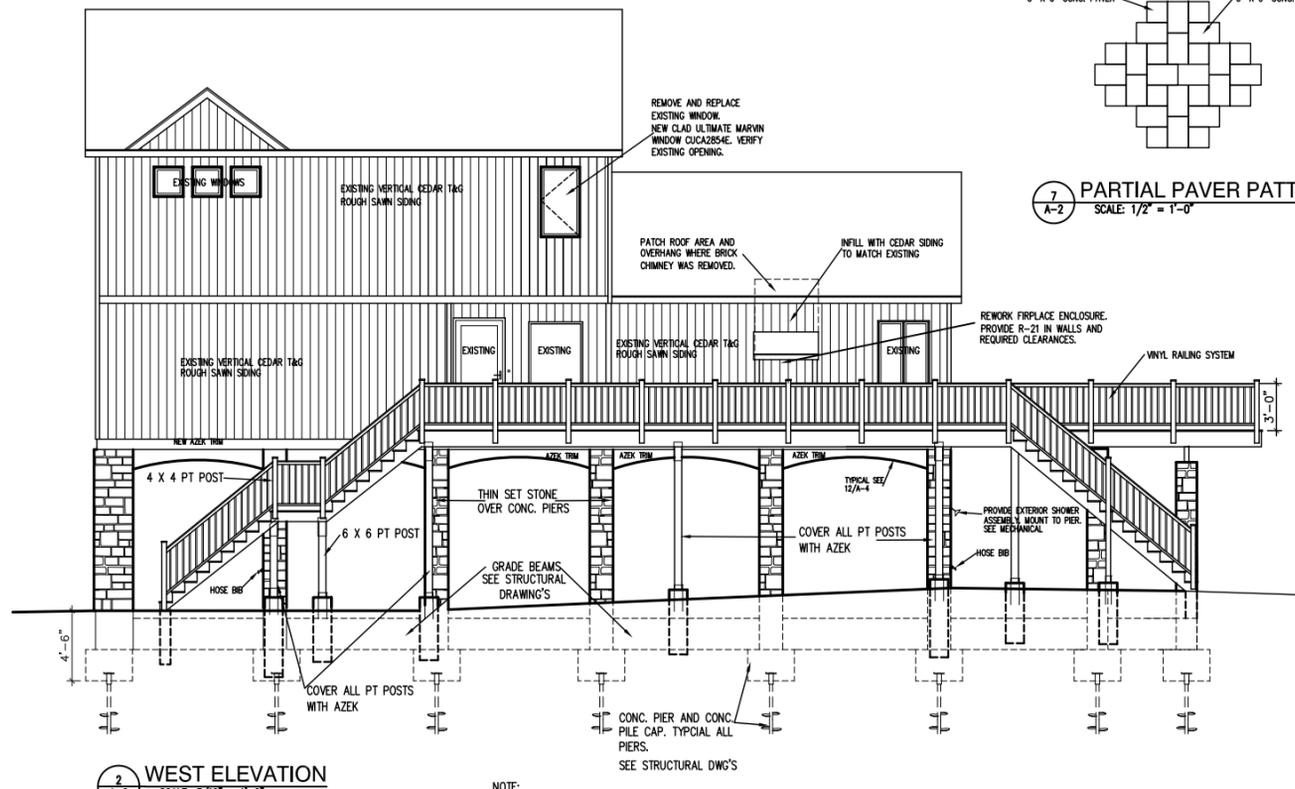
Drawing Information  
**ELEVATIONS**  
**PAVER LAYOUT**

Date: OCTOBER 27, 2014  
 Scale: AS NOTED  
 Drawn By: RM  
 Drawing Number

**A-2**

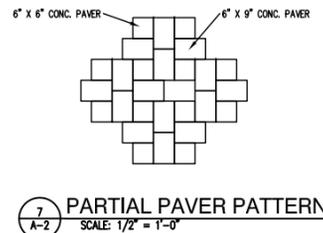


**1 NORTH ELEVATION**  
 SCALE: 3/16" = 1'-0"

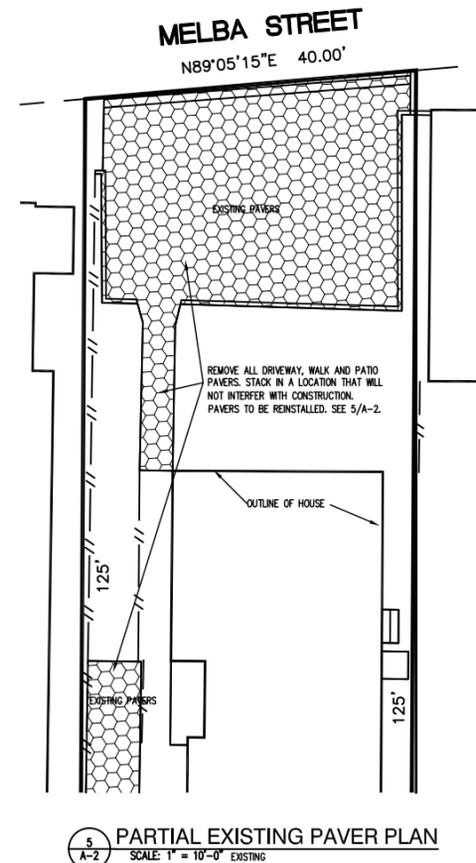


**2 WEST ELEVATION**  
 SCALE: 3/16" = 1'-0"

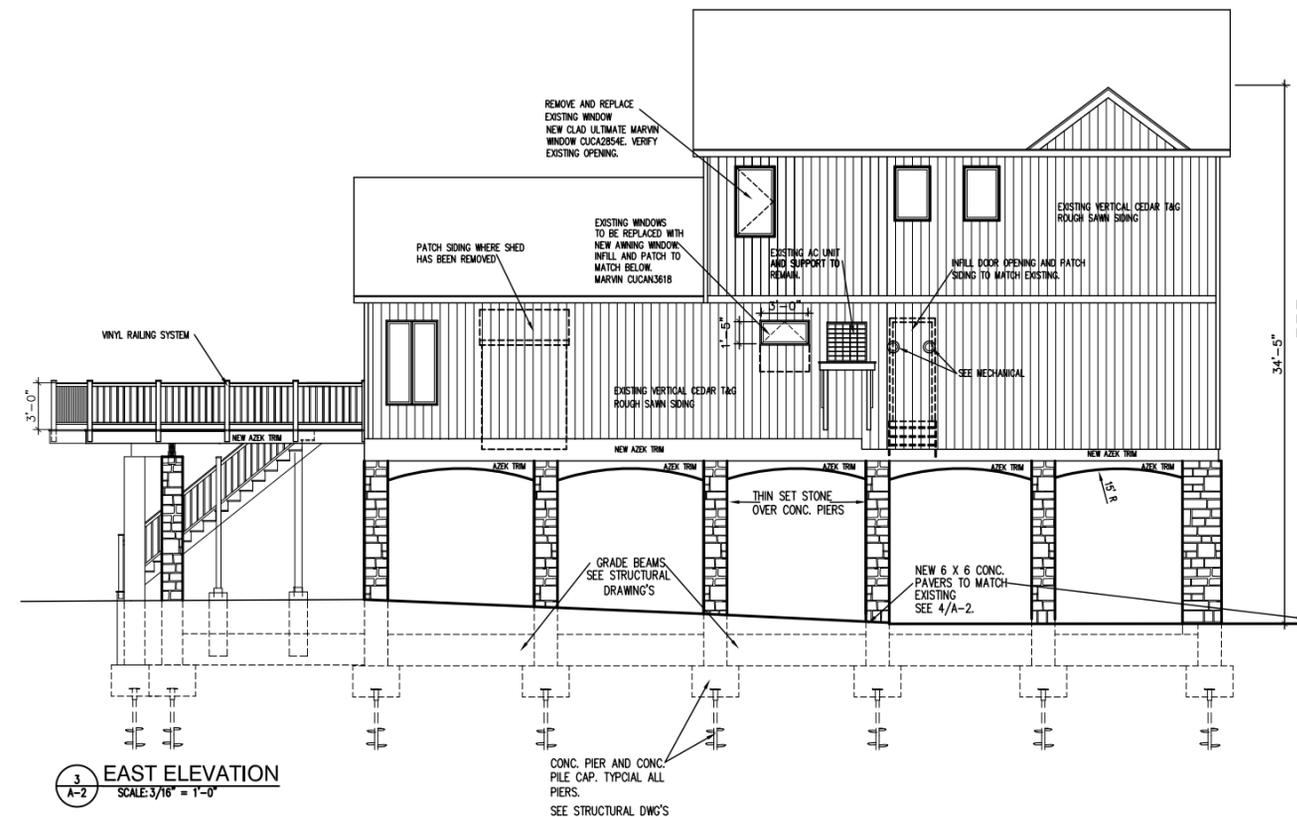
NOTE:  
 EXISTING MARVIN WINDOWS TO BE REPLACED. CONTRACTOR SHALL REMOVE EXISTING VERTICAL SIDING AS REQUIRED TO INSTALL NEW WINDOWS.  
 CONTRACTOR SHALL VERIFY EXISTING MO'S AND INSTALL NEW MARVIN WINDOWS TO MATCH EXISTING.



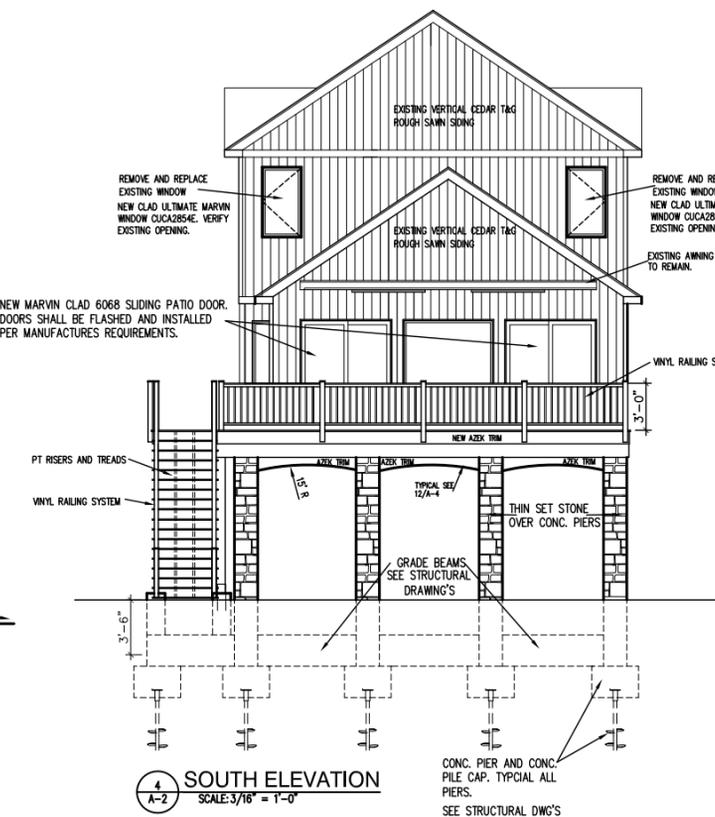
**7 PARTIAL PAVER PATTERN**  
 SCALE: 1/2" = 1'-0"



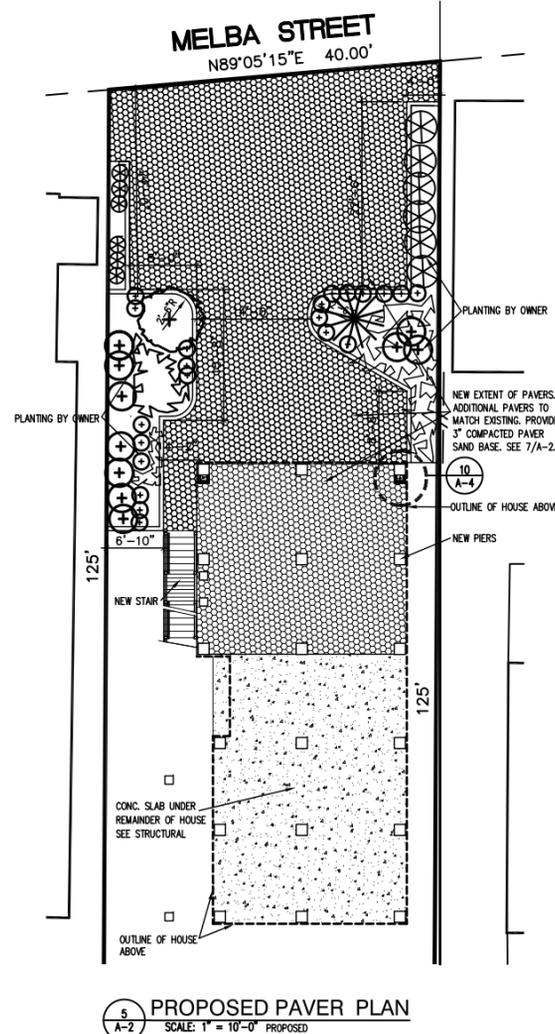
**5 PARTIAL EXISTING PAVER PLAN**  
 SCALE: 1" = 10'-0" EXISTING



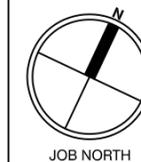
**3 EAST ELEVATION**  
 SCALE: 3/16" = 1'-0"



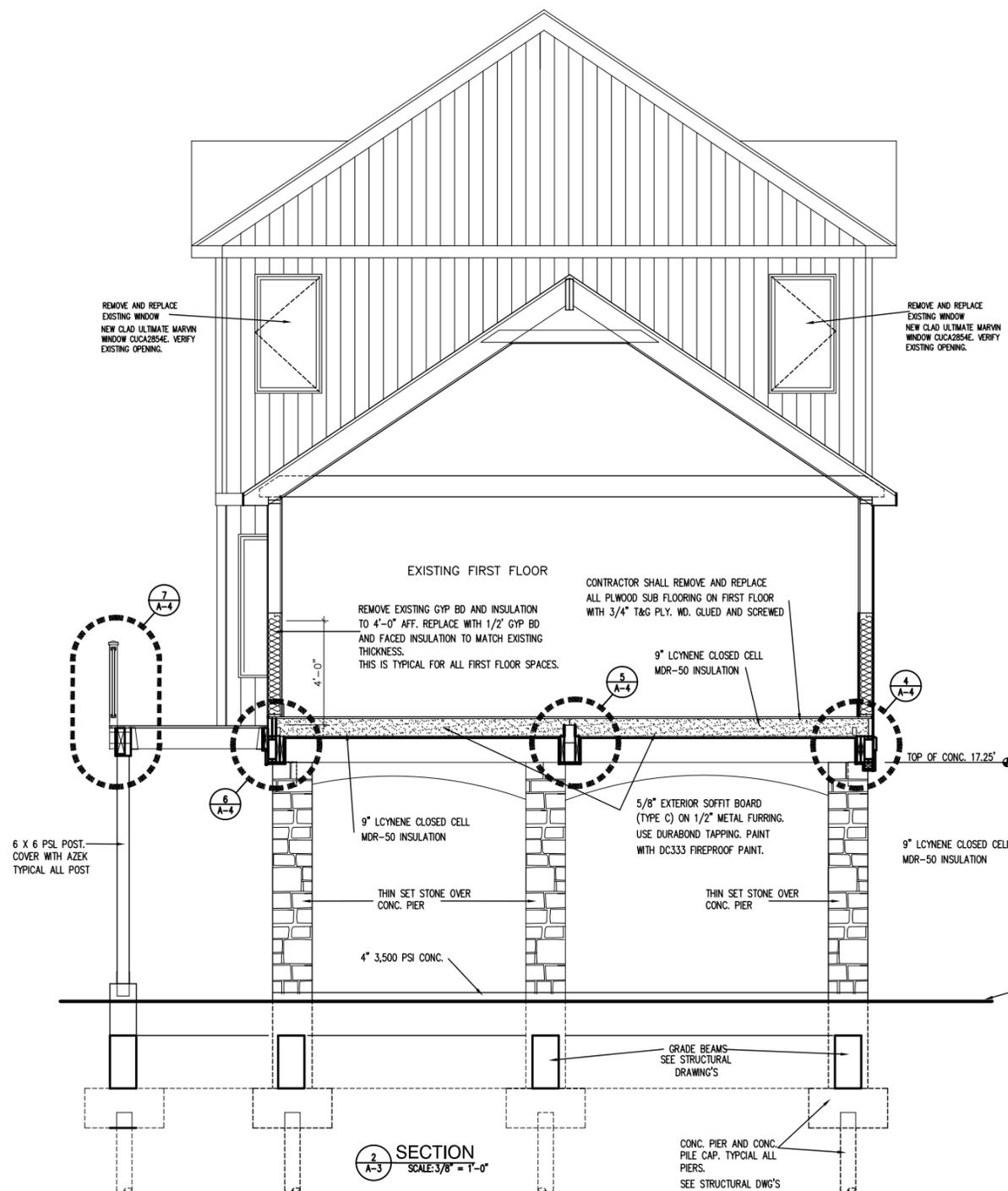
**4 SOUTH ELEVATION**  
 SCALE: 3/16" = 1'-0"



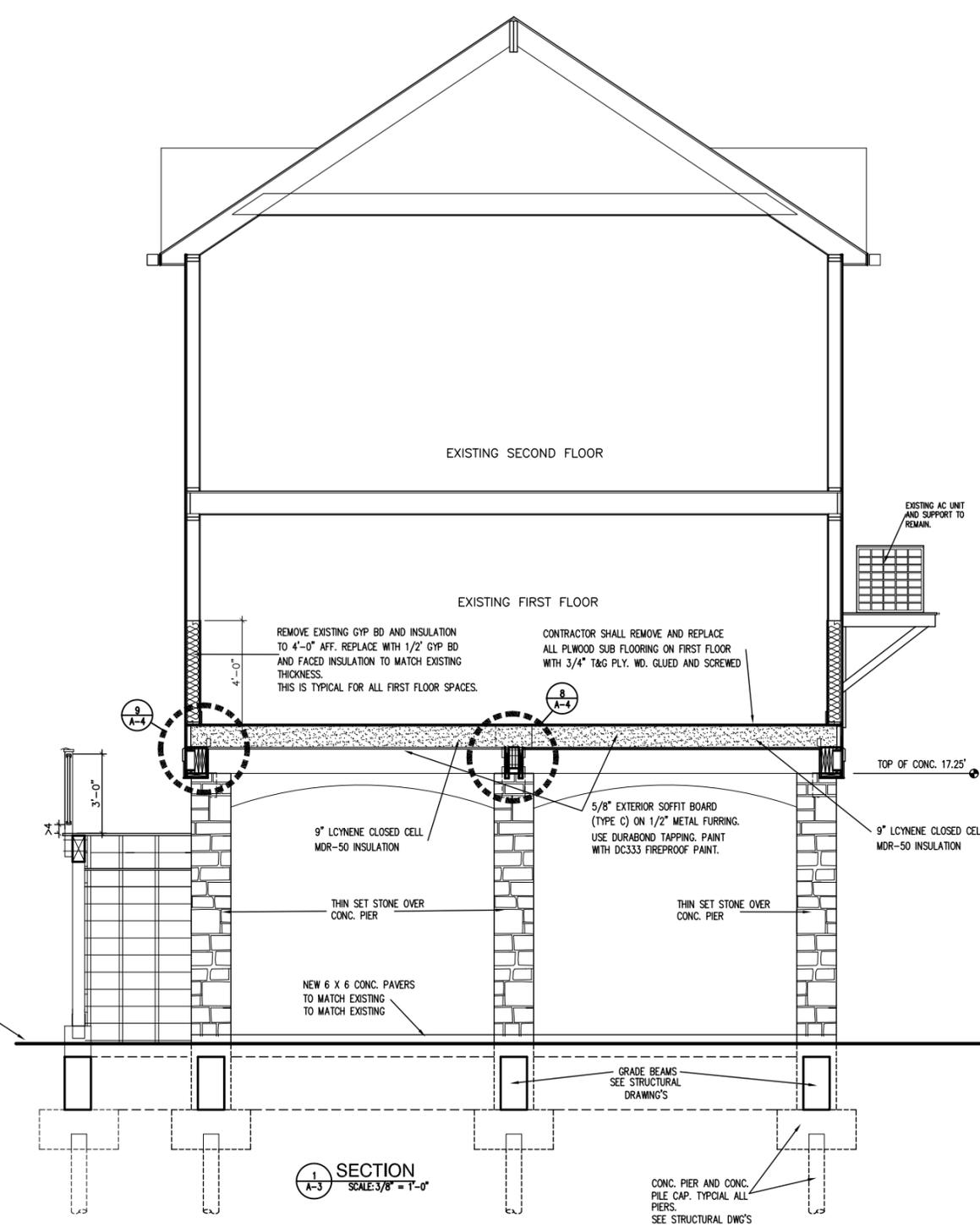
**5 PROPOSED PAVER PLAN**  
 SCALE: 1" = 10'-0" PROPOSED



**PROJECT # 1346-29**  
**RENOVATIONS TO SAPPERN RESIDENCE**  
**7 MELBA STREET, MILFORD, CT**



**2 SECTION**  
SCALE: 3/8" = 1'-0"



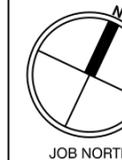
**1 SECTION**  
SCALE: 3/8" = 1'-0"

**DOOR INFORMATION**

DOOR NO.	DOOR SIZE	DOOR TYPE	HARDWARE	LOCK TYPE	GLASS	REMARKS
(A)	1 3/4 x 2'-8" x 6'-8"	SOLID CORE WOOD BIRCH VENEER. STAIN.	3 PAIR OF BUTTS, CLOSER, AND WEATHER-STRIPPING.	LOCK SET	---	NEW OPENING IN EXISTING WALL.
(B)	1 3/4 x 2'-6" x 6'-8"	SOLID CORE WOOD BIRCH VENEER. STAIN. POCKET DOOR	POCKET DOOR HARDWARE KIT	PRIVACY LOCK SET	---	REMOVE EXISTING DOOR AND GYP BD WALL AS REQUIRED.
(C)	1 3/4 x 2'-6" x 6'-8"	SOLID CORE WOOD BIRCH VENEER. STAIN. POCKET DOOR	POCKET DOOR HARDWARE KIT	PRIVACY LOCK SET	---	REMOVE EXISTING DOOR AND GYP BD WALL AS REQUIRED.
(D)	6'-0" x 6'-8"	CLAD EXTERIOR, WOOD INTERIOR, SLIDING PATIO DOOR BY MARVIN	SLIDING DOOR HARDWARE KIT	LOCK SET	low E366	NEW SLIDING PATIO DOOR IN EXISTING OPENING. GLARE RESISTANT GLASS
(E)	6'-0" x 6'-8"	CLAD EXTERIOR, WOOD INTERIOR, SLIDING PATIO DOOR BY MARVIN	SLIDING DOOR HARDWARE KIT	LOCK SET	low E366	NEW SLIDING PATIO DOOR IN EXISTING OPENING. GLARE RESISTANT GLASS

Drawing Information  
**SECTIONS**  
**DOOR INFORMATION**

Date: OCTOBER 27, 2014  
Scale: AS NOTED  
Drawn By: RM  
Drawing Number

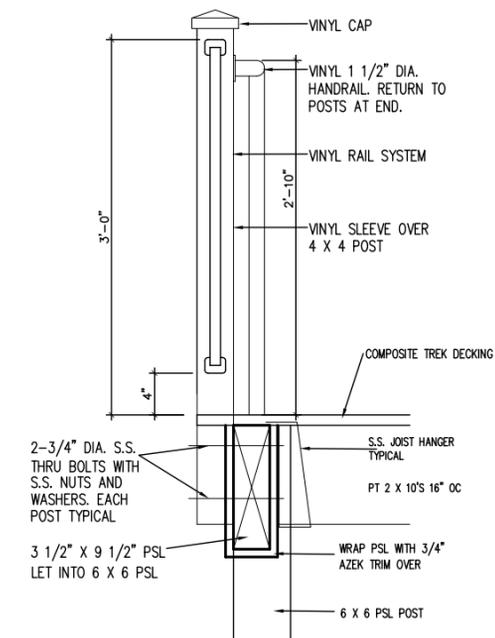


**PROJECT # 1346-29**  
**RENOVATIONS TO SAPPERN RESIDENCE**  
**7 MELBA STREET, MILFORD, CT**

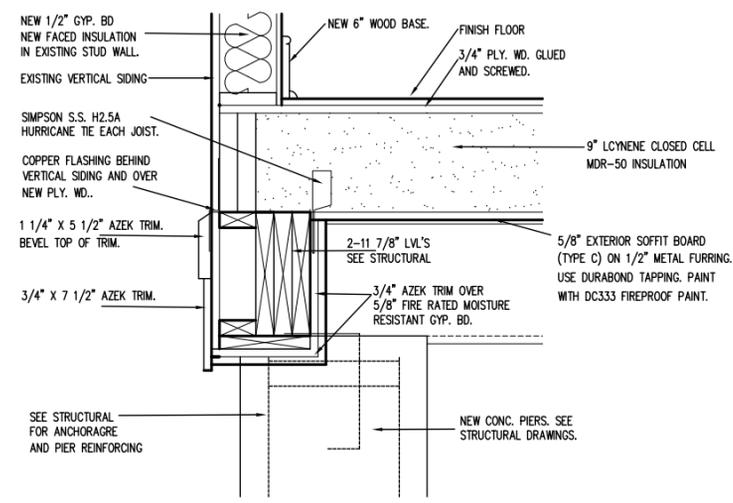
**BATH AND KITCHEN**  
**RENOVATIONS**  
**DETAILS**

Date: OCTOBER 27, 2014  
 Scale: AS NOTED  
 Drawn By: RM  
 Drawing Number

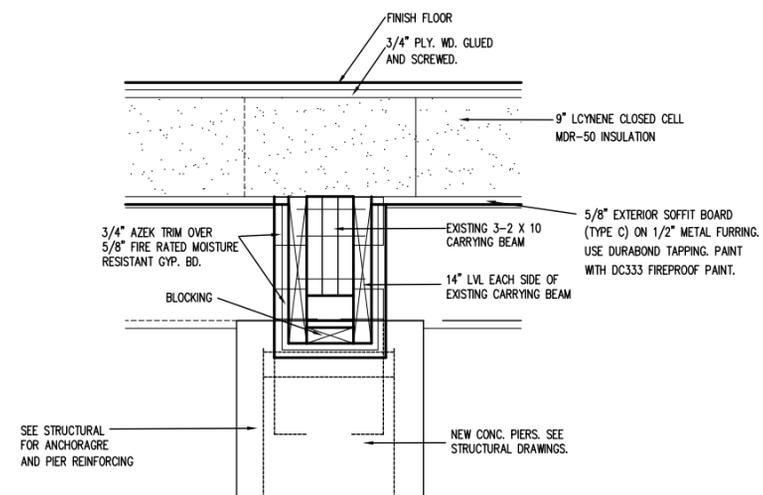
**A-4**



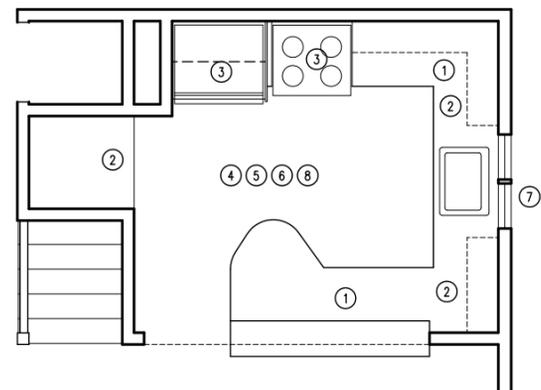
**7**  
 A-4  
 SCALE: 1/2" = 1'-0"



**8**  
 A-4  
 SCALE: 1/2" = 1'-0"



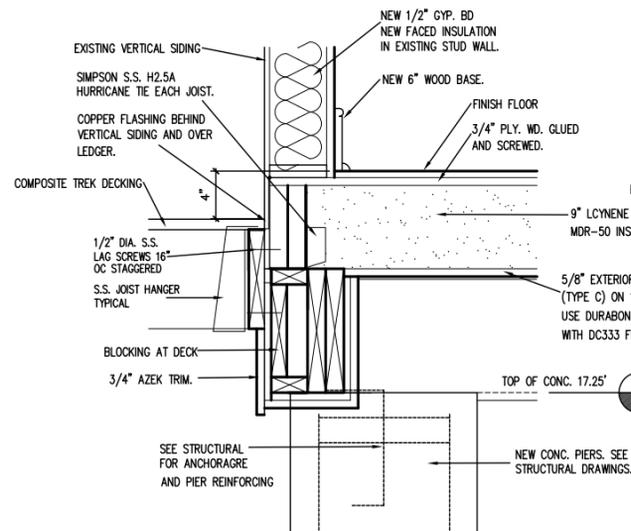
**9**  
 A-4  
 SCALE: 1/2" = 1'-0"



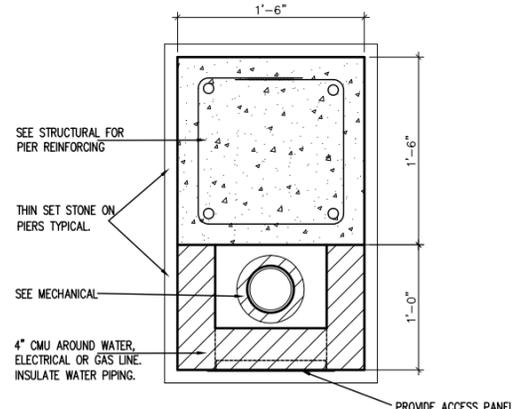
**3**  
 A-4  
 SCALE: 3/8" = 1'-0"

**KITCHEN RENOVATION**

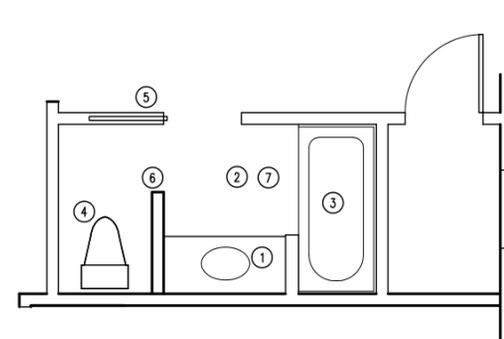
- 1 RE-INSTALL EXISTING CORIAN COUNTERTOP AND SINK. CORIAN COUNTERTOP TO BE REFINISHED.
- 2 NEW UPPER AND LOWER CABINETS, AS SELECTED BY OWNER AND INSTALLED BY THE CONTRACTOR.
- 3 NEW APPLIANCES, AS SELECTED BY OWNER AND CONNECTED BY ELECTRICAL AND PLUMBING CONTRACTORS.
- 4 CONTRACTOR SHALL INSTALL NEW TILE FLOOR AND BASE. TILE AS SELECTED BY OWNER.
- 5 CONTRACTOR SHALL INSTALL NEW 4 1/2" CROWN MOULDING IN KITCHEN.
- 6 PROVIDE AND INSTALL NEW TILE BACKSPLASH ABOVE KITCHEN COUNTER. TILE SHALL BE SELECTED BY OWNER.
- 7 CONTRACTOR SHALL INSTALL NEW AWNING WINDOW IN EXISTING OPENING. INFILL AND PATCH INSIDE AND OUT.
- 8 PAINT ALL WALL AND CEILING SURFACES.



**6**  
 A-4  
 SCALE: 1/2" = 1'-0"



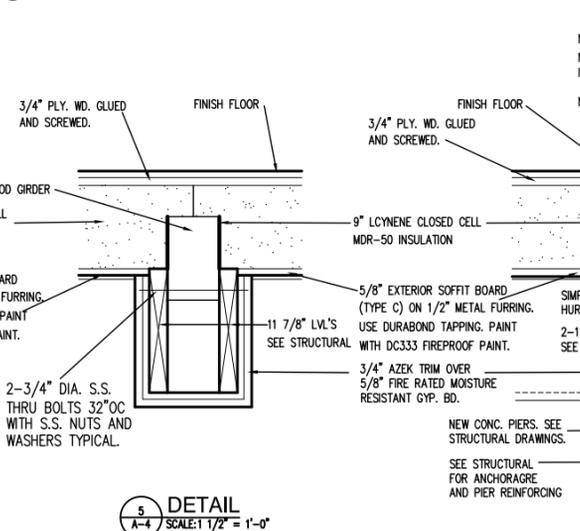
**10**  
 A-4  
 SCALE: 1/2" = 1'-0"



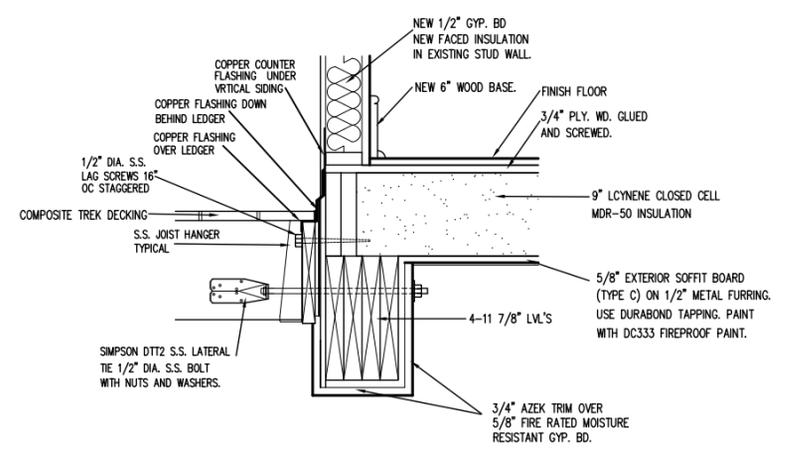
**2**  
 A-4  
 SCALE: 3/8" = 1'-0"

**BATH 1 RENOVATION**

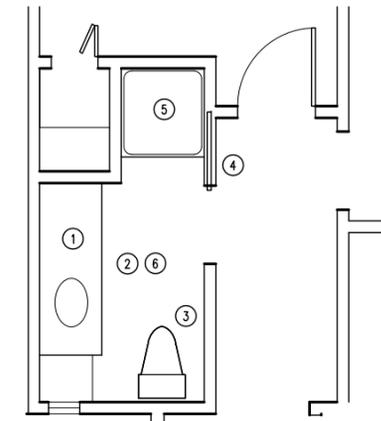
- 1 RE-INSTALL EXISTING CORIAN COUNTERTOP AND SINK. CORIAN COUNTERTOP TO BE REFINISHED.
- 2 CONTRACTOR SHALL INSTALL NEW TILE FLOOR AND BASE. TILE AS SELECTED BY OWNER.
- 3 INSTALL NEW TUB SHOWER. PROVIDE NEW FIXTURES AS SELECTED BY OWNER. PROVIDE WATER RESISTIVE GYP. BD. ON ALL REPLACEMENT SECTIONS OF WALLS.
- 4 NEW TOILET IN NEW LOCATION. PLUMBING REQUIRED TO RECONNECT TOILET TO NEW LOCATION.
- 5 NEW POCKET DOOR IN EXISTING LOCATION.
- 6 NEW KNEE WALL TO 34" HT. 1/2" WATER RESISTANT GYP. BD. ON 3 1/2" STUDS. CUT AND INSTALL A SECTION OF EXISTING CORIAN FOR TOP OF KNEE WALL AND 3 1/2" TRIM UNDER CORIAN.
- 7 PAINT ALL WALL AND CEILING SURFACES.



**5**  
 A-4  
 SCALE: 1/2" = 1'-0"



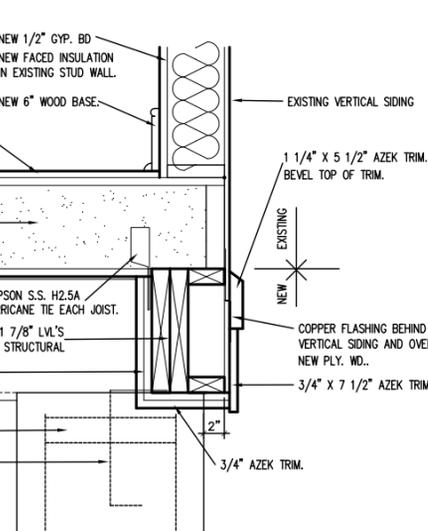
**11**  
 A-4  
 SCALE: 1/2" = 1'-0"



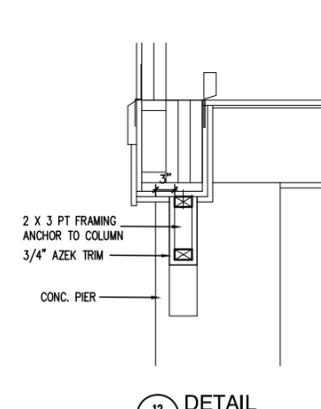
**1**  
 A-4  
 SCALE: 3/8" = 1'-0"

**BATH 2 RENOVATION**

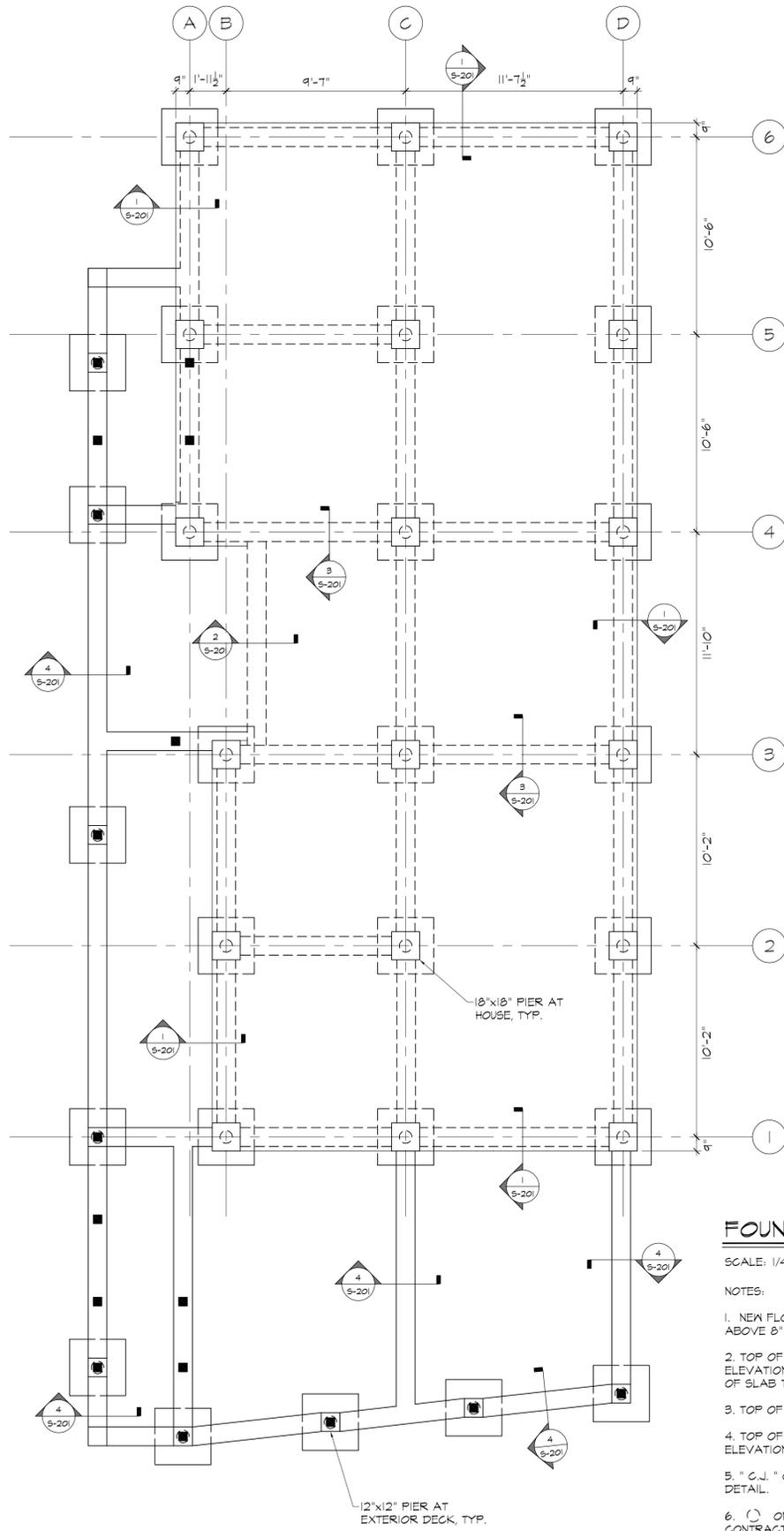
- 1 RE-INSTALL EXISTING CORIAN COUNTERTOP AND SINK. CORIAN COUNTERTOP TO BE REFINISHED.
- 2 CONTRACTOR SHALL INSTALL NEW TILE FLOOR AND BASE. TILE AS SELECTED BY OWNER.
- 3 NEW TOILET IN EXISTING LOCATION. RECONNECT PLUMBING.
- 4 NEW POCKET DOOR IN EXISTING LOCATION.
- 5 PROVIDE NEW SHOWER IN EXISTING LOCATION. RE-INSTALL THE EXISTING GLASS SHOWER DOOR. PROVIDE WATER RESISTANT GYP. BD. ON ALL REPLACEMENT SECTIONS OF WALLS.
- 6 PAINT ALL WALLS AND CEILING SURFACES.



**4**  
 A-4  
 SCALE: 1/2" = 1'-0"



**12**  
 A-4  
 SCALE: 1" = 1'-0"

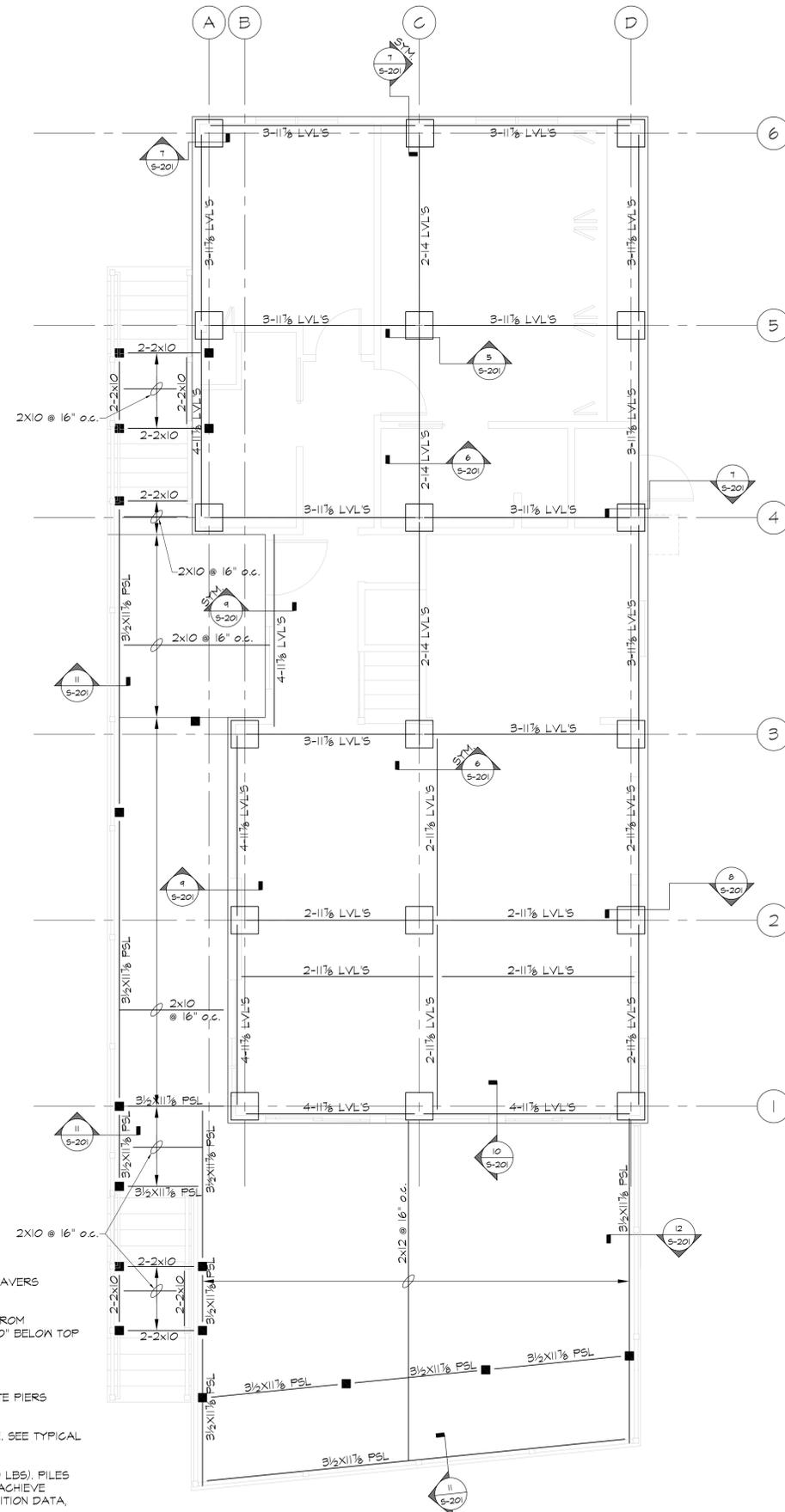


**FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"

**NOTES:**

1. NEW FLOOR CONSTRUCTION: 4" CONCRETE SLAB-ON-GRADE OR CONCRETE PAVERS ABOVE 8" COMPACTED GRAVEL FILL BASE OVER COMPACTED SUBBASE.
2. TOP OF NEW CONCRETE SLAB-ON-GRADE ELEVATION VARIES WITH GRADE, FROM ELEVATION 6'-3" TO ELEVATION 8'-6". TOP OF GRADE BEAMS ELEVATION IS 1'-0" BELOW TOP OF SLAB TYPICALLY.
3. TOP OF PILE CAPS AND BOTTOM OF GRADE BEAMS ELEVATION = 2'-6".
4. TOP OF HOUSE CONCRETE PIERS ELEVATION = 1'-3". TOP OF DECK CONCRETE PIERS ELEVATION = 4'-6", TYPICAL.
5. "C.J." ON PLAN DENOTES LOCATION OF CONTROL JOINT IN SLAB-ON-GRADE. SEE TYPICAL DETAIL.
6. (C) ON PLAN DENOTES A PILES WITH A MIN. CAPACITY OF 25 KIPS (25,000 LBS). PILES CONTRACTOR IS RESPONSIBLE TO DETERMINE TYPE AND LENGTH OF PILES TO ACHIEVE REQUIRED CAPACITY. SEE AVAILABLE GEOTECHNICAL DATA AND GATHER ADDITION DATA, AS REQUIRED TO PROPERLY DESIGN PILES.
7. (■) ON PLAN DENOTES 5/4" PRESSURE TREATED POST FOR THE EXTERIOR DECKS, TYPICAL.
8. ALL DIMENSIONS MUST BE FIELD VERIFIED AND COORDINATED WITH EXISTING HOUSE PRIOR TO THE INSTALLATION OF PILES AND FOUNDATIONS.



**FIRST FLOOR SUPPORT FRAMING PLAN**

SCALE: 1/4" = 1'-0"

REVISIONS:	
DATE	DESCRIPTION
10-27-14	RAISED TOP OF PIERS ELEV.

These documents have been prepared specifically for this project. Reproduction or other use of these documents is prohibited without the approval of the Engineer.

COPYRIGHT 2008 BY:  
ASCHETTINO ASSOCIATES, LLC

CERTIFICATION:

**Aschettino Associates, LLC**  
Structural Engineers

375 Morgan Lane - Unit 109  
West Haven, Connecticut 06516  
Telephone: 203-933-3334  
Fax: 203-933-7824  
www.aschettino.com

PROJECT NAME & LOCATION:  
**SAPPEN RESIDENCE RENOVATIONS  
NEW FOUNDATION AND FRAMING  
FOR PROPOSED HOUSE RAISED ELEV.**

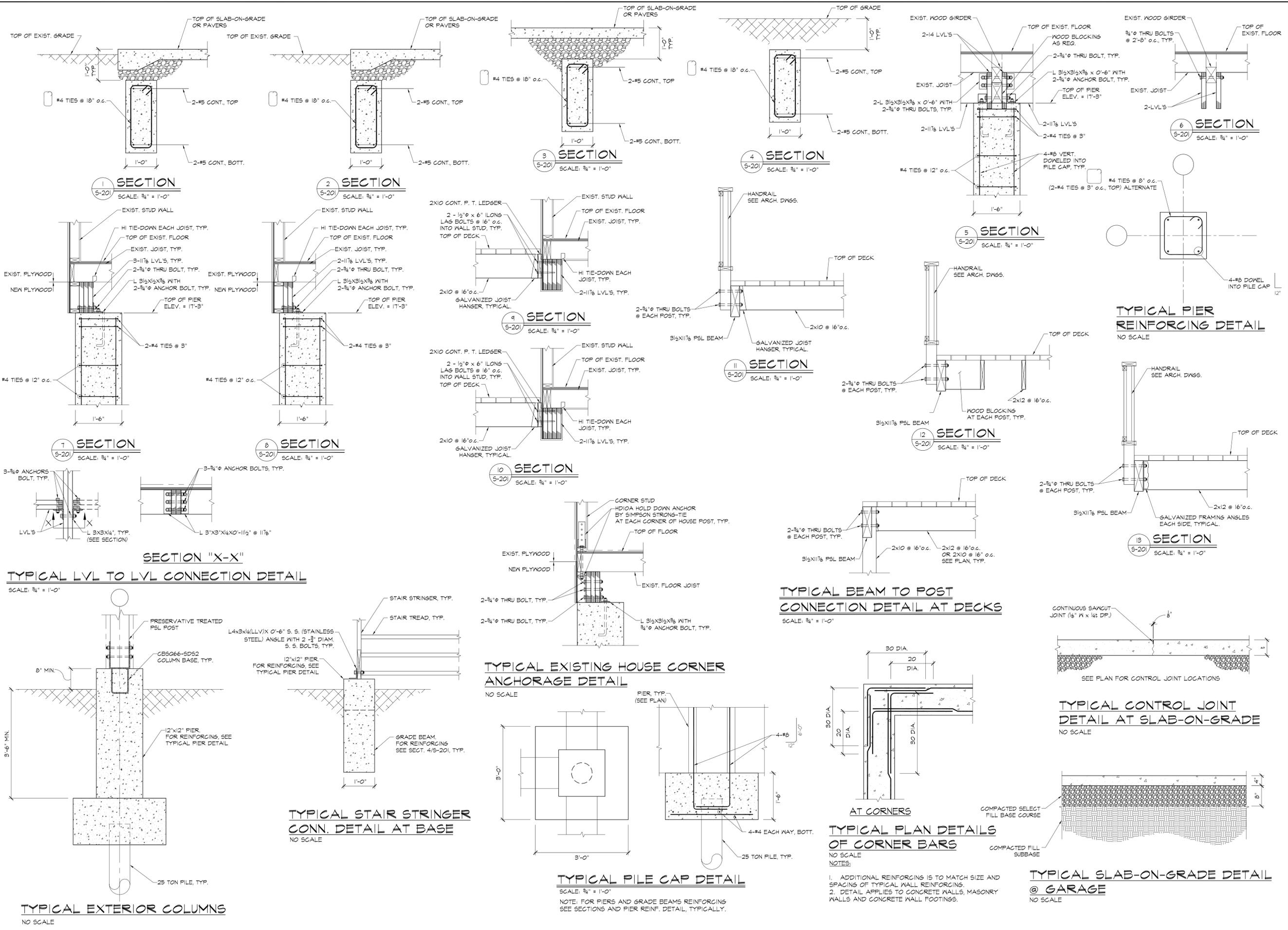
7 MELBA STREET  
MILFORD, CONNECTICUT

DRAWING TITLE:  
**FOUNDATION AND  
FIRST FLOOR PLAN**

SCALE:	DRAWN BY:
AS NOTED	DC
DRAWING NO.	

**S-101**

DATE:	JOB NUMBER:
05-16-13	2013-125



REVISIONS:		
DATE	DESCRIPTION	
10-27-14	RAISED TOP OF PIERS ELEV.	

These documents have been prepared specifically for this project. Reproduction or other use of these documents is prohibited without the approval of the Engineer.

COPYRIGHT 2008 BY:  
ASCHETTINO ASSOCIATES, LLC

CERTIFICATION:

**Aschettino Associates, LLC**  
Structural Engineers

375 Morgan Lane - Unit 109  
West Haven, Connecticut 06516

Telephone: 203-933-3334  
Fax: 203-933-7824

www.aschettino.com

**SAPPERN RESIDENCE RENOVATIONS  
NEW FOUNDATION AND FRAMING  
FOR PROPOSED HOUSE RAISED ELEV.**

**7 MELBA STREET  
MILFORD, CONNECTICUT**

DRAWING TITLE:  
**SECTIONS AND TYPICAL DETAILS**

SCALE: AS NOTED	DRAWN BY: DC
DRAWING NO.	

<b>S-201</b>	
DATE: 05-16-13	JOB NUMBER: 2013-125

**DESIGN BASIS**

- The Foundation has been designed in Accordance with the latest Connecticut State Building Code IRC 2003 with State of Connecticut 2005 Supplement.
- ACI "Building Code Requirements for Structural Concrete" (ACI 318-latest edition) and "Details and Detailing of Concrete Reinforcement" (ACI 315 - latest edition).
- Minimum compressive strength of concrete at 28 days: 4000 psi.
- Liquid membrane forming curing compounds shall comply with ASTM C 309, Type I, Class A.
- All bar reinforcing for concrete and masonry to conform to ASTM A 615 grade 60 (deformed).
- Welded wire fabric shall conform to ASTM A 185.

- Place concrete foundation walls/Grade Beams in alternate sections not exceeding 60 feet in length (30 feet from any corner), allowing a minimum of 48 hours to elapse between placement of adjacent panels. At all construction joints continue all horizontal reinforcing through the joint a minimum of 60 diameters and provide additional #4 x 5'-0" long reinforcing bars at 12" o.c. each face unless otherwise noted on drawings.
- Lap all bar reinforcing in concrete elements 43 diameters (unless otherwise noted).
- Welded wire fabric reinforcing to have minimum side and end laps of 6" and to be discontinuous at control joints (See Detail). For supported slabs, end laps should be minimum of 12".
- Apply liquid membrane forming concrete curing compound to slab-on-grade as soon as finishing operations are complete (within two hours). Apply in accordance with manufacturer's recommendations.
- The contractor shall notify the architect and structural engineer of record a minimum of 48 hours before any concrete is poured.

**GENERAL NOTES**

- All work to conform to requirements of all publications and notes listed under "Design Basis".
- Architectural drawings, of Modular House and all other drawings as required shall be used in conjunction with Structural drawings to develop details and dimensions for shop drawings, fabrication, erection and construction.
- General Contractor shall maintain a set of latest reviewed shop drawings on job site.
- It is the Contractor's sole responsibility to follow all applicable safety codes and regulations during all phases of construction.
- Should any information on the structural drawings conflict with any other part of the drawings, the General Contractor shall notify the Engineer and an interpretation will be given.
- There shall be no change to the work that is indicated and/or directed by the structural contract documents without a revision describing that change which shall be issued in writing by Aschettino Associates, LLC.
- All sections, details, notes, dimensions and conditions are applicable at any other location where conditions and details are similar but are not specifically noted as such or are not shown.
- See manufacturer's instructions for mounting and securing Pre-Fabricated Modular sections.
- The structure has been designed to be stable and self supporting after the construction is complete. It is the Contractor's sole responsibility for the building's stability during construction. This responsibility also includes but is not limited to method and sequence of erection, temporary shoring and temporary bracing.
- All proprietary anchoring systems to be installed into concrete elements in strict accordance with the manufacturer's recommendations using the required supplemental components such as screen tubes, dowelling adhesives, etc.

- Fabricator to submit shop drawings for fabrication, bending, and placement of concrete reinforcement. Comply with ACI 315 "Manual of Standard Practice for Detailing Reinforced Concrete Structures" showing bar schedules, stirrup spacing, tie spacing, diagrams of bent bars, arrangement of concrete reinforcement. Include additional reinforcement required at control joints, construction joints and openings through concrete structures. Show wall reinforcing in elevations. Provide detailed layout drawing for dowels to masonry walls; include additional reinforcing required at masonry openings, control joints and ends of walls.

**WOOD NOTES**

- All 2X to be Douglas Fir #2 or better.
- All LVL's are by Truss Joist McMillan or approved equal.
- Cross bridging or solid blocking is to be provided between all floor joists at midspan.
- Nail exterior walls plywood with a minimum of 8d nails @ 4" o.c. at all edges and 8d nails @ 6" o.c. at all intermediate studs.
- All lumber and PSL supporting exterior deck to be preservative treated, typically.

**FOUNDATION NOTES**

- Bottoms of all exterior Grade Beams to be minimum of 3'-6" below finished grade unless otherwise noted.
- All soil surrounding and beneath footings shall be protected from frost during the course of construction.
- Placement of all compacted fill and compaction of subgrade shall be under the full time direction of a qualified geotechnical engineer. Concrete slabs and footings shall not be placed until fill and subgrade have been checked in place and approved by the geotechnical engineer.
- Backfilling shall proceed to equal heights on both sides of foundation walls, piers, grade beams, to prevent movement due to unbalanced earth pressure. Where earth is on one side of wall only, backfilling and compaction shall not start until floor slabs or adequate bracing is provided for lateral support at top and bottom of wall.

**CONCRETE NOTES**

- Concrete accessories must be adequate to maintain reinforcing accurately in place and be non-corrosive, non-staining type.
- Saw-cut control joints in a square patten immediately after concrete has set sufficiently so that cutting does not produce shredding of the concrete, but before concrete has had a chance to crack due to initial shrinkage. The cutting period will vary according to the rate of setting of the concrete. It is the Contractor's sole responsibility to cut these joints at the proper time and using the proper procedure to minimize shrinkage cracking and produce a clean, straight joint.

REVISIONS:		
Δ	DATE	DESCRIPTION
	10-27-14	RAISED TOP OF PIERS ELEV.

These documents have been prepared specifically for this project. Reproduction or other use of these documents is prohibited without the approval of the Engineer.

COPYRIGHT 2008 BY:  
ASCHETTINO ASSOCIATES, LLC

CERTIFICATION:



**Aschettino Associates, LLC**  
Structural Engineers

375 Morgan Lane - Unit 109  
West Haven, Connecticut 06516

Telephone: 203-933-3334  
Fax: 203-933-7824

www.aschettino.com

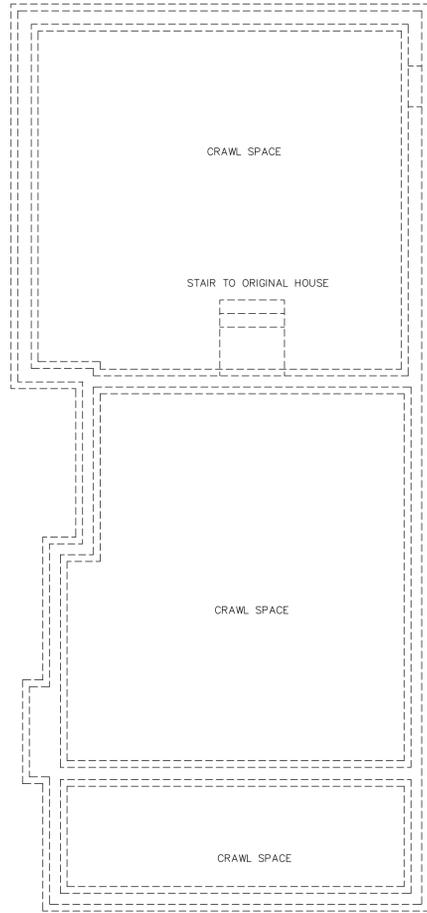
PROJECT NAME & LOCATION:

**SAPPERN RESIDENCE RENOVATIONS  
NEW FOUNDATION AND FRAMING  
FOR PROPOSED HOUSE RAISED ELEV.**

**7 MELBA STREET  
MILFORD, CONNECTICUT**

DRAWING TITLE:	
<b>NOTES</b>	

SCALE:	DRAWN BY:
AS NOTED	DC
DRAWING NO.	
<b>S-301</b>	
DATE:	JOB NUMBER:
05-16-13	2013-125



EXISTING CRAWL SPACE - ELECTRICAL  
SCALE: 3/16"=1'-0"

**DEMOLITION NOTES:**

- 1 EXISTING ELECTRICAL, TEL/DATA & CABLE TV OVERHEAD SERVICES TO BE TEMPORARILY REMOVED DURING THE DURATION OF THE HOUSE RAISE. COORDINATE THIS WORK WITH THE RESPECTIVE UTILITY COMPANIES.
- 2 EXISTING ELECTRICAL METER TO BE TEMPORARILY REMOVED DURING THE DURATION OF THE HOUSE RAISE.
- 3 EXISTING ELECTRICAL PANEL, 100A @ 120/240V, 1 PH. MCB, 20 CKTS TO REMAIN IN PLACE DURING THE HOUSE RAISE.
- 4 EXISTING GAS-FIRED FLOOR MOUNTED HOT WATER BOILER WITH (3) HEATING ZONE CONTROL VALVES TO BE DISCONNECTED.
- 5 EXISTING 40 GALLONS CAPACITY GAS-FIRED FLOOR MOUNTED DOMESTIC WATER HEATER TO BE DISCONNECTED. EXISTING CENTRAL VACUUM TO REMAIN.
- 6 EXISTING 2-TON AIR-COOLED CONDENSING UNIT MOUNTED ON WALL PLATFORM AND ITS WEATHERPROOF DISCONNECT TO REMAIN.
- 7 EXISTING WALL MOUNTED LIGHTING FIXTURE TO REMAIN (E) (TYP).
- 8 EXISTING WEATHERPROOF RECEPTACLE OUTLET TO BE REMAIN (E) (TYP).
- 9 EXISTING WEATHERPROOF RECEPTACLE OUTLET TO BE RELOCATED ABOVE THE NEW DECK (TYP).
- 10 EXISTING MOTOR/MANUAL OPERATED AWNING TO REMAIN (E).
- 11 EXISTING STORAGE SHED TO BE REMOVED BY THE GENERAL CONTRACTOR.

**EQUIPMENT SELECTION**

**LIGHTING FIXTURES**

- A WALL MOUNTED FULL CUTOFF FLUORESCENT LIGHTING FIXTURE, EQUAL TO "COOPER LIGHTING", MODEL PLP-32-MT-LL, FURNISHED WITH 32W COMPACT FLUORESCENT LIGHTING FIXTURE, UL LISTED FOR WET LOCATIONS.
- B WALL MOUNTED FLOOD HALOGEN LIGHTING FIXTURE, EQUAL TO "COOPER LIGHTING", MODEL LSV278W, FURNISHED WITH (2) 100W QUARTZ HALOGEN LAMPS AND MOTION DETECTOR, UL LISTED FOR WET LOCATIONS.

**NOTES:**

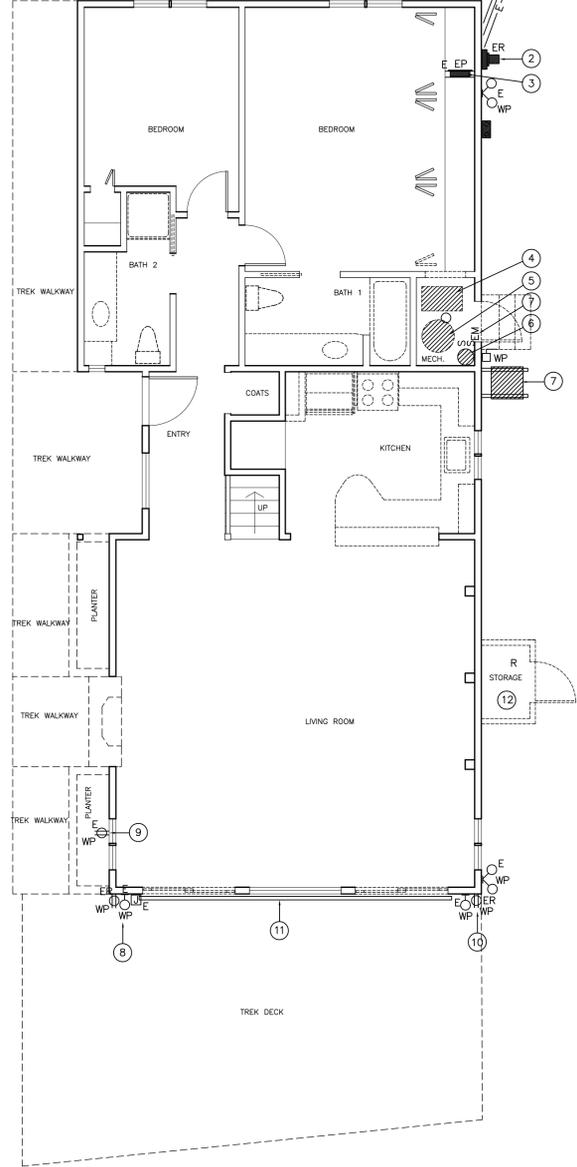
- 1 - INSTALL LIGHTING FIXTURES IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS, RECOMMENDATIONS AND WARRANTY.
- 2 - PROVIDE ALL NECESSARY ACCESSORIES, SUPPORTS, ETC., AS REQUIRED FOR AN APPROVED COMPLETE INSTALLATION.

**HEAT TRACING TAPE**

HEAT TRACING TAPE, WET SELF-REGULATING PIPE HEATING TAPE, EQUAL TO "RAYCHEM", MODEL HS12050, RATED FOR BW/FT OR 0.05A/FT @ 40 F & 120V/1 PH, FURNISHED WITH BUILT-IN THERMOSTAT, UL LISTED.

**NOTES:**

- 1 - INSTALL HEAT TRACING TAPE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS, RECOMMENDATIONS AND WARRANTY.
- 2 - REFER TO THE DRAWING M-1, SCOPE OF WORK, ITEM #8, TO THE EXTENT OF THE HEAT TRACING TAPE WORK.
- 3 - PROVIDE (3) HEAT TRACING TAPE CIRCUITS TO (2) NEW 20A-1P CIRCUIT BREAKERS IN EXISTING PANELBOARD (EP), EACH WIRED WITH 2#10+1#12G, 3/4".

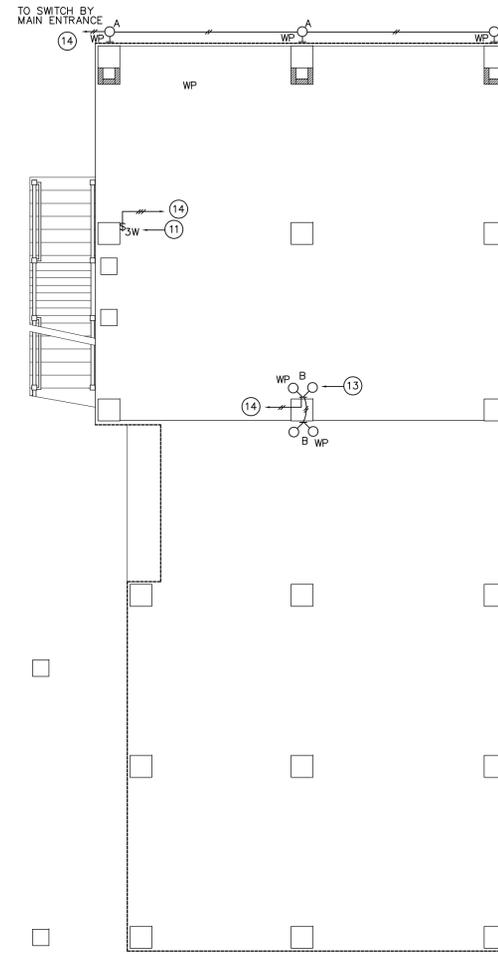


EXISTING FIRST FLOOR PLAN - ELECTRICAL  
SCALE: 3/16"=1'-0"

**SCOPE OF WORK**

- 1 - THIS CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING CONDITIONS, PRIOR TO STARTING THIS WORK.
- 2 - ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE 2009 INTERNATIONAL RESIDENTIAL CODE, 2005 CONNECTICUT STATE BUILDING & FIRE SAFETY CODES, 2011 NATIONAL ELECTRICAL CODE, 2009, 2011, 2012 & 2013 AMENDMENTS TO THE SAFE BUILDING AND FIRE SAFETY CODES, AND THE REQUIREMENTS OF THE LOCAL AUTHORITIES HAVING JURISDICTION.
- 3 - THIS CONTRACTOR IS REQUIRED TO APPLY AND OBTAIN ALL REQUIRED PERMITS, PAY FOR ALL FEES, TAXES AND PROVIDE ALL TESTS REQUIRED BY THE LOCAL AUTHORITIES JURISDICTION.
- 4 - THIS CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY LIGHTING AND POWER AS REQUIRED DURING CONSTRUCTION FOR HIS/HER WORK, AND FURTHER PAY FOR UTILITY COMPANY CHARGES. ALL POWER INTERRUPTIONS SHALL BE SCHEDULED AT AT LEAST 48 HOURS IN ADVANCE.
- 5 - THIS CONTRACTOR IS REQUIRED TO PROVIDE DEMOLITION, NEW SERVICE EQUIPMENT, LIGHTING FIXTURES, ACCESSORIES & SUPPORTS, POWER TO EQUIPMENT FURNISHED BY OTHERS (I.E. HVAC & PLUMBING CONTRACTORS, ETC.), JUNCTION/PULLING BOXES, WIRING/CONDUITS & SUPPORTING DEVICES, SWITCHING DEVICES, ETC., FOR COMPLETE OPERATIONAL SYSTEMS, APPROVED BY THE LOCAL AUTHORITIES HAVING JURISDICTION, OWNER'S REPRESENTATIVE AND PROJECT ENGINEER.
- 6 - ALL NEW ELECTRICAL EQUIPMENT, SUCH AS SERVICE EQUIPMENT, LIGHTING FIXTURES, CONDUITS, ETC., SHALL BE RESTRAINED TO THE BUILDING'S STRUCTURAL ELEMENTS, AS REQUIRED.
- 7 - FURNISH & INSTALL GROUNDING AND BONDING FOR ALL ELECTRICAL EQUIPMENT AND OWNER'S FURNISHED EQUIPMENT IN STRICT ACCORDANCE WITH THE 2011 NATIONAL ELECTRICAL CODE.
- 8 - FURNISH AND INSTALL NEW LIGHTING FIXTURES, LAMPS AND SUSPENSION ACCESSORIES. APPLY FOR ANY UTILITY COMPANY INCENTIVES/REBATES TOWARDS ENERGY EFFICIENT LAMPS/BALLASTS AND PROVIDE CREDIT TO OWNER AT PROJECT COMPLETION.
- 9 - ALL WIRING SHALL BE COPPER OR EQUAL, WITH THHN OR THWN INSULATION, RATED FOR 600 VOLTS. USE EMT CONDUITS BETWEEN PANELBOARDS IN DRY AREAS, USE GALVANIZED STEEL RIGID CONDUITS WITH LIQUIDTIGHT FITTINGS BETWEEN PANELBOARDS IN WET AREAS AND WHEN EXPOSED AT EXTERIOR. USE NON-METALLIC CONDUITS WITH FUSION WELDED FITTINGS BELOW GRADE. USE ROMEX/BX WIRING INSIDE THIS HOUSE.
- 10 - ALL WIRING, CABLES & CONDUITS ARE REQUIRED TO BE IDENTIFIED EVERY TWENTY (20) FEET ALONG ROUTING, WITH WIRE AND CONDUIT MARKERS, EQUAL TO "SETON NAMEPLATE" AND IN STRICT ACCORDANCE WITH ANSI 253.1-1979 AND NFPA-70 REQUIREMENTS. THESE MARKERS SHALL IDENTIFY CIRCUIT NUMBER & PANELBOARD SERVING EACH INDIVIDUAL CIRCUIT. PROVIDE TYPED DIRECTORIES FOR ALL PANELBOARDS.
- 11 - THIS WORK SHALL BE DEEMED COMPLETE ONLY AFTER HAS BEEN THOROUGHLY INSPECTED AND APPROVED BY THE LOCAL AUTHORITIES HAVING JURISDICTION AND PROJECT ENGINEER. THIS CONTRACTOR IS REQUIRED TO PROVIDE THREE (3) SETS OF "AS-BUILT" DRAWINGS AND OPERATION & MAINTENANCE MANUALS. PRIOR TO PROJECT COMPLETION & COMMISSIONING. NO WORK SHALL START BEFORE THE CONTRACTOR SUBMIT SHOP DRAWINGS FOR ALL DEVICES AND ACCESSORIES, MATERIALS, ETC., AND FURTHER OBTAIN APPROVALS FROM THE ENGINEER AND OWNER'S REPRESENTATIVE.

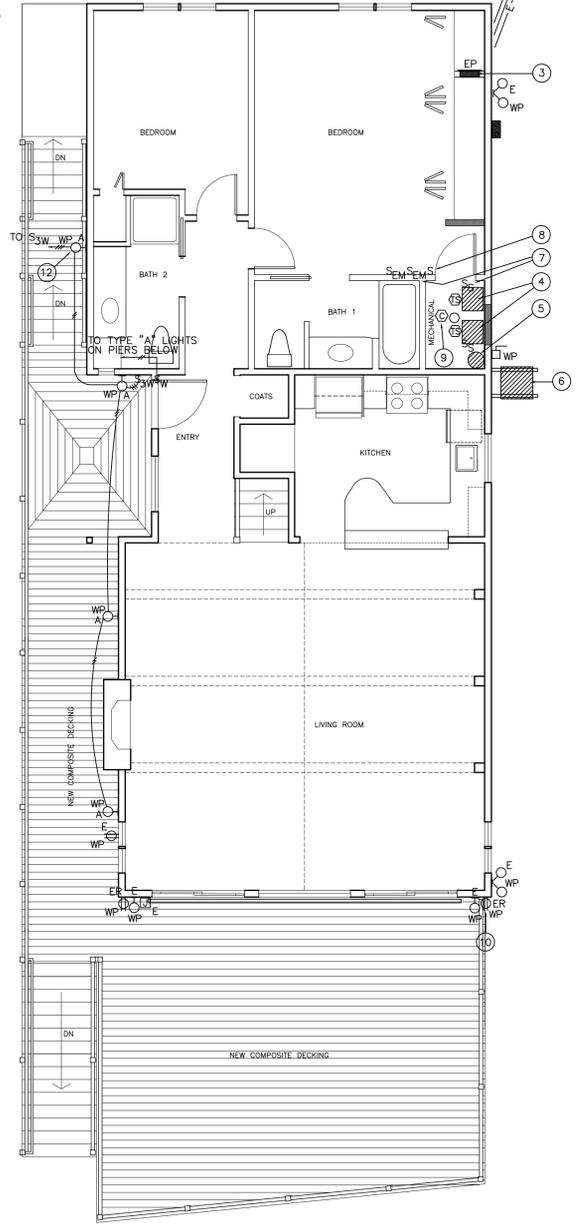
SYMBOL LIST	
SYMBOL	DESCRIPTION
H-O	WALL MOUNTED FIXTURE
Q-O	WALL MOUNTED FLOOD FIXTURE
S S <sub>3</sub>	SINGLE POLE/THREE POLE SWITCH
S <sub>W</sub> S <sub>3W</sub>	SINGLE POLE/THREE POLE SWITCH WEATHERPROOF TYPE
S <sub>S</sub>	SERVICE SWITCH
S <sub>EM</sub>	EMERGENCY SHUTDOWN SWITCH
Q OR Q	JUNCTION BOX
Φ Φ	DUPLEX/QUAD RECEPTACLE
□	SAFETY/DISCONNECT SWITCH
TS	THERMAL SWITCH
C	CARBON MONOXIDE DETECTOR
WP	WEATHERPROOF
AF	ABOVE FINISHED FLOOR
B/WH#	COMBINATION BOILER/WATER HEATER
E	EXISTING TO REMAIN
ER	EXISTING TO BE RELOCATED
R	EXISTING TO BE REMOVED



NEW OPEN SPACE BELOW FIRST FLOOR - ELECTRICAL  
SCALE: 3/16"=1'-0"

**CONSTRUCTION NOTES:**

- 1 EXISTING ELECTRICAL, TEL/DATA & CABLE TV OVERHEAD SERVICES TO BE RE-ESTABLISHED AFTER THE HOUSE RAISE. COORDINATE THIS WORK WITH THE RESPECTIVE UTILITY COMPANIES. PROVIDE APPROVED ELECTRICAL SERVICE WEATHERHEAD, 2" GALVANIZED STEEL CONDUIT DOWN TO METER SOCKET AND 5/8" DIAMETER 8'-0" LONG COPPER ROD WITH BONDED GROUND CONDUCTOR AS PER 2011 NEC REQUIREMENTS.
- 2 EXISTING ELECTRICAL METER TO BE RE-INSTALLED ON NEW CONCRETE PIER AFTER THE HOUSE RAISE. COORDINATE THIS WORK WITH THE ILLUMINATING CO.
- 3 EXISTING ELECTRICAL PANEL, 100A @ 120/240V, 1 PH. MCB, 20 CKTS TO REMAIN IN PLACE DURING THE HOUSE RAISE.
- 4 NEW COMBINATION WALL MOUNTED GAS-FIRED CONDENSING HOT WATER BOILER AND DOMESTIC WATER HEATER.
- 5 EXISTING CENTRAL VACUUM TO REMAIN.
- 6 EXISTING 2-TON AIR-COOLED CONDENSING UNIT MOUNTED WALL PLATFORM AND ITS WEATHERPROOF DISCONNECT TO REMAIN.
- 7 WIRE THE NEW COMBINATION WALL MOUNTED GAS-FIRED CONDENSING HOT WATER BOILER AND DOMESTIC WATER HEATER SERVICE SWITCH WITH THE THERMAL SWITCH AND EMERGENCY SHUTDOWN SWITCH WITH 2#2+1#12G. RELOCATED LIGHT SWITCH.
- 8 NEW AC/DC CARBON MONOXIDE DETECTOR WITH VISUAL & AUDIBLE ALARM.
- 9 EXISTING WEATHERPROOF RECEPTACLE OUTLET TO BE RELOCATED ABOVE THE NEW DECK (TYP).
- 10 NEW 3-WAY WEATHERPROOF SWITCH FOR NEW STAIRWAY AND DECK LIGHTS (TYP OF 2).
- 11 NEW WALL MOUNTED WEATHERPROOF LIGHTING FIXTURE. REFER TO SPECIFICATIONS ON THIS DRAWING (TYP OF 4).
- 12 NEW PIER MOUNTED WEATHERPROOF FLOOD LIGHTING FIXTURE WITH MOTION DETECTOR (TYP OF 2).
- 13 WIRE THE NEW EXTERIOR LIGHTING FIXTURES WITH 2#10+1#10G, 3/4" TO NEW 20A-1P CIRCUIT BREAKER IN EXISTING PANELBOARD (EP).



NEW FIRST FLOOR PLAN - ELECTRICAL  
SCALE: 3/16"=1'-0"

**GENERAL NOTES**

- 1 - THE INFORMATION SHOWN ON THIS DRAWING IS BASED UPON THE INFORMATION SHOWN ON THE BUILDING PLANS AND LIMITED FIELD INVESTIGATIONS AND MAY OR MAY NOT REFLECT ACTUAL FIELD CONDITIONS. THIS CONTRACTOR SHALL VERIFY THE INFORMATION INDICATED ON THIS DRAWING AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO SUBMITTING HIS BID.
- 2 - THIS CONTRACTOR IS REQUIRED TO PERFORM THIS WORK IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, ORDINANCES, ETC., AND TO MEET THE REQUIREMENTS OF THE LOCAL AUTHORITIES HAVING JURISDICTION AND OWNER, WHETHER OR NOT SPECIFICALLY INDICATED OR SPECIFIED ON THIS DRAWING.
- 3 - ALL PENETRATIONS THRU FLOOR AND WALLS SHALL BE FIRE STOPPED WITH "THOMAS AND BETTS" - FLAMESAFE, TYPE FST FIRESTOP COMPOUND OR APPROVED EQUIVALENT, CONFORMING TO ASME E814/UL1479.



NO.	NATURE OF REVISION	REVISIONS	
		DATE	BY
1			
2			
3			
4			
5			
6			

**COPYRIGHT NOTICE**

The information contained herein is the proprietary and confidential property of Dumitru T. Petrescu, P.E., LLC. Reproduction, publication, distribution or duplication in whole or in part requires the written permission of the above parties. Copyright 2011. All Rights Reserved.

**Project Engineer:**

DUMITRU T. PETRESCU, P.E., LLC  
Mechanical & Electrical Consulting Engineers

567 Rayzoo Terrace, Hamden, CT 06514-1008  
(203) 287-9995

**CONTRACTOR:**

PROJECT # 1346-29  
RENOVATIONS TO  
SAPPERN RESIDENCE

7 MELBA STREET, MILFORD, CT  
ELECTRICAL

**Project:**

drawn by

DTP

scale

NOTED

date

October 27, 2014

checked by

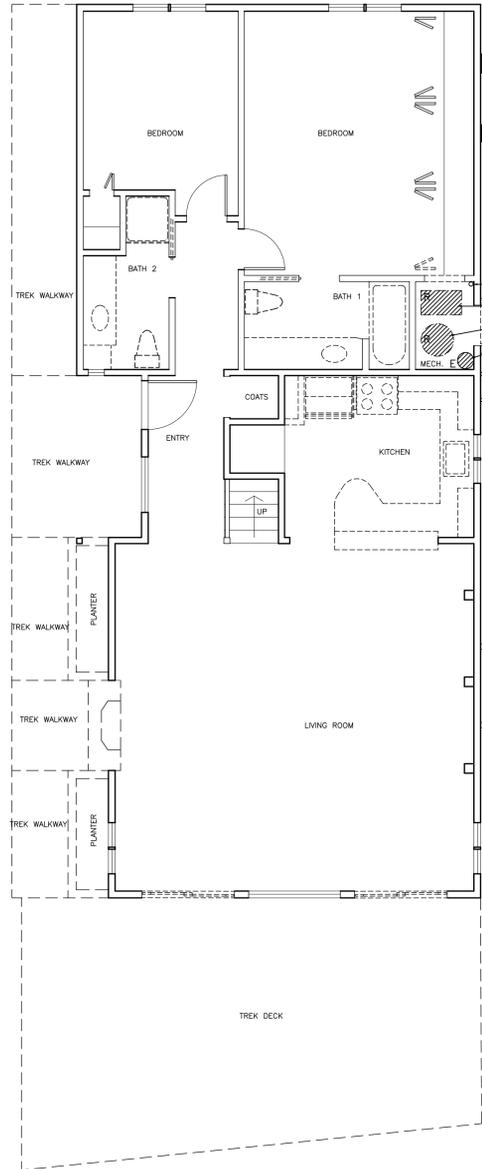
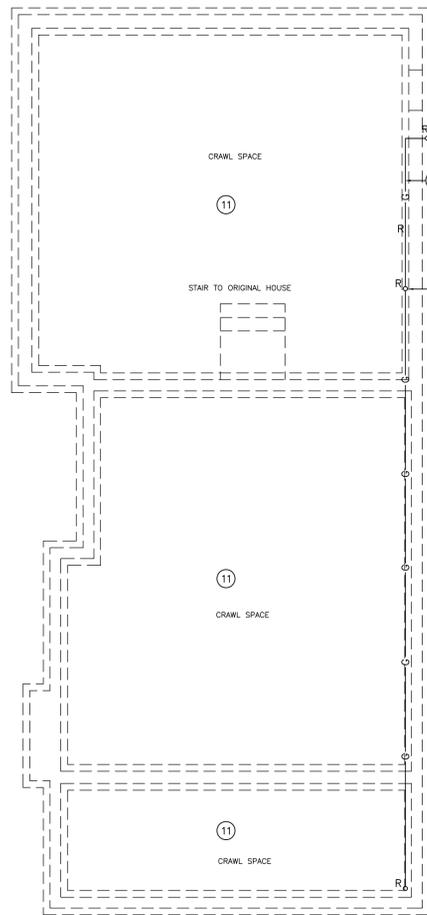
DTP

project number

DTP14036

drawing number

E-1

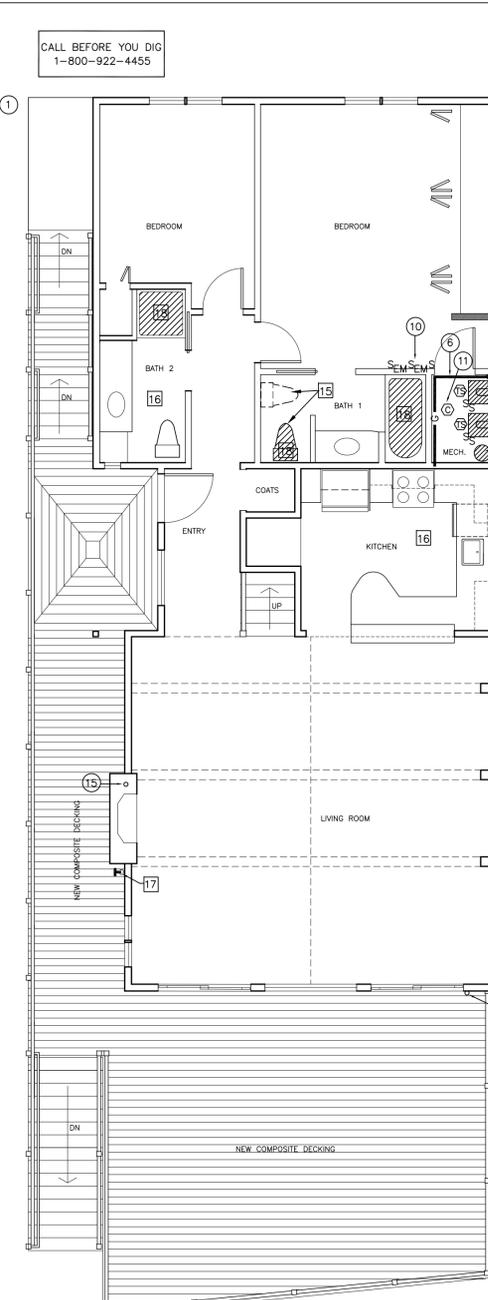
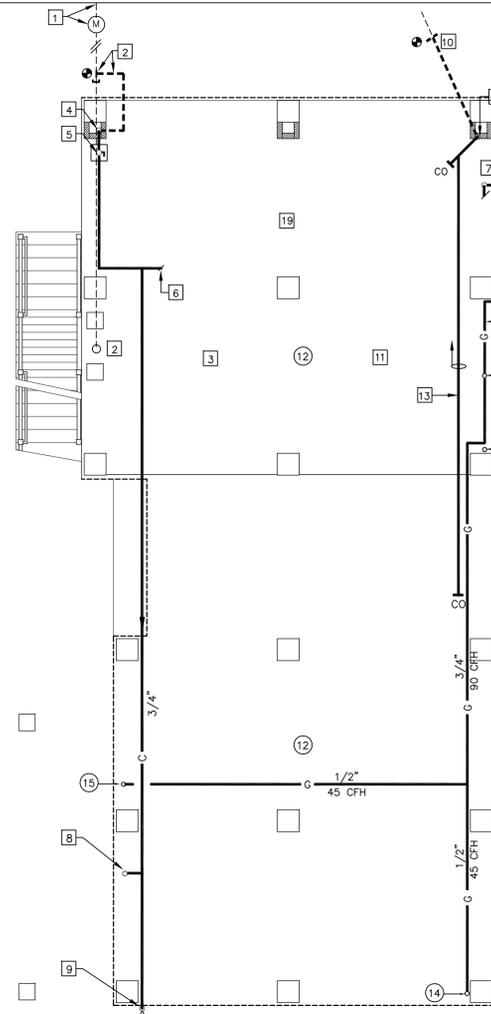
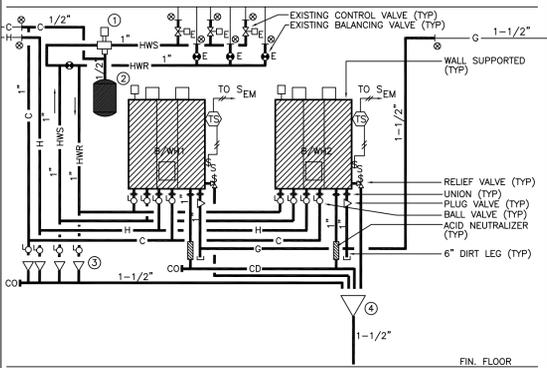


PLUMBING LEGEND				
---	NEW PIPING (DARK)			
---	EXISTING PIPING (LIGHT)			
C	COLD WATER PIPING			
G	GAS PIPING			
→	DIRECTION OF FLOW			
∠	PITCH OF PIPING			
CO	CLEANOUT			
CW	COLD WATER			
CLG	CEILING			
●	POINT OF NEW CONNECTION			

FIXTURE CONNECTION SCHEDULE				
WATER CLOSET	1/2"	1/2"	4"	2"
LAV	1/2"	1/2"	1-1/2"	1-1/2"
TUB/SHOWER	1/2"	1/2"	2"	1-1/2"
SINK	1/2"	1/2"	2"	1-1/2"

MECHANICAL LEGEND AND ABBREVIATIONS	
---	EXISTING DUCTWORK/PIPING/EQUIPMENT TO REMAIN (E)
---	EXISTING DUCTWORK/PIPING/EQUIPMENT TO BE REMOVED (R)
---	NEW DUCTWORK/PIPING/EQUIPMENT
B#	BOILER
DW#	DOMESTIC WATER HEATER
B/W#	COMBINATION BOILER/DOMESTIC WATER HEATER
CU#	CONDENSING UNIT, AIR COOLED
P#	PUMP
ET#	EXPANSION TANK
C & H	COLD & HOT WATER PIPING
HWS/HWR	HOT WATER SUPPLY/RETURN PIPING
CD	CARBON MONOXIDE DETECTOR/CONDENSER
TS	THERMAL SWITCH (SET AT 165 F)
SS	SERVICE SWITCH
SEM	EMERGENCY SHUTDOWN SWITCH
E	EXISTING TO REMAIN
ER	EXISTING TO BE RELOCATED
R	EXISTING TO BE REMOVED
⊙	CONNECT TO EXISTING

HYDRONIC SPECIALTIES	
1	IN-LINE AIR SEPARATOR, EQUAL TO "B&G" MODEL 107A
2	DIAPHRAGM TYPE EXPANSION TANK, EQUAL TO "B&G" MODEL HRT-60
3	4" FUNNEL (TYP OF 4)
4	10" FUNNEL



**MECHANICAL DEMOLITION NOTES:**

- EXISTING 1-1/2" BURIED GAS SERVICE TO BE VERIFIED BY THE GAS COMPANY VERSUS THE NEW GAS LOAD.
- EXISTING GAS METER (AC-250) TO BE DISCONNECTED AND REMOVED BY THE GAS COMPANY. THE SERVICE PIPING TO THE GAS METER SHALL BE CAPPED ABOVE GRADE AND CLEARLY MARKED-UP AS "GAS PIPING SERVICE" BY THE GAS COMPANY.
- EXISTING GAS SERVICE PIPING DROP TO BE REMOVED (R).
- EXISTING GAS SERVICE PIPING IN CRAWL SPACE TO BE REMOVED (R).
- EXISTING GAS SERVICE PIPING RISER TO MECHANICAL ROOM TO BE REMOVED (R).
- EXISTING GAS-FIRED FLOOR MOUNTED HOT WATER BOILER ("WEL McLAIN", MODEL GOLD CG-6, RATED FOR 167 GAS INPUT 122 MBH NET HEATING OUTPUT) WITH (3) HEATING ZONE CONTROL VALVES TO BE DISCONNECTED, REMOVED AND EITHER DISPOSED OF IN A LEGAL MANNER OR TURNED OVER TO THE OWNER'S REPRESENTATIVE.
- EXISTING 40 GALLONS CAPACITY GAS-FIRED FLOOR MOUNTED DOMESTIC WATER HEATER ("RHEEM", MODEL 21VPA0E-1) TO BE DISCONNECTED, REMOVED AND EITHER DISPOSED OF IN A LEGAL MANNER OR TURNED OVER TO THE OWNER'S REPRESENTATIVE.
- EXISTING CENTRAL VACUUM TO REMAIN.
- EXISTING 2-TON AIR-COOLED CONDENSING UNIT ("THERMAL ZONE", MODEL TZAA-324-2A) MOUNTED ON WALL PLATFORM AND ITS WEATHERPROOF DISCONNECT TO REMAIN. EXISTING SHED TO BE REMOVED BY THE GENERAL CONTRACTOR.
- DRAIN, DISCONNECT AND TEMPORARILY REMOVE EXISTING HOT WATER SUPPLY & RETURN PIPING SERVING THE TWO ZONES FINNED-TUBE RADIATION AT FIRST FLOOR. PRESENTLY RUNNING IN THE CRAWL SPACE. STORE PIPING IN A SAFE PLACE FOR RE-USE.
- EXISTING GAS SERVICE PIPING RISER TO GAS GRILL TO BE REMOVED (R).

**SCOPE OF WORK**

- ALL POTENTIAL CONTRACTORS SHALL BECOME FAMILIAR WITH THE SITE CONDITIONS, PRIOR TO START ANY WORK.
- ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE 2009 INTERNATIONAL RESIDENTIAL CODE AND 2009, 2011, 2012 & 2013 CONNECTICUT AND THE STATE BUILDING AND FIRE SAFETY APPLICABLE CODES, STANDARDS, REGULATIONS, ORDINANCES, ETC., AND THE REQUIREMENTS OF THE LOCAL AUTHORITIES HAVING JURISDICTION. THIS CONTRACTOR SHALL BE A LICENSED MECHANICAL CONTRACTOR, AND SHALL BE RESPONSIBLE TO OBTAIN CONSTRUCTION PERMIT AND PAY FOR ALL APPLICABLE FEES, TAXES, TESTS, ETC. NO WORK SHALL BE PERFORMED UNTIL SHOP DRAWINGS FOR ALL EQUIPMENT, DEVICES AND MAJOR MATERIALS ARE SUBMITTED AND APPROVED IN WRITING BY THE PROJECT ENGINEER.
- FURNISH & INSTALL ALL EQUIPMENT, DEVICES, MATERIALS, ETC., AS INDICATED, SHOWN AND SPECIFIED FOR COMPLETE OPERATIONAL SYSTEMS, APPROVED BY ARCHITECT/ENGINEER & OWNER'S REPRESENTATIVE, AND LOCAL AUTHORITIES HAVING JURISDICTION.
- THIS CONTRACTOR IS RESPONSIBLE TO SUBMIT TO THE ARCHITECT/ENGINEER SHOP DRAWINGS FOR ALL EQUIPMENT & DEVICES, MATERIALS, ETC., AND FURTHER OBTAIN ALL NECESSARY APPROVALS, PRIOR TO STARTING THIS WORK.
- THIS CONTRACTOR SHALL INCLUDE IN HIS/HER WORK, WITHOUT EXTRA COST TO OWNER, ANY LABOR, MATERIAL APPARATUS AND DRAWING ADDITIONS TO THE CONTRACT DRAWINGS AND SPECIFICATIONS IN ORDER TO COMPLY WITH THE CURRENT APPROVED CODES, STANDARDS, ORDINANCES, RULES AND REGULATIONS, EITHER SHOWN OR NOT ON THESE DRAWINGS AND SPECIFICATIONS.
- ALL MECHANICAL EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS' INSTRUCTIONS, RECOMMENDATIONS AND WARRANTY, WITH ALL REQUIRED CLEARANCES FOR MAINTENANCE AND SERVICE.
- WATER PIPING SHALL BE COPPER TYPE L, HARD DRAWN, AS PER ASTM B88, FITTINGS SHALL BE SOLDER WROUGHT COPPER, AS PER ASME B16.22. JOINTS SHALL BE SOLDER LEAD FREE, AS PER ASME B32. SANITARY AND VENT PIPING ABOVE AND BELOW GRADE, SHALL BE PVC PIPING, ASTM D2729, SCHEDULE 40, WITH PVC FITTINGS AND ASTM D2855 SOLVENT WELD JOINTS. HEATING HOT WATER AND DRAIN PIPING SHALL BE COPPER TYPE L, HARD DRAWN, AS PER ASTM B88. FITTINGS SHALL BE SOLDER WROUGHT COPPER, AS PER ASME B16.22. FURNISH AND INSTALL SHUT-OFF/ISOLATION VALVES ON ALL MAIN BRANCHES AS REQUIRED. INSTALL PIPING TO ALLOW FOR EXPANSION AND CONTRACTION. SLOPE PIPING TO DRAIN AT LOW POINTS. INSTALL SPECIALTIES IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. PERFORM COLD LEAK TESTS AND REPAIR JOINTS, AS NECESSARY. CLEAN AND FLUSH PIPING BEFORE START-UP. CLEANOUTS FOR EXPOSED PIPING SHALL BE EQUAL TO "WADE" PIPE HANGERS AND SUPPORTS TO CONFORM TO ASME B31.9 AND MSS SP58. HANGERS SHALL BE CARBON STEEL RING, ADJUSTABLE, COPPER PLATED. UNIONS SHALL BE BRONZE SOLDERED JOINTS. DIELECTRIC CONNECTIONS SHALL BE UNION WITH GALVANIZED OR PLATED THREADED END, COPPER SOLDER END. WATER IMPERVIOUS ISOLATION SHALL BE BRONZE, ONE PIECE BODY, CHROME PLATED BRONZE BALL, TEFLON SEATS AND STUFFING BOX RING WITH SOLDERED ENDS. GAS PIPING SHALL BE SCHEDULE 40 BLACK STEEL WITH THREADED JOINTS. GAS BALL VALVES SHALL BE 150 PSI WOG BRONZE BODY, STRAIGHTAWAY PATTERNS, SQUARE ENDS. FURNISH AND INSTALL CONDENSATE DRAIN PIPING, FITTINGS AND SPECIALTIES FOR A COMPLETE OPERATIONAL SYSTEMS. CONDENSATE DRAIN PIPING SHALL BE PVC PIPE, ASTM D2729, SCHEDULE 40, WITH PVC FITTINGS AND SOLVENT CEMENT JOINTS, AS PER ASME B16.22. FURNISH & INSTALL EXHAUST & COMBUSTION AIR PIPING, PVC SCHEDULE 90. AT ALL GAS-FIRED COMBINATION BOILERS/DOMESTIC WATER HEATERS, AS INDICATED ON DRAWINGS. BEFORE BEING PLACED IN SERVICE, ALL NEW POTABLE WATER (DOMESTIC COLD AND HOT WATER), SHALL BE PURGED OF DELETERIOUS MATTER, AND CHLORINATED IN ACCORDANCE WITH AWWA C651 OR AWWA C652, AND AS REQUIRED BY LOCAL BUILDING AND HEALTH DEPARTMENT CODES.
- FURNISH & INSTALL PIPING INSULATION TO ALL NEW PIPING, AS FOLLOWS:
  - INSULATE COLD WATER PIPING RUNNING ABOVE GYPSUM BOARD CEILING AND BUILDING INSULATION WITH 1-1/2" THICK FIBERGLASS INSULATION WITH ASJ. PROVIDE HEAT TRACING ON THIS PIPING AND COVER WITH INSULATION.
  - INSULATE HOT WATER PIPING RUNNING ABOVE GYPSUM BOARD CEILING AND BUILDING INSULATION WITH 1-1/2" THICK FIBERGLASS INSULATION WITH ASJ.
  - INSULATE SANITARY SEWER AND DRAIN PIPING RUNNING BELOW GYPSUM BOARD CEILING WITH 1-1/2" THICK FIBERGLASS INSULATION WITH ASJ. PROVIDE HEAT TRACING ON THIS PIPING AND COVER WITH INSULATION.
  - INSULATE ALL NEW HOT & COLD DOMESTIC WATER AND HEATING HOT WATER PIPING LOCATED WITHIN THE MECHANICAL ROOM WITH 1" THICK FIBERGLASS INSULATION WITH ASJ.
- COVER ALL EXPOSED GAS PIPING, FITTINGS & SUPPORTS IN THE MECHANICAL ROOM WITH TWO (2) COATS OF PRIMER AND TWO (2) LAYERS OF YELLOW ENAMEL WEATHER RESISTANT PAINT.
- FURNISH & INSTALL INSTRUMENTATION, SUCH AS THERMOMETERS, WHERE REQUIRED, AND OR INDICATED, RE-USE THE EXISTING CONTROLS SUCH AS RADIATION ZONE CONTROL VALVES, RE-CONNECT CONTROL VALVES TO THEIR THERMOSTATS, AS REQUIRED. ALL CONTROL WIRING SHALL BE COPPER, ALL TWISTED PAIR SHIELDED TYPE, #16 OR BETTER. PROVIDE ALL NECESSARY DEMONSTRATION AND TRAINING TO THE OWNER'S REPRESENTATIVE(S) FOR COMPLETE OPERATIONAL SYSTEMS.
- FURNISH & INSTALL EQUIPMENT NAMEPLATES, PIPE MARKERS, VALVE TAGS, ETC., IN COMPLIANCE WITH ANSI A13.1.
- PROVIDE THREE (3) SETS OF "AS-BUILT" DRAWINGS TO ARCHITECT/ENGINEER PROJECT COMPLETION.
- THIS PROJECT SHALL BE DEEMED COMPLETE ONLY AFTER IS THOROUGHLY INSPECTED, DEMONSTRATED TO AND APPROVED IN WRITING BY THE LOCAL AUTHORITIES HAVING JURISDICTION, OWNER'S REPRESENTATIVE AND ARCHITECT/ENGINEER. ALL WARRANTIES SHALL START AFTER RECEIVING THESE APPROVALS.

**CONSTRUCTION NOTES:**

- EXISTING 1-1/2" BURIED GAS SERVICE (302 CFH) TO BE VERIFIED BY THE GAS COMPANY VERSUS THE NEW GAS LOAD (415 CFH). NEW GAS SERVICE BY THE GAS COMPANY MAY BE REQUIRED TO ACCOMMODATE THIS NEW GAS LOAD.
- NEW GAS METER BY THE GAS COMPANY (GAS LOAD: 370 CFH). NEW METER TO BE MOUNTED ON THE NEW CONCRETE PIER WHERE INDICATED. PROVIDE MAIN GAS PLUG SHUTOFF VALVE ON GAS PIPING RISER AT METER.
- NEW 1-1/2" GAS PIPING TIGHT TO THE FLOOR OVERHEAD.
- NEW 1-1/2" GAS PIPING RISER TO MECHANICAL ROOM ABOVE. PROVIDE NEW GAS PLUG SHUTOFF VALVE ON RISER. RUN NEW 1-1/2" GAS PIPING BELOW THE COMBINATION BOILERS/WATER HEATERS IN THE MECHANICAL ROOM ABOVE.
- THE COMBINATION BOILER/WATER HEATER SHALL BE EQUAL TO "HTP", MODEL EFTC-140W, RATED FOR 140 MBH GAS INPUT & 131.8 MBH NET HEATING OUTPUT @ 94% AFUE, 3.2 GPM @ 77 F TEMPERATURE RISE DOMESTIC HOT WATER FLOW, 160W @ 120V/1 PH, ETL LISTED AND ENERGY STAR CERTIFIED (TYP OF 2). REFER TO PIPING DIAGRAM ON DRAWINGS.
- NEW 1" GAS PIPING TO EXISTING RANGE OVEN. CONNECT NEW GAS PIPING TO EXISTING PIPING.
- CONCENTRIC VENTING FOR THE COMBINATION BOILER/WATER HEATER (TYP OF 2).
- EXISTING CENTRAL VACUUM TO REMAIN.
- EXISTING 2-TON AIR-COOLED CONDENSING UNIT MOUNTED WALL PLATFORM AND ITS WEATHERPROOF DISCONNECT TO REMAIN.
- WIRE THE NEW COMBINATION WALL MOUNTED GAS-FIRED CONDENSING HOT WATER BOILER AND DOMESTIC WATER HEATER SERVICE SWITCH IN SERIES WITH THE THERMAL SWITCH AND EMERGENCY SHUTDOWN SWITCH WITH 2#12+1#12G BY THE ELECTRICAL CONTRACTOR.
- NEW APPROVED TYPE AC/DC CARBON MONOXIDE DETECTOR WITH VISUAL & AUDIBLE ALARM.
- RE-INSTALL THE REMOVED HOT WATER SUPPLY & RETURN PIPING SERVING THE TWO ZONES FINNED-TUBE RADIATION. RUN ALL PIPING THROUGH THE FLOOR JOISTS ABOVE THE BUILDING'S INSULATION. INSULATE THIS PIPING WITH 1-1/2" THICK FIBERGLASS INSULATION WITH ASJ. PROVIDE "ZESTON" FITTINGS PRE-MOLDED INSULATION COVERS.
- 1-1/2" DRAIN PIPING FROM THE 10" FUNNEL IN MECHANICAL ROOM ABOVE, FURNISHED WITH HEAT TRACING, 1-1/2" THICK FIBERGLASS INSULATION AND PVC COVER JACKET.
- NEW 1/2" GAS PIPING UP TO EXISTING RELOCATED GAS GRILL ABOVE NEW DECK. TERMINATE THE GAS PIPING 1'-6" ABOVE DECK WITH GAS PLUG VALVE AND FLEXIBLE HOSE CONNECTOR TO MATCH GAS GRILL CONNECTOR.
- NEW 1/2" GAS PIPING UP TO NEW GAS INSERT IN EXISTING FIREPLACE. TERMINATE THE GAS PIPING WITH GAS PLUG VALVE AND FLEXIBLE HOSE CONNECTOR. FURNISH & INSTALL COMBUSTION AND EXHAUST AIR PIPING AND TERMINATE THIS PIPING AS PER THE GAS INSERT MANUFACTURER'S INSTRUCTIONS, RECOMMENDATIONS AND WARRANTY.

**PLUMBING CONSTRUCTION NOTES**

- EXISTING WATER SERVICE TO REMAIN. EXACT LOCATION TO BE FIELD DETERMINED. COORDINATE INSTALLATION OF NEW WATER METER AND WATER METER PIT WITH THE WATER CO. COMPLY WITH WATER CO. RULES AND REGULATIONS.
- CONNECT NEW SAME SIZE WATER SERVICE PIPING TO EXISTING WATER SERVICE MAIN BELOW GRADE. ROUTE NEW PIPING BELOW GRADE AS SHOWN, IN ORDER TO CLEAR NEW CONCRETE FOOTINGS.
- DISCONNECT AND REMOVE EXISTING WATER PIPING IN CRAWL SPACE.
- NEW WATER SERVICE RISE IN COLUMN ENCLOSURE.
- NEW BALL VALVE AND DRAIN VALVE ABOVE GYPSUM CEILING SHALL BE ACCESSED BY 12X12, 1 HOUR FIRE RATED INSULATED HINGED ACCESS DOOR TO BE FURNISHED BY THE GENERAL CONTRACTOR.
- ROUTE NEW WATER PIPING ABOVE GYPSUM CEILING TO ALL PLUMBING FIXTURES, NEW OUTDOOR SHOWER AND NON-FREEZE WALL FAUCETS.
- NEW 3/4" COLD WATER DOWN TO NON-FREEZE WALL FAUCET.
- NEW 3/4" COLD WATER UP TO NON-FREEZE WALL HYDRANT.
- NEW 3/4" COLD WATER DOWN TO NON-FREEZE SINGLE TEMPERATURE SHOWER UNIT.
- CONNECT NEW 4" SANITARY SEWER PIPING TO EXISTING MAIN EXACT LOCATION TO BE FIELD DETERMINED.
- DISCONNECT AND REMOVE EXISTING SANITARY/SEWER AND VENT PIPING IN CRAWL SPACE.
- NEW 4" SANITARY SEWER PIPING DROP IN ENCLOSURE BELOW GRADE.
- NEW 4" SANITARY SEWER PIPING TO RUN EXPOSED BELOW GYPSUM CEILING, PITCH 1X/FOOT AND CONNECT TO ALL PLUMBING FIXTURES.
- ALL NEW VENT PIPING SHALL CONNECT TO EXISTING RISERS.
- EXISTING WATER CLOSET TO BE REMOVED, REPLACED WITH NEW AND REPIPED AS REQUIRED.
- REPIPE ALL PLUMBING FIXTURES AND EQUIPMENT FOR PROPER OPERATIONAL SYSTEMS.
- NEW 3/4" CW FROM BELOW TO NEW WALL FAUCET
- HATCHED PLUMBING FIXTURES DENOTES REPLACEMENT
- ALL WATER AND SAN/SEWER PIPING IN OPEN SPACE RUNNING TO WALL FAUCETS, OUTDOOR SHOWER AND PLUMBING FIXTURES, SHALL BE HEAT TRACED AND INSULATED. REFER TO ELECTRICAL DWG.

**PLUMBING EQUIPMENT SELECTION**

NON-FREEZE ANTI-SPIRIN WALL FAUCET SHALL BE EQUAL TO "WOODFORD MANUFACTURING CO. MODEL #...  
OUTDOOR SHOWER SHALL BE EQUAL TO ISI SIGNATURE HARDWARE, SKU: 401594 STAINLESS STEEL, COMPLETE WITH SHOWER VALVE, LEVELER AND SHOWER HEAD.



**GENERAL NOTES**

- THE INFORMATION SHOWN ON THIS DRAWING IS BASED UPON THE INFORMATION SHOWN ON THE BUILDING PLANS AND LIMITED FIELD INVESTIGATIONS AND MAY OR MAY NOT REFLECT ACTUAL FIELD CONDITIONS. THIS CONTRACTOR SHALL VERIFY THE INFORMATION INDICATED ON THIS DRAWING AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO SUBMITTING HIS BID.
- THIS CONTRACTOR IS REQUIRED TO PERFORM THIS WORK IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, ORDINANCES, ETC., AND TO MEET THE REQUIREMENTS OF THE LOCAL AUTHORITIES HAVING JURISDICTION AND OWNER, WHETHER OR NOT SPECIFICALLY INDICATED OR SPECIFIED ON THIS DRAWING.
- ALL PENETRATIONS THRU FLOOR AND WALLS SHALL BE FIRE STOPPED WITH "TOMAS ANTS BETTS" - FLAMESAFE, TYPE FST FIRESTOP COMPOUND OR APPROVED EQUIVALENT, CONFORMING TO ASME E814/UL1479.

REVISIONS		DATE		BY	
NO.	NATURE OF REVISION				
1					
2					
3					
4					
5					
6					

**COPYRIGHT NOTICE**  
The information contained herein is the proprietary and confidential property of Dumitru T. Petrescu, P.E., LLC. Reproduction, publication, distribution or application in whole or in part requires the written permission of the above parties. Copyright 2011. All Rights Reserved.

**Project Engineer:**  
**DUMITRU T. PETRESCU, P.E., LLC**  
Mechanical & Electrical Consulting Engineers  
567 Rayzoo Terrace, Hamden, CT 06514-1008  
(203) 287-9995

**CONTRACTOR:**  
**PROJECT # 1346-29**  
**RENOVATIONS TO**  
**SAPPER RESIDENCE**  
**MECHANICAL & PLUMBING**  
7 MELBA STREET, MILFORD, CT

**Project:**  
drawn by: DTP  
scale: NOTED  
date: October 27, 2014  
checked by: DTP  
project number: DTP14036  
drawing number: